



Planning and Zoning Commission Agenda

Grimes Planning and Zoning Commission
April 7, 2026 @ 5:30 PM
Grimes Community Complex, 410 SE Main Street

Public Comment: If you would like to address the Planning and Zoning Commission during the Public Comment portion of the meeting, please sign up upon entrance to the meeting. Participants must be recognized by the presiding officer and must state their full name and address before addressing the Planning and Zoning Commission. The presiding officer will recognize you for 3 minutes of comment, and your microphone will be turned on. Pursuant to §21.4(2) of the Code of Iowa (2019), the City has the right to amend this agenda up until 24 hours before the posted meeting time. For any additional assistance or questions in attending the meeting, please call 515-986-3036. Meetings will be recorded.

GENERAL AGENDA ITEMS

1. Call to Order
2. Roll Call
3. Approval of the Agenda
4. Approval of the Previous Minutes

PUBLIC AGENDA ITEMS

1. Goodwill Store Site Plan - Request for Waiver of Requirements: Service Bay Orientation Facing Highway 141
2. Adjournment



101 NE Harvey Street, Grimes, Iowa 50111 | P: 515.986.3036

This meeting of the Grimes Planning and Zoning Commission was called to order Wednesday, March 4th, 2026, at 5:30 p.m.

Roll Call: Present: Scott Almeida, Russ Lickteig, Adam Bunge, Council Liaison: Jared Lovelady (Not Present) Abby Reiland (Not Present)

Staff: Alex Pfaltzgraff, Evann Coffey, Alivia Hoodjer, Austin Benton

Absent: NA

A. GENERAL AGENDA ITEMS

1. APPROVAL OF THE AGENDA

Motion by Lickteig, Second by Bunge, to approve the agenda

Roll Call: Ayes-All; Nays-0 Motion passes: 3-0

2. APPROVAL OF THE MINUTES

Motion by Lickteig, Second by Bunge, to approve the minutes from the January 6th, 2025, meeting

Roll call: Ayes-All: Nays-0 Motion passes: 3-0

B. PUBLIC AGENDA ITEMS

1. The Home Place – Site Plan

Staff, A. Hoodjer, presents. Part of Hope Timber Development. Located north of NW 2nd, E of Ridgewood Drive. This area will be zoned R4 and be in the Home Timber PUD. Proposed is a 40 unit building with attached garage, private sidewalks and access drives. Landscape will have trees around property perimeter. Staff recommends approval. Questions were asked regarding the garage and parking. Applicant made comment regarding the parking being accessible parking. Director A. Pfaltzgraff made clarifying comments regarding the facility.

Motion by Bunge, Second by Lickteig to approve.

Roll Call: Aye-All Nay-0 **Motion Passes 3-0**

2. Founders Glen Plat 2 – Final Plat

Staff, E. Coffey, presents The Final Plat in the Founders Glen Development. The plat includes 34 single-family lots and 2 public street lots with minimum lot width 60ft. staff recommend approval. The Commission discussed the proposal and asked questions of staff.

Motion by Lickteig, Second by Almeida to approve.

Roll Call: Aye-All Nay-0 **Motion Passes 3-0**

3. Blue Creek Village Preliminary Plat & Site Plan

Staff, E. Coffey, presents the preliminary plat and site plan. This project is zoned R3 medium. This project is a private townhome development with 164 ranch style town home units with 2-4 units per building. There is a secondary construction access point to be removed later. The project will have a pool, dog park and pickleball court. The project will have a 30ft landscape buffer and 1 tree per 50ft along street frontage requirement. Staff recommends approval. The commission asked questions regarding parking. Applicant, Julian Greco, with Stark Enterprises, clarified that no parking will be allowed in the street.

Motion by Bunge, Second by Lickteig to approve.

Roll Call: Aye-All Nay-0 **Motion Passes 3-0**

4. Blue Creek Village Plat 1 – Final Plat

Staff, E. Coffey, presents. Same site as previous project. ROW dedication is not required for this site. Applicant will be providing fee in lieu of parkland dedication. The project will be withing quarter mile of existing/future parks and greenway. Staff recommends approval. The Commission discussed the proposal and asked questions of staff.

Motion by Bunge, Second by Lickteig to approve.

Roll Call: Aye-All Nay-0 **Motion Passes 3-0**

Next meeting April 7th, 2026

Meeting is adjourned at 6:00 p.m.

Chairperson Signature

Clerk Signature



PLANNING AND ZONING COMMISSION COMMUNICATION
Meeting Date: 4/7/2026

AGENDA ITEM: Goodwill Store Site Plan - Request for Waiver of Requirements: Service Bay Orientation Facing Highway 141

BACKGROUND: The applicant, The Goodwill Industries of Central Iowa, has submitted a site plan for review for property located at 361 SE Gateway Circle. The proposal is to construct an approximately 16,000 sf Goodwill retail store, with parking lot, loading and service bay area, donation drop-off, and detention basin on the 3.64-acre property within the C-2 (General and Highway Service Commercial) zoning district and Zone 1 of the Highway 141 Mixed Use Development Corridor District. Access to the site is proposed to be provided by two full access points on SE Gateway Circle. The building is proposed to be constructed of precast concrete materials.

The proposed site layout includes a wrap-around drive with parking around the building on all sides of the property. The storefront of the building and customer parking area is proposed to face SE Gateway Circle. The south side of the building, facing the side yard, is proposed to be the donation drop-off. The north side of the site, facing the side yard, is proposed to be used as a drive and parking area. The east side of the site, facing Highway 141, is proposed to be used as a parking and loading dock area.

The Highway 141 Mixed Use Development Corridor District prohibits service bays drives, trash receptacles, and dumpster areas located in Zone 1 from facing Highway 141. The applicant is requesting a Waiver of Requirements to allow service bay doors to face Highway 141. The applicant's formal request for a Waiver of Requirements is provided within the agenda packet for the Commission's consideration.

The Waiver of Requirements is applicable to any one or more of the requirements for the Highway 141 Mixed use Development Corridor District set forth in Section 12-11-1 of the Zoning Ordinance. Requirements may be waived after a recommendation of the Planning and Zoning Commission and approval of the City Council for reasons of safety, topographic conditions, or engineering issues. No waiver shall be authorized or permitted for relief from any requirements for reasons related primarily to the costs of compliance, aesthetic, or business preferences. To request a Waiver of Requirements, the applicant must submit a written application for the waiver that includes a detailed description of the safety, topographic condition, or engineering need.

For the applicant to continue with the typical site plan approval process, the Commission must first make a recommendation of whether to grant or deny the waiver request. The Commission's recommendation will then be forwarded to the City Council for final consideration.

The applicant will submit the site plan for consideration by the Planning and Zoning Commission and City Council at future meetings to reflect the final determination of the request for Waiver of Requirements and address all staff comments pertaining to the site and architecture.

BUDGETARY CONSIDERATIONS: N/A

STRATEGIC PLANNING:

Prioritized: No

BOARD/COMMISSION ACTIONS: N/A

STAFF RECOMMENDATION: Staff recommends denial of the proposed request for Waiver of Requirements.

RESPONSIBLE STAFF/CONTACT INFORMATION:

Alivia Hoodjer, Assistant Planner , ahoodjer@grimesiowa.gov

Prepared by: Alivia Hoodjer, Assistant Planner

Return to: Alivia Hoodjer, Assistant Planner

March 27, 2026

Alivia Hoodjer, Assistant Planner
City of Grimes, 410 SE Main Street, Suite 102, Grimes, IA 50111
(515) 220-8822

RE: Proposed Retail Store for Goodwill of Central Iowa, 351 SE Gateway Circle, Grimes, Iowa 50111

To Whom it May Concern,

We respectfully submit this request for relief from the zoning ordinance requirement prohibiting dock doors from facing a public right-of-way per section 12-11-1 #27 of the District Overlay section of the Grimes Zoning Regulations, regarding Waivers of Requirements. This request is based on site-specific constraints related to circulation safety and existing topography. We believe this request is consistent with the intent of the ordinance and satisfies the applicable approval criteria for modifications where strict compliance results in practical difficulties.

The subject property is bounded by public rights-of-way along Gateway Drive to the west and Highway 141 to the east. Strict application of the ordinance would limit dock door placement to the north or south building elevations. Given the configuration of the site and the operational needs of the proposed use, this restriction creates a practical difficulty that is not self-imposed and limits the ability to develop the site in a safe and efficient manner.

The facility is designed to accommodate both public donation drop-off and commercial loading functions within a common service area. Locating dock operations on the north or south elevations would require donor vehicles to circulate through or in close proximity to truck loading and maneuvering areas. This condition introduces conflicts between passenger vehicles and service vehicles, resulting in avoidable safety concerns and reduced site functionality. The proposed alternative provides improved separation of traffic types, enhances internal circulation, and represents a safer and more efficient design solution.

In addition, the topographic conditions of the site and the vertical alignment of Highway 141 diminish the effectiveness of the ordinance in achieving its intended purpose of limiting visibility of service functions from the public right-of-way. The adjacent roadway is elevated approximately 20 to 30 feet above the site, resulting in direct, downward views toward the property. Due to this elevation differential (approx 20-30 feet) and the angle of approach, building elevations oriented to the north and south are more readily visible to motorists than those perpendicular to the direction of travel. As such, strict compliance with the ordinance would not materially advance its intent and may, in fact, result in a less effective outcome from a visual screening standpoint. We believe it will be more effective to screen a dock facing east from the north and south sides in order to limit the view.

The requested relief will not alter the essential character of the surrounding area, impair adequate light or air, or be detrimental to the public health, safety, or welfare. Rather, it allows for a site layout that better responds to existing conditions while maintaining compatibility with adjacent development and the overall corridor.

For these reasons, the requested modification is consistent with the spirit and intent of the zoning ordinance, represents the minimum relief necessary to address the identified constraints, and will not result in any substantial detriment to the public good. We respectfully request that the Planning and Zoning Commission approve this appeal.

Sincerely,



Jeff Rains, Architect
jeff@rainsarch.com

12-11-1 Highway 141 Mixed Use Development Corridor District:

1. Statement of Intent. It is the intent of the City of Grimes that the permitted land uses for residential, business, commercial and light industrial development to be encouraged for areas of the community defined in Section 12-11-1(7) will be known as the Highway 141 Mixed Use Development Corridor District. The Highway 141 Mixed Use Development Corridor District provides for developing mixed uses along the Highway 141 transportation corridor. The Highway 141 Mixed Use Development Corridor District offers flexibility, allowing selected permitted uses to be integrated into a unified plan and shall enable the City of Grimes the opportunity to maintain its sense of community. The Highway 141 Mixed Use Development Corridor District is intended to:
 - A. Promote and permit flexibility that will encourage a more creative and imaginative approach in development and result in a more efficient, aesthetic, desirable and economic use of the land, while maintaining density and intensity of use consistent with the adopted Comprehensive Land Use Plan.
 - B. Provide minimal effect upon adjacent properties and existing development. To this end, the Planning and Zoning Commission may make appropriate requirements for fulfillment.
 - C. Promote development that can be conveniently, efficiently, and economically served by existing municipal utilities and services or by their logical extension.
 - D. Promote flexibility in design, placement of buildings, use of open space, pedestrian and vehicular circulation facilities, and off-street parking areas in a manner that will best utilize the potential of sites characterized by special features of geography, geology, topography, size or shape.
 - E. Provide, where it is shown to be in the public interest, for the preservation of historical features and such natural features as streams, drainage ways, flood plains, ponds/lakes, topography, unique areas of vegetation, stands of trees and other similar natural assets.
 - F. Provide for the enhancement of the natural setting through careful and sensitive placement of man-made facilities and plant materials.

Developers shall be encouraged to incorporate waterscapes, fountains and other architectural features with landscaping that add to aesthetics and visual attraction of the area. Developers shall also be encouraged to use natural instead of man-made materials in construction and developing aesthetic features to a site.

2. Abrogation and Greater Restrictions. It is not the intention by this Ordinance to repeal, abrogate, annul, impair, or interfere with any existing easements, covenants, deed restrictions, agreements, or ordinances previously adopted or issued pursuant to law. However, in the Highway 141 Mixed Use Corridor District, wherever this Ordinance imposes greater restrictions, the provisions of this Ordinance shall govern.
3. Interpretation of Standards. In their interpretation and application, the provisions outlined in this Ordinance shall be interpreted and applied as minimum requirements. Where this Ordinance imposes a greater restriction than is imposed or required by other provisions of law or by other rules or regulations or ordinances, the provisions of this Ordinance shall control. This Ordinance shall not be deemed a limitation or repeal of any other power granted by the Code of Iowa.
4. Validity. If a section, clause, provision, or portion of this Ordinance is declared by a court of competent jurisdiction to be invalid or unconstitutional, that decision shall not affect the validity of this Ordinance as a whole or any part thereof other than the part so declared to be invalid.
5. Title. This Ordinance shall be known as, referred to, or cited as the "Highway 141 Mixed Use Development Corridor District" of the City of Grimes, Iowa.
6. Effective Date. This Ordinance shall be effective after adoption and publication by the Grimes City Council as required by Chapter 414, Code of Iowa, 1993.
7. Mixed Permitted Uses. Permitted uses allowed in the following zoning districts may be combined to create a unified development within the Highway 141 Mixed Use Development Corridor District, provided that all other City codes are met:

- A. General and Highway Service Commercial District (C-1, C-2)
- B. Planned Commercial Development District (C-3)
- C. Limited Industrial District (M-1)
- D. Commercial and Limited Light Industrial District (M-1A)
- E. Single-Family Dwelling District (R-1)
- F. Single- and Two-Family Dwelling District (R-2)
- G. Multiple-Family Dwelling District (R-3)

In Zone 1, non-permitted uses in the 141 Mixed Use Development Corridor District include any use governed by M-2, M-3 and A-1 zoning. In Zone 2, non-permitted uses include any use governed by M-2, M-3 and A-1 zoning. Accessory buildings or accessory uses are not allowed in either Zone unless accompanied by a principal building. This excludes stormwater detention facilities.

The Corridor consists of two zones. Zone 1 includes all property within the Grimes City limits and within six hundred (600) feet to the East or West of the Highway 141 right-of-way. In addition, the entire portion of any lot that is located in part in Zone 1 is included in Zone 1. Zone 2 includes all property not included in Zone 1 which is located six hundred (600) feet to one thousand two hundred (1,200) feet to the East or West of the Highway 141 right-of-way. In addition, Zone 2 includes the entire portion of any lot that is located in part in Zone 2 and located in part more than one thousand two hundred (1,200) feet from the Highway 141 right-of-way.

The Corridor shall not include the Park View West Mobile Home Park as long as it continues to be used as a mobile home park, and this exemption is limited to the following legally described area:

The Southwest Quarter of the Northwest Quarter and the Northwest Quarter of Section 9, Township 79 North, Range 25 West of the 5th P.M., less road and street, (subject to Easements of Record) all now included in and forming a part of the City of Grimes, Polk County, Iowa. By survey, 65.86 acres.

- 8. Site Plan Review. Site plan review for uses in the Highway 141 Mixed Use Development Corridor shall be as specified in Section 12-17-1 of the Zoning Ordinance as adopted by the City of Grimes. Prior to the submission of the site plan within the Highway 141 Mixed Use Development Corridor District, a pre-application conference is recommended with the City Administrator, Zoning Administrator and City Engineer.
- 9. Height Regulations. The maximum height for any building or structure in the Highway 141 Mixed Use Development Corridor District is ninety (90) feet. Development of the property shall be in a cohesive and uniform manner creating a campus-like setting with all other buildings and the overall site as a single or unified development.
- 10. Special Requirements for Large Buildings. Supporting documentation must be submitted to the Planning and Zoning Commission for construction approval for any building with a height of forty-five (45) feet to ninety (90) feet. Supporting documentation must be submitted to the Zoning Administrator, City Engineer and City Administrator two (2) weeks prior to the presentation date to Planning and Zoning Commission. The supporting material should include a comprehensive impact statement to the effect that the project will have on the surrounding area, increased traffic pattern work-up and increased sewer and water demands from the larger structure. It must also include detailed plans showing how the added height would aesthetically work in with the rest of the development park theme and a completion layout may be required. Finally, that supporting material must set forth the types of businesses that will be located in the immediate vicinity of the proposed construction, the type of business that is proposed for the business site, and a showing of why the proposed business is consistent with businesses already located in the immediate vicinity.
- 11. Graphic Required. The applicant must also include graphic renderings that illustrate the proposed development. Copies shall also be submitted two (2) weeks prior to the presentation date to all appropriate City designees. These rendered graphic illustrations shall be used to ensure the approved appearance of the project is completed and maintained.

12. Setback Requirements. The principal building shall be set back a minimum of one hundred (100) feet from the adjacent Highway 141 right-of-way. Buildings shall be setback a minimum of twenty-five (25) feet from any public street right-of-way or public street easement. Setback requirements increase if a height variance is granted by Board of Adjustment. Structures greater than forty-five (45) feet in height require one hundred (100) foot setbacks from any public street right-of-way, public street easement, or parcel boundary.
13. Site Area Requirements. The minimum lot size in Zone 1 and Zone 2 of the Highway 141 Mixed Use Development Corridor District shall be one (1) acre.
14. Off-street Parking and Loading Requirements. Parking lots should be effectively landscaped with trees and shrubs to reduce the visual impact of glare from headlights and parking lot lights and the view from public right-of-way and adjoining properties.
 - A. The parking space requirements listed in Sections [12-15-4](#) and [12-15-5](#) Off-Street Parking, Circulation, and Loading regulations in the City of Grimes Zoning Ordinance shall be incorporated.
 - B. Any additional parking spaces shall be oriented so that no vehicle is required to back directly into a street right-of-way.
 - C. All exterior parking light structures shall be designed in conjunction with the overall architectural theme of the project.
 - D. Required parking spaces shall have a minimum size of nine (9) feet wide by eighteen (18) feet long exclusive of access drives, aisles or ramps. The length of parking stalls may be reduced to sixteen and one-half (16 ½) feet including wheel stops if an additional one and one-half (1 ½) feet is provided for the overhang of wheels.
15. Reserved.
16. General Landscape and Buffer Requirements. The landscaping requirements are minimum standards and applicable to areas used for the parking of one or more vehicles to traverse back and forth to parking spaces, service bays, and loading/unloading areas. The landscaping requirements shall provide effective buffering of all vehicular use areas, including service bays, from neighboring buildings and from street view and shall serve to guide traffic. Walls, fences or other artificial screens to be used as buffers shall be shown in elevation and perspective. Proposed height and structural material to be used shall be clearly indicated on the site plan.
 - A. Interior of Lot. In Zone 1, interior lot landscaping shall be provided by landscaped islands or medians within the vehicular area and shall be used to guide traffic and separate pedestrian walkways from vehicular traffic. One (1) such landscaped island or median shall be placed for every twelve (12) parking spaces and shall be a minimum of sixty (60) square feet in area. Landscaped islands may be grouped or combined to meet interior landscape requirements provided the total square footage of any single grouping does not exceed one hundred twenty (120) square feet. The use of ornamental shrubs and coniferous trees shall be encouraged. The ground cover of the island shall consist of grass and/or shrubs, excluding paving.
 - B. Perimeter of Lot Adjacent to Abutting Property. On the perimeter(s) of the lot adjacent to abutting residential property, a continuous, unbroken barrier is required for the purpose of buffering service bays, loading and unloading areas, and off-street parking or other vehicular use areas exposed to abutting property.
 1. The barrier shall be located between the common lot line and the service bay, loading or unloading area, off-street parking or other vehicular use area. The barrier shall be a minimum of six (6) feet in height consisting of a natural material such as a wood fence, an earth berm or an opaque hedge or any combination thereof. Additional buffer strip area may be required for developments greater than twenty-five thousand (25,000) square feet of building area. (Opacity. Screening shall be sight-obscuring. Fences, walls, and landscaping shall be at least seventy-five percent (75%) opaque when viewed from any angle at a point twenty-five (25) feet away from the fence, wall, or landscaping.)

2. At a minimum, one (1) tree shall be provided every fifty (50) linear feet. Such trees shall be located or grouped between the common lot line and the service bay, loading or unloading area, off-street parking or other vehicular use area. The developer is strongly encouraged to use appropriate landscaping techniques to ensure the overall character of the site is maintained.
 3. The provisions of the subsection shall not apply when the proposed perimeter abuts an existing wall or durable landscape barrier on an abutting property, provided the barrier meets all applicable standards set out in this Ordinance.
- C. Perimeter of Lots Adjacent to Public Right-of-Way. On the perimeter(s) of the lot adjacent to public rights-of-way, a strip of land of at least ten (10) feet in depth located between the right-of-way and the off-street parking or other vehicular use area shall be landscaped to include one (1) tree for every fifty (50) feet or fraction thereof. Such trees shall be located between the abutting right-of-way and the off-street parking or other vehicular use area and shall be planted singularly or grouped in a planting area of at least twenty-five (25) square feet. In addition, a hedge, wall, earth berm, or other durable landscape barrier a minimum of three (3) feet in height shall be placed along the perimeter of such landscape strip. If said barrier consists of plant-like material, one (1) shrub shall be planted every four (4) feet and abutting the barrier. The remainder of the required landscape strip shall be planted with grass, ground cover or other landscape material, exclusive of paving.
- D. Development Within the Highway 141 Mixed Use Development Corridor District. The different land uses within the Highway 141 Mixed Use Development Corridor District shall be landscaped and buffered appropriately and in general compliance with the landscape and buffer standards set forth in this section. It is also recognized that it is possible to realize numerous beneficial effects of landscaping including the following:
1. Landscaping can minimize demands on the City storm sewer system by preserving natural drainage.
 2. The improvement of air and water quality is achieved through such natural processes as photosynthesis and mineral uptake. The use of trees and other plants reduces erosion by the binding of soil particles with their roots, thus holding the soil together against the effects of wind and water. Vegetation reduces and/or reverses air, noise, heat and chemical pollution through the biological filtering capacities of trees and other vegetation.
 3. Landscaping reduces hot air temperatures caused by paved surfaces and automobiles through the process of transpiration associated with green material. Vegetation also helps promote energy conservation through the creation of shade, reducing heat gain in, or on, buildings and paved areas.
 4. Landscaping provides visual buffering and beautifies the appearance of setback and parking areas within the City. The use of landscaping also enhances the safety of parking lots by guiding the circulation of cars and people and by insuring that the driver's vision is unobstructed. Preservation of landscaping protects, preserves and increases the value of property. The use of landscaping helps create natural habitat that supports eco-tourism.
- E. Visual Clearance. To insure landscaped areas do not constitute a driving hazard, safety triangle setback requirements are as follows:
1. At access ways the sight triangle shall be formed by measuring ten (10) feet along the intersection of each side of the access way and the public right-of-way line and connecting these two points.
 2. At street intersections the sight triangle shall be formed by measuring thirty-five (35) feet along curb lines and connecting these points.
- F. Installation of Landscape. All landscaping shall be installed in an appropriate manner in order to maintain the health and quality of plant material. No certificate of use shall be authorized unless all landscaping requirements are met.
- G. Protection of Landscaped Areas. The placement of barrier curbs or wheel stops is required to protect all landscaped areas from vehicular damage.

- H. Existing Plant Material. Existing, healthy plant material on site may be used as a credit towards fulfilling the landscaping requirements specified in this section.
- I. Landscape Vegetation Standards. Landscape vegetation shall consist of species compatible with conditions in Central Iowa and shall meet the following standards. Landscaping to be used for screening purposes shall be illustrated in elevation and perspective as well as plan with the size and exact names of plants, shrubs or trees to be planted clearly indicated. On all site plans, the following requirements shall be met:
1. Minimum requirements: Two (2) trees or two (2) trees per one thousand (1,000) square feet of required open space, fifty percent (50%) two (2) inch caliper and the remaining eight (8) feet to ten (10) feet in height and one and one-half (1 ½) inch caliper. The trees shall be balled or burlap stock. The minimum height for evergreens shall be six (6) feet and may be counted as two (2) inch caliper for requirements. The trees must live for at least twelve (12) months after planting or be replaced by the landowner.
 2. Minimum requirements: One (1) shrub shall be planted for every five hundred (500) square feet of open space, but no less than three (3) shrubs per lot.
 3. Landscape around buildings: Landscaping around buildings shall consist of a variety of plants, shrubs and flowers. Plants shall be placed along building faces that front public rights-of-way and near primary entrances into the building at a minimum spacing of one (1) foot apart once the plant is fully matured.
 4. Landscaping Plan: A landscaping plan is to be submitted for approval as part of final site plan submittal. Landscaping plan is to show the following information:
 - a. Location of trees and shrubs.
 - b. Size and species of trees and shrubs.
 - c. Percentage of each size of tree.
 - d. Type of ground cover and form of maintenance.
 5. Approval of landscaping in-place is to be requested by the developer at the time occupancy permit is requested. Any changes or deviation from the approved site plan landscape design shall be approved by the Zoning Administrator prior to installation. Landscaping materials shall be planted as each phase of a site is developed. Should completion of landscaping be delayed due to season of the year, a temporary occupancy permit may be issued if the developer posts a bond in the amount of the landscaping not completed. At the developer's option and at the time of site plan filing, he/she may submit a list of alternate or substitute species from the permitted or established list to be used should the preferred material not be available when needed and required.
 6. Ground cover plants shall form a solid mat or cover over the ground within a twelve (12) month period. Sod shall be employed when grass is used as a ground cover in Zone 1. In Zone 2, the non-street portion of the public right-of-way and the front setback shall be sodded; all other areas may be seeded with Planning and Zoning Commission and Council approval. Non-living material shall not be used as the primary ground cover device, but may be used in conjunction with living plant material to develop an ornamental landscaping effect. Non-living material such as rocks, pebbles, sand, wood mulch or wood chips shall be placed at a minimum depth of three (3) inches and shall be used in conjunction with an appropriate landscape weed control fabric. Native seeding, in lieu of sod, may be utilized in stormwater management areas as approved by Staff.
17. Public Service Infrastructure. Adequate facilities shall be provided to meet the needs of the proposed mixed-use development with respect to: drainage of surface waters, detention of storm surface waters, including storm sewers, gutters, sanitary sewerage; flood protection and levees when appropriate; underground utilities; requirements set out in the Grimes Zoning Ordinance and Subdivision Regulations; and any other provisions for public services necessary as determined by the City. No above ground electrical communication equipment may be located in any setback from a public street, and all above ground electrical and communications equipment must be screened from view by the general public by an opaque screen constructed of either wood or brick.

