



# Parks and Recreation Advisory Board Agenda

## Grimes Parks and Recreation Advisory Board July 16, 2025 @ 5:30 PM Grimes Community Complex, 410 SE Main Street, Room 203

Public Comment: If you would like to address the Parks and Recreation Advisory Board during the Public Comment portion of the meeting, please sign up upon entrance to the meeting. Participants must be recognized by the presiding officer and must state their full name and address before addressing the Parks and Recreation Advisory Board. The presiding officer will recognize you for 3 minutes of comment, and your microphone will be turned on. Pursuant to §21.4(2) of the Code of Iowa (2019), the City has the right to amend this agenda up until 24 hours before the posted meeting time. For any additional assistance or questions in attending the meeting, please call 515-986-3036. Meetings will be recorded.

### **AGENDA ITEMS**

1. Call to Order
2. Roll Call
3. Approval of the Agenda
4. Approval of the Previous Minutes

### **PUBLIC FORUM**

**“People wishing to address the Board need to sign up on the sheet which has been provided on the table near the door. Each person will be allowed three minutes from the podium and may address with no more than two issues per Grimes Rules of Procedure for Conduct of City Business – May 2005.”**

### **PUBLIC AND PARK BOARD AGENDA ITEMS**

1. Verizon Des Beaver Creek Site Plan Amendment
2. Brookside Village Rezone
3. Lions Park Playground Recommendation

### **BOARD DISCUSSION**

1. Presidents Report
2. Staff Reports
3. Council Liaison Update

### **ADJOURNMENT**





This meeting of the Grimes Parks and Recreation Board was called to order on May 28, 2025 at 5:31 pm.

**ROLL CALL**

Present – Ross Junge, Renee Johnson and April Heitland.

Staff – Brian Becker, Jennifer Whitham Johnson, Alex Miller, Tim Smith and Alivia Hoodjer.

**GENERAL AGENDA ITEMS**

1. APPROVAL OF THE AGENDA  
Motion by Heitland. Second by Johnson. Motion passed.
  
2. APPROVAL OF THE MINUTES  
No minutes from last month’s meeting.

**PUBLIC FORUM**

No Public Forum.

**AGENDA ITEMS**

1. Verizon Des Beaver Creek Site Plan Amendment:  
City Planner Alivia Hoodjer shared plans for a new cellular tower to be placed at the HyVee Multiplex. Hoodjer informed the Board about the tower’s potential location, design, site plan and shared a rendering of the tower. The lease agreement will generate revenue for the Grimes Parks and Recreation Department. Johnson motioned to approve the tower construction and lease agreement. Junge seconded. Motion passed. Heitland voted nay. Heitland shared her concerns regarding the aesthetics of adding the tower at the Hy-Vee Multiplex.
  
2. Park Investment Plan Update:  
Sports Facilities Operations Manager Alex Miller presented on the new Park Investment Plan. This plan implements a rating system for all City parks. This will help the Parks and Recreation Department determine which parks to invest resources in, as well as the timeline for park improvements. Considerations include current condition, safety & accessibility, cost of upgrades, available amenities and features, as well as alignment with long-term planning goals.
  
3. Sports Facilities Patron Count:  
Parks and Recreation Manager Tim Smith shared current patron numbers at North Sports Complex, South Sports Complex and the Hy-Vee Multiplex with the Board.

## **BOARD DISCUSSION**

1. President's Report

2. City Staff Report

Parks and Recreation Director Brian Becker reported that the military sculpture at the Grimes Public Library is complete. Becker also shared that Chase Bank is sponsoring two pods at the Hy-Vee Multiplex.

3. Council Liaison Report

## **ADJOURN**

Adjourned at 6:14 pm



**DESIGN 1**  
 9973 VALLEY VIEW RD.  
 EDEN PRAIRIE, MN 55344  
 (952) 903-9299  
 WWW.DESIGN1EP.COM

**verizon**  
 10801 BUSH LAKE ROAD  
 BLOOMINGTON, MN 55438  
 (952) 946-4700

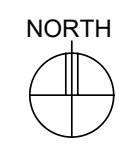
PROJECT  
 ---  
 LOC. CODE: 573148

DES  
 BEAVER CREEK

NE HERITAGE DR  
 GRIMES, IA 50111

SHEET CONTENTS:  
 PHOTO SIMULATION

DRAWN BY:	MJS
CHECKED BY:	JP/TJR
v.1	05-05-25
v.2	06-05-25



**PS-0**



① EXISTING PHOTO

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PS-1A



1 PROPOSED IMAGE

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v.1	05-05-25
v.2	06-05-25

PS-2B



# DES BEAVER CREEK NEW BUILD

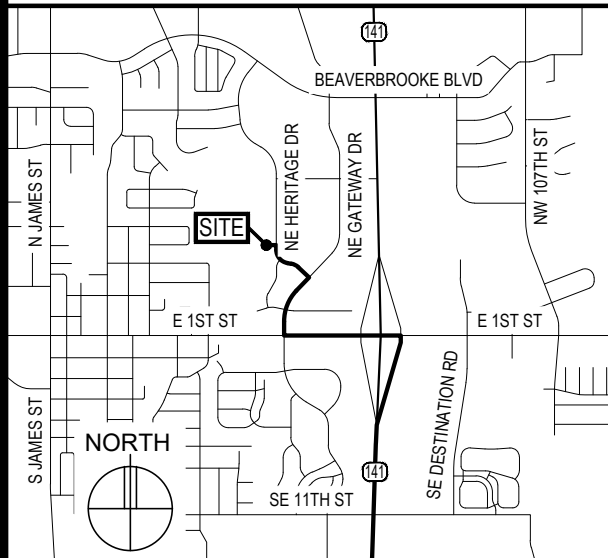
## PROJECT INFORMATION

SITE NAME: DES BEAVER CREEK  
 SITE ADDRESS: NE HERITAGE DR GRIMES, IA 50111  
 COUNTY: POLK  
 LATITUDE: N 41° 41' 34.46"  
 LONGITUDE: W 93° 46' 54.20"  
 DRAWING BASED ON RFDS DATED: 04-12-24  
 CONSTRUCTION TYPE: IIB  
 SITE AREA: 8' X 14' - 112 S.F.