18. Building Restrictions, Easements and Covenants. The developer or property owner shall with the approval of the City Council of Grimes adopt building restrictions, easements and covenants pertaining to each parcel developed where the developer and the City deem appropriate.
19. Development Standards. Each parcel shall be developed based upon a single Master Plan or Site Plan with buildings compatible in design and use of materials. The Master Plan shall contain, but not be limited to, parts such as an architectural project theme plan, landscape plan, master signage plan, water management plan, pedestrian and vehicular traffic plan and parking plan. All new developments shall be built in a cohesive and uniform manner creating a campus-like setting with all buildings and the overall site developed as a single or unified development. Any development within Zone 1 shall have a minimum open green space of twenty percent (20%). Any development in Zone 2 shall have a minimum open green space of fifteen percent (15%).
20. Transportation Networks. Adequate ingress, egress and internal circulation shall be provided to accommodate vehicular and pedestrian traffic, which includes walks, access ways, service bays and access ways, and off-street loading areas.
 - A. All areas subject to vehicular traffic, including access ways, service bays and drives, and parking, storage, loading and unloading areas, shall be hard surfaced with either concrete or asphalt.
 - B. Pedestrian walkways and vehicular traffic shall be separated with landscaped space. The design and/or location of pedestrian walkways shall be determined at the platting stage with a Pedestrian Circulation Plan being reviewed and approved as a component of the master site plan review.
 - C. The linking and coordination of parking areas between developments in the Highway 141 Mixed Use Development Corridor District shall be encouraged to reduce the number of turns onto and off of surrounding streets and reduce potential traffic conflicts.
 - D. Whenever possible the sharing and coordination of parking areas between developments in the Highway 141 Mixed Use Development Corridor District shall be encouraged to control the number of curb cuts and reduce potential traffic conflicts in the transportation network of the site and enhance the site as it relates to the surrounding developments.
21. Service Bays, Drive Areas and Outdoor Storage Areas. The service bay drives, trash receptacles, and dumpster areas located in Zone 1 shall not face Highway 141 and shall not face abutting residential property in either Zone 1 or Zone 2. The purpose of this is to mitigate the negative effect of such service areas, such as noise, odor, refuse, and visual pollution from residential development and for motor travelers entering the City of Grimes.
 - A. In Zone 1, all service bays, loading and unloading areas must be screened by an opaque fence of a height sufficient to adequately screen the bay or area from Highway 141 and consisting of wood or brick. In Zone 1, no outdoor storage is allowed, excluding garden centers. In Zone 1 and Zone 2, no service bays, loading or unloading areas, trash receptacles and dumpsters may be located in or face any setback from a public right-of-way. In cases where a substantial green space exists a landscape/berm screen can be provided, which must provide a seventy-five percent (75%) opaque view within eighteen (18) months. The majority of the landscape material shall be coniferous to provide a year-round screen.
 - B. Service bays and drives, and trash receptacles and dumpster areas shall be oriented in such a way that, in the process of loading or unloading, no vehicle will block the passage of other vehicles on the service drive or extend into any other public or private street.
 - C. Outdoor storage areas in Zone 2 must be fully screened by an opaque fence of a height sufficient to adequately screen the bay or area from adjacent properties and public rights-of-way consisting of wood or brick. (Opacity. Screening shall be sight-obscuring. Fences, walls, and landscaping shall be at least seventy-five percent (75%) opaque when viewed from any angle at a point twenty-five (25) feet away from the fence, wall, or landscaping.)
22. Curbs and Curb Cuts. The number of curb cuts for any particular development shall be minimized to the greatest extent possible to provide for controlled ingress and egress within the Highway 141 Mixed Use Development Corridor District. All curbs shall be vertical curbs. No roll over curbs shall be permitted in the

Highway 141 Mixed Use Development Corridor District. Curb cuts shall be in accordance with the established City standards.

23. Lighting. The maximum height for any light fixture is thirty-five (35) feet, except on the side or sides of a development abutting a residential use, in which case the maximum height of twenty-five (25) feet shall be allowed.
- A. All light structures shall be shaded or hooded and oriented inward so as to prevent intrusion into surrounding areas. All buildings in Zone 1 and Zone 2 that face public right-of-way shall be uplit.
 - B. All lighting fixtures must be drawn to scale and submitted for review along with the project plans to allow for a uniform lighting plan in the area.
 - C. All buildings in Zone 1 and Zone 2 shall incorporate uplighting for building faces adjacent to public right of way. Uplighting of landscaping is encouraged.
24. Architectural Design and Treatment Of Buildings. Any architectural design and building treatment must be approved by the City Council upon recommendation of the Planning and Zoning Commission. Illustrations of the proposed building must be submitted to the Planning and Zoning Commission and to the City Council which represents the physical appearance of the building. In considering the architectural design and treatment of the proposed building, the Planning and Zoning Commission and the City Council shall determine if the proposed structure meets the external material requirements for the Zone where it is located and is consistent with the intent of this section to create an attractive appearance of construction in the Highway 141 Mixed Use Development Corridor District. The Grimes Visual Design Standards Report is incorporated by reference to complement the standards and requirements of Section [12-11-1](#) Highway 141 Mixed Use Development Corridor District, and are not used to reinforce the provisions of the ordinance. Section [12-11-1](#) may be amended from time to time and shall govern if there are conflicts.

Definitions. All words and phrases used in this Ordinance shall have the meanings set forth in this Ordinance. Words and phrases not defined in this Ordinance but defined in the Zoning Ordinance of the City of Grimes shall be given their common, ordinary meaning, unless the context clearly requires otherwise.

A. Architecture Standards By Zone. With regard to the Zone where the building will be located, the proposed structure must meet the following requirements:

1. Zone 1 Architecture Standards.

- a. All buildings located in Zone 1 must be constructed so that all of the walls of the building shall have a primary covering. The primary material shall constitute at least seventy-five percent (75%) of the wall area, excluding glass. The primary exterior material shall consist of a combination of earthtone colored brick, architectural concrete panels, textured concrete block, marble or stone panels. The standard shall apply to all sides of any building. The remaining exterior material shall be considered as building trim. For the purposes of this section, trim is defined as an ornamental design feature, that when removed does not significantly alter the appearance of the building. It would commonly consist of building elements like moldings, cornices, parapet, frieze, sills, lintels, stringcourse, quoining, and ledgement. The maximum amount of trim on the wall area, excluding glass, shall not exceed twenty-five percent (25%). No wood, masonite, asphaltic exterior wall or roof material, aluminum or steel siding, non-architectural sheet metal, non-textured concrete block, stucco, vinyl, E.I.F.S. (Exterior Insulation and Finish Systems) or other similar materials shall constitute a portion of any building, except as trim.
- b. In addition, the building mass or façade standards listed below are intended to avoid large, undifferentiated wall surfaces and shall apply to all building elements, which are visible from neighboring properties or the public right-of-way:
 - i. No blank wall area or façade shall exceed thirty (30) feet in horizontal or vertical direction.
 - ii. A minimum of five (5) of the treatments listed below, which are proportionate to the building façade, shall be utilized to reduce the perceived scale of a building.
 - 1. Reveals.

2. Popouts.
 3. Offsets measuring at least four (4) feet in depth.
 4. A vertical architectural treatment a minimum of twelve (12) inches in width.
 5. Color, texture or material change including, but not limited to, brick or stone.
 6. Architectural banding.
 7. Planters.
 8. Awnings.
 9. Decorative parapet arched, gabled, stepped, etc. or cornice treatments.
 10. Covered walkways.
 11. Variations in roof forms.
 12. Deep-set windows with mullions or decorative glazing.
 13. Columns or pillars.
 14. Marble or tile accents.
 15. Variation in roof height.
 16. Other façade treatments as agreed upon by the Zoning Administrator or designee thereof.
- c. All building walls facing any public R.O.W shall consist of a minimum of twenty percent (20%) of non-reflective glass or glaze.
 - d. Precast walls will be allowed with the following conditions:
 - i. All exterior walls of a building shall be articulated with a consistent style and materials. In no case shall any façade consist of unarticulated blank walls.
 - ii. Each wall facing the public R.O.W. shall consist of thirty percent (30%) non-reflective glass or glaze.
 - iii. All precast shall be earthtone colored concrete or earthtone painted concrete.
 - iv. All precast shall have decorative reveals joints.
 - e. If the underlying building has metal or concrete form walls, the metal or concrete portion of the external walls must be completely covered with the materials listed in this paragraph, but this requirement may be waived in all or in part by application for approval of an alternative design to the Planning and Zoning Commission and the City Council if it is demonstrated by the property owner that:
 - i. Covering the metal or concrete building with appropriate materials for all or part of the building side is inconsistent or unnecessary based upon the proposed use of the structure, the appearance of other buildings in the immediate vicinity, and the attractiveness of the proposed alternative design.
 - ii. Visibility of the side of the building to the general public will be limited by terrain, thick vegetation, or by the placement of current or proposed building structures.
 - f. In Zone 1, all heating, ventilation, and air conditioning mechanical units shall be screened from public view by an opaque fence consisting of wood or brick.
2. Zone 2 Architecture Standards.
 - a. All buildings located in Zone 2 must be constructed so that the front building face and a minimum of ten (10) feet of each side wall extending from the front building face or the front building face of buildings on adjacent properties has a primary covering. The primary material shall constitute at least seventy-five percent (75%) of the wall area, excluding glass. The primary exterior material shall consist of a combination of earthtone-colored brick, architectural concrete panels, textured concrete block, marble or stone panels. The remaining exterior material shall be considered as building trim. For the purposes of this section, trim is defined as an ornamental design feature, that when removed does not significantly alter the appearance

- of the building. It would commonly consist of building elements like moldings, cornices, parapet, frieze, sills, lintels, stringcourse, quoining, and ledgement. The maximum amount of trim on the wall area, excluding glass, shall not exceed twenty-five percent (25%). No wood, masonite, asphaltic exterior wall or roof material, aluminum or steel siding, non-architectural sheet metal, non-textured concrete block, stucco, vinyl, EIFS (Exterior Insulation and Finish Systems) or other similar materials shall constitute a portion of any building, except as trim.
- b. In addition, the building mass or façade standards listed below are intended to avoid large, undifferentiated wall surfaces and shall apply to all building elements, which are visible from neighboring properties or the public right-of-way:
- i. No blank wall area or façade shall exceed thirty (30) feet in horizontal or vertical direction.
 - ii. A minimum of five (5) of the treatments listed below, which are proportionate to the building façade, shall be utilized to reduce the perceived scale of a building.
 1. Reveals.
 2. Popouts.
 3. Offsets measuring at least four (4) feet in depth.
 4. A vertical architectural treatment a minimum of twelve (12) inches in width.
 5. Color, texture or material change including, but not limited to, brick or stone.
 6. Architectural banding.
 7. Planters.
 8. Awnings.
 9. Decorative parapet arched, gabled, stepped, etc. or cornice treatments.
 10. Covered walkways.
 11. Variations in roof forms.
 12. Deep-set windows with mullions or decorative glazing.
 13. Columns or pillars.
 14. Marble or tile accents.
 15. Variation in roof height.
 16. Other façade treatments as agreed upon by the Zoning Administrator or designee thereof.
- c. All building walls facing any public R.O.W. shall consist of a minimum of twenty percent (20%) of non-reflective glass or glaze.
- d. Precast walls will be allowed with the following conditions:
- i. All exterior walls of a building shall be articulated with a consistent style and materials. In no case shall any façade consist of unarticulated blank walls.
 - ii. Each wall facing the public R.O.W. shall consist of thirty percent (30%) non-reflective glass or glaze.
 - iii. All precast shall be earthtone-colored concrete or earthtone-painted concrete.
 - iv. All precast shall have decorative reveals joints.
- e. If the underlying building is constructed using either metal or concrete form walls, the metal or concrete portion of the walls on the front of the building face must be totally covered with the materials listed in this paragraph. The front building face for the purposes of Zone 2 shall be that side or sides of the building which face the street and are located at the front end of the building at or near the front setback. The alternative design may be approved by the Planning and Zoning Commission and the City Council if it is demonstrated by the property owner that:
- i. Covering the metal or concrete building with appropriate materials for all or part of the building side is inconsistent or unnecessary based upon the proposed use of the structure,

the appearance of other buildings in the immediate vicinity, and the attractiveness of the proposed alternative design.

- ii. Visibility of the side of the building to the general public will be limited by terrain, thick vegetation, or by placement of current or proposed building structures.

25. Fees. Fees for development in the Highway 141 Mixed Use Development Corridor District shall be provided in accordance to the City fee schedule as adopted by resolution from time to time by City Council.

26. Signs. The general sign regulations in Chapter 12-14 of the Grimes Zoning Ordinance shall apply.

27. Waiver of Requirements. Any one or more of the requirements set forth in Section 12-11-1 may be waived after recommendation of the Planning and Zoning Commission and approval of the City Council for reasons of safety, topographic conditions, or engineering issues. No waiver shall be authorized or permitted for relief from any of the requirements of this section for reasons related primarily to the costs of compliance, aesthetic or business preferences. Any person seeking a waiver under this section shall submit a written application for the waiver. Such application shall include a detailed description of the safety, topographic condition, or engineering need.

In addition, the requirements in this section do not apply to any areas zoned R-4 (Planned Unit Development District).

GOODWILL STORE - GRIMES-IOWA SITE PLAN

SHEET INDEX:

- C0.1 COVER SHEET
- C1.1 SITE SURVEY AND REMOVALS
- C2.1 LAYOUT PLAN
- C3.1 GRADING PLAN
- C4.1 UTILITY PLAN
- C5.1 LANDSCAPE PLAN
- C5.2 LANDSCAPE DETAILS
- C6.1 DETAILS
- C7.1 EROSION CONTROL PLAN

PROPERTY DESCRIPTION:

(WARRANTY DEED BOOK 1812, PAGE 256)
PARCEL "B" OF THE PLAT OF SURVEY FILED IN THE OFFICE OF THE RECORDER OF THE POLK COUNTY, IOWA ON MAY 8, 2000, AND RECORDED IN BOOK 8489, PAGE 111, BEING A PART OF LOT 3 AND ALL OF LOT 4 IN GRIMES CROSSING PLAT 3, AN OFFICIAL PLAT, NOW INCLUDED IN AND FORMING A PART OF THE CITY OF THE CITY OF GRIMES, POLK COUNTY, IOWA

SUBJECT TO AND TOGETHER WITH ANY AND ALL EASEMENTS AND RESTRICTIONS OF RECORD.

AREA:

158,813 SQUARE FEET - 3.64 ACRES

ADDRESS:

361 SE GATEWAY CIRCLE
GRIMES, IOWA 50111

OWNER:

GOODWILL INDUSTRIES OF CENTRAL IOWA
5355 NW 85TH STREET
JOHNSTON, IA 50131

ARCHITECT/PREPARED FOR:

RAINS ARCHITECTURE
ATTN: JEFF RAINS
8797 NW 54TH AVE SUITE 100
JOHNSTON, IA 50131
515-314-8696

ENGINEER:

BISHOP ENGINEERING
ATTN: BRAD KUEHL
3501 104TH STREET
URBANDALE, IA 50322
515-276-0467

PARKING COUNT:

NO ONSITE PARKING AT THE TIME OF SURVEY.

ZONING:

INFORMATION OBTAINED FROM CITY MAPS
C-2 (GENERAL AND HIGHWAY SERVICE COMMERCIAL)
WITHIN ZONE 1 OF THE HIGHWAY 141 MIXED USE DEVELOPMENT CORRIDOR DISTRICT

FUTURE LAND USE: GENERAL COMMERCIAL

SETBACKS:

FRONT YARD: 25 FEET
SIDE YARD: NONE EXCEPT ADJACENT TO R
REAR YARD: 25 FEET, HOWEVER FOR EVERY
FOOT THE FRONT YARD IS INCREASED OVER 25 FEET, THE REAR
YARD MAY BE DECREASED IN DIRECT PROPORTION THERETO,
BUT IN NO CASE SHALL REAR YARD BE LESS THAN 10 FEET

FOR AN OFFICIAL ZONING REPORT PLEASE CALL CITY OF GRIMES AT 515-986-4050

IMPERVIOUS AREA:

SITE AREA = 158,813 SF (3.64 AC)
EXISTING IMPERVIOUS = 0 SF
PROPOSED IMPERVIOUS = 65,690 SF (41%)
BUILDING = 15,980 SF
PAVEMENT = 45,920 SF
SIDEWALK = 3,790 SF

OPEN SPACE REQUIRED (20%) = 31,763 SF (20%)
OPEN SPACE PROVIDED = 93,123 SF (59%)

DISTURBED AREA = 133,975 SF (3.08 AC)

PARKING:

REQUIRED PARKING: = 50 SPACES
RETAIL
4 SPACES PER 1,000 SF (8,000 SF) = 32 SPACES
WAREHOUSE/COMMON/FLEX
2 SPACES PER 1,000 SF (7,980 SF) = 16 SPACES
ADA SPACES = 2 SPACES

PROPOSED PARKING SPACES = 55 SPACES (INC 3 ADA)

ESTIMATED CONSTRUCTION SCHEDULE:

BEGIN CONSTRUCTION MAY 2026
END CONSTRUCTION AUGUST 2027



UTILITY NOTE:

THE LOCATION OF THE UTILITIES INDICATED ON THE PLANS HAVE BEEN TAKEN FROM THE FIELD SURVEY, EXISTING PUBLIC RECORDS, AND PLANS PROVIDED BY OTHERS. SURFACE UTILITY LOCATIONS HAVE BEEN FIELD LOCATED BY BISHOP ENGINEERING, UNLESS OTHERWISE NOTED. ALL UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE LOCATIONS ONLY. BISHOP ENGINEERING DOES NOT GUARANTEE THE UNDERGROUND LOCATION OF ANY UTILITIES SHOWN. IT SHALL BE THE DUTY OF THE CONTRACTOR TO DETERMINE THE LOCATION AND DEPTH OF ANY UNDERGROUND UTILITIES SHOWN AND IF ANY ADDITIONAL UTILITIES, OTHER THAN THOSE SHOWN ON THE PLANS, MAY BE PRESENT. A REQUEST WAS MADE TO IOWA ONE CALL FOR UTILITY PROVIDERS TO VERIFY, LOCATE, AND MARK THEIR UTILITIES IN THE FIELD.

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GENERAL NOTES:

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH SUDAS STANDARD SPECIFICATIONS AND ANY AND ALL CITY/COUNTY SUPPLEMENTAL SPECIFICATIONS. THE CITY OF GRIMES MUST BE NOTIFIED BY ALL CONTRACTORS 48 HOURS PRIOR TO COMMENCING WORK.
- IN EVENT OF A DISCREPANCY BETWEEN THE QUANTITY ESTIMATES AND THE DETAILED PLANS, THE DETAILED PLANS SHALL GOVERN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL UTILITIES. ANY DAMAGE TO SAID UTILITIES SHALL BE REPAIRED AT THE CONTRACTORS EXPENSE.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CURRENT O.S.H.A. CODES AND STANDARDS. NOTHING INDICATED ON THESE PLANS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH THE APPROPRIATE SAFETY REGULATIONS.
- ALL NECESSARY CONSTRUCTION SIGNS, BARRICADES AND OTHER TRAFFIC CONTROL DEVICES REQUIRED DURING CONSTRUCTION WILL BE FURNISHED BY THE CONTRACTOR. SIGNS, BARRICADES AND OTHER TRAFFIC CONTROL DEVICES MUST BE IN CONFORMANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS."
- BISHOP ENGINEERING SHALL NOT BE LIABLE FOR ANY INJURIES THAT HAPPEN ON SITE. THIS SHALL INCLUDE BUT NOT BE LIMITED TO TRENCH COLLAPSES FROM VARYING SOIL CONDITIONS OR INJURIES CAUSED BY UNDERGROUND UTILITIES INCLUDING UTILITIES THAT ARE NOT SHOWN ON PLAN.
- THE CONTRACTOR IS LIABLE FOR ALL DAMAGES TO PUBLIC OR PRIVATE PROPERTY CAUSED BY THEIR ACTION OR INACTION IN PROVIDING FOR STORM WATER FLOW DURING CONSTRUCTION. DO NOT RESTRICT FLOWS IN EXISTING DRAINAGE CHANNELS, STORM SEWER, OR FACILITIES.
- THE CONTRACTOR SHALL SUBMIT TO THE ENGINEER A SCHEDULE FOR PERFORMANCE OF WORK ITEMS. THIS SCHEDULE SHALL BE PROVIDED BY THE CONTRACTOR AT THE PROJECT PRECONSTRUCTION CONFERENCE. NO WORK SHALL BEGIN UNTIL A SCHEDULE HAS BEEN SUBMITTED AND ACCEPTED. THE CONTRACTOR SHALL THEN PERFORM WORK TO CONFORM TO THE ACCEPTED SCHEDULE.
- LABORATORY TESTS SHALL BE PERFORMED BY THE OWNER UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL PROVIDE SAMPLES OF MATERIAL REQUIRED FOR LABORATORY TESTS AND TESTING IN ACCORDANCE WITH THE URBAN STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS.
- SOIL IMPORT OR EXPORT ON THIS PROJECT SHALL BE CONSIDERED INCIDENTAL AND WILL NOT BE MEASURED OR PAID FOR SEPARATELY.
- THE CONTRACTOR SHALL PROTECT ALL STRUCTURES NOT SHOWN AS REMOVALS ON THE PLANS.
- THE CONTRACTOR SHALL OBTAIN ANY AND ALL NECESSARY PERMITS PRIOR TO ANY CONSTRUCTION. CONTRACTOR SHALL WORK WITH OWNER OR OWNERS REPRESENTATIVE ON ALL REQUIRED STORM WATER DISCHARGE PERMITS FROM THE IOWA DEPARTMENT OF NATURAL RESOURCES AND THE CITY OF GRIMES.
- GRADING AND EROSION CONTROL SHALL BE DONE IN ACCORDANCE WITH THE APPROVED GRADING PLAN, SWPPP, NPDES DOCUMENTS, AND IOWA DEPARTMENT OF NATURAL RESOURCES REQUIREMENTS.
- THE CONTRACTOR SHALL PICK UP ANY DEBRIS SPILLED ONTO THE ADJACENT RIGHT OF WAY OR ABUTTING PROPERTIES AS THE RESULT OF CONSTRUCTION, AT THE END OF EACH WORK DAY.
- THE CONTRACTOR IS RESPONSIBLE FOR THE PROMPT REMOVAL OF ALL MUD THAT HAS BEEN TRACKED OR WASHED UNTO ADJACENT PROPERTY OR RIGHT OF WAY UNTIL SUCH TIME THAT PERMANENT VEGETATION HAS BEEN ESTABLISHED.
- DISPOSE OF ALL EXCESS MATERIALS AND TRASH IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REQUIREMENTS. PROVIDE WASTE AREAS OR DISPOSAL SITES FOR EXCESS MATERIALS NOT DESIRABLE FOR INCORPORATION INTO THE PROJECT.
- ALL WORK WITHIN THE RIGHT-OF-WAY SHALL REQUIRE A RIGHT-OF-WAY PERMIT.

UTILITY NOTES:

- QUANTITY CALLOUTS ON PIPE LENGTHS ARE APPROXIMATE AND SHOULD BE USED FOR REFERENCE ONLY.
- THE CONTRACTOR SHALL PROVIDE AS-BUILTS OF ALL UTILITIES, INCLUDING DEPTH AND LOCATION OF ALL SERVICES.
- THE CONTRACTOR SHALL COORDINATE THE ADJUSTMENT OF ANY AND ALL EXISTING AND PROPOSED UTILITIES TO PROPOSED GRADES. EXISTING UTILITIES SHALL BE RAISED OR LOWERED IN ACCORDANCE WITH THE UTILITY OWNER REQUIREMENTS. ANY NECESSARY ADJUSTMENTS SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION.
- ACTIVE EXISTING FIELD TILES ENCOUNTERED DURING CONSTRUCTION SHALL BE REPAIRED, REROUTED, OR CONNECTED TO PUBLIC OR PRIVATE STORM SEWER TO REMAIN IN SERVICE.
- MANDREL AND PRESSURE TESTS SHALL BE REQUIRED FOR ALL PROPOSED SANITARY LINES. TELEVISIONING OF THE SANITARY SEWER SYSTEM SHALL BE COMPLETED PRIOR TO PAVING UNLESS OTHERWISE APPROVED BY JURISDICTION.

PAVING NOTES:

- THE PAVING/ GRADING CONTRACTOR SHALL BACKFILL THE PAVING SLAB AND FINE GRADE THE RIGHT OF WAY AS SOON AFTER THE PAVING AS POSSIBLE. ALL AREAS SHALL BE SODDED IN ACCORDANCE WITH CITY OF GRIMES STANDARD SPECIFICATIONS AND THE CURRENT VERSION OF SUDAS.
- SUBGRADE PREPARATION AND PAVEMENTS WILL BE CONSTRUCTED FOLLOWING RECOMMENDATIONS IN THE SOILS REPORT. APPROVED SOILS ENGINEER MUST SIGN OFF ON SUBBASE PRIOR TO ANY PAVEMENT BEING PLACED.
- SEE DETAILS FOR ALL PAVEMENT THICKNESS.
- ALL PEDESTRIAN WALKWAYS THAT UNLOAD INTO A VEHICLES TRAVELED PATH MUST HAVE A.D.A. DETECTABLE WARNING PANEL(S) AS PER A.D.A. REGULATIONS. PANEL TYPE & COLOR SHALL BE PER CITY STANDARD.
- ALL WALKS, PARKING LOTS, HANDICAP PARKING, RAMPS, ETC. SHALL COMPLY WITH ALL A.D.A. AND CITY CODES. HANDICAP PARKING SIGNAGE IS REQUIRED FOR ALL HANDICAP STALLS AND SHALL BE CONSIDERED INCIDENTAL. IN EVENT OF A DISCREPANCY BETWEEN THE PLANS AND THE A.D.A./CITY CODES THE A.D.A./CITY CODES SHALL GOVERN. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING A.D.A. CODES ARE MET.

UTILITY CONFLICT NOTES:

- UTILITY CONFLICTS MAY EXIST ACROSS THE SITE WITH NEW UTILITIES, GRADING, PAVING ETC. MOST UTILITY CONFLICTS HAVE BEEN CALLED OUT FOR CONTRACTOR CONVENIENCE.
- CONTRACTOR IS RESPONSIBLE FOR ALL UTILITY CONFLICTS THAT ARE EITHER CALLED OUT ON THE PLANS OR THAT CAN BE SEEN ON THE PLANS BETWEEN AND EXISTING UTILITY AND PROPOSED CONSTRUCTION

WETLAND NOTES:

- BISHOP ENGINEERING DOES NOT PERFORM WETLAND STUDIES OR WETLAND MITIGATION. IT IS THE OWNER'S RESPONSIBILITY TO DETERMINE IF ANY WETLANDS ARE LOCATED ON THE PROJECT SITE AND PERFORM ANY NECESSARY MITIGATION PRIOR TO THE COMMENCEMENT OF CONSTRUCTION ACTIVITIES.

SURVEY NOTES:

- SURVEY WORK WAS COMPLETED BY BISHOP ENGINEERING. SEE SITE SURVEY AS PART OF THIS SET OF PLANS FOR EXISTING SITE CONDITIONS AND BOUNDARY INFORMATION.

CITY OF GRIMES STANDARD NOTES FOR SITE PLANS:

1. GENERAL NOTES:

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CURRENT VERSION OF THE IOWA STATEWIDE URBAN DESIGN AND SPECIFICATIONS (SUDAS) FOR PUBLIC IMPROVEMENTS ON THE DATE OF APPROVAL AND THE CITY OF GRIMES SUPPLEMENTAL SPECIFICATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REVIEWING, SIGNING, AND RETURNING THE PRECONSTRUCTION PACKET TO THE DEVELOPMENT SERVICES DEPARTMENT PRIOR TO THE START OF CONSTRUCTION.
- ALL PERMITS (IDNR, NPDES, IDOT, ARMY CORP., ETC.) SHALL BE OBTAINED PRIOR TO THE START OF CONSTRUCTION.
- PROVIDE THE CITY OF GRIMES WITH RECORD DRAWINGS (AS-BUILTS) OF ALL IMPROVEMENTS AND EASEMENTS AS PER CITY COMMERCIAL AS-BUILT POLICY.
- THE RECORD DRAWINGS SHOULD INCLUDE A CERTIFIED GRADING SHEET AND AS-BUILT PLANS OF ALL STORMWATER MANAGEMENT FACILITIES ON SITE WITH A CERTIFICATION STATEMENT SIGNED BY THE DESIGN ENGINEER INDICATING THAT THE FACILITIES WERE CONSTRUCTED AS DESIGNED.
- RECORD DRAWINGS TO INCLUDE ONE ELECTRONIC FILE IN .DWG AND .PDF FILE EXTENSIONS. TYPICAL BUILDING SERVICE LAYOUT TO REFLECT THE CITY'S SERVICE ORDER FROM LEFT TO RIGHT FACING THE LOT SANITARY, WATER, SUMP. MARK THE ENDS OF SERVICES WITH A STEEL FENCE POST AND PAINT GREEN FOR SANITARY, BLUE FOR WATER, AND WHITE FOR STORM. MARK THE ENDS OF SANITARY AND SUMP WITH A 2 X 4 FROM END OF PIPE TO 2' ABOVE GRADE.
- A KNOX BOX IS REQUIRED BY THE FIRE DEPARTMENT.
- ALL SITE LIGHTING SHALL NOT SPILL ONTO ADJACENT PROPERTIES OR RIGHTS-OF-WAY.
- PROVIDE A 4-YEAR MAINTENANCE BOND FOR ALL PUBLIC IMPROVEMENTS (UTILITY, PAVING, SUBGRADE) WITH AN ITEMIZED COST BREAKDOWN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL NEWLY CONSTRUCTED PUBLIC AND PRIVATE UTILITIES ASSOCIATED WITH THE PROJECT AT THEIR EXPENSE UNTIL THE CITY ACCEPTS THE PROJECT THROUGH THE GRIMES CITY COUNCIL.

2. SANITARY SEWER NOTES:

- THE CONTRACTOR IS REQUIRED TO PLACE A TEMPORARY PLUG IN THE EXISTING DOWNSTREAM SANITARY SEWER MANHOLE PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL REMOVE THE PLUG FOLLOWING APPROVAL OF CONSTRUCTION BY THE CITY OF GRIMES.
- SANITARY GRAVITY PIPE MATERIAL SHALL BE PVC SDR 26 OR TRUSS (8" TO 15").
- SANITARY GRAVITY SERVICE PIPE MATERIAL SHALL BE PVC SDR 23.5 (4" TO 6").
- ALL SANITARY SEWER MANHOLES SHALL HAVE STEPS.
- ALL SANITARY SEWER MANHOLES CASTINGS SHALL BE SEALED WITH HEAT SHRINK SLEEVES.
- ALL SANITARY SEWER MANHOLE CASTINGS LOCATED WITHIN PAVEMENT SHALL BE TYPE B:PCC W/ADJUSTING MECHANISM.
- SANITARY SEWER CLEANING & TELEVISIONING SHALL BE COMPLETED PRIOR TO PAVING. RUN SUFFICIENT DYED WATER THROUGH PIPE PRIOR TO TELEVISIONING. PROVIDE THE VIDEO AND INSPECTION REPORT TO THE CITY ENGINEERING DIVISION.

3. WATER MAIN NOTES:

- ALL FIRE HYDRANTS SHALL BE AMERICAN FLOW CONTROL-WATEROUS PACER WB-67-250, MUELLER SUPER CENTURION 250 (3-WAY A-423), OR CLOW MEDALLION F-2545. ALL HYDRANTS SHALL HAVE THE FOLLOWING: 6" MJ SHOE, 2-1/2" HOSE NOZZLE, 4-1/2" STEAMER NOZZLE, NST THREADS, PENTAGON OPERATING NUT, CHAIN ON CAP, OPEN LEFT, 5-1/2" BURY, AND FACTORY PAINTED RED. THE MINIMUM SPOOL PIPE LENGTH FROM AUXILIARY VALVE TO HYDRANT SHOE SHALL BE 2.0'.
- ALL HYDRANTS WILL IMMEDIATELY BE COVERED WITH A BLACK PLASTIC BAG (OR EQUIVALENT) ONCE THE HYDRANT IS INSTALLED. THE CITY OF GRIMES WILL NOTIFY THE CONTRACTOR WHEN THE BAGS CAN BE REMOVED.
- A TRACER WIRE RECEPTACLE SHALL BE INSTALLED AT EACH HYDRANT, AA MANUFACTURING TRACER WIRE RECEPTACLE MODEL TW-18-2.
- ALL VALVES SHALL BE RESILIENT WEDGE GATE VALVES.
- WATER SERVICE SHALL BE 1-INCH MINIMUM TYPE K COPPER.
- THE CITY OF GRIMES SHALL DO THE FILLING OF THE WATER MAIN.
- NEW WATER MAIN SHALL BE PRESSURE TESTED AND CHLORINATED BY THE CONTRACTOR. THE BACTERIA TEST AND SUBMITTAL OF TEST TO LAB SHALL BE DONE BY THE CONTRACTOR AND RESULTS PROVIDED TO THE CITY OF GRIMES ENGINEERING DIVISION. ALL TESTS AND SAMPLING TO BE WITNESSED BY THE CITY ENGINEERING DIVISION. IF THE TEST DOES NOT PASS, THE CONTRACTOR WILL BE REQUIRED TO PAY FOR ALL THE WATER USED TO REPEAT THE TEST.
- ALL WATERMAIN FITTINGS TO BE RESTRAINED JOINT, MEGA-LUG OR APPROVED EQUAL.
- ALL DEAD-END WATER MAINS TO HAVE TEMPORARY BLOWOFF HYDRANTS.

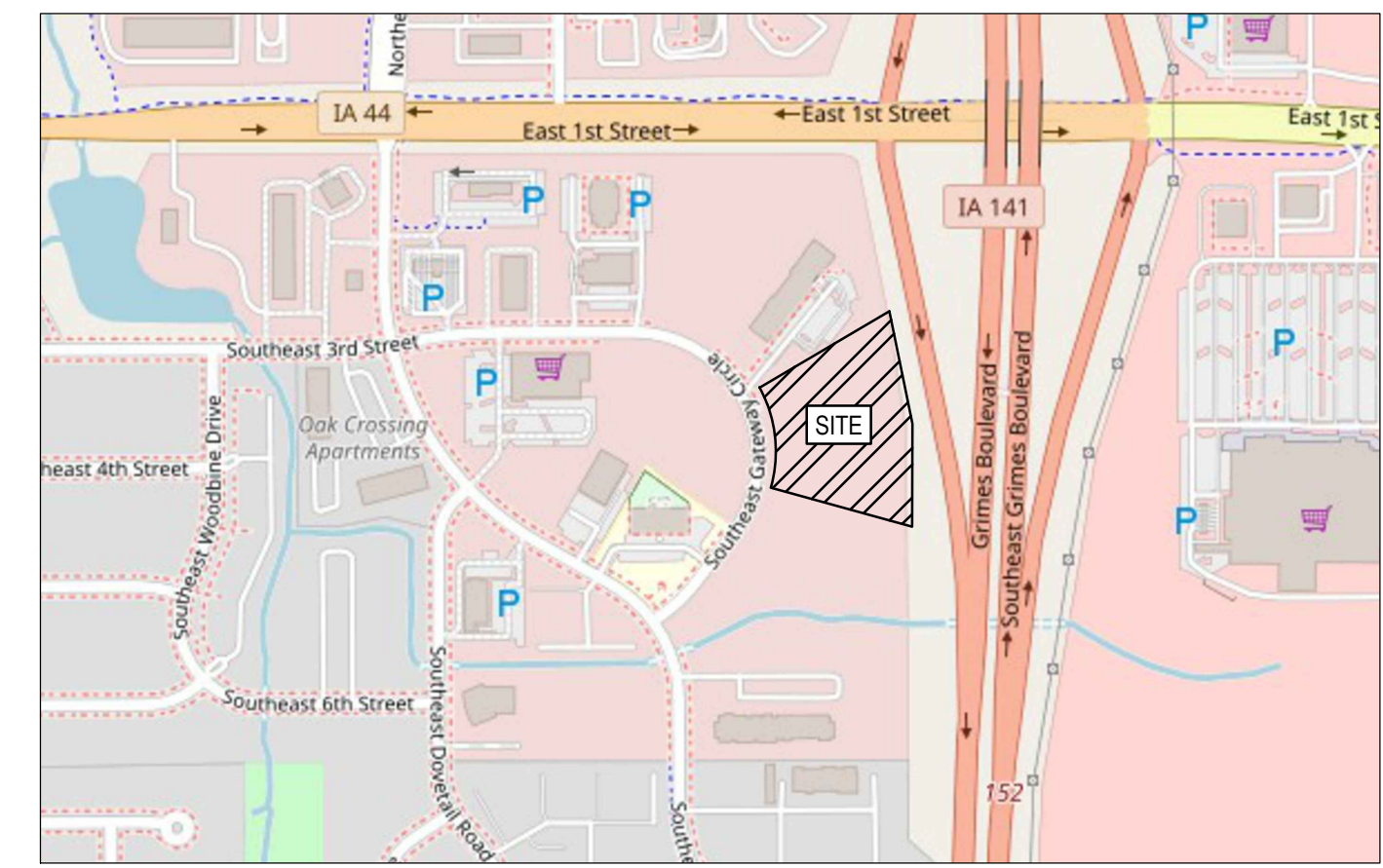
4. STORM SEWER NOTES:

- ALL STORM SEWER IN THE ROW SHALL BE RCP, UNLESS OTHERWISE APPROVED BY THE CITY.
- ALL FLARED END SECTIONS SHALL HAVE FOOTINGS AND APRON GRATES. THE LAST 3 PIPE SECTIONS AND THE FLARED END SECTION ON ALL STORM SEWERS SHALL BE TIED. ALL STORM SEWER JOINTS SHALL BE WRAPPED WITH ENGINEERING FABRIC UNLESS OTHERWISE DIRECTED.
- THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY FIELD TILE DAMAGED DURING CONSTRUCTION. THE TILE SHOULD BE DIRECTED TO PUBLIC STORM SEWER IF POSSIBLE. THE CONTRACTOR SHALL RECORD THE ELEVATION AND LOCATION OF ALL TILES AND INCLUDE ON RECORD DRAWINGS.
- PUBLIC STORM SEWER CLEANING & TELEVISIONING SHALL BE COMPLETED PRIOR TO PAVING. RUN SUFFICIENT DYED WATER THROUGH PIPE PRIOR TO TELEVISIONING. PROVIDE THE VIDEO AND INSPECTION REPORT TO THE CITY ENGINEERING DIVISION.
- USE O RING GASKETS ON STORM SEWERS CROSSING OVER WATERMAIN PER IDNR REQUIREMENT.

LAST UPDATED: 4.23.2024

UTILITY MAPS PROVIDED BY:

- ELECTRIC (MIDAMERICAN / 515-252-6972)
- STORM AND SANITARY (CITY OF GRIMES / 515-986-9636)
- FIBER OPTIC (LUMEN / 918-547-0147)
- FIBER OPTIC (AUREON / 515-830-0445)
- FIBER OPTIC (ICN / 515-725-4604)
- FIBER OPTIC (METRONET / 812-213-1050)
- GAS (BLACK HILLS / 515-343-2037)
- WATER (CITY OF GRIMES / 515-986-9636)



VICINITY MAP
SCALE: 1" = 500'

LEGEND:

— SAN —	SANITARY SEWER	⊠	ELECTRIC RISER
— ST —	STORM SEWER	⊠	ELECTRIC VAULT
— W —	WATER LINE	⊠	POWER POLE
— G —	GAS LINE	⊠	TRANSFORMER POLE
— UE —	UNDERGROUND ELECTRIC	⊠	GAS LINE
— OE —	OVERHEAD ELECTRIC	⊠	LIGHT POLE
— TELE —	TELEPHONE LINE	⊠	ELECTRIC JUNCTION BOX
— F/O —	FIBER OPTIC	⊠	ELECTRIC PANEL
— CATV —	CABLE TV	⊠	TRANSFORMER
⊠	STORM MANHOLE	⊠	GROUND LIGHT
⊠	CURB INTAKE	⊠	GUY WIRE
⊠	SURFACE INTAKE	⊠	ELECTRIC HANDHOLE
⊠	FLARED END SECTION	⊠	GAS METER
⊠	SANITARY MANHOLE	⊠	GAS VALVE
⊠	CLEANOUT	⊠	AIR CONDITIONING UNIT
⊠	FIRE HYDRANT	⊠	TELEPHONE RISER
⊠	SPRINKLER	⊠	TELEPHONE VAULT
⊠	IRRIGATION CONTROL VALVE	⊠	TELEPHONE MANHOLE
⊠	WATER MANHOLE	⊠	TRAFFIC SIGNAL MANHOLE
⊠	WELL	⊠	FIBER OPTIC RISER
⊠	WATER VALVE	⊠	FIBER OPTIC FAULT
⊠	WATER SHUT OFF	⊠	CABLE TV RISER
⊠	YARD HYDRANT	⊠	SIGN
⊠	ELECTRIC MANHOLE	⊠	DENOTES NUMBER OF PARKING STALLS
⊠	ELECTRIC METER	⊠	● PROPERTY CORNER - FOUND AS NOTED
		⊠	○ PROPERTY CORNER - PLACED 3/4" IRON PIPE WITH YELLOW PLASTIC CAP ID #14775
		⊠	⊠ SECTION CORNER - FOUND AS NOTED

ABBREVIATIONS:

AC	ACRES
ASPH	ASPHALT
BK	BOOK
CONC	CONCRETE
D	DEEDED DISTANCE
EX	EXISTING
ENCL	ENCLOSURE
FF	FINISHED FLOOR
FL	FLOW LINE
FRAC	FRACTIONAL
M	MEASURED DISTANCE
MH	MANHOLE
OPC	ORANGE PLASTIC CAP
P	PLATTED DISTANCE
PG	PAGE
POB	POINT OF BEGINNING
POC	POINT OF COMMENCEMENT
PRA	PREVIOUSLY RECORDED AS
PUE	PUBLIC UTILITY EASEMENT
ROW	RIGHT OF WAY
RPC	RED PLASTIC CAP
SF	SQUARE FEET
SAN	SANITARY
TYP	TYPICAL
YPC	YELLOW PLASTIC CAP
N	NORTH
S	SOUTH
E	EAST
W	WEST

SITE CONTROL AND BENCHMARKS:

BASIS OF BEARING OBTAINED FROM GPS OBSERVATIONS
DATUM = NAD 83, IOWA SOUTH
BENCHMARK DATUM = NAVD88, GEOID 18

POINT #9000, 5/8" IRON ROD WITH PINK PLASTIC CAP
NORTHING = 614625.60
EASTING = 1564911.46
ELEVATION = 952.96
DESCRIPTION: NEAR NORTHWEST PROPERTY LINE APPROX. 7 FEET SOUTH OF SAID PROPERTY LINE AND 50 FEET BEHIND THE ADJACENT PROPERTY CURB LINE.

POINT #9004, CUT 'X' ON CONCRETE CURB
NORTHING = 614300.93
EASTING = 1564793.36
ELEVATION = 943.63
DESCRIPTION: ON WEST CURB LINE OF SE GATEWAY CIRCLE NEAR THE SW CORNER OF PROPERTY.

SITE PLAN
GOODWILL STORE
361 SE GATEWAY CIRCLE
GRIMES, IOWA



REFERENCE NUMBER:

DRAWN BY:

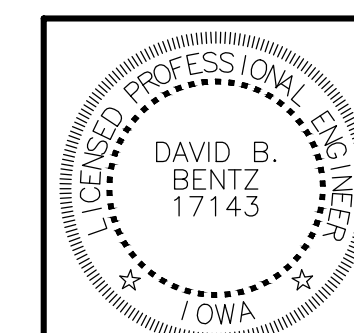
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10/22/2025 CHECK
11/13/2025 CHECK
12/05/2025 CHECK
02/02/2026 CHECK
02/09/2026 CITY
03/04/2026 CITY

PROJECT NUMBER:
250374

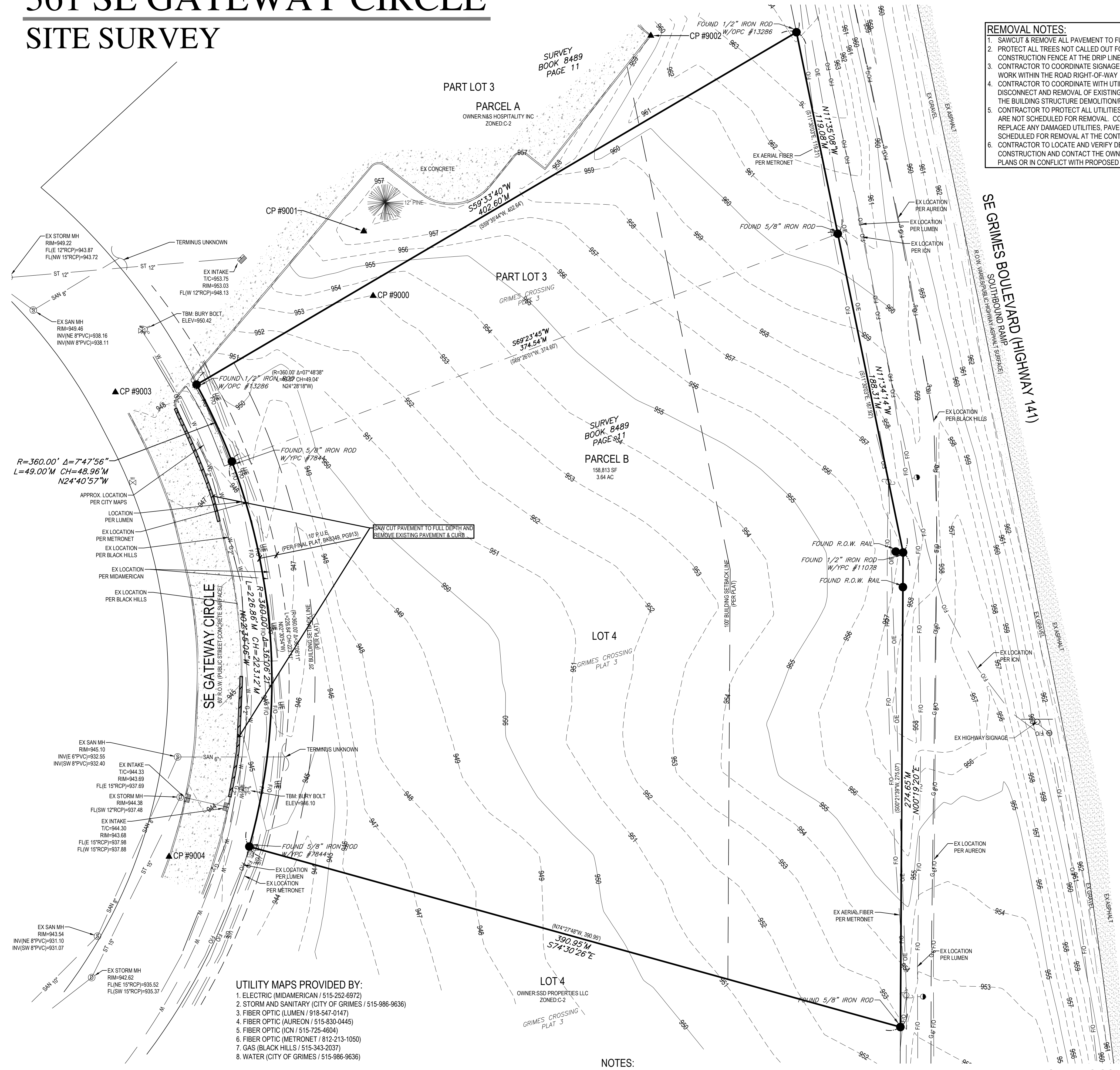
SHEET NAME:
COVER SHEET

SHEET NUMBER:
C0.1

I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PERFORMED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.
SIGNED: PRELIMINARY DATE: XXXXXXXX
DAVID B. BENTZ, PE. 17143
LICENSE RENEWAL DATE: DEC. 31, 2027
PAGES OR SHEETS COVERED BY THIS SEAL: C0.1, C1.1, C2.1, C3.1, C4.1, C6.1, C7.1

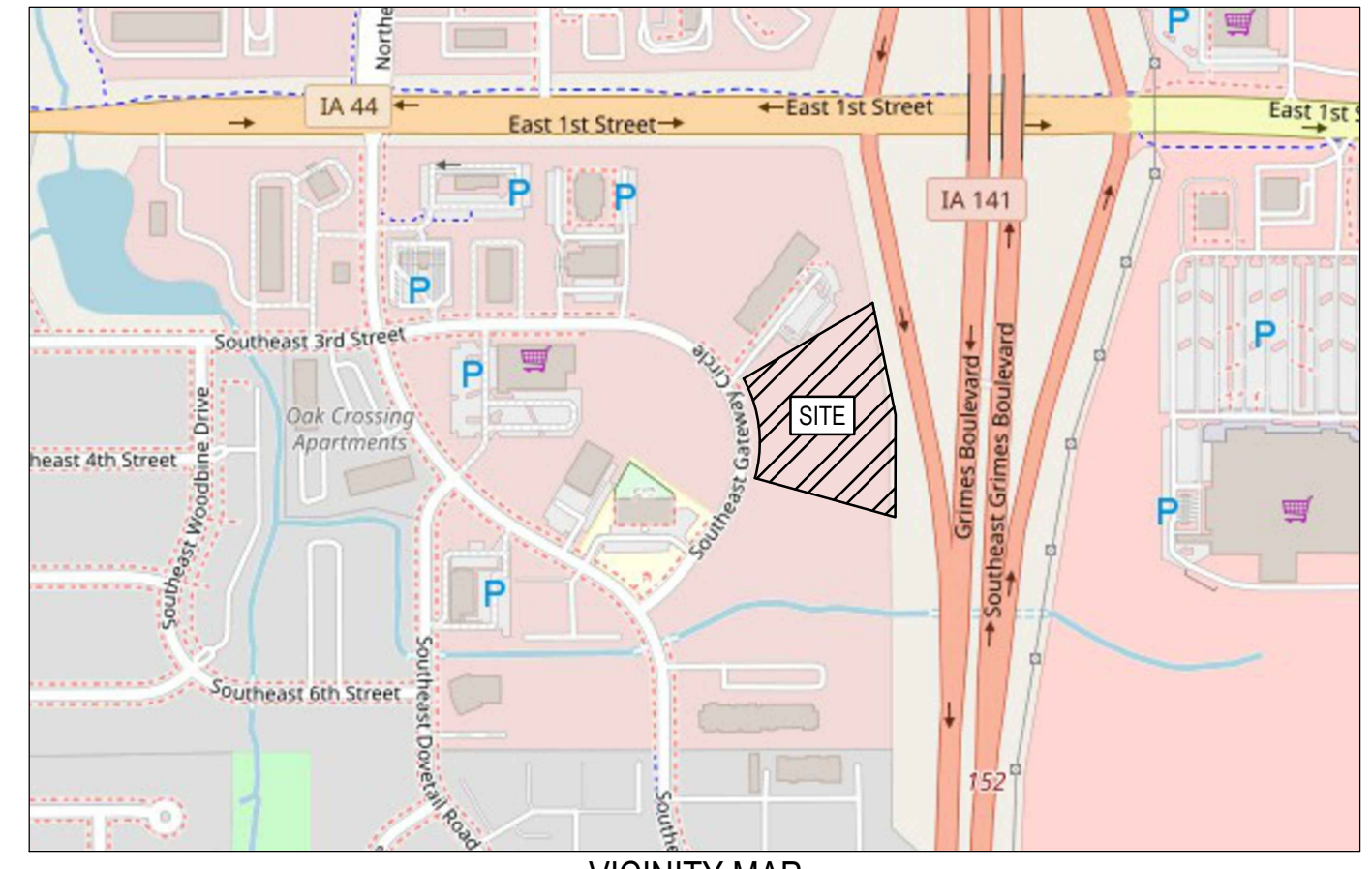


361 SE GATEWAY CIRCLE SITE SURVEY



REMOVAL NOTES:

1. SAWCUT & REMOVE ALL PAVEMENT TO FULL DEPTH OF SLAB.
2. PROTECT ALL TREES NOT CALLED OUT FOR REMOVAL WITH ORANGE CONSTRUCTION FENCE AT THE DRIP LINE
3. CONTRACTOR TO COORDINATE SIGNAGE AND PERMITS WITH THE CITY FOR ANY WORK WITHIN THE ROAD RIGHT-OF-WAY
4. CONTRACTOR TO COORDINATE WITH UTILITY PROVIDERS FOR ANY DISCONNECT AND REMOVAL OF EXISTING UTILITY SERVICES ASSOCIATED WITH THE BUILDING STRUCTURE DEMOLITION/REMOVAL
5. CONTRACTOR TO PROTECT ALL UTILITIES, PAVEMENTS AND STRUCTURES THAT ARE NOT SCHEDULED FOR REMOVAL. CONTRACTOR SHALL REPAIR AND/OR REPLACE ANY DAMAGED UTILITIES, PAVEMENTS AND STRUCTURES NOT SCHEDULED FOR REMOVAL AT THE CONTRACTORS EXPENSE
6. CONTRACTOR TO LOCATE AND VERIFY DEPTH OF EXISTING UTILITIES PRIOR TO CONSTRUCTION AND CONTACT THE OWNER/ENGINEER IF DIFFERENT FROM THE PLANS OR IN CONFLICT WITH PROPOSED IMPROVEMENTS



VICINITY MAP
SCALE: 1" = 500'

SITE CONTROL AND BENCHMARKS:
BASIS OF BEARING OBTAINED FROM GPS OBSERVATIONS
DATUM = NAD 83, IOWA SOUTH
BENCHMARK DATUM = NAVD83, GEOID 18

POINT #9000, 5/8" IRON ROD WITH PINK PLASTIC CAP
NORTHING = 614625.60
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ELEVATION = 952.96
DESCRIPTION: NEAR NORTHWEST PROPERTY LINE APPROX. 7 FEET SOUTH OF SAID PROPERTY LINE AND 50 FEET BEHIND THE ADJACENT PROPERTY CURB LINE.