## SHEET INDEX

SHEET	SHEET DESCRIPTION
T-1	PROJECT INFORMATION, TOWER ELEVATION & SHEET INDEX
A-1	OVERALL SITE PLAN
A-1.1	SITE PLAN, DETAIL INDEX & PHOTO
A-2	ENLARGED SITE PLAN
A-3	ANTENNA AND COAX KEY, CABLE BRIDGE PLAN & DETAILS
A-4	TOWER ELEVATION, MOUNTING DETAILS & BOLLARD DETAILS
A-5	FENCE & GATE DETAILS
A-6	CABINET DETAILS
A-7	OUTLINE SPECIFICATIONS
G-1	GROUNDING & UTILITY NOTES
G-2	GROUNDING PLAN & GROUNDING DETAIL INDEX
U-1	SITE UTILITY PLAN
U-2	ENLARGED SITE UTILITY & PULLBOX LOCATION PLANS
-	SURVEY (2 SHEETS)

## VICINITY MAP



MAP DATA ©2023 GOOGLE

## LOCATION SCAN



## ISSUE SUMMARY

REV	DESCRIPTION	SHEET/DETAIL
A	ISSUED FOR REVIEW 11-08-24	ALL
B	ISSUED FOR OWNER SIGNOFF 12-13-24	ALL
C	ISSUED FOR REVISED ANTENNA KEYS 12-20-24	A-3
D	ISSUED FOR CITY REQUIREMENTS 04-10-25	ALL
E	ISSUED PER CITY COMMENTS 05-06-25	ALL
F	ISSUED PER CITY COMMENTS 05-28-25	ALL

## DEPARTMENTAL APPROVALS

JOB TITLE	NAME	DATE
RF ENGINEER	NICHOLAS CLAUSEN	04-15-25
OPERATIONS MANAGER		
CONSTRUCTION ENGINEER	JUSTIN RUCH	04-15-25

## LESSOR / LICENSOR APPROVAL

SIGNATURE	PRINTED NAME	DATE

LESSOR / LICENSOR: PLEASE CHECK THE APPROPRIATE BOX BELOW  
 NO CHANGES.  CHANGES NEEDED. SEE COMMENTS.

## CONTACTS

LESSOR / LICENSOR: CITY OF GRIMES  
 410 SE MAIN ST, SUITE 102  
 GRIMES, IA 50111  
 ALEX PFALTZGRAFF (515) 986-4050

LESSEE: VERIZON WIRELESS  
 10801 BUSH LAKE ROAD  
 BLOOMINGTON, MN 55438  
 CONSTRUCTION DEPT (952) 946-4700

POWER UTILITY COMPANY CONTACT: MIDAMERICA ENERGY  
 500 EAST COURT AVE  
 DES MOINES, IA 50309  
 LAYNE OGLE (515) 252-6797

TELCO UTILITY COMPANY CONTACT: ONEFIBER  
 250 SE DESTINATION DRIVE  
 GRIMES, IA 50111  
 RYAN HESELTINE (515) 986-7325

DESIGNER: DESIGN 1 OF EDEN PRAIRIE  
 9973 VALLEY VIEW ROAD  
 EDEN PRAIRIE, MN 55344  
 (952) 903-9299

SURVEYOR: WIDSETH  
 610 FILLMORE STREET - PO BOX 1028  
 ALEXANDRIA, MN 56308-1028  
 320-762-8149

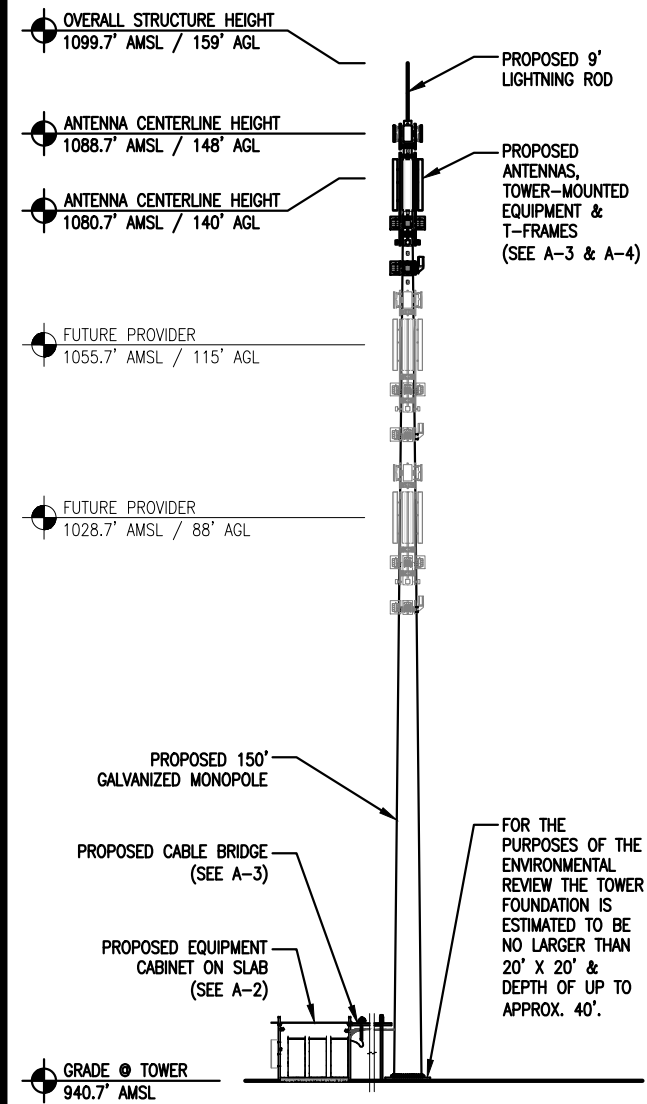
STRUCTURAL ENGINEER: T.B.D

GEOTECHNICAL ENGINEER: CERTIFIED TESTING SERVICES, INC  
 419 WEST 6TH ST, PO BOX 1193  
 SIOUX CITY, IA 51102  
 JAMES BERTSCH, PE (712) 252-5132