POINT #9004, CUT 'X' ON CONCRETE CURB
NORTHING = 614300.93
EASTING = 1564793.36
ELEVATION = 943.83
DESCRIPTION: ON WEST CURB LINE OF SE GATEWAY CIRCLE NEAR THE SW CORNER OF PROPERTY.

PROPERTY DESCRIPTION:
(WARRANTY DEED BOOK 18127, PAGE 226)
PARCEL 'B' OF THE PLAT OF SURVEY FILED IN THE OFFICE OF THE RECORDER OF THE POLK COUNTY, IOWA ON MAY 8, 2000, AND RECORDED IN BOOK 8489, PAGE 111, BEING A PART OF LOT 3 AND ALL OF LOT 4 IN GRIMES CROSSING PLAT 3, AN OFFICIAL PLAT, NOW INCLUDED IN AND FORMING A PART OF THE CITY OF THE CITY OF GRIMES, POLK COUNTY, IOWA

SUBJECT TO AND TOGETHER WITH ANY AND ALL EASEMENTS AND RESTRICTIONS OF RECORD.

AREA:
158,813 SQUARE FEET - 3.64 ACRES

ADDRESS:
361 SE GATEWAY CIRCLE
GRIMES, IOWA 50111

OWNER:
GOODWILL INDUSTRIES OF CENTRAL IOWA
5355 NW 86TH STREET
JOHNSTON, IA 50131

ZONING:
INFORMATION OBTAINED FROM CITY MAPS
C-2 (GENERAL AND HIGHWAY SERVICE COMMERCIAL)
WITHIN ZONE 1 OF THE HIGHWAY 141 MIXED USE DEVELOPMENT CORRIDOR DISTRICT

FUTURE LAND USE: GENERAL COMMERCIAL

PREPARED FOR:
RAINS ARCHITECTURE
8797 NW 54TH AVE SUITE 100
JOHNSTON, IA 50131

PARKING COUNT:
NO ONSITE PARKING AT THE TIME OF SURVEY.

SETBACKS:
FRONT YARD: 25 FEET
SIDE YARD: NONE EXCEPT ADJACENT TO R REAR YARD: 25 FEET; HOWEVER FOR EVERY FOOT THE FRONT YARD IS INCREASED OVER 25 FEET, THE REAR YARD MAY BE DECREASED IN DIRECT PROPORTION THERETO, BUT IN NO CASE SHALL REAR YARD BE LESS THAN 10 FEET

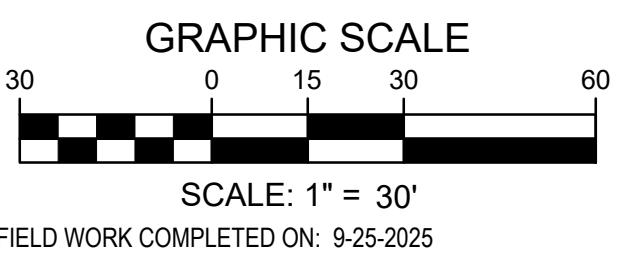
FOR AN OFFICIAL ZONING REPORT PLEASE CALL CITY OF GRIMES AT 515-986-4050

LEGEND

— SAN —	SANITARY SEWER	⊠	ELECTRIC VAULT
— ST —	STORM SEWER	⊕	TRANSFORMER POLE
— W —	WATER LINE	⊕	TRANSFORMER POLE
— G —	GAS LINE	☆	LIGHT POLE
— U/E —	UNDERGROUND ELECTRIC	⊠	ELECTRIC JUNCTION BOX
— O/E —	OVERHEAD ELECTRIC	⊠	ELECTRIC PANEL
— TELE —	TELEPHONE LINE	⊠	TRANSFORMER
— F/O —	FIBER OPTIC	⊠	GROUND LIGHT
— CATV —	CABLE TV	⊠	GUY WIRE
⊙	STORM MANHOLE	⊠	ELECTRIC HANDHOLE
⊙	CURB INTAKE	⊠	GAS METER
⊙	SURFACE INTAKE	⊠	GAS VALVE
⊠	FLARED END SECTION	⊠	AIR CONDITIONING UNIT
⊠	EXISTING ROOF DRAIN	⊠	TELEPHONE RISER
⊠	DOWNSPOUT	⊠	TELEPHONE VAULT
⊠	CLEANOUT	⊠	TELEPHONE MANHOLE
⊠	FIRE HYDRANT	⊠	TRAFFIC SIGNAL MANHOLE
⊠	SPRINKLER	⊠	FIBER OPTIC MANHOLE
⊠	IRRIGATION CONTROL VALVE	⊠	FIBER OPTIC RISER
⊠	WATER MANHOLE	⊠	FIBER OPTIC VAULT
⊠	WELL	⊠	CABLE TV RISER
⊠	WATER VALVE	⊠	BOLLARDS
⊠	WATER SHUT OFF	⊠	DENOTES NUMBER OF PARKING STALLS
⊠	YARD HYDRANT	⊠	PROPERTY CORNER - FOUND AS NOTED
⊠	FLAGPOLE	⊠	PROPERTY CORNER - PLACED 5/8" IRON ROD WITH YELLOW PLASTIC CAP ID # 14775 OR AS NOTED
⊠	ELECTRIC MANHOLE	⊠	SECTION CORNER - FOUND AS NOTED
⊠	ELECTRIC METER	⊠	SITE CONTROL POINT - MONUMENT AS NOTED
⊠	ELECTRIC RISER		

ABBREVIATIONS:

AC ACRES
ASPH ASPHALT
BK BOOK
CONC CONCRETE
D DEEDED DISTANCE
EX EXISTING
ENCL ENCLOSURE
FF FINISHED FLOOR
FL FLOW LINE
FRAC FRACTIONAL MEASURARY DISTANCE
M MANHOLE
MH MANHOLE
OPC ORANGE PLASTIC CAP
P PLATTED DISTANCE
PG PAGE
POB POINT OF BEGINNING
POC POINT OF COMMENCEMENT
PRA PREVIOUSLY RECORDED AS PUBLIC UTILITY EASEMENT
ROW RIGHT OF WAY
RPC RED PLASTIC CAP
SF SQUARE FEET
SAN SANITARY
TYP TYPICAL
YPC YELLOW PLASTIC CAP
N NORTH
S SOUTH
E EAST
W WEST



- UTILITY MAPS PROVIDED BY:**
1. ELECTRIC (MIDAMERICAN / 515-252-6972)
 2. STORM AND SANITARY (CITY OF GRIMES / 515-986-9636)
 3. FIBER OPTIC (LUMEN / 918-547-0147)
 4. FIBER OPTIC (AUREON / 515-830-0445)
 5. FIBER OPTIC (ICN / 515-725-4604)
 6. FIBER OPTIC (METRONET / 812-213-1050)
 7. GAS (BLACK HILLS / 515-343-2037)
 8. WATER (CITY OF GRIMES / 515-986-9636)

NOTES:

1. ADJACENT PROPERTY OWNER INFORMATION OBTAINED FROM POLK COUNTY ASSESSORS WEB PAGE
2. PARENTHESIS () DENOTES PREVIOUSLY RECORDED BEARINGS AND DISTANCES

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UTILITY NOTE:
THE LOCATION OF THE UTILITIES INDICATED ON THE PLANS HAVE BEEN TAKEN FROM THE FIELD SURVEY, EXISTING PUBLIC RECORDS, AND PLANS PROVIDED BY OTHERS. SURFACE UTILITY LOCATIONS HAVE BEEN FIELD LOCATED BY BISHOP ENGINEERING, UNLESS OTHERWISE NOTED. ALL UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE LOCATIONS ONLY. BISHOP ENGINEERING DOES NOT GUARANTEE THE UNDERGROUND LOCATION OF ANY UTILITIES SHOWN. IT SHALL BE THE DUTY OF THE CONTRACTOR TO DETERMINE THE LOCATION AND DEPTH OF ANY UNDERGROUND UTILITIES SHOWN AND IF ANY ADDITIONAL UTILITIES, OTHER THAN THOSE SHOWN ON THE PLANS, MAY BE PRESENT. A REQUEST WAS MADE TO IOWA ONE CALL FOR UTILITY PROVIDERS TO VERIFY, LOCATE, AND MARK THEIR UTILITIES IN THE FIELD.



SITE PLAN
GOODWILL STORE
361 SE GATEWAY CIRCLE
GRIMES, IOWA

REFERENCE NUMBER:
DRAWN BY:
REVISION DATE:
02/02/2026 CHECK
02/09/2026 CITY
03/04/2026 CITY
03/26/2026 CITY

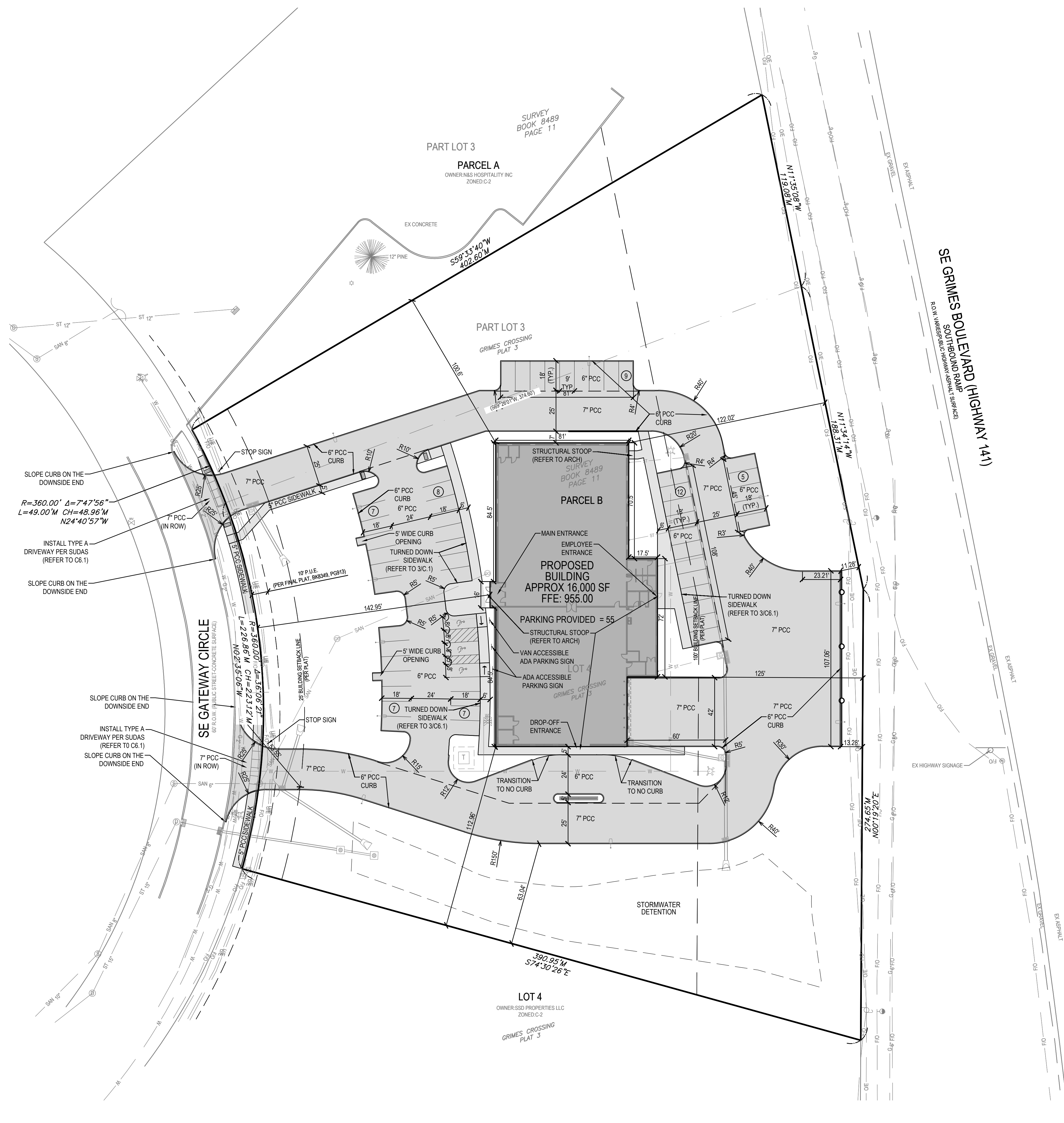
PROJECT NUMBER:
250374

SHEET NAME:
SITE SURVEY

SHEET NUMBER:
C1.1

PRELIMINARY - NOT FOR CONSTRUCTION

3/26/2026 3:04:56 PM L:\LAND PROJECTS\2025\20374_351 SE GATEWAY CIRCLE - GRIMES\DWG\C2 LAYOUT.DWG



SLOPE CURB ON THE DOWNSIDE END

$R=360.00'$ $\Delta=7'47.56"$
 $L=49.00'$ $CH=48.96'$
 $N24'40.57"W$

INSTALL TYPE A DRIVEWAY PER SUDAS (REFER TO C6.1)

SLOPE CURB ON THE DOWNSIDE END

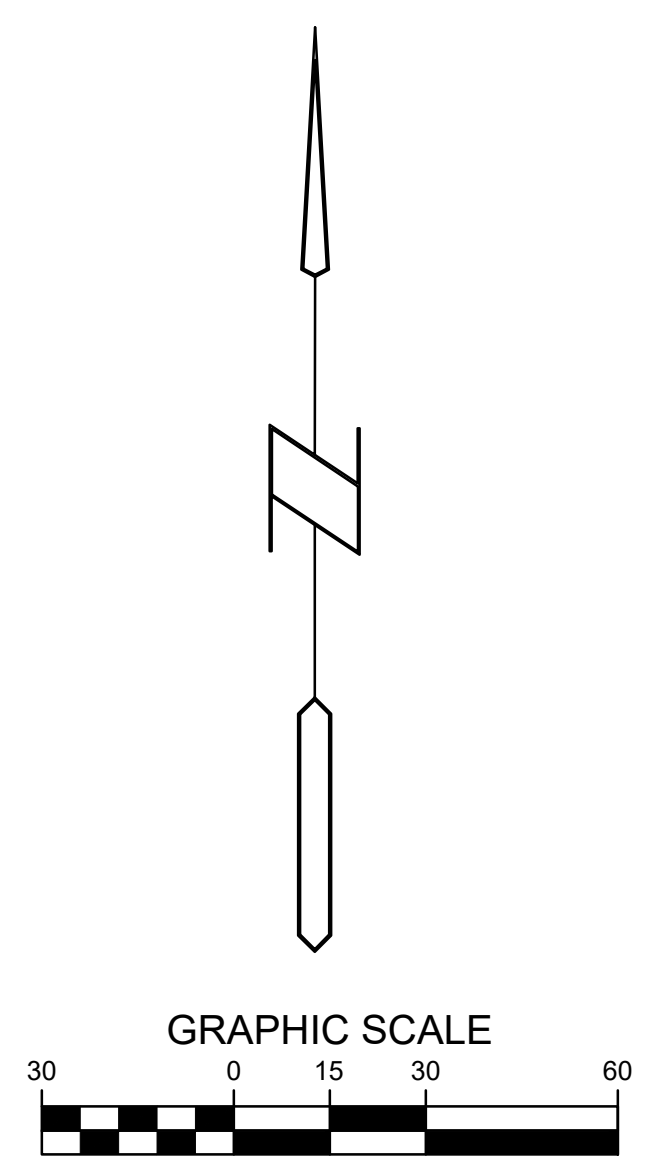
SLOPE CURB ON THE DOWNSIDE END

INSTALL TYPE A DRIVEWAY PER SUDAS (REFER TO C6.1)

SLOPE CURB ON THE DOWNSIDE END

- LAYOUT NOTES:**
- SEE FINAL ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS.
 - CONTRACTOR TO REFER TO ARCHITECTURAL PLANS FOR DETAILED BUILDING CONSTRUCTION INFORMATION.
 - CONTRACTOR TO REFER TO STRUCTURAL PLANS FOR DETAILED BUILDING FOUNDATION AND STOOP LOCATIONS AND DETAILED CONSTRUCTION INFORMATION.

(X) NUMBER OF PARKING STALLS



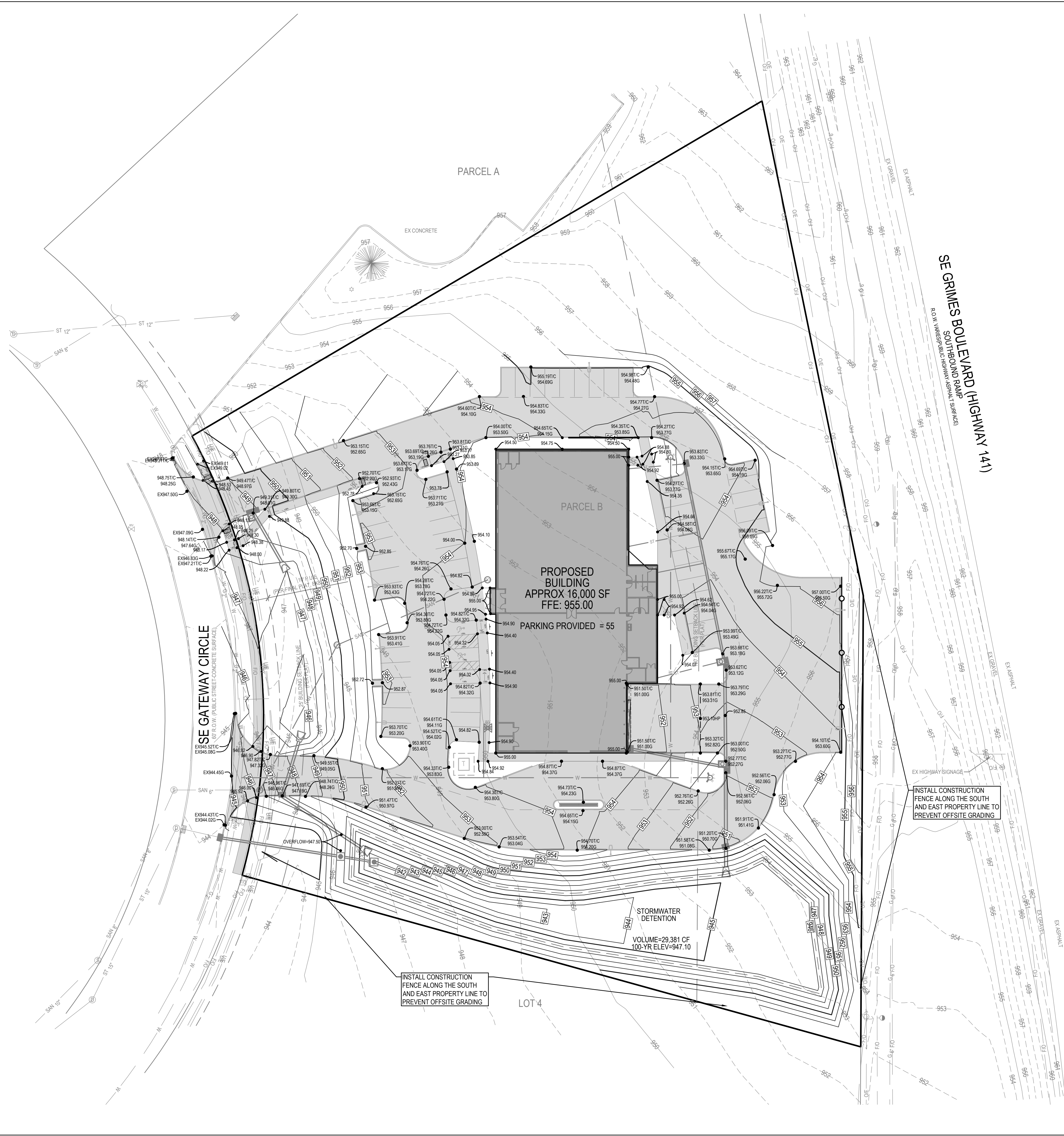
3501 104th Street, Urbandale, IA 50322 Ph: 515-276-0467

SITE PLAN
GOODWILL STORE
361 SE GATEWAY CIRCLE
 GRIMES, IOWA

REFERENCE NUMBER:	
DRAWN BY:	
REVISION DATE:	02/02/2026 CHECK 02/09/2026 CITY 03/04/2026 CITY 03/26/2026 CITY
PROJECT NUMBER:	250374
SHEET NAME:	LAYOUT PLAN
SHEET NUMBER:	C2.1

PRELIMINARY - NOT FOR CONSTRUCTION

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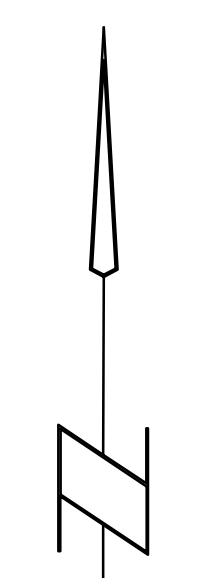
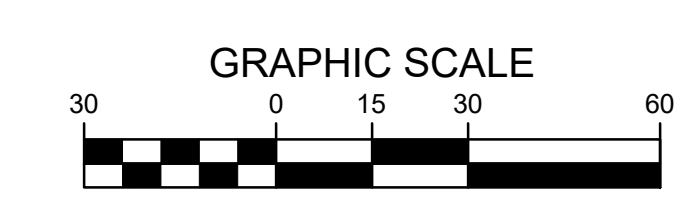
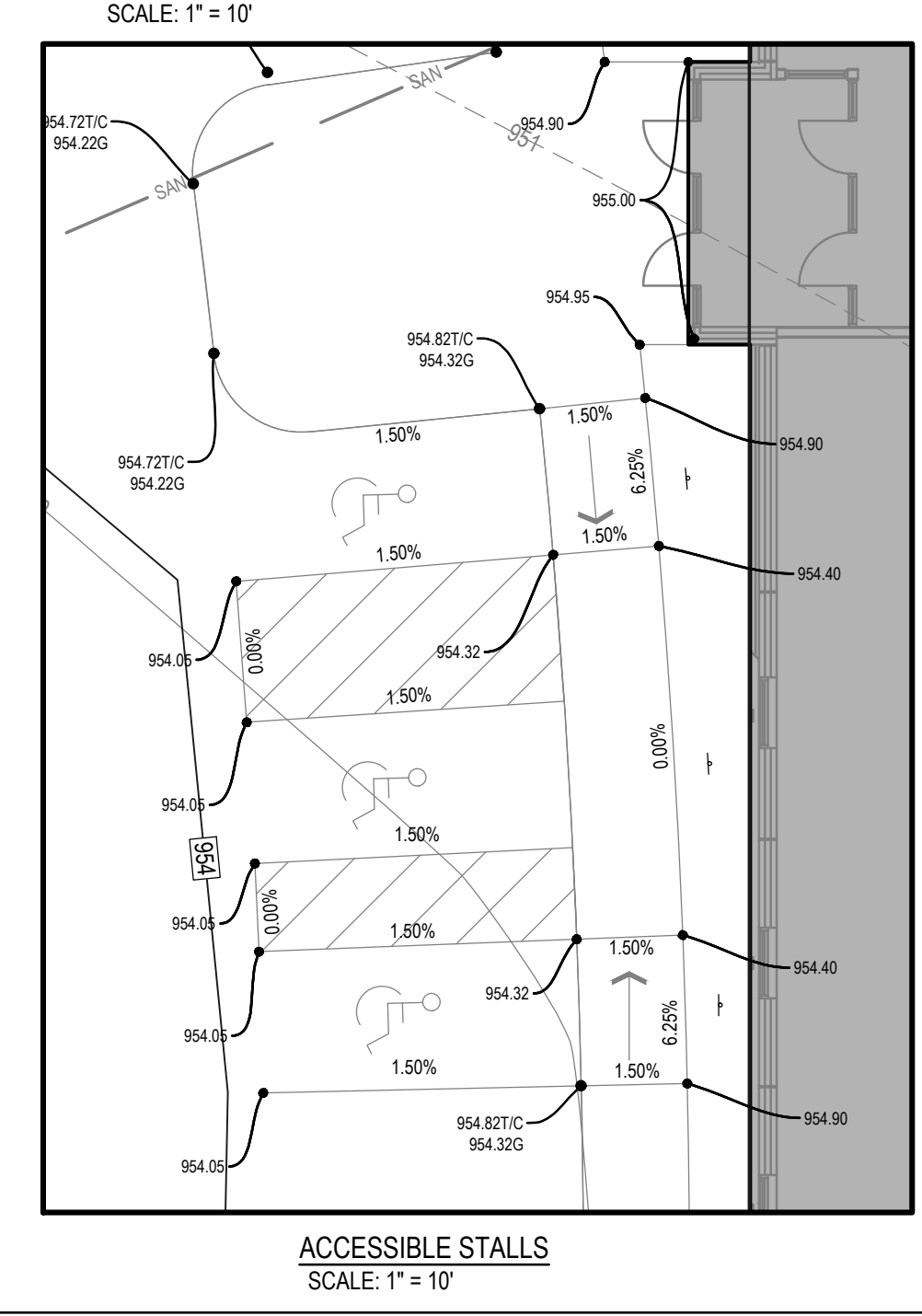
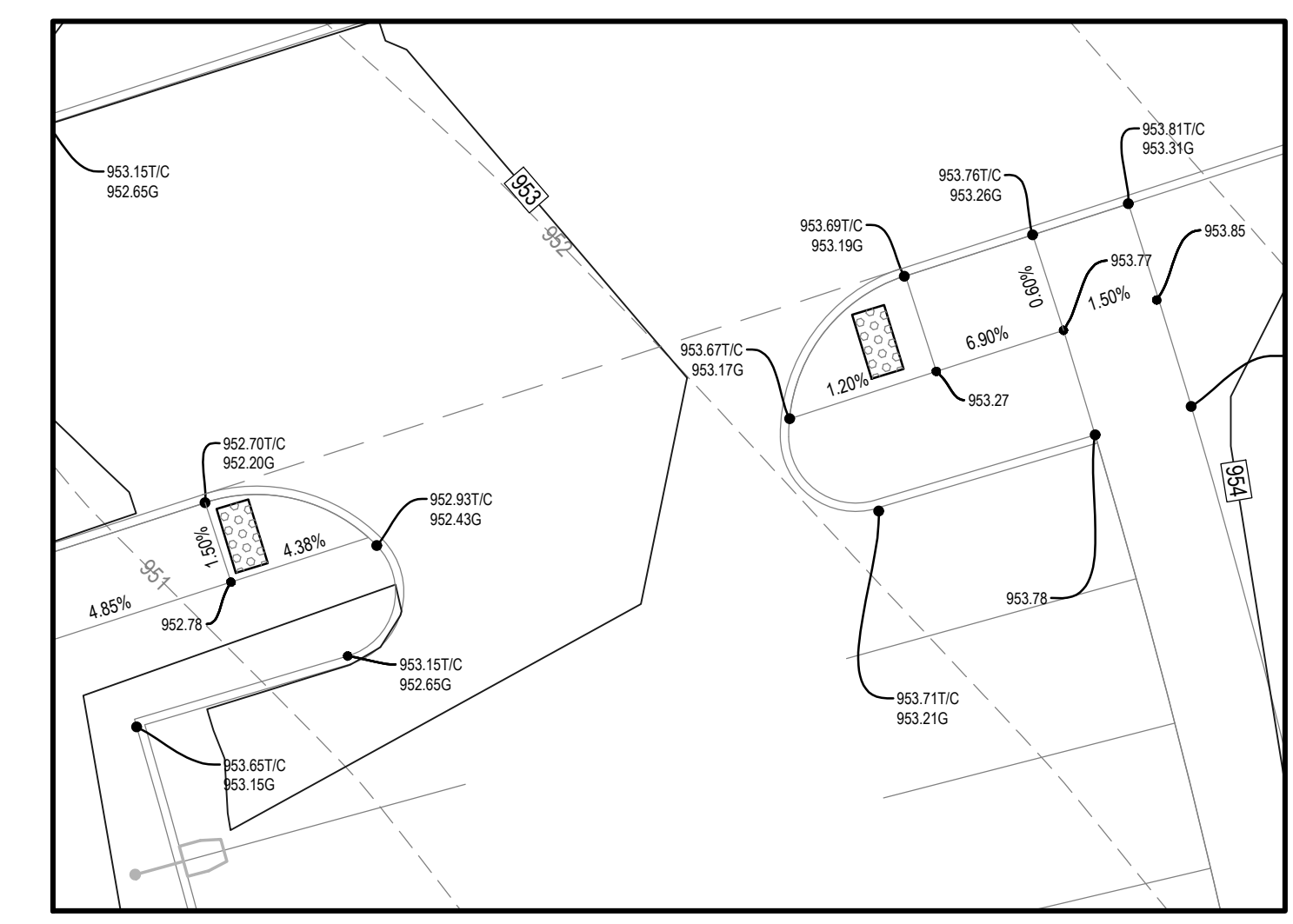
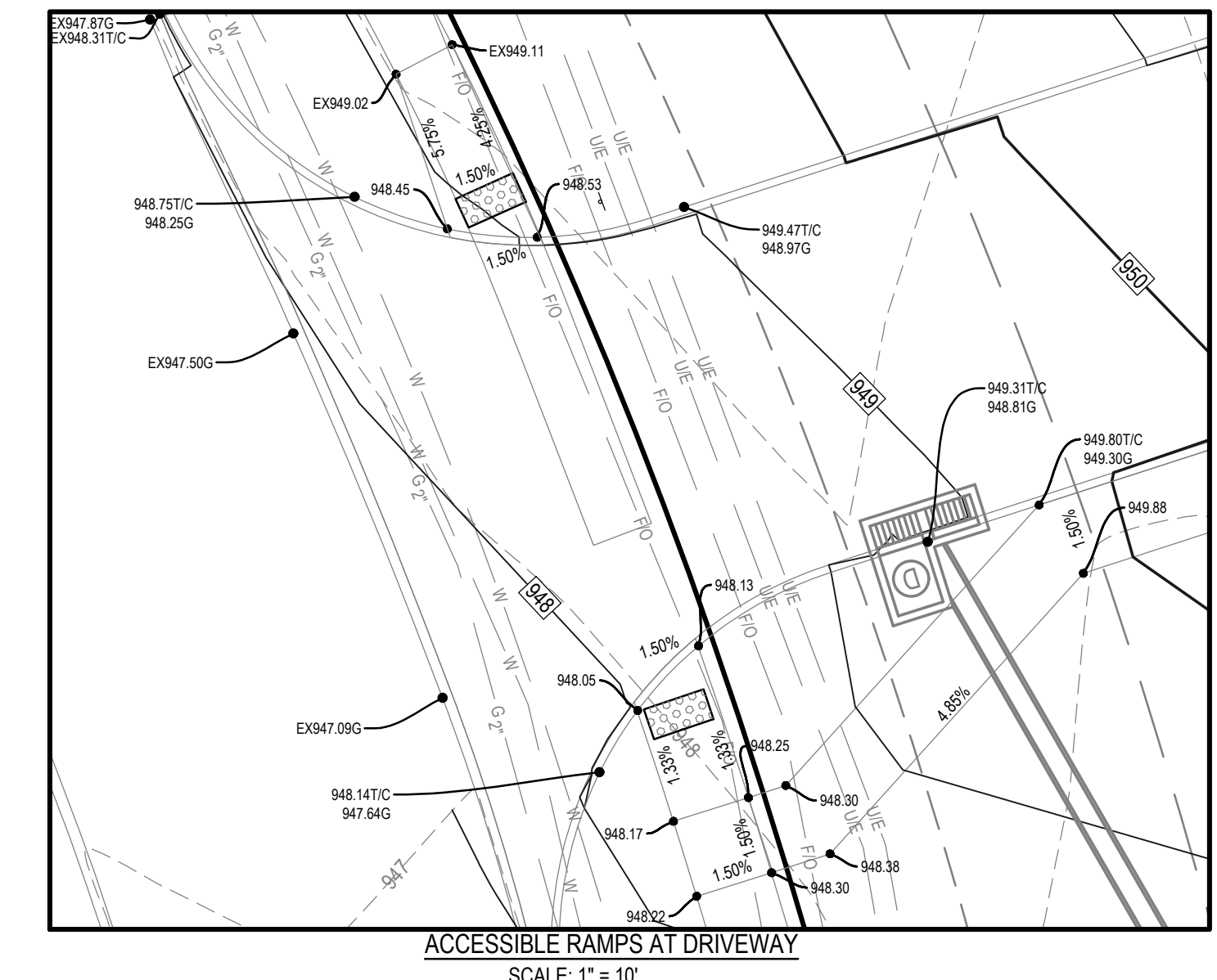


- TOPSOIL NOTES:**
1. STRIP AND STOCKPILE THE TOP 8" OF SOIL ON ALL DISTURBED AREAS.
 2. RESPREAD TOPSOIL TO A MINIMUM DEPTH OF 8" ON ALL GREEN (NON PAVED) AREAS. IMPORT TOPSOIL AS NECESSARY TO ACHIEVE A MINIMUM DEPTH OF 6".
 3. TOPSOIL SHALL BE FREE OF ALL ROCK AND DEBRIS LARGER THAN 3/4" IN SIZE.
 4. TOPSOIL IS DEFINED AS: FERTILE, FRIABLE LOAM, CAPABLE OF SUSTAINING VIGOROUS PLANT GROWTH, FROM WELL DRAINED SITE FREE FROM FLOODING, NOT IN FROZEN OR MUDDY CONDITIONS; REASONABLE FREE FROM SUBSOIL, CLAY LUMPS, ROOTS, GRASS, WEEDS, STONES LARGER THAN 3/4 INCH IN DIAMETER, AND FOREIGN MATTER; ACIDITY RANGE (PH) OF 5.5 TO 7.5; CONTAINING MINIMUM 4 PERCENT AND MAXIMUM 20 PERCENT ORGANIC MATTER.
 5. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ALL TOPSOIL REQUIREMENTS OF NPDES GENERAL PERMIT NO. 2 ARE MET.

GRADING LEGEND:

EXISTING CONTOUR	---	150
PROPOSED CONTOUR	---	150
FINISHED GROUND ELEVATION	●	150.50
TOP OF CURB ELEVATION	●	150.50/T/C
GUTTER ELEVATION	●	150.50/G
TOP OF WALL ELEVATION	●	150.50/T/W
BOTTOM OF WALL ELEVATION	●	150.50/B/W
EDGE OF WALK ELEVATION	●	150.50/E/W
TOP OF STAIR ELEVATION	●	150.50/T/S
BOTTOM OF STAIR ELEVATION	●	150.50/B/S

NOTE: WALL ELEVATIONS SHOWN ON PLAN ARE FINISHED GROUND GRADES AT THE TOP AND BOTTOM OF THE WALL



3501 104th Street, Urbandale, IA 50322 Ph: 515-276-0467

SITE PLAN

GOODWILL STORE

361 SE GATEWAY CIRCLE

GRIMES, IOWA

REFERENCE NUMBER:

DRAWN BY:

REVISION DATE:

02/02/2026 CHECK
02/09/2026 CITY
03/04/2026 CITY
03/26/2026 CITY

PROJECT NUMBER:

250374

SHEET NAME:

GRADING PLAN

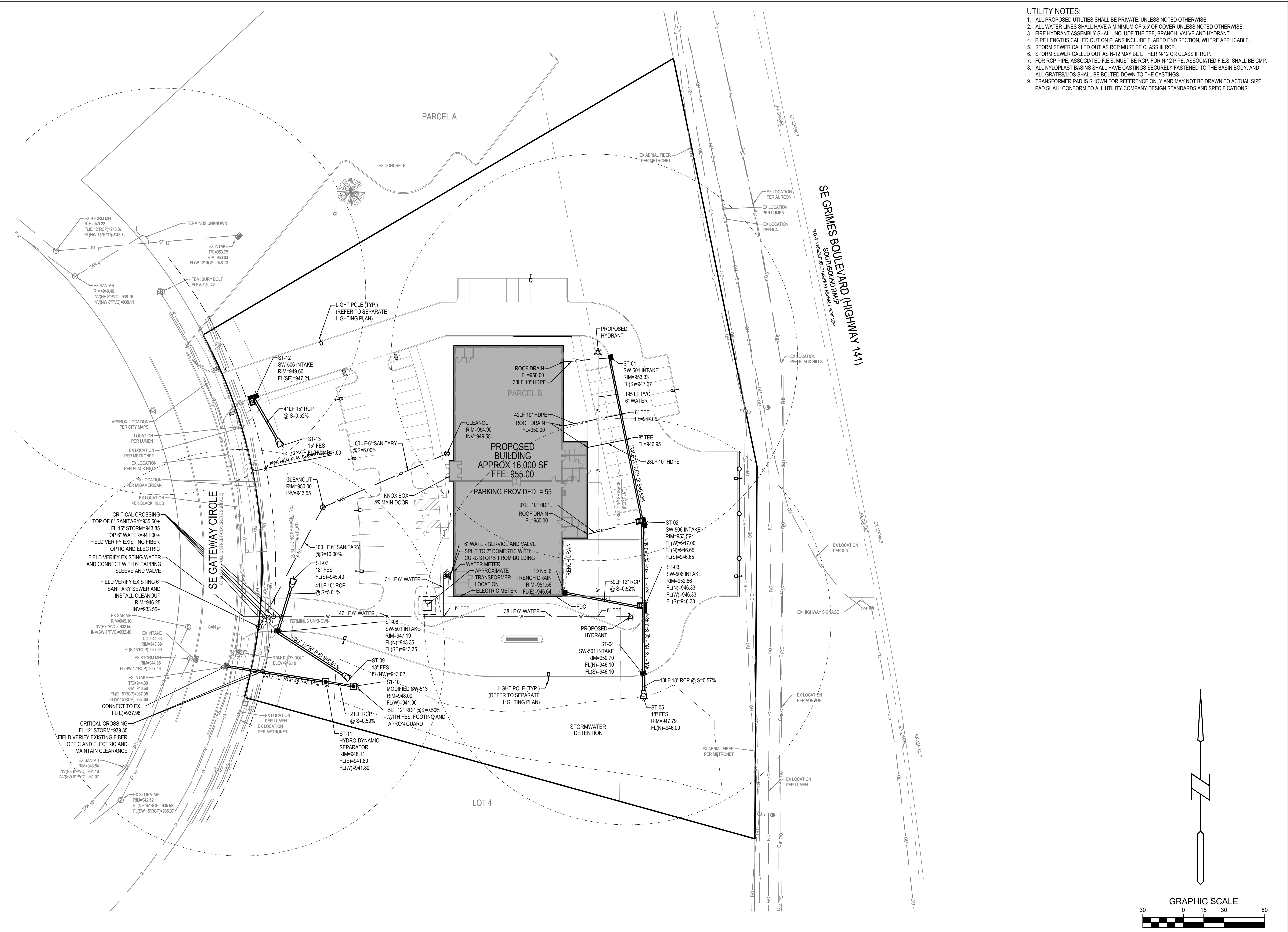
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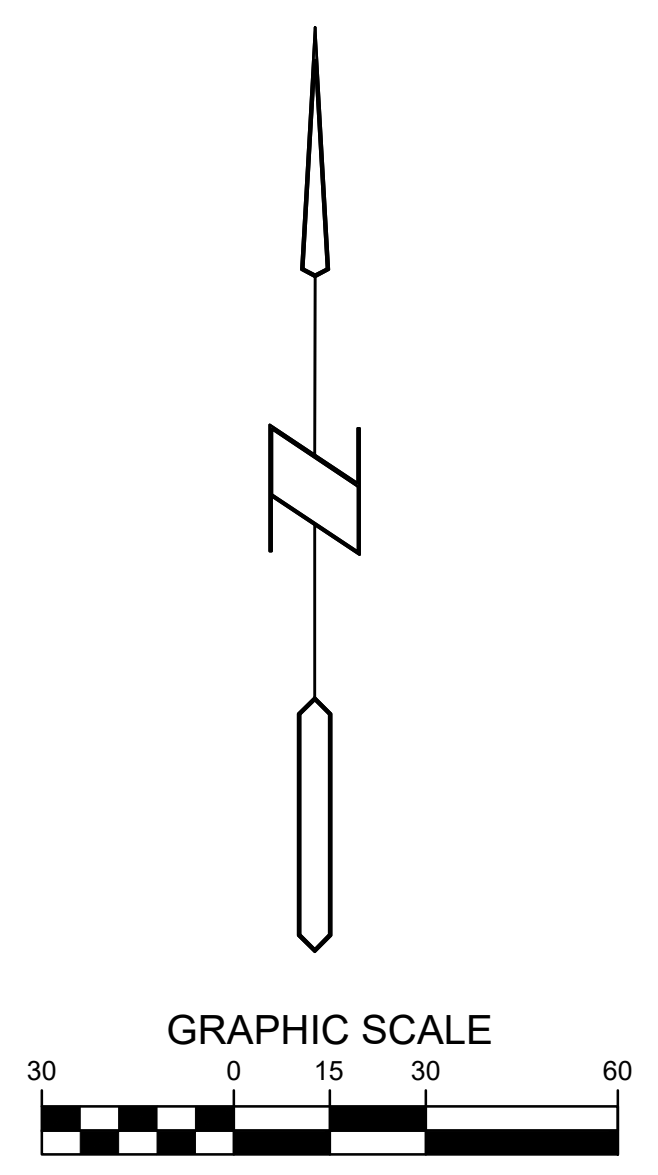
Page 20 of 26

PRELIMINARY - NOT FOR CONSTRUCTION

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- UTILITY NOTES:**
1. ALL PROPOSED UTILITIES SHALL BE PRIVATE, UNLESS NOTED OTHERWISE.
 2. ALL WATER LINES SHALL HAVE A MINIMUM OF 5' OF COVER UNLESS NOTED OTHERWISE.
 3. FIRE HYDRANT ASSEMBLY SHALL INCLUDE THE TEE, BRANCH, VALVE AND HYDRANT.
 4. PIPE LENGTHS CALLED OUT ON PLANS INCLUDE FLARED END SECTION, WHERE APPLICABLE.
 5. STORM SEWER CALLED OUT AS RCP MUST BE CLASS III RCP.
 6. STORM SEWER CALLED OUT AS N-12 MAY BE EITHER N-12 OR CLASS III RCP.
 7. FOR RCP PIPE, ASSOCIATED F.E.S. MUST BE RCP. FOR N-12 PIPE, ASSOCIATED F.E.S. SHALL BE CMP.
 8. ALL NYLOPLAST BASINS SHALL HAVE CASTINGS SECURELY FASTENED TO THE BASIN BODY, AND ALL GRATES/LIDS SHALL BE BOLTED DOWN TO THE CASTINGS.
 9. TRANSFORMER PAD IS SHOWN FOR REFERENCE ONLY AND MAY NOT BE DRAWN TO ACTUAL SIZE. PAD SHALL CONFORM TO ALL UTILITY COMPANY DESIGN STANDARDS AND SPECIFICATIONS.

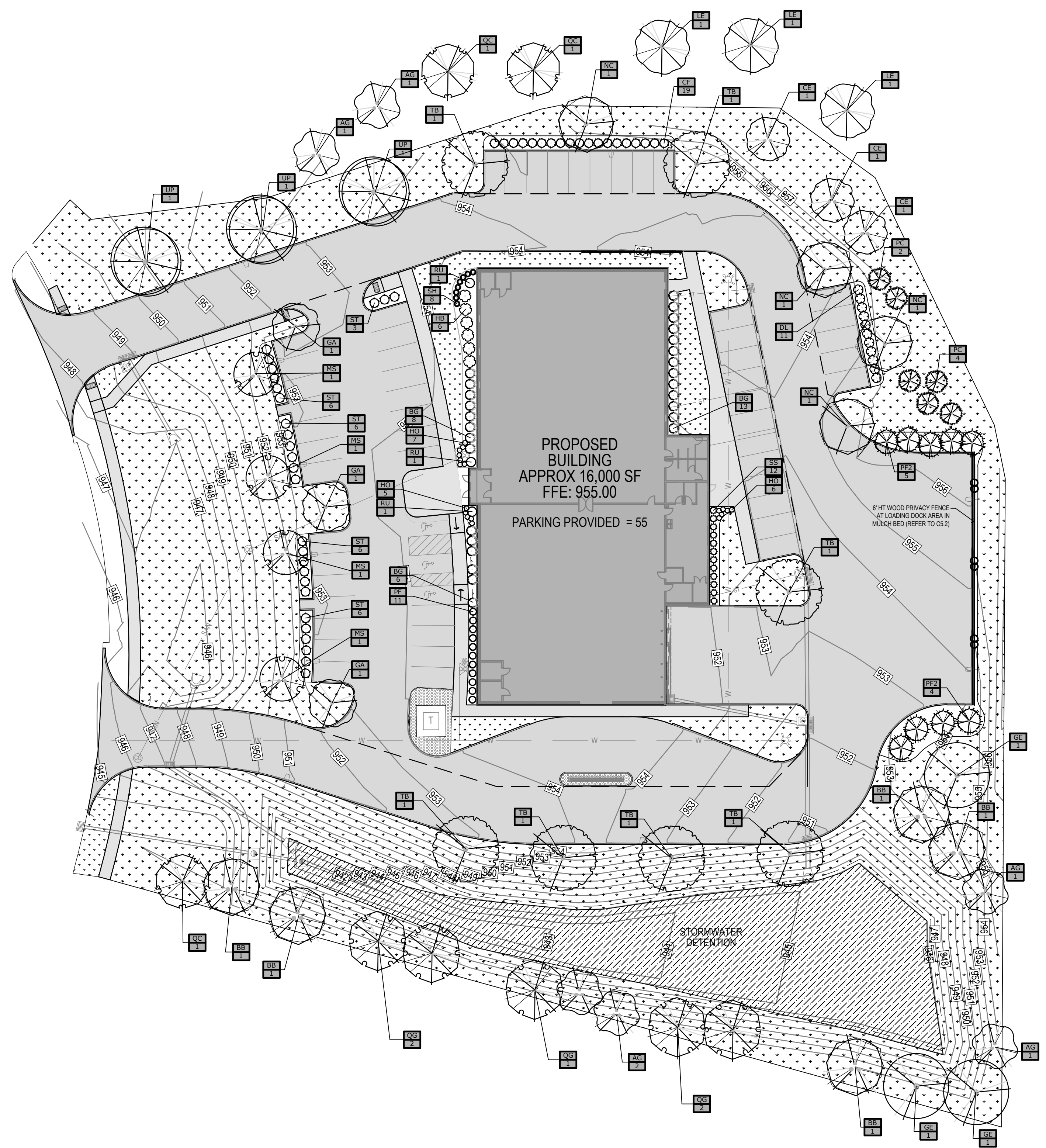


SITE PLAN
GOODWILL STORE
361 SE GATEWAY CIRCLE
GRIMES, IOWA

REFERENCE NUMBER:	
DRAWN BY:	
REVISION DATE:	02/02/2026 CHECK 02/09/2026 CITY 03/04/2026 CITY 03/26/2026 CITY
PROJECT NUMBER:	250374
SHEET NAME:	UTILITY PLAN
SHEET NUMBER:	C4.1

PRELIMINARY- NOT FOR CONSTRUCTION

3/26/2026 2:28:43 PM L:\LAND PROJECTS\2025\20374 351 SE GATEWAY CIRCLE - GRIMES\DWG\C5 LANDSCAPE.DWG



LANDSCAPE NOTES:

- ALL SODDING/SEEDING & LANDSCAPE PLANTINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE URBAN STANDARD SPECIFICATIONS, UNLESS SPECIFIED OTHERWISE.
- SOD/SEED ALL DISTURBED AREAS WITHIN THE CONTRACT LIMITS, UNLESS NOTED OTHERWISE. SOD/SEED LIMITS SHOWN ON PLAN ARE FOR REFERENCE ONLY. FINAL LIMITS MAY CHANGE BASED ON CONSTRUCTION ACTIVITIES.
- STAKE SOD ON ALL SLOPES 3:1 OR GREATER.
- PLANT QUANTITIES ARE FOR CONTRACTORS CONVENIENCE, THE DRAWING SHALL PREVAIL IF A CONFLICT OCCURS.
- ALL PLANT MATERIAL SHALL CONFORM TO THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1).
- CONTRACTOR SHALL WARRANT ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR FROM THE DATE OF INITIAL ACCEPTANCE.
- FOR WARRANTY PURPOSES, THE DATE OF INITIAL ACCEPTANCE SHALL BE SUBMITTED IN WRITING TO THE OWNER AND/OR OWNER'S REPRESENTATIVE AFTER ALL PLANT MATERIALS HAVE BEEN INSTALLED AND REVIEWED BY OWNER OR OWNER'S REPRESENTATIVE. PLANT MATERIALS WILL ONLY BE ACCEPTED IF THEY ARE IN AN ALIVE AND THRIVING CONDITION.
- CONDITIONAL ACCEPTANCE OF PLANT MATERIAL MAY BE GIVEN FOR PLANTS INSTALLED IN A DORMANT CONDITION WITH INITIAL ACCEPTANCE OCCURRING THE FOLLOWING SPRING ONCE THEY ARE SHOWN TO BE ALIVE AND THRIVING.
- IT IS THE CONTRACTORS RESPONSIBILITY TO REMOVE IDENTIFICATION TAGS AND CORDS ON ALL PLANT MATERIAL PRIOR TO THE COMPLETION OF THE CONTRACT. IDENTIFICATION TAGS (INCLUDING SIZING INFORMATION) MUST BE LEFT ON UNTIL AFTER ACCEPTANCE BY OWNER OR OWNER'S REPRESENTATIVE.
- STAKING AND GUYING OF TREES SHALL BE BASED ON CURRENT ACCEPTED NURSERY STANDARDS. TREES IN LARGE OPEN AREAS SUBJECT TO SIGNIFICANT WIND SHALL BE STAKED USING THE 3 STAKE METHOD. STAKE AND WRAP TREES IMMEDIATELY AFTER PLANTING. CONTRACTOR SHALL ADJUST AND MAINTAIN GUYING TENSION THROUGHOUT THE PLANT ESTABLISHMENT PERIOD. REMOVE ALL STAKES AND GUY WIRES NO MORE THAN ONE YEAR AFTER INSTALLATION.
- THE LANDSCAPING CONTRACTOR SHALL HAVE ALL UTILITIES LOCATED BEFORE STARTING ANY SITE WORK OR PLANTING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES.
- NO LANDSCAPE MATERIAL SHALL BE SUBSTITUTED WITHOUT THE AUTHORIZATION OF THE LANDSCAPE ARCHITECT.
- ALL EDGING SHALL BE 3 INCH SPADE CUT EDGE UNLESS OTHERWISE APPROVED.
- CONTRACTOR SHALL BE RESPONSIBLE MAINTAINING APPROPRIATE LEVEL OF WATERING FOR ALL NEW PLANTS FOR A PERIOD OF 30 DAYS.
- CONTRACTOR SHALL PLACE SHREDDED HARDWOOD MULCH AROUND ALL TREES, A 2 FOOT RADIUS FROM THE TREE TRUNK TO A DEPTH OF 4 INCHES, UNLESS NOTED.
- ALL SHRUB PLANTING BEDS SHALL BE MULCHED WITH 4" THICK SHREDDED HARDWOOD MULCH.
- ALL BEDS TO RECEIVE GRANULAR PRE-EMERGENT WEED CONTROL BEFORE AND AFTER MULCH IS INSTALLED.

IRRIGATION NOTES:

- FOR BIDDING PURPOSES, THIS PROJECT DOES NOT INCLUDE A SITE IRRIGATION SYSTEM.
- CONTRACTOR SHALL SUBMIT TO THE OWNER OR OWNER'S REPRESENTATIVE A SEPARATE PROPOSAL FOR A SITE IRRIGATION SYSTEM. PROPOSAL SHALL BE DESIGN/BUILD FOR A COMPLETE OPERATIONAL IRRIGATION SYSTEM APPROPRIATE FOR THE SITE. IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DESIGN, COORDINATION, TESTING, PERMITS, INSPECTIONS, ETC.