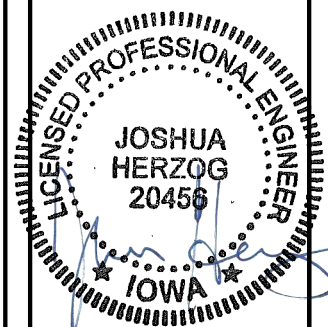
NOTES:  
 1. THESE DRAWINGS DO NOT CONSTITUTE A WARRANTY, EXPRESSED OR IMPLIED, OF THE ACCURACY OF THE STRUCTURAL ANALYSES AND THE PERFORMANCE OF THE COMPLETED CONSTRUCTION AS SHOWN ON THESE DOCUMENTS AND THE STRUCTURAL ANALYSES.  
 2. NO STRUCTURAL ANALYSIS FOR THE TOWER, MOUNTS OR FOUNDATION HAVE BEEN PERFORMED AS PART OF THESE DRAWINGS. THE STRUCTURAL ANALYSIS FOR THE TOWER AND FOUNDATION ARE BY THE TOWER SUPPLIER AND SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF THE PROJECT.  
 3. PLEASE COORDINATE ANY STRUCTURAL CONCERNS/MATTERS OR ANY LOADING MODIFICATIONS TO THE CONSULTANT WHO AUTHORED THE ANALYSIS AND NOTIFY DESIGN 1 IMMEDIATELY OF THE ISSUE.  
 4. TOWER FOUNDATION, EQUIPMENT SLAB, GENERATOR FOUNDATION, AND THE ACCESS DRIVE TO BE EXCAVATED AND CONSTRUCTED IN ACCORDANCE WITH RECOMMENDATIONS AND SPECIFICATIONS OF THE GEOTECHNICAL REPORT WHICH IS NOT INCLUDED IN THIS PACKAGE. DISCREPANCIES BETWEEN THE REPORT AND THE OTHER DOCUMENTS TO BE IMMEDIATELY REPORTED TO VERIZON WIRELESS AND THE DESIGNER.

## TOWER ELEVATION

NOTES:  
 1. TOWER TO BE ERECTED AND INSTALLED IN ACCORDANCE WITH TOWER MANUFACTURER'S DRAWINGS NOT INCLUDED WITH THIS PACKAGE. DISCREPANCIES BETWEEN TOWER DRAWINGS AND DESIGNER DRAWINGS TO BE REPORTED TO VERIZON WIRELESS AND THE DESIGNER IMMEDIATELY.  
 2. CONTRACTOR TO ENSURE TIP OF ANTENNAS DO NOT EXCEED TOWER HEIGHT.  
 3. ELEVATION IS SHOWN FOR GENERAL DIAGRAMMATIC PURPOSES ONLY. DO NOT SCALE.  
 4. THE STRUCTURAL DESIGN FOR THE MOUNTS (BY OTHERS) SHALL BE PER THE VERIZON NETWORK STANDARD NSTD-445. ALL LOADING AND DESIGN SHALL BE PER THE TIA-222-H STANDARD.



1 NORTH ELEVATION  
 SCALE: 1" = 30'-0"  
 GRAPHIC SCALE: 0 15' 30'



HE #: 241495 05/28/2025



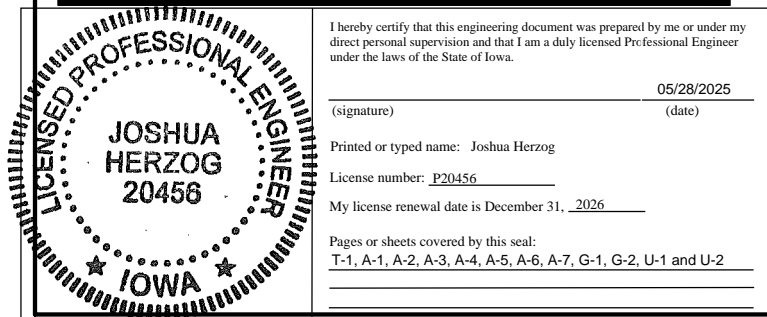
PROJECT  
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
SHEET CONTENTS:  
 CONTACTS  
 ISSUE SUMMARY  
 SHEET INDEX  
 DEPARTMENTAL APPROVALS  
 LESSOR APPROVAL  
 PROJECT INFORMATION  
 AREA & VICINITY MAPS  
 GENERAL NOTES

DRAWN BY:	JP
CHECKED BY:	TRB
REV. A	11-08-24
REV. B	12-13-24
REV. C	12-20-24
REV. D	04-10-25
REV. E	05-06-25
REV. F	05-28-25





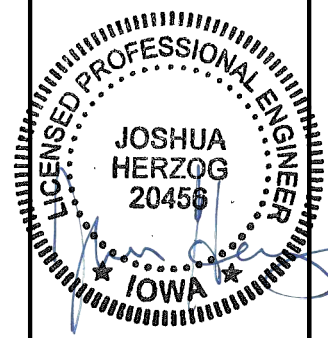


LANDSCAPE KEY					
SYMBOL	QTY.	COMMON NAME	BOTANICAL NAME	MATURE SIZE	PLANTING SIZE
	4	TRAUTMAN JUNIPER	JUNIPERUS CHINENSIS 'TRAUTMAN'	H: 12' W: 4'	2 EA. @ 8' TALL

**2 LANDSCAPE KEY**

**NOTES:**  
 1.) ALL CROSS SLOPES FOR THE PROPOSED SIDEWALK & DRIVE TO BE LESS THAN 1:48.  
 2.) GRADE ADJACENT TO SIDEWALKS & DRIVE SHALL HAVE A VERTICAL DROP-OFF 1/2" MAXIMUM WITHIN 10" HORIZONTAL OF THE SIDEWALK/DRIVE EDGE.  
 3.) SEE SHEET G-1 FOR ADDITIONAL NOTES.

**HERZOG ENGINEERING**  
 1334 81<sup>ST</sup> AVE NE  
 SPRING LAKE PARK, MN 55432  
 (612) 844-1234  
 WWW.HERZOGENGINEERING.COM