GENERAL LANDSCAPE REQUIREMENTS

PROPERTY IS PART OF SECTION 12-11-1 HIGHWAY 141 MIXED USE DEVELOPMENT CORRIDOR DISTRICT
 LANDSCAPE REQUIREMENTS ARE PER SECTION 16 GENERAL LANDSCAPE AND BUFFER YARD REQUIREMENTS.
 SEE COVER SHEET

TOTAL SQUARE FOOTAGE OF PROJECT AREA 158,813 SQUARE FEET - 3.64 ACRES
 REQUIRED OPEN SPACE (20% MIN.) = 31,763 SF (20%)
 OPEN SPACE PROVIDED = 93,123 SF (59%)

GENERAL OPEN SPACE REQUIREMENT
 2 TREES PER 1,000 SF OF REQUIRED OPEN SPACE
 31,763 SF / 1,000 = 31.7 X 2 = 63.5 = 64 TREES REQUIRED = 64 TREES PROVIDED
 1 SHRUB FOR EVERY 500 SF OF OPEN SPACE
 31,763 SF / 500 = 63.5 X 1 = 63.5 = 64 SHRUBS REQUIRED = 64 SHRUBS PROVIDED

PARKING PERIMETER REQUIREMENTS / LOTS ADJACENT TO PUBLIC RIGHT-OF-WAY /
 1 TREE REQUIRED FOR EVERY 50 LF OF PARKING AREA
 TOTAL LENGTH OF PARKING AREA OF 4 PARKING AREAS ON SITE = 250 LF / 50 = 5
 5 TREE REQUIRED = 5 TREES PROVIDED
 1 SHRUB REQUIRED FOR EVERY 4 LF OF PARKING AREA
 TOTAL LENGTH OF PARKING AREA OF 4 PARKING AREAS ON SITE = 250 LF / 4 = 62.5 = 63
 63 SHRUBS REQUIRED = 63 SHRUBS PROVIDED

ONE 60 SF MIN LANDSCAPED ISLAND IS REQUIRED FOR EVERY 12 PARKING SPACES.
 ISLANDS MAY BE GROUPED OR COMBINED TOGETHER IF THEY DO NOT EXCEED 120 SF

NOTE: THE LOADING AREA SCREENING AND PARKING LANDSCAPING IS COUNTED TOWARD AND INCLUDED IN THE MINIMUM OPEN SPACE PLANTINGS.
TOTAL TREES PROVIDED = 64 TREES
TOTAL SHRUBS PROVIDED = 64 SHRUBS

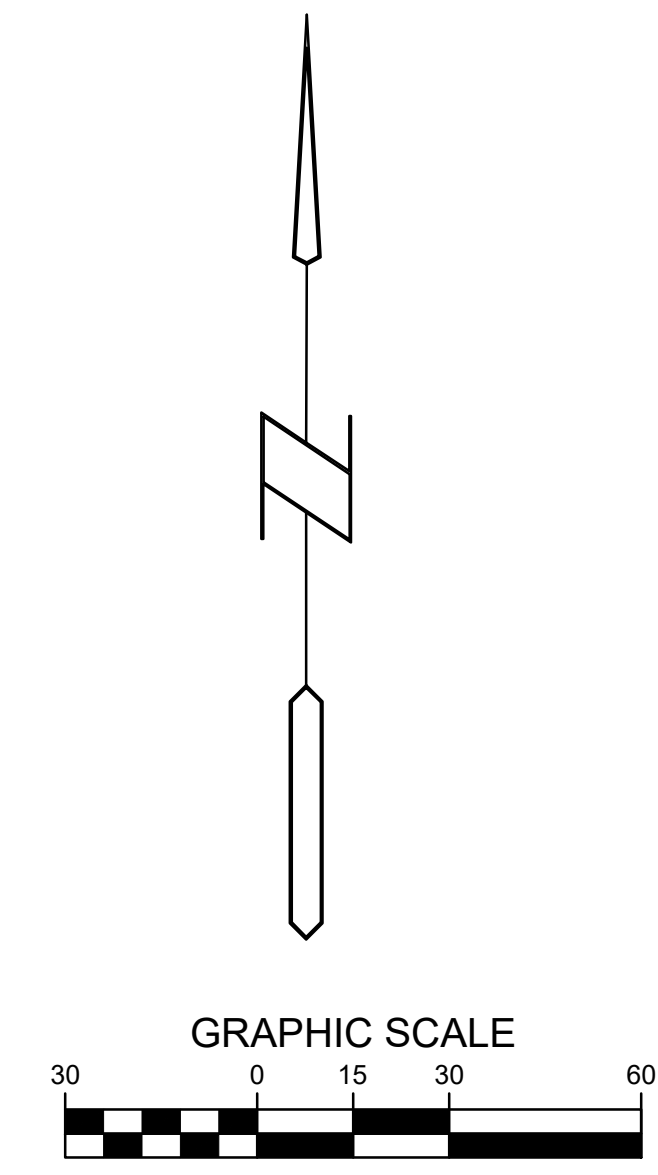
PERIMETER OF LOT ADJACENT TO ABUTTING PROPERTY / RESIDENTIAL
 PROPERTY ABUTTS LIKE USES / OTHER C-2 ZONED PROPERTIES - NOT REQUIRED
 LOADING DOCK SCREENING PROVIDED OPAQUE FENCING. REFER TO SHEET C5.2

PLANT SCHEDULE

CODE	QTY	BOTANICAL / COMMON NAME	PLANTING SIZE	CONTAINER	REMARKS
TREES					
AG	6	Amelanchier x grandiflora 'Autumn Brilliance' / Autumn Brilliance Apple Serviceberry	1.5" Cal.	B&B	
BB	5	Betula nigra 'Cully' / Heritage River Birch Multi-trunk	2" Cal.	B&B	Multi-Stem
CE	3	Cercis canadensis / Eastern Redbud Multi-trunk	2" Cal.	B&B	Multi-Stem
GA	3	Ginkgo biloba 'Autumn Gold' / Autumn Gold Maidenhair Tree	2" Cal.	B&B	
GE	3	Gymnocladus dioica 'Stately Manor' / Stately Manor Kentucky Coffeetree	2" Cal.	B&B	
LE	3	Liriodendron tulipifera 'JFS-Oz' / Emerald City® Tulip Poplar	2" Cal.	B&B	
MS	4	Malus x 'Spring Snow' / Spring Snow Crabapple	1.5" Cal.	B&B	
NC	4	Nyssa sylvatica 'Northern Splendor' / Northern Splendor Tupelo	2" Cal.	B&B	
QG	5	Quercus bicolor 'Green Nova' / Sun Breaker® Swamp White Oak	2" Cal.	B&B	
QC	3	Quercus palustris 'Crownright' / Crownright Pin Oak	2" Cal.	B&B	
TB	7	Tilia americana 'Boulevard' / Boulevard American Linden	2" Cal.	B&B	
UP	3	Ulmus americana 'Princeton' / Princeton American Elm	2" Cal.	B&B	
EVERGREEN TREES					
PC	6	Picea abies 'Cupressina' / Cupressina Norway Spruce	5' Ht.	B&B	
PF2	9	Pinus strobus 'Fastigiata' / Columnar White Pine	5' Ht.	B&B	
SHRUBS					
BG	29	Buxus x 'Glencoe' / Chicagoland Green® Boxwood	---		
CF	19	Cornus sericea 'Farrow' / Arctic Fire® Red Twig Dogwood	2.5" Ht.	3 Gal. Pot	
DL	11	Diervilla lonicera / Bush Honeysuckle	2" Ht.	3 Gal. Pot	
HB	6	Hydrangea paniculata 'ILVBO' / Bobo® Panicle Hydrangea	2" Ht.	3 Gal. Pot	
PF	11	Potentilla parvifolia 'Gold Finger' / Gold Finger Cinquefoil	2" Ht.	3 Gal. Pot	
RU	3	Rhus frangula / Fine Line Sumac	---		
ST	27	Spiraea betulifolia 'Tor Gold' / Glow Girl® Birchleaf Spirea	2" Ht.	3 Gal. Pot	
GRASSES					
SS	12	Schizachyrium scoparium 'The Blues' / The Blues Little Bluestem	1' Ht.	1 Gal Pot	
SH	8	Sporobolus heterolepis / Prairie Dropseed	1' Ht.	1 Gal Pot	
PERENNIALS					
HO	18	Hemerocallis x 'Stella de Oro' / Stella de Oro Daylily	1' Ht.	1 Gal Pot	

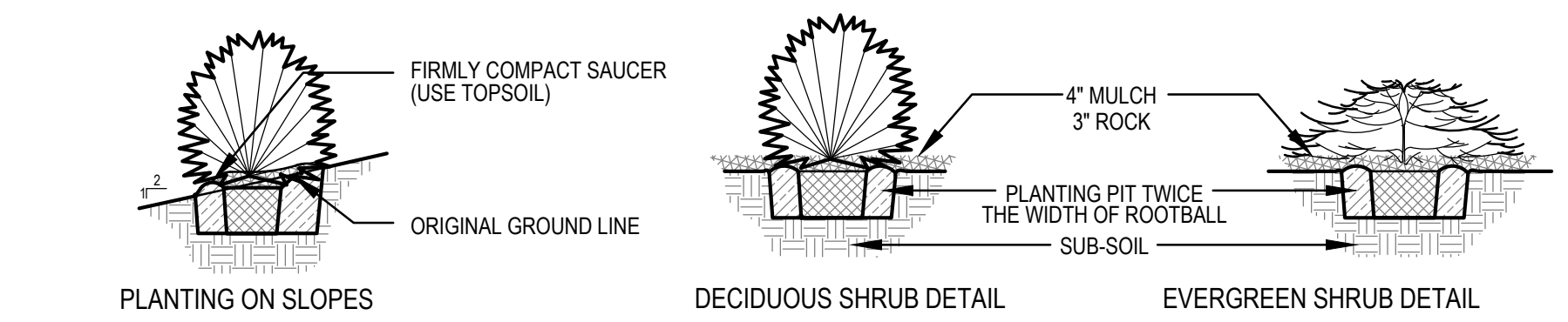
LEGEND

- SOD:** PROVIDE AND INSTALL SOD FROM LOCAL SUPPLIERS. AREAS TO BE SODDED MUST BE FREE OF ALL CONSTRUCTION DEBRIS AND ANY DIRT CLUMPS OVER 1" IN DIAMETER. THOROUGHLY WATER SOD UPON INSTALLATION. CONTRACTOR TO MAINTAIN WATERING UNTIL SOD IS ESTABLISHED (ROOTS KNITTED INTO SUBSURFACE)
- SEED:** SEED TYPE TO BE "RAIN GARDEN MIXTURE" SUPPLIED BY UNITED SEEDS (OR APPROVED EQUAL). INSTALL WITH MECHANICAL DRILL TYPE SEEDER AT A RATE OF 15 LBS PER ACRE. SEEDING DATES, SITE PREPARATION, SEEDING INSTALLATION, WATER REQUIREMENTS, FERTILIZING, AND MOWING PER UNITED SEEDS TECH BULLETIN FOR SEED TYPE.
- EROSION CONTROL:** INSTALL ROLLMAX DS 150 EROSION CONTROL MATS (OR EQUIVALENT) THROUGHOUT SEEDED AREAS. MAINTAIN DURING ESTABLISHMENT PERIOD
- FERTILIZER:** FERTILIZE ALL SEED TYPE I AREAS WITH PRODUCT SPECIFIED ABOVE AT RATE OF 250 LBS/ ACRE.
- ESTABLISHMENT:** SATISFACTORY SEEDED NATIVE STAND. AT END OF MAINTENANCE PERIOD, A HEALTHY, UNIFORM, CLOSE STAND OF NATIVES HAS BEEN ESTABLISHED, FREE OF WEEDS AND SURFACE IRREGULARITIES, WITH COVERAGE EXCEEDING 90 PERCENT OVER ANY 10 SQ. FT. (0.92 SQ. M) AND BARE SPOTS NOT EXCEEDING 5 BY 5 INCHES. REESTABLISH LAWNS THAT DO NOT COMPLY WITH REQUIREMENTS AND CONTINUE MAINTENANCE UNTIL AREA IS SATISFACTORY.
- COVER CROP:** A COVER CROP OF ANNUAL OATS (OR AS RECOMMENDED BY SEED MANUFACTURER) MAY BE NECESSARY FOR IOWA DNR NOD DEPENDING ON TIMING OF SEEDING PERMANENT RAIN GARDEN MIX.
- ROCK LANDSCAPE AREA:** INCORPORATE TYPAR 3301 NONWOVEN LANDSCAPE FABRIC (OR SIMILAR) AND 4" THICK LAYER OF DRESSER TRAP ROCK (2.5" NOMINAL SIZE). CONTACT DRESSER TRAP DIRECT FOR PRICING AND SHIPPING (PHONE: 800-537-3573).
- PLANTING BED AREA:** SHREDDED MULCH PLANTING BED WITH 4" DEPTH SHREDDED HARDWOOD MULCH NATURAL IN COLOR WITH WEED PREVENTATIVE.

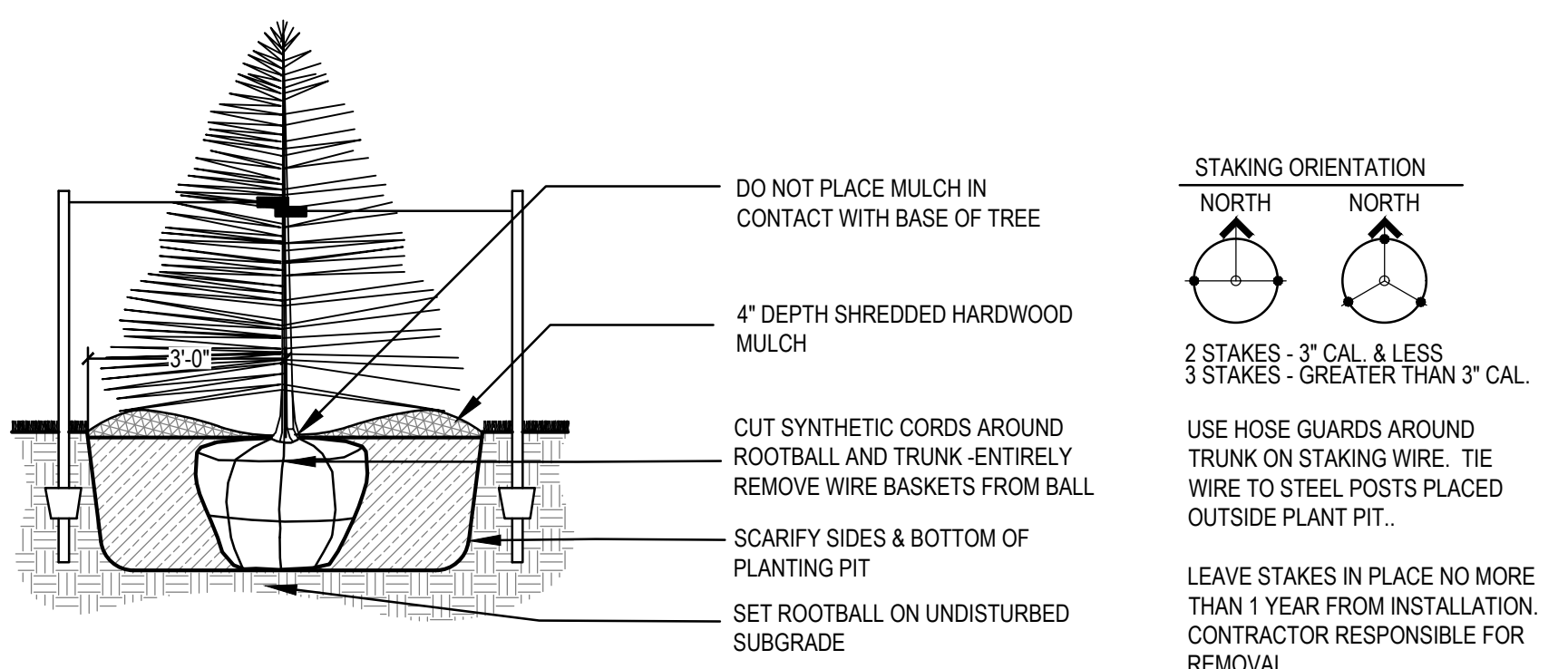


SITE PLAN
GOODWILL STORE
361 SE GATEWAY CIRCLE
 GRIMES, IOWA

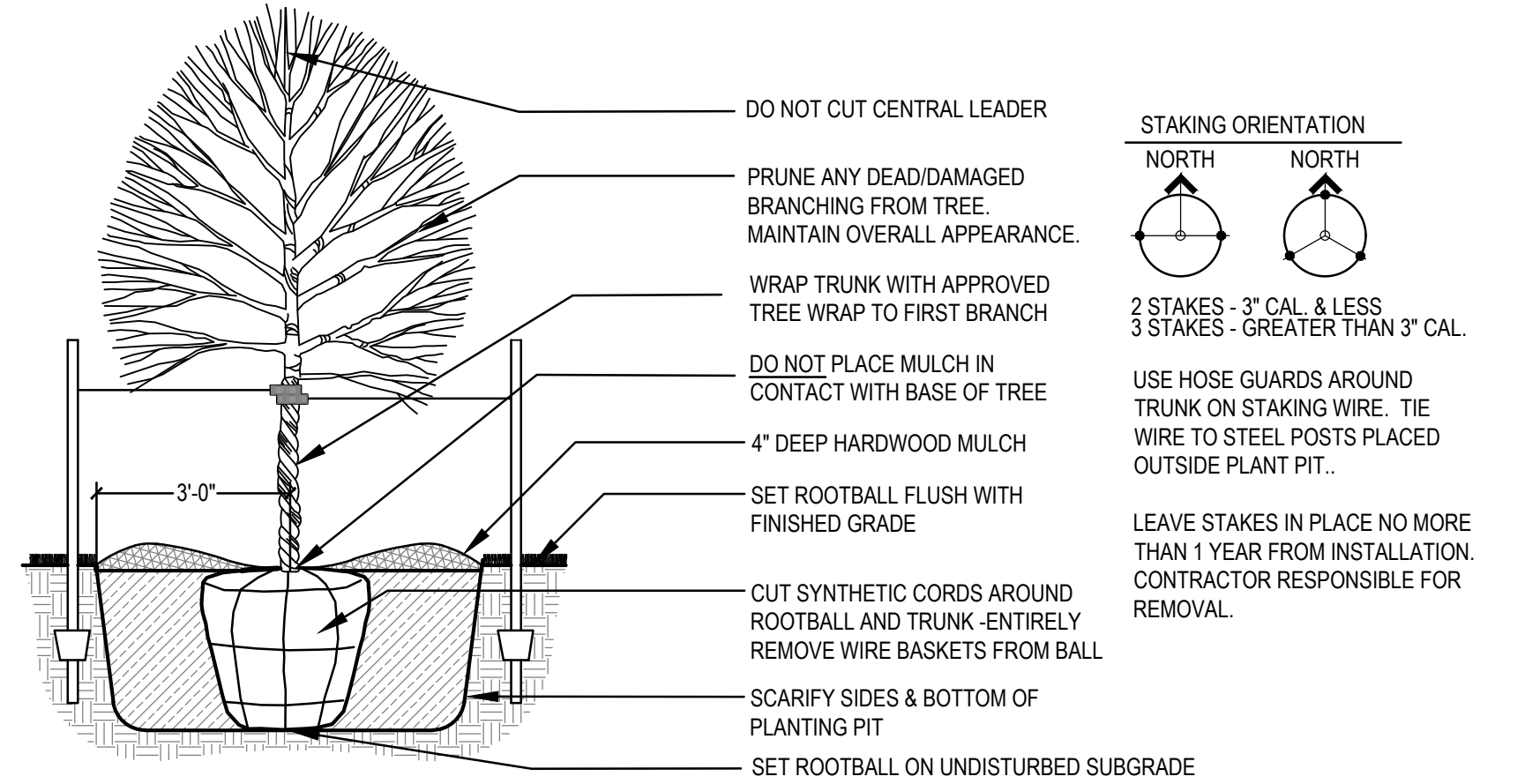
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DRAWN BY:
REVISION DATE: 02/02/2026 CHECK 02/09/2026 CITY 03/04/2026 CITY 03/26/2026 CITY
PROJECT NUMBER: 250374
SHEET NAME: LANDSCAPE PLAN
SHEET NUMBER: C5.1



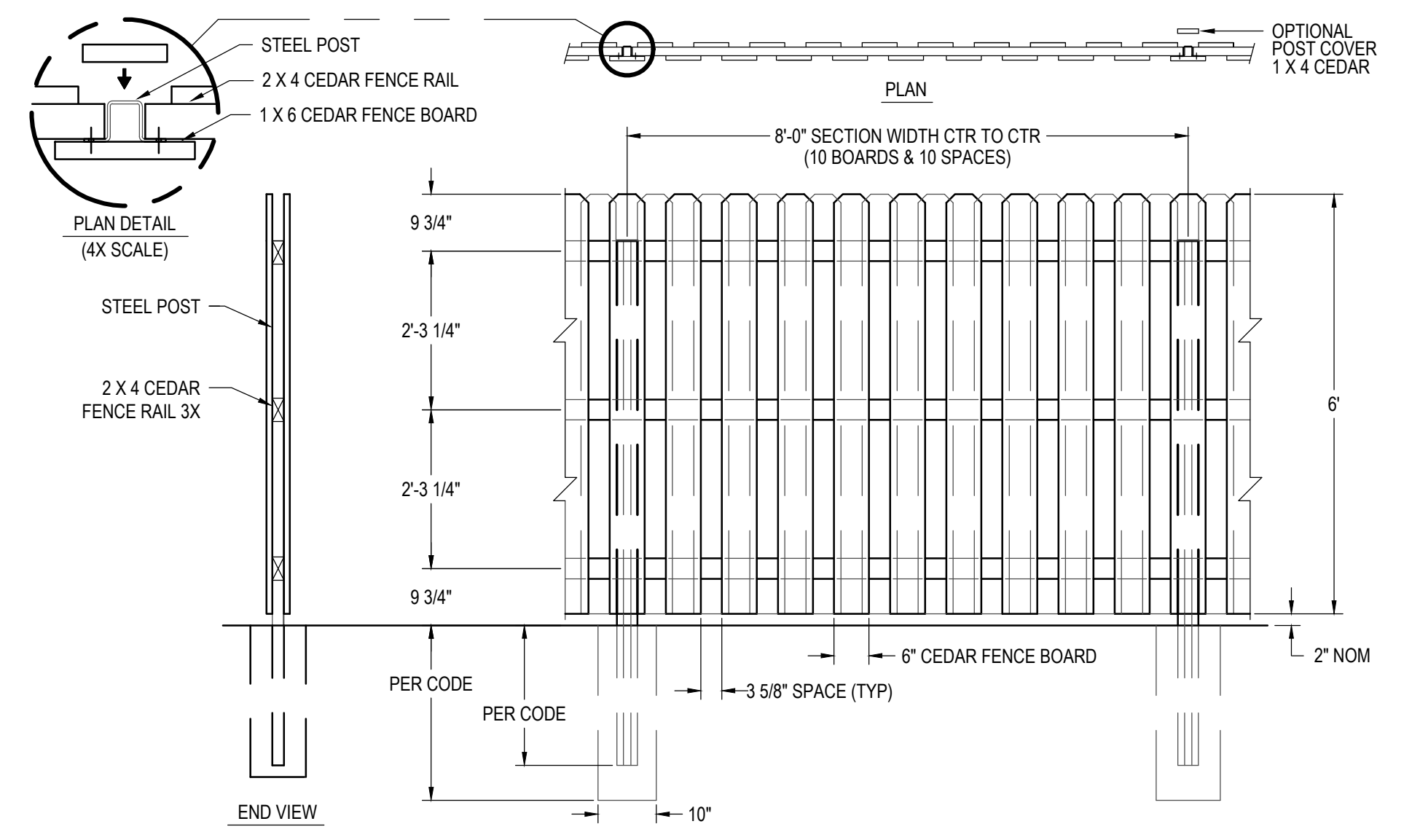
SHRUB PLANTING (TYP)
 SCALE: NOT TO SCALE



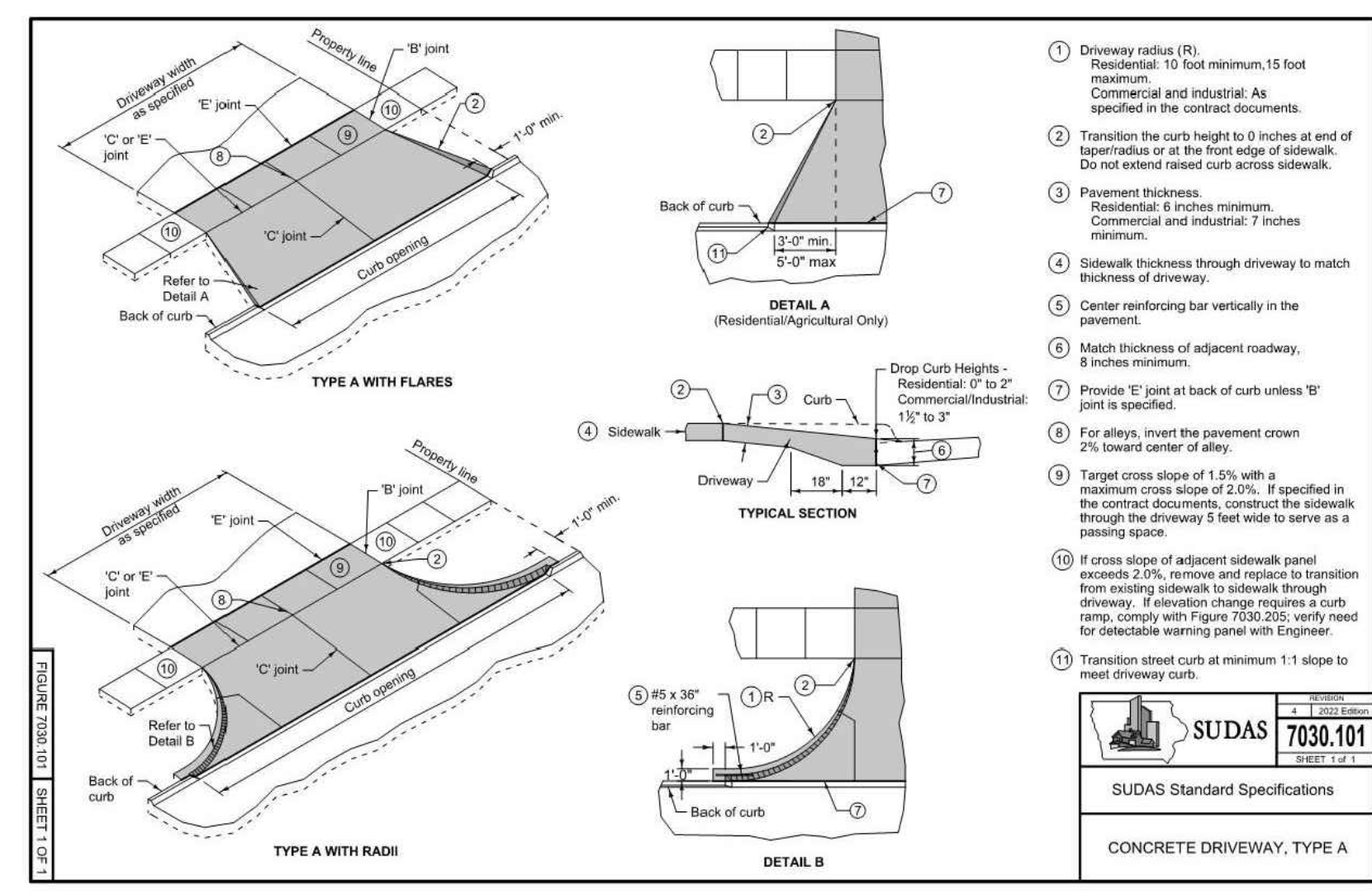
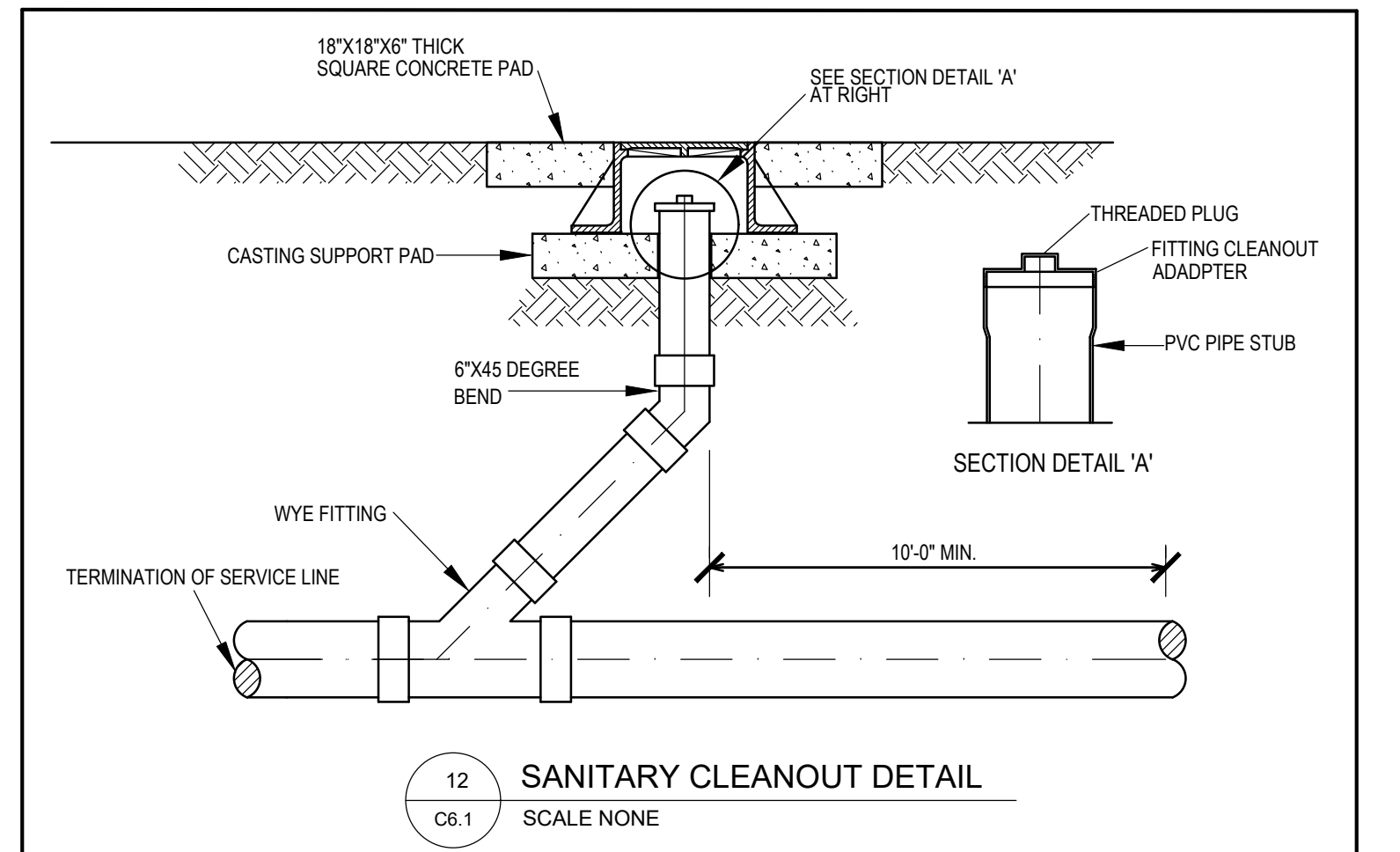
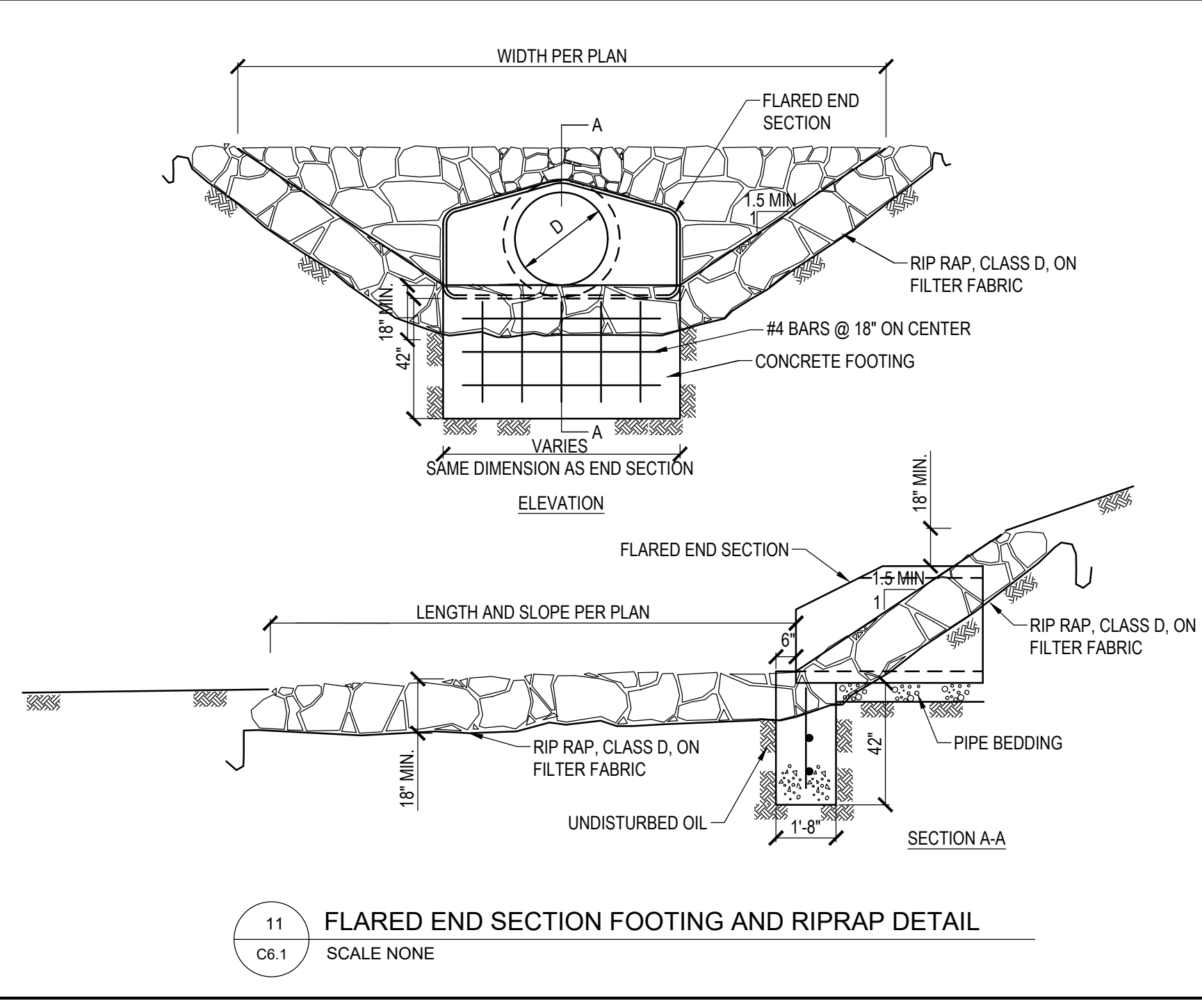
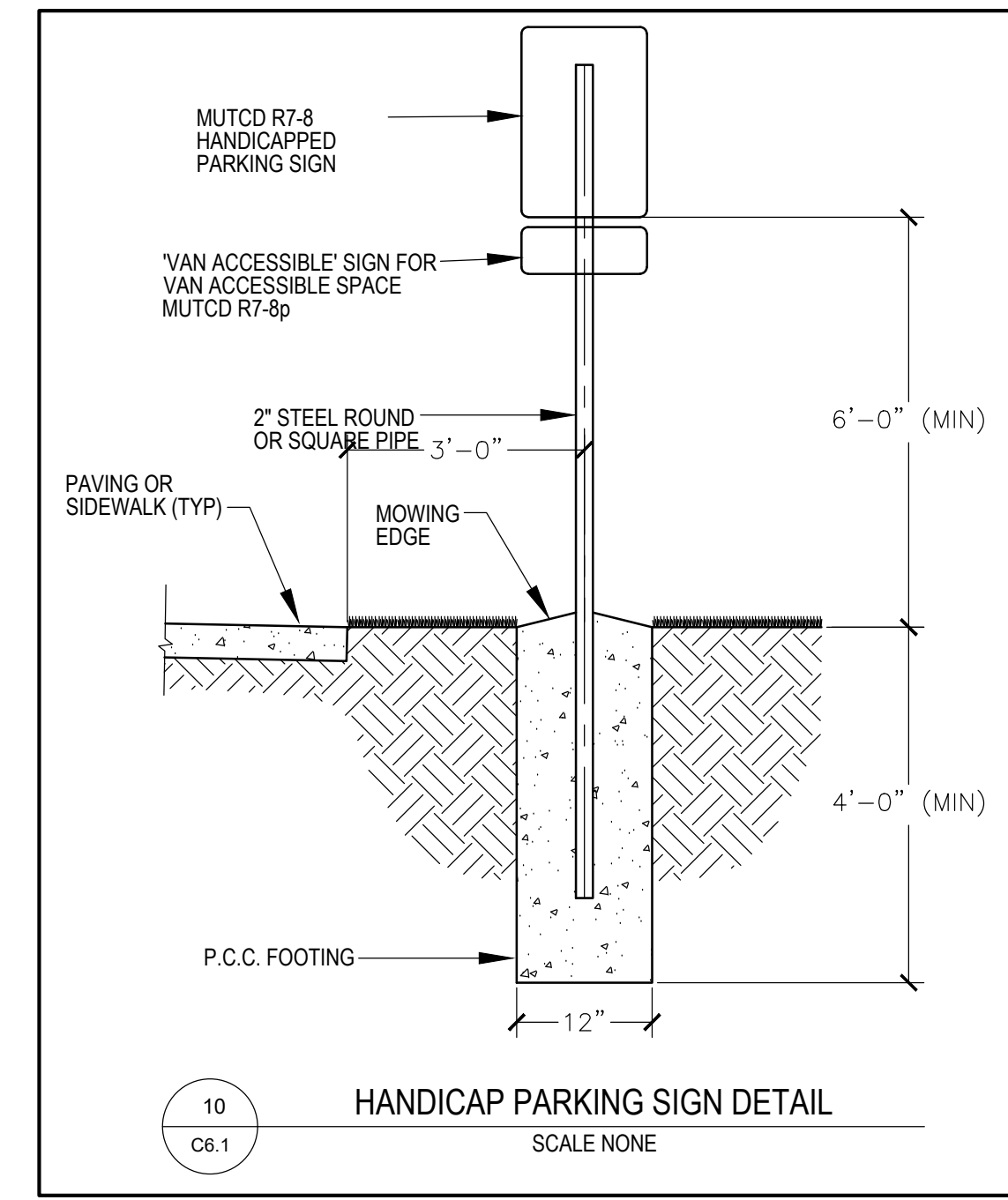
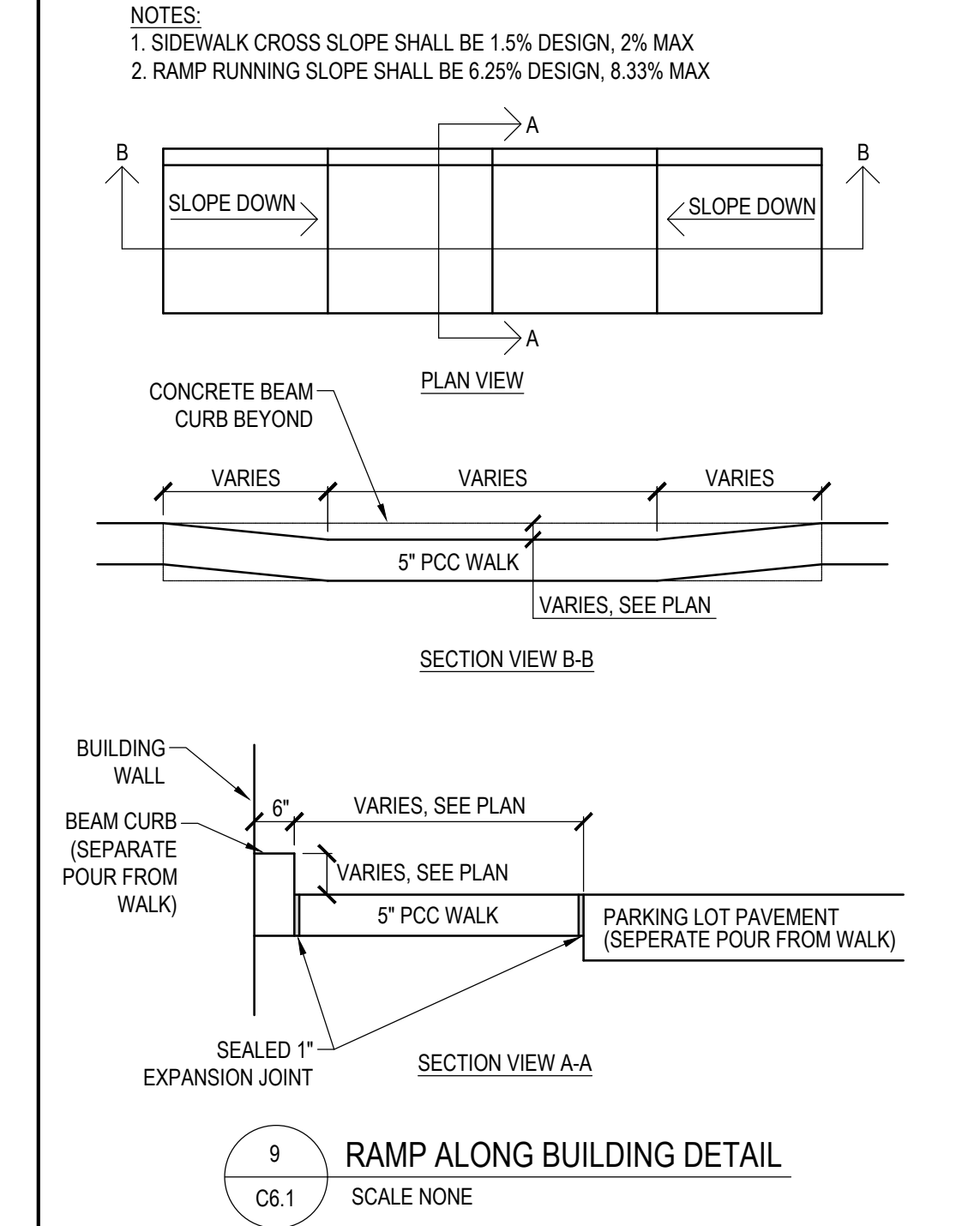
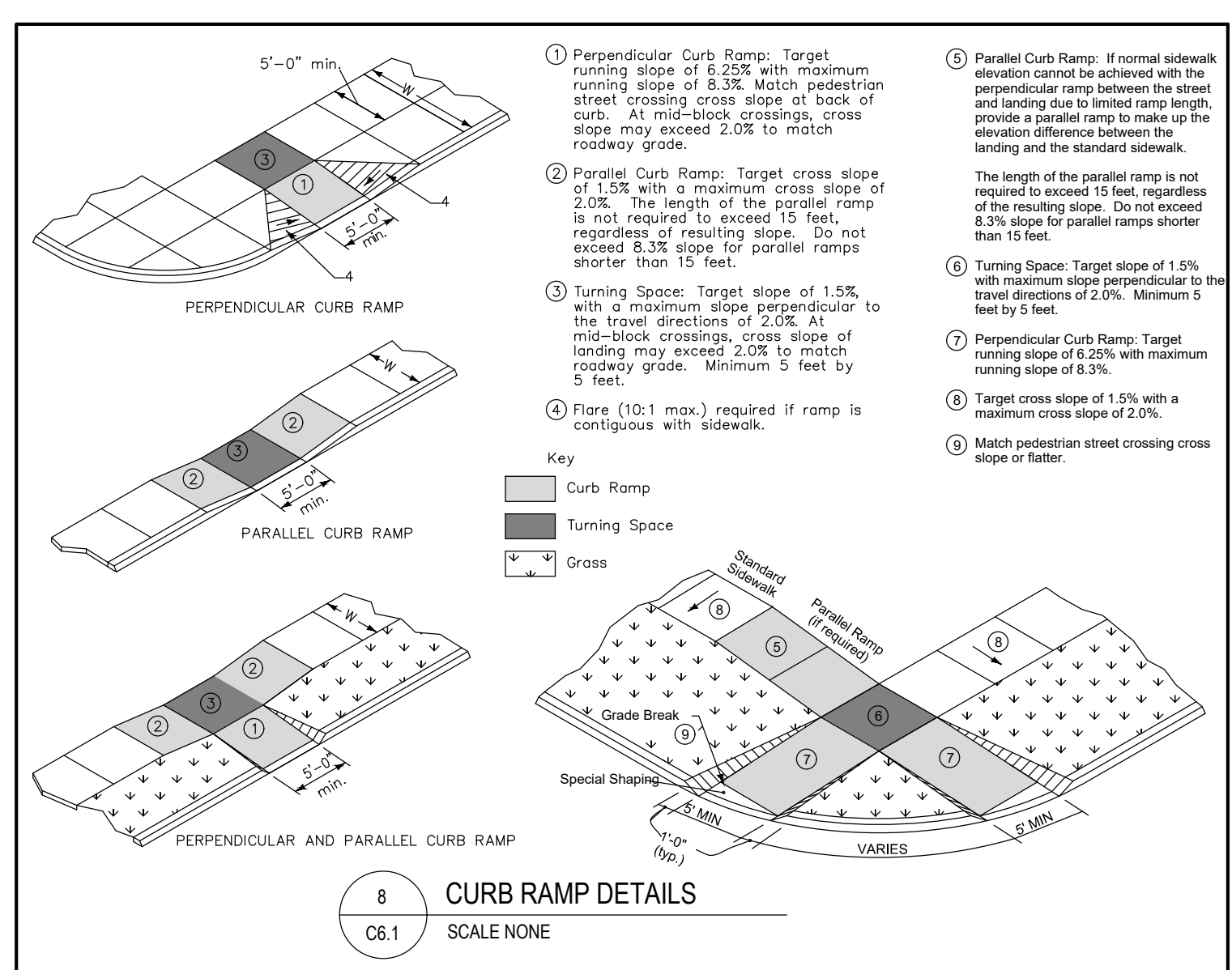
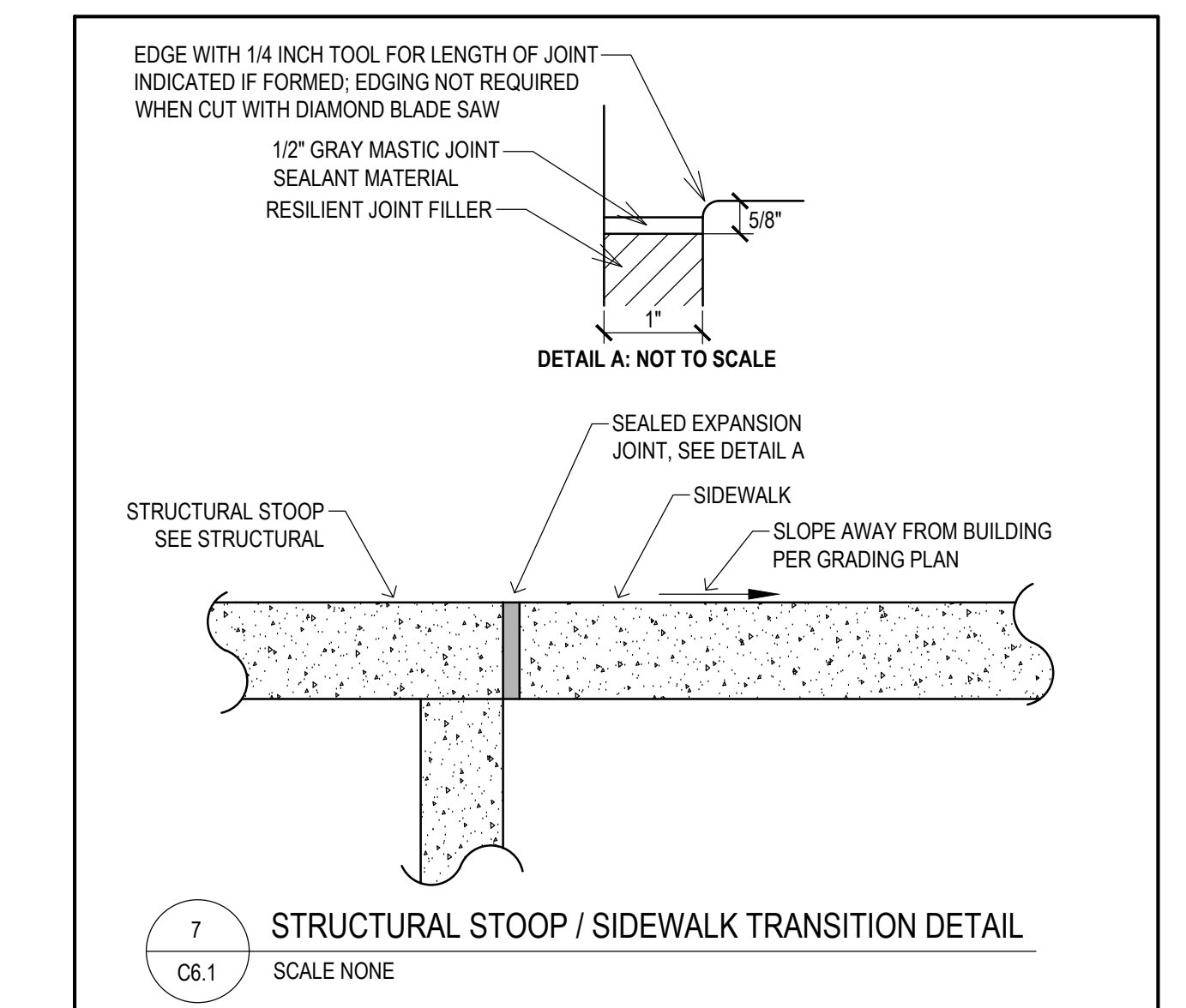
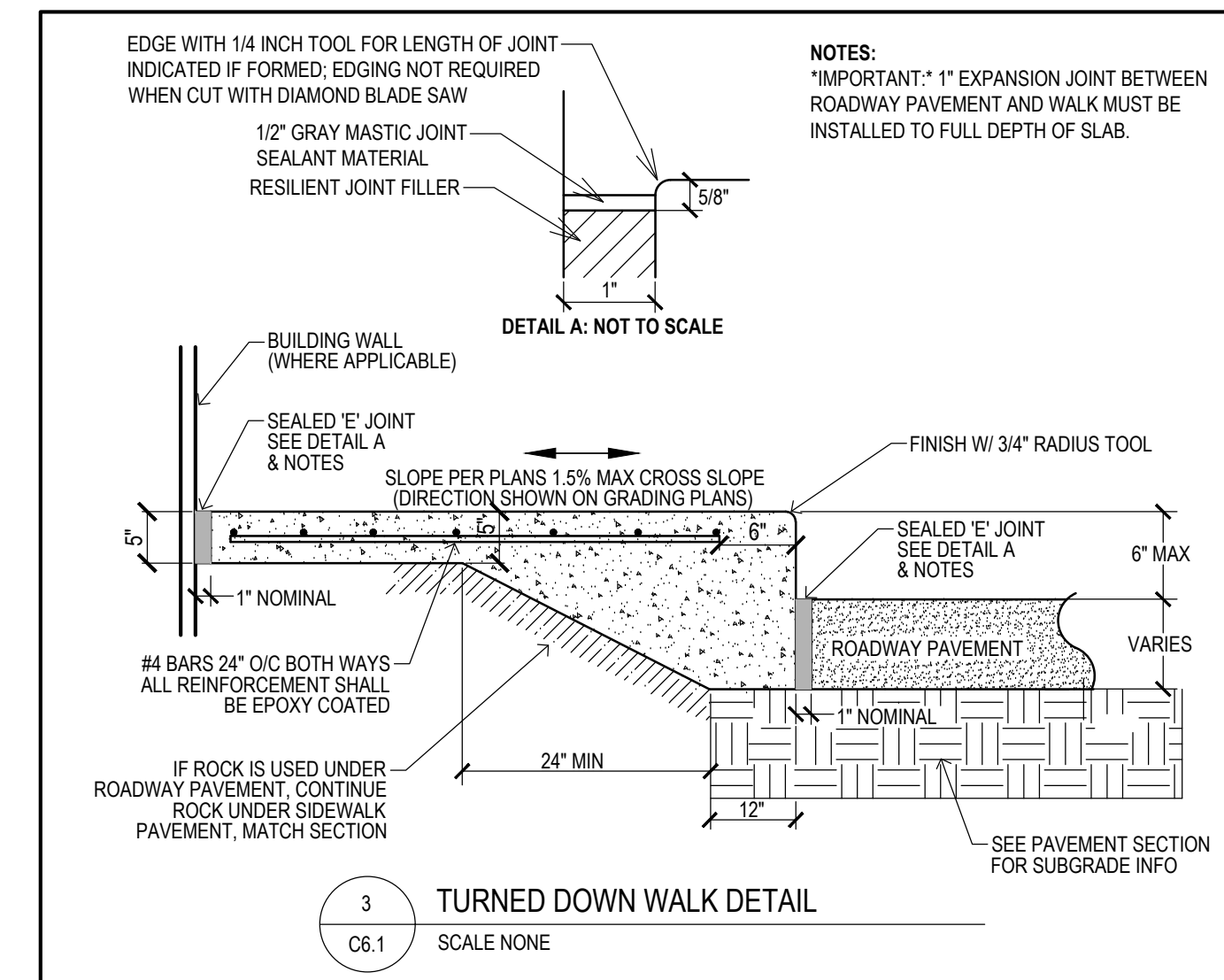
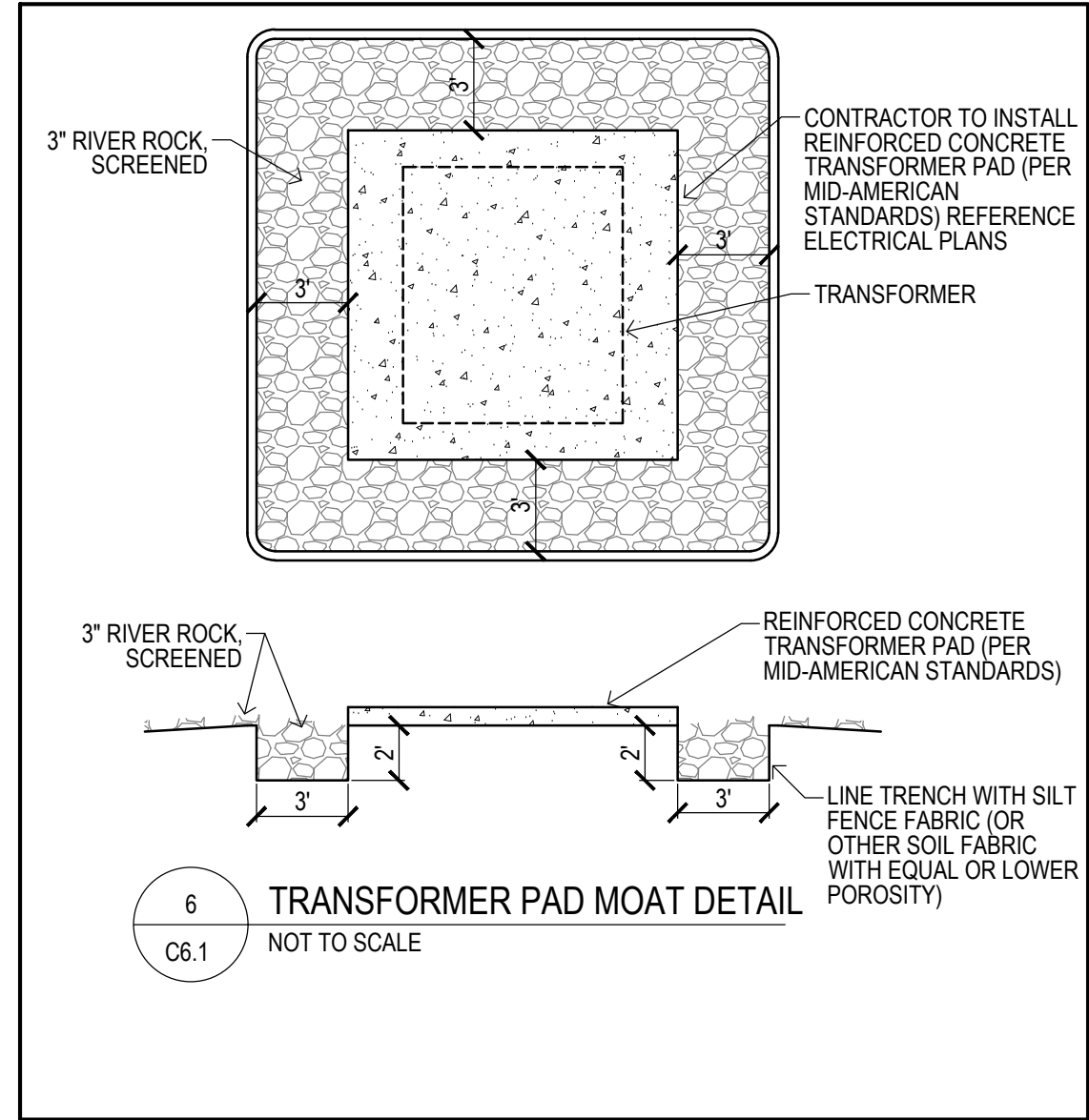
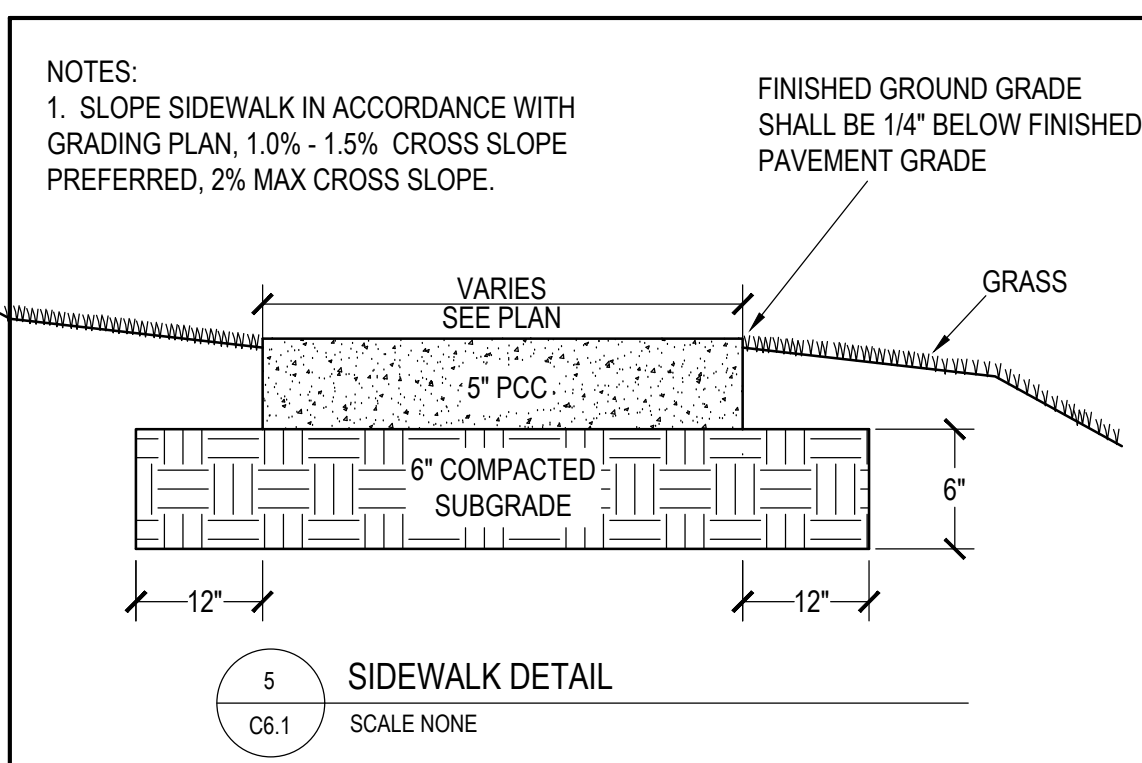
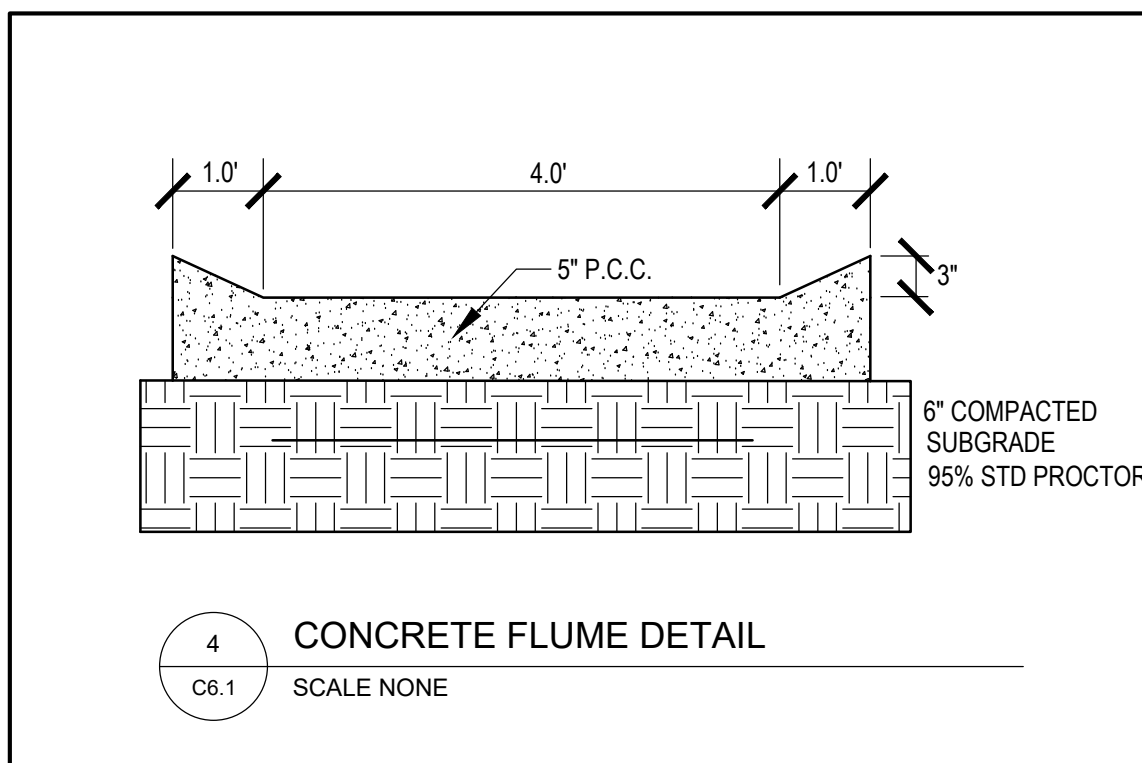
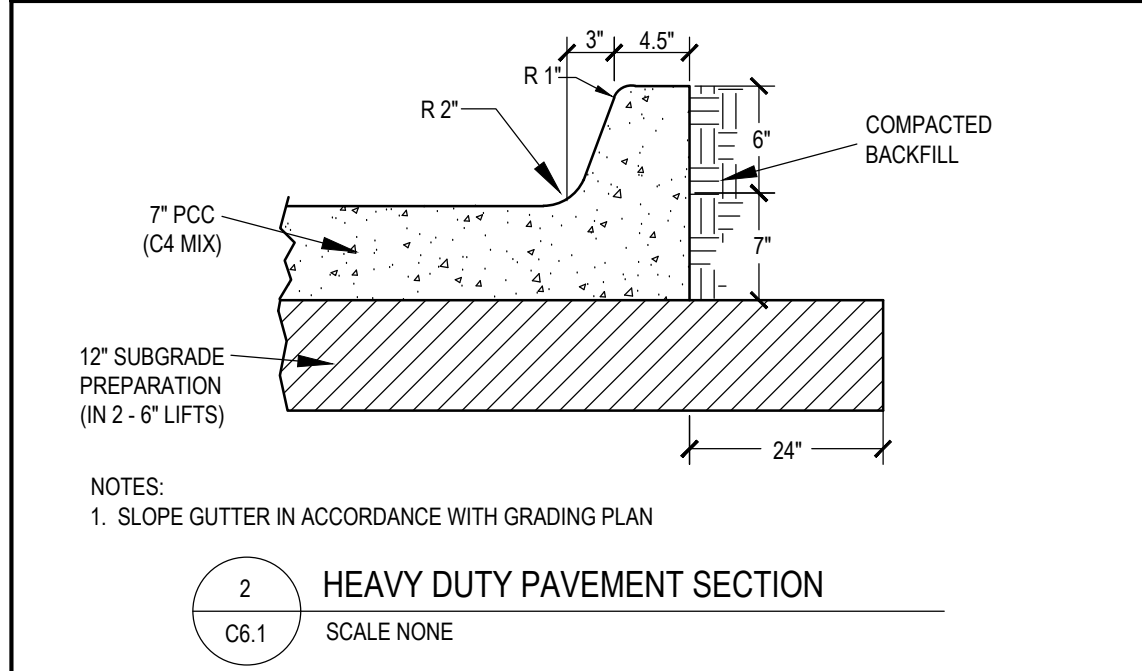
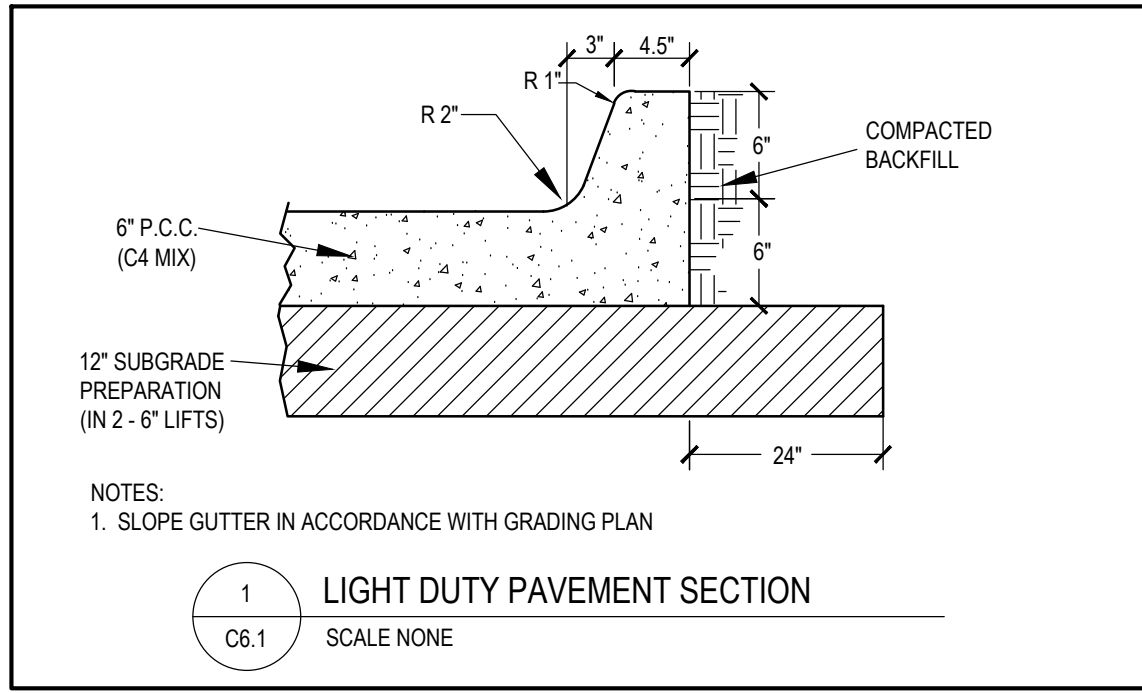
EVERGREEN TREE PLANTING (B&B)
 SCALE: NOT TO SCALE