HE #: 241495 05/28/2025

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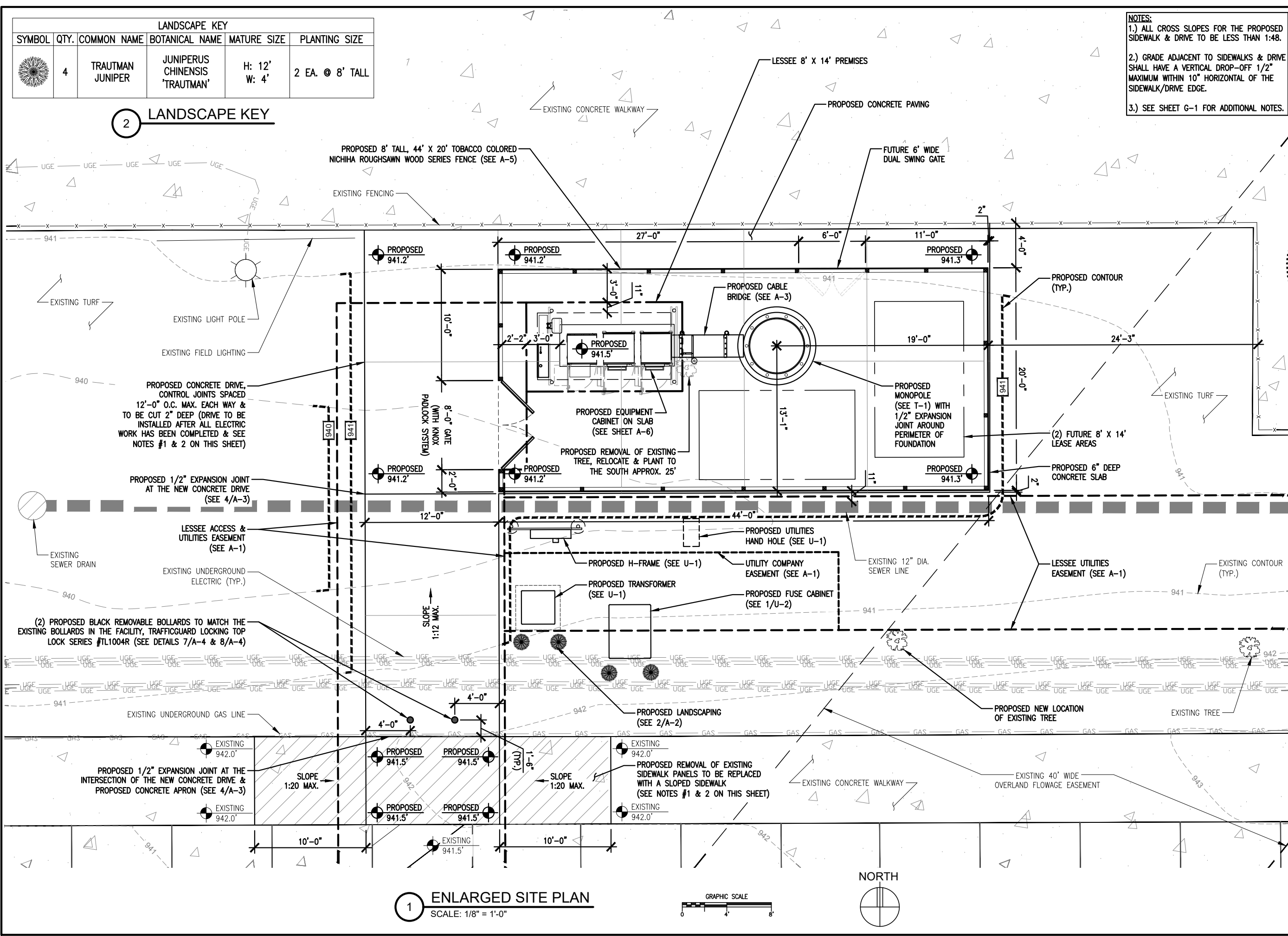
**DES BEAVER CREEK**

NE HERITAGE DR  
 GRIMES, IA 50111

**SHEET CONTENTS:**  
 ENLARGED SITE PLAN

DRAWN BY:	JP
CHECKED BY:	TRB
REV. A	11-08-24
REV. B	12-13-24
REV. C	12-20-24
REV. D	04-10-25
REV. E	05-06-25
REV. F	05-28-25

**A-2**

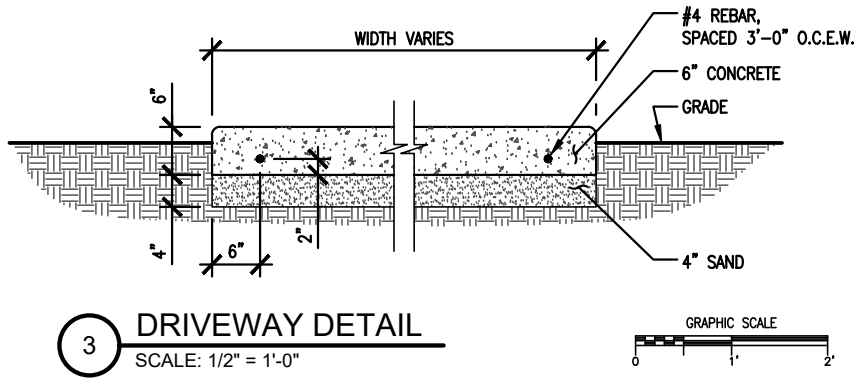
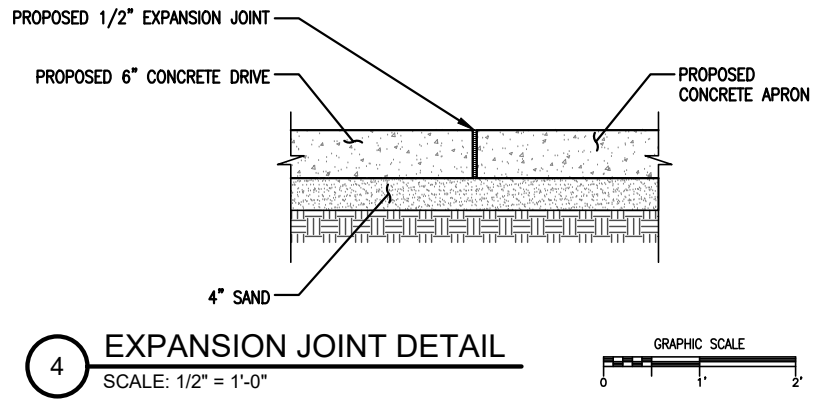
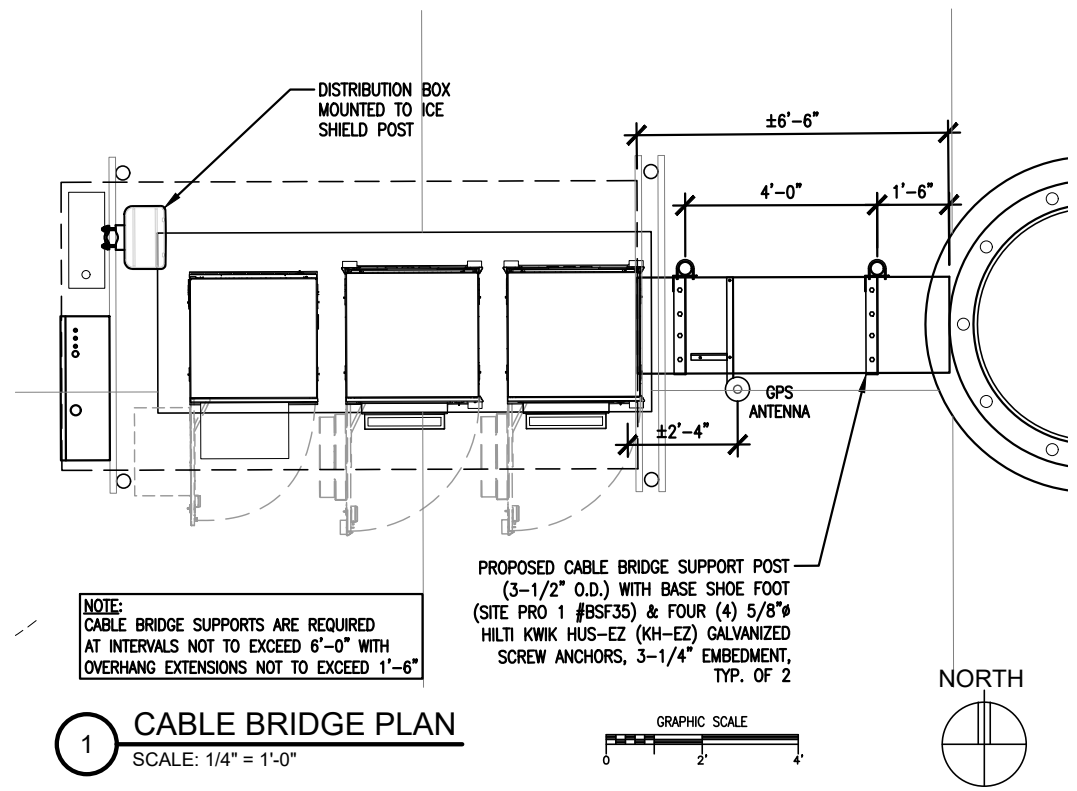


ANTENNA KEY													EQUIPMENT KEY				
	AZIMUTH	POSITION	FUNCTION	QTY	MANUFACTURER	MODEL	MOD TYPE	ANTENNA LENGTH	ANTENNA TIP	ANTENNA CENTER	ELEC DOWNTILT	MECH DOWNTILT	QTY	MANUFACTURER	MODEL	RRU PORT	
"X" SECTOR	30°	1.1	-	1	ERICSSON	AIR 6419	L-SUB6	28"	149.2'	148.0'	3'	0'	-	-	-	-	
	30°	2.1	TX/RX1	1	JMA	MX16FIT865-02	700/850	96"	144.0'	140.0'	2'	0'	1	ERICSSON	4490	1	
	-	2.2	TX/RX2	-	-	2ND PORT	700/850	-	-	-	-	-	-	-	-	2	
	-	2.3	TX/RX3	-	-	3RD PORT	700/850	-	-	-	-	-	-	-	-	3	
	-	2.4	TX/RX4	-	-	4TH PORT	700/850	-	-	-	-	-	-	-	-	4	
	-	2.5	TX/RX1	-	-	5TH PORT	AWS	-	-	-	2'	0'	-	1	ERICSSON	4890	1
	-	2.6	TX/RX2	-	-	6TH PORT	AWS	-	-	-	-	-	-	-	-	3	
	-	2.7	TX/RX3	-	-	7TH PORT	AWS	-	-	-	-	-	-	-	-	5	
	-	2.8	TX/RX4	-	-	8TH PORT	AWS	-	-	-	-	-	-	-	-	7	
	-	2.9	TX/RX1	-	-	9TH PORT	PCS	-	-	-	2'	0'	-	-	-	2	
	-	2.10	TX/RX2	-	-	10TH PORT	PCS	-	-	-	-	-	-	-	-	4	
	-	2.11	TX/RX3	-	-	11TH PORT	PCS	-	-	-	-	-	-	-	-	6	
	-	2.12	TX/RX4	-	-	12TH PORT	PCS	-	-	-	-	-	-	-	-	8	
	-	2.13	TX/RX1	-	-	13TH PORT	CBRS	-	-	-	2'	0'	-	1	ERICSSON	4408	1
	-	2.14	TX/RX2	-	-	14TH PORT	CBRS	-	-	-	-	-	-	-	-	2	
	-	2.15	TX/RX3	-	-	15TH PORT	CBRS	-	-	-	-	-	-	-	-	3	
-	2.16	TX/RX4	-	-	16TH PORT	CBRS	-	-	-	-	-	-	-	-	4		
"Y" SECTOR	150°	1.1	-	1	ERICSSON	AIR 6419	L-SUB6	28"	149.2'	148.0'	3'	0'	-	-	-	-	
	150°	2.1	TX/RX1	1	JMA	MX16FIT865-02	700/850	96"	144.0'	140.0'	2'	0'	1	ERICSSON	4490	1	
	-	2.2	TX/RX2	-	-	2ND PORT	700/850	-	-	-	-	-	-	-	-	2	
	-	2.3	TX/RX3	-	-	3RD PORT	700/850	-	-	-	-	-	-	-	-	3	
	-	2.4	TX/RX4	-	-	4TH PORT	700/850	-	-	-	-	-	-	-	-	4	
	-	2.5	TX/RX1	-	-	5TH PORT	AWS	-	-	-	2'	0'	-	1	ERICSSON	4890	1
	-	2.6	TX/RX2	-	-	6TH PORT	AWS	-	-	-	-	-	-	-	-	3	
	-	2.7	TX/RX3	-	-	7TH PORT	AWS	-	-	-	-	-	-	-	-	5	
	-	2.8	TX/RX4	-	-	8TH PORT	AWS	-	-	-	-	-	-	-	-	7	
	-	2.9	TX/RX1	-	-	9TH PORT	PCS	-	-	-	2'	0'	-	-	-	2	
	-	2.10	TX/RX2	-	-	10TH PORT	PCS	-	-	-	-	-	-	-	-	4	
	-	2.11	TX/RX3	-	-	11TH PORT	PCS	-	-	-	-	-	-	-	-	6	
	-	2.12	TX/RX4	-	-	12TH PORT	PCS	-	-	-	-	-	-	-	-	8	
	-	2.13	TX/RX1	-	-	13TH PORT	CBRS	-	-	-	2'	0'	-	1	ERICSSON	4408	1
	-	2.14	TX/RX2	-	-	14TH PORT	CBRS	-	-	-	-	-	-	-	-	2	
	-	2.15	TX/RX3	-	-	15TH PORT	CBRS	-	-	-	-	-	-	-	-	3	
-	2.16	TX/RX4	-	-	16TH PORT	CBRS	-	-	-	-	-	-	-	-	4		
"Z" SECTOR	270°	1.1	-	1	ERICSSON	AIR 6419	L-SUB6	28"	149.2'	148.0'	3'	0'	-	-	-	-	
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	-	2.4	TX/RX4	-	-	4TH PORT	700/850	-	-	-	-	-	-	-	-	4	
	-	2.5	TX/RX1	-	-	5TH PORT	AWS	-	-	-	2'	0'	-	1	ERICSSON	4890	1
	-	2.6	TX/RX2	-	-	6TH PORT	AWS	-	-	-	-	-	-	-	-	3	
	-	2.7	TX/RX3	-	-	7TH PORT	AWS	-	-	-	-	-	-	-	-	5	
	-	2.8	TX/RX4	-	-	8TH PORT	AWS	-	-	-	-	-	-	-	-	7	
	-	2.9	TX/RX1	-	-	9TH PORT	PCS	-	-	-	2'	0'	-	-	-	2	
	-	2.10	TX/RX2	-	-	10TH PORT	PCS	-	-	-	-	-	-	-	-	4	
	-	2.11	TX/RX3	-	-	11TH PORT	PCS	-	-	-	-	-	-	-	-	6	
	-	2.12	TX/RX4	-	-	12TH PORT	PCS	-	-	-	-	-	-	-	-	8	
	-	2.13	TX/RX1	-	-	13TH PORT	CBRS	-	-	-	2'	0'	-	1	ERICSSON	4408	1
	-	2.14	TX/RX2	-	-	14TH PORT	CBRS	-	-	-	-	-	-	-	-	2	
	-	2.15	TX/RX3	-	-	15TH PORT	CBRS	-	-	-	-	-	-	-	-	3	
-	2.16	TX/RX4	-	-	16TH PORT	CBRS	-	-	-	-	-	-	-	-	4		