DECIDUOUS TREE PLANTING (TYP.)
 SCALE: NOT TO SCALE

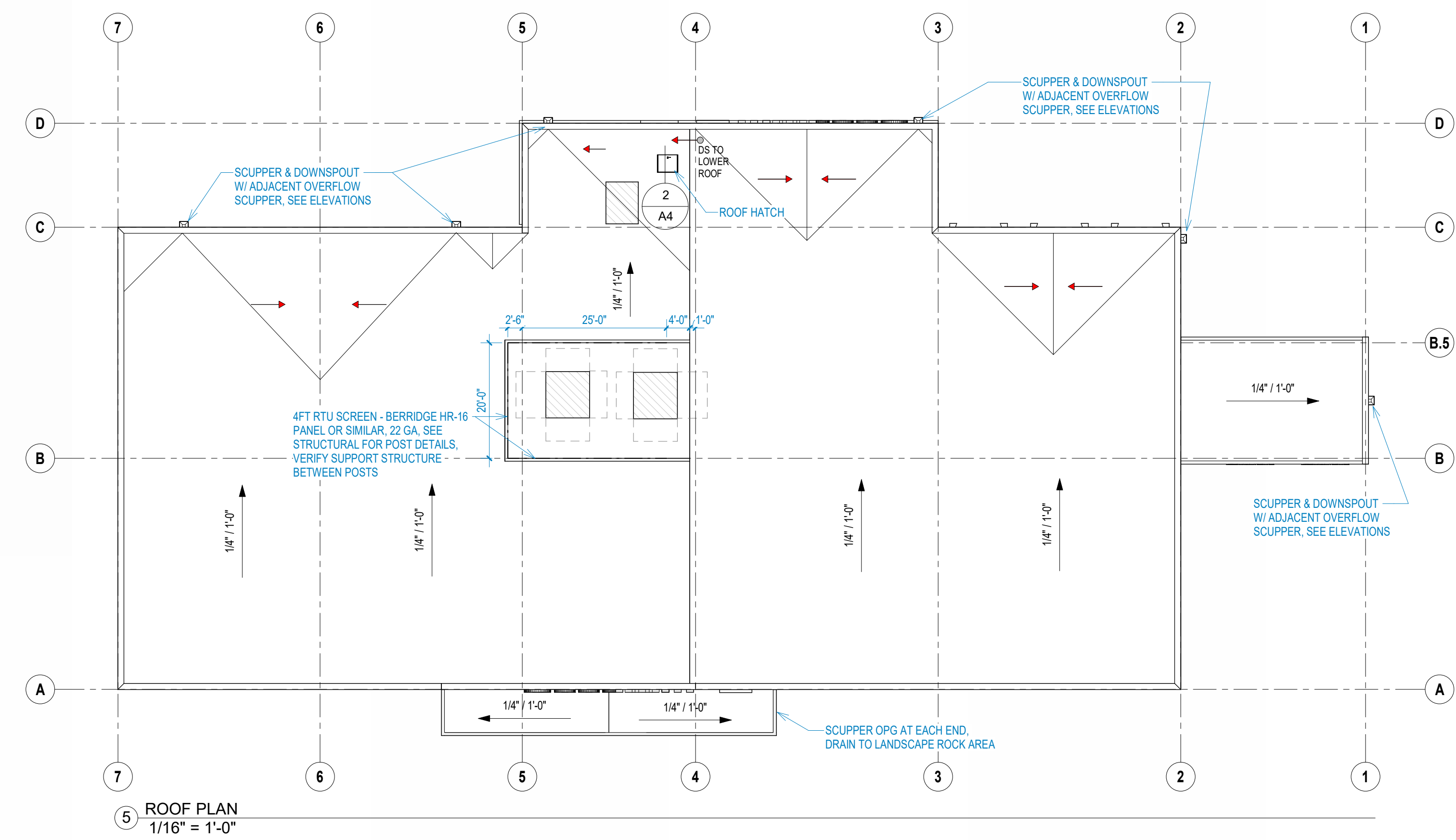


WOOD FENCE DETAIL
 SCALE: 1/2" = 1'-0"





Exterior Materials	NORTH		WEST (CITY ROW)		SOUTH		EAST (HWY ROW)		TOTAL (ALL SIDES)	
	Area	%	Area	%	Area	%	Area	%	Area	%
STOREFRONT / GLAZING	100	7%	1210	30%	255	11%	785	20%	2350	20%
ARCHITECTURAL CONCRETE PANELS	700	48%	1845	45%	1500	66%	2080	52%	6125	52%
FULL DEPTH BRICK	650	45%	1030	25%	535	23%	935	23%	3150	27%
OPAQUE DOORS	0	0%	0	0%	0	0%	220	5%	220	2%
TOTAL WALL AREA	1450	100%	4085	100%	2290	100%	4020	100%	11845	100%



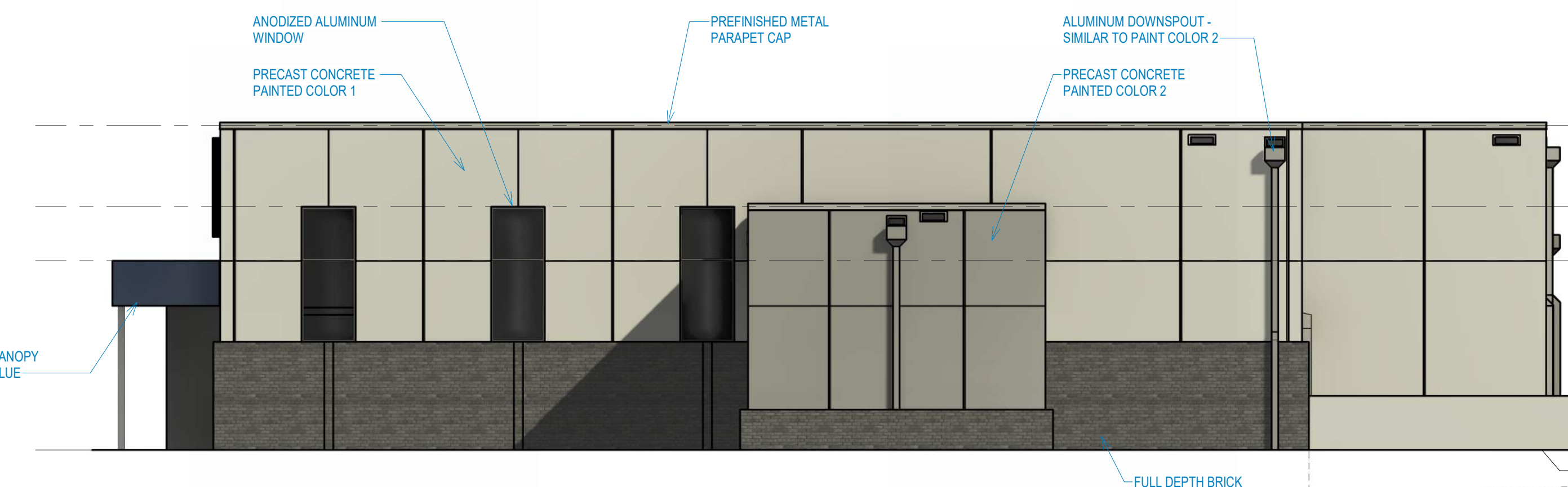
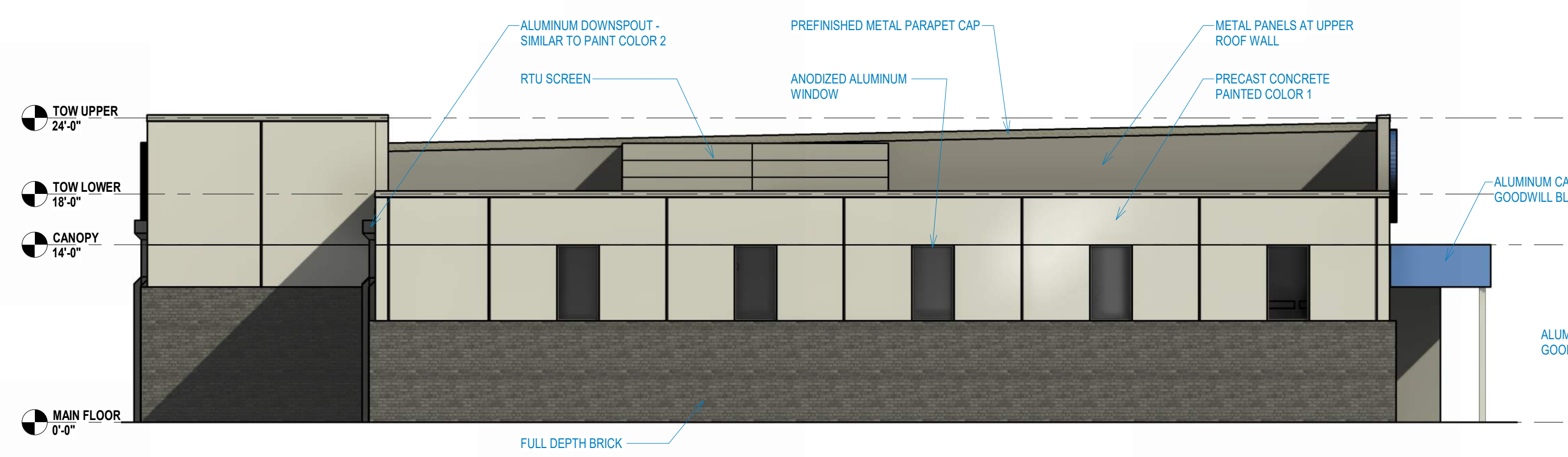
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RAINS ARCHITECTURE
 8797 NW 54TH AVE #100, JOHNSTON, IA 50131
 515-259-9320 | jra@rainsarch.com

CIVIL ENGINEERING
 BISHOP ENGINEERING
 3001 104TH ST, URBANDALE, IA 50322
 515-276-0467

STRUCTURAL ENGINEERING
 CLIFTON STRUCTURAL
 618 NE 57TH, ANKENY, IA 50312
 515-468-1480

MEP ENGINEER
 DURANTEN
 3737 WOODLAND AVE SUITE 420
 WEST DES MOINES, IA 50266
 515-452-8341



- EXTERIOR MATERIALS NOTES:**
- BRICK
 - MANUFACTURER: GLEN GERY
 - COLOR: IRON VINEYARD
 - SIZE: UTILITY
 - PRECAST CONCRETE WALLS
 - SUPPLIER: SHERWIN WILLIAMS
 - PAINT: COLOR 1 - SW 7030 ANEW GRAY
 - PAINT: COLOR 2 - SW 7032 WARM STONE
 - METAL PANELS
 - SUPPLIER: BERRIDGE OR SIMILAR
 - SYSTEM: THIN-LINE PANEL OR SIMILAR
 - COLOR: DARK BROWN
 - ANODIZED ALUMINUM
 - FINISH: DARK BRONZE
 - PARAPET CAP
 - MANUFACTURER: UNIA-CLAD METAL (OR EQ)
 - COLOR: DARK BRONZE
 - CANOPY - GOODWILL BLUE
 - SUPPLIER: UNIA-CLAD METAL (OR EQ)
 - COLOR: CUSTOM BLUE

- EXTERIOR GENERAL NOTES:**
- NO TRASH ENCLOSURE WILL BE USED AT THIS SITE
 - GOODWILL SIGN TO BE BACKLIT
 - GOODWILL SIGN TO HAVE BLUE LETTERS & LOGO

RETAIL STORE

GOODWILL OF CENTRAL IOWA
 351 SE GATEWAY CIRCLE
 GRIMES, IOWA 50111

Revisions	

ISSUE 12/16/25 PROJ. RA-25032
 EXTERIOR ELEVATION CALCS

2026-03-27 -- EXTERIOR ELEVATIONS FOR SITE PLAN REVIEW