ADDITIONAL:  
 (1) DISTRIBUTION BOX, MODEL RVZDC-6627-PF-48 (ON TOWER)  
 (1) DISTRIBUTION BOX, MODEL RVZDC-4520-RM-48 (IN CABINET)  
 (2) HUBER+SUHNER HYBRID CABLE, MODEL #85205110 (DIST BOX AT SLAB TO DIST BOX ON TOWER)  
 (12) HUBER+SUHNER HYBRID JUMPER, MODEL #85243898 (DIST. BOX TO RRU)  
 (48) ANDREW COAX JUMPER, MODEL LDF4-50A, 1/2"Ø FOAM DIELECTRIC, 10' EACH (RRU TO ANTENNA)  
 (1) POWERSHIFT EQUIPMENT, DC-DC UP-CONVERTER UNITS (IN CABINET)  
 (5) POWERSHIFT EQUIPMENT, DC-DC UP-CONVERTER MODULE (IN CABINET)

CABLE BRIDGE	=	7'
RAD CENTER	=	127'
CANOPY	=	12'
TOTAL	=	146'

2 PROPOSED KEYS



**HERZOG ENGINEERING**  
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LICENSED PROFESSIONAL ENGINEER  
 JOSHUA HERZOG  
 20456  
 IOWA

HE #: 241495 05/28/2025

**DESIGN**  
 9973 VALLEY VIEW RD.  
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 (952) 903-9299  
 WWW.DESIGN1EP.COM

**verizon**  
 10801 BUSH LAKE ROAD  
 BLOOMINGTON, MN 55438  
 (952) 946-4700

PROJECT  
 ----  
 LOC. CODE: 573148

DES  
 BEAVER CREEK

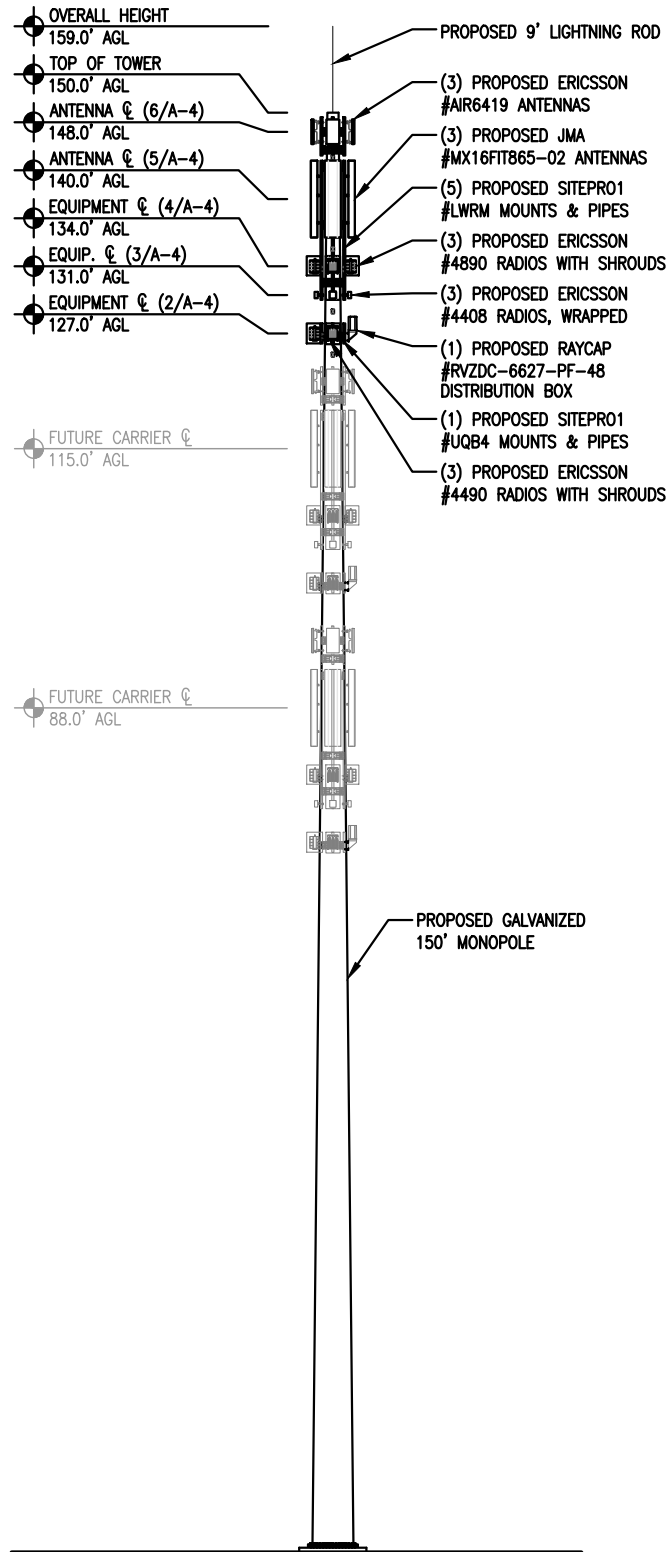
NE HERITAGE DR  
 GRIMES, IA 50111

SHEET CONTENTS:  
 PROPOSED KEYS  
 CABLE BRIDGE PLAN  
 DETAILS

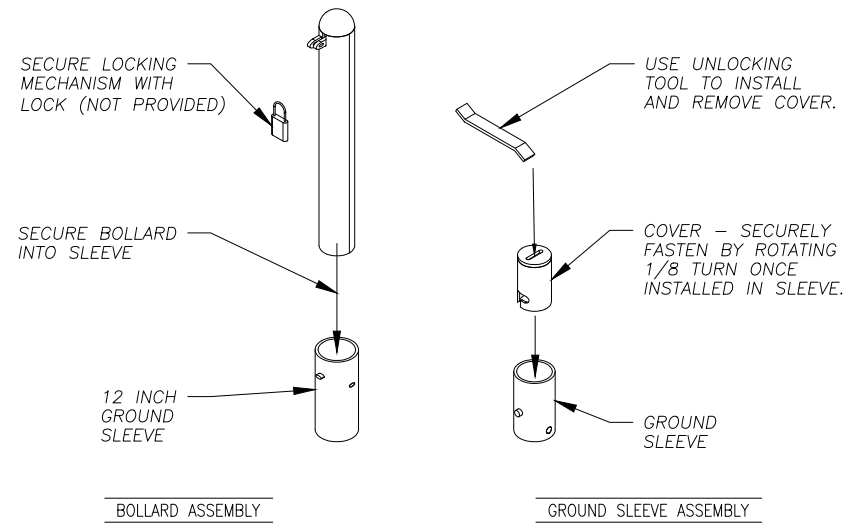
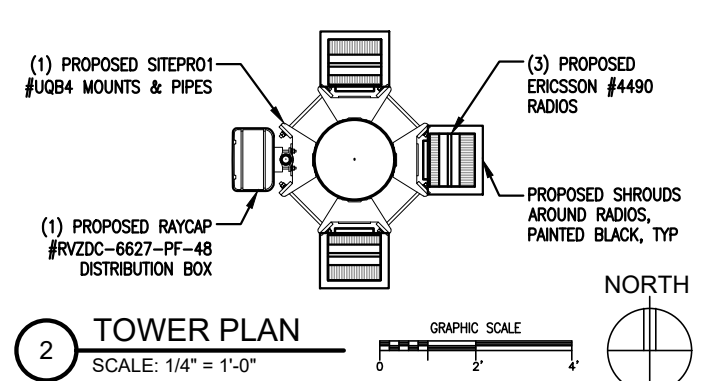
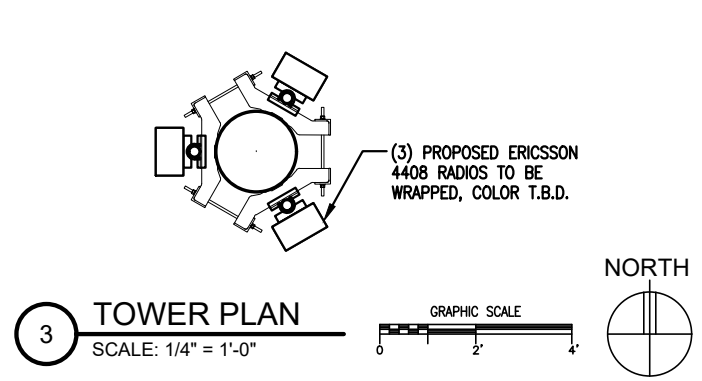
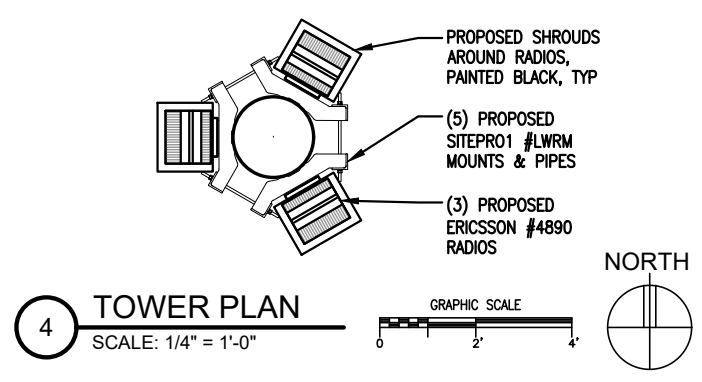
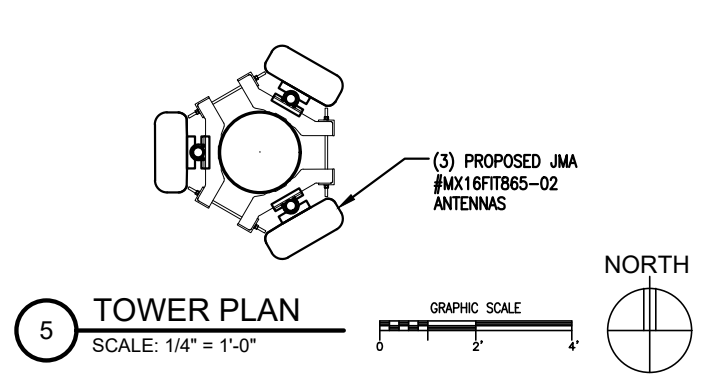
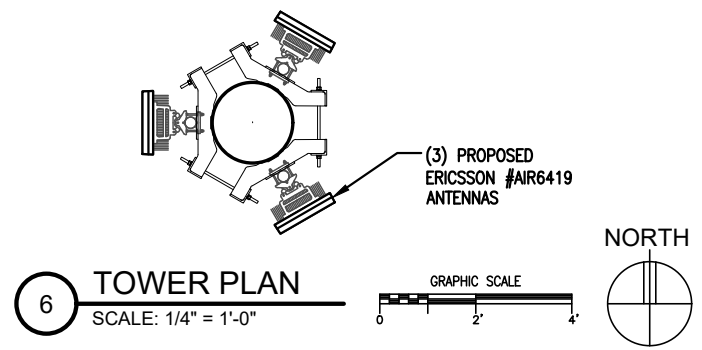
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CHECKED BY:	TRB
REV. A	11-08-24
REV. B	12-13-24
REV. C	12-20-24
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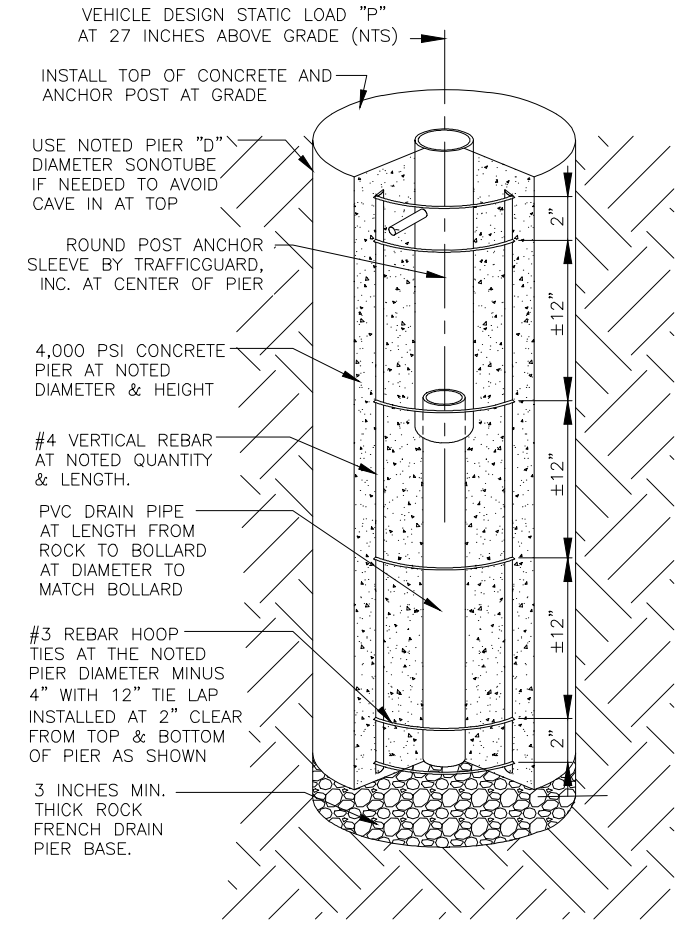
**NOTE:**  
 1.) VERIZON WIRELESS GC TO SUPPLY & INSTALL THE MOUNTS. THE MOUNTS MEET THE VERIZON WIRELESS MOUNT STANDARD NSTD-445. THE GC SHOULD OBTAIN A MOUNT CLASSIFICATION BY A LICENSED STRUCTURAL ENGINEER IN THE STATE OF THE PROJECT & SUBMIT THE PE-STAMPED REPORT TO VERIZON PRIOR TO CONSTRUCTION. THE GC SHALL BRING ANY CONCERNS OR DISCREPANCIES TO THE ATTENTION OF THE CONSTRUCTION ENGINEER & ENGINEER OF RECORD.  
 2.) ALL QUAD MOUNT AZIMUTHS TO BE 0°, 90°, 180° & 270°.  
 3.) CONTRACTOR TO ENSURE MOUNT & ANTENNA ARRAY DOES NOT IMPEDE SAFETY CLIMB/CABLES.  
 4.) CABLE TO BE BUNDLED & STRAPPED TO PIPE OR USE CLICK BLOCKS IN A NEAT, ORDERLY MANNER.



**1 TOWER ELEVATION**  
 SCALE: 1" = 20'-0"  
 GRAPHIC SCALE

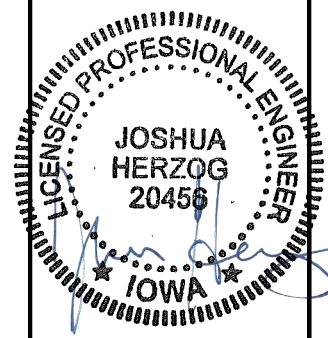


**7 BOLLARD ASSEMBLY**



**8 PIER ELEVATION SECTION**

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**PROJECT**  
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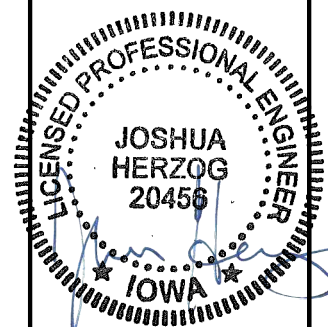
**DES BEAVER CREEK**

NE HERITAGE DR  
 GRIMES, IA 50111

**SHEET CONTENTS:**  
 TOWER ELEVATION  
 MOUNTING DETAILS  
 BOLLARD DETAILS

DRAWN BY:	JP
CHECKED BY:	TRB
REV. A	11-08-24
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REV. C	12-20-24
REV. D	04-10-25
REV. E	05-06-25
REV. F	05-28-25

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**PROJECT**  
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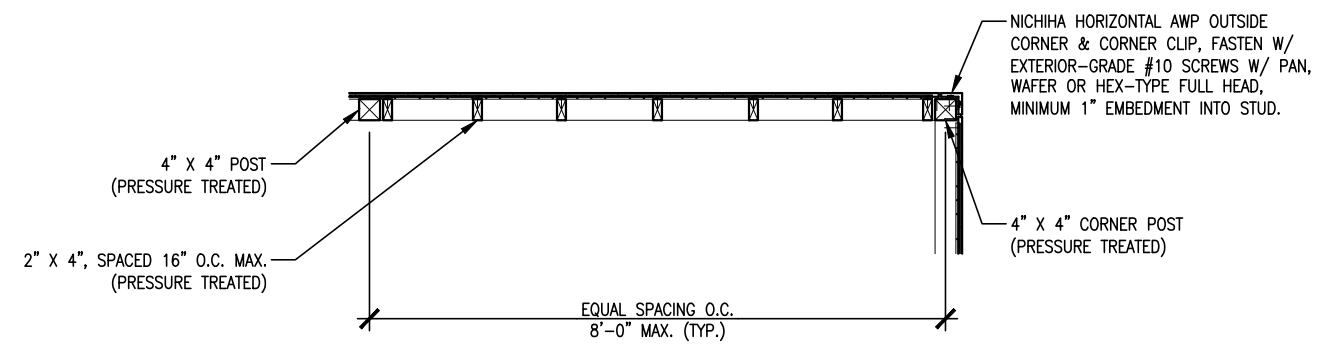
**DES  
BEAVER CREEK**

NE HERITAGE DR  
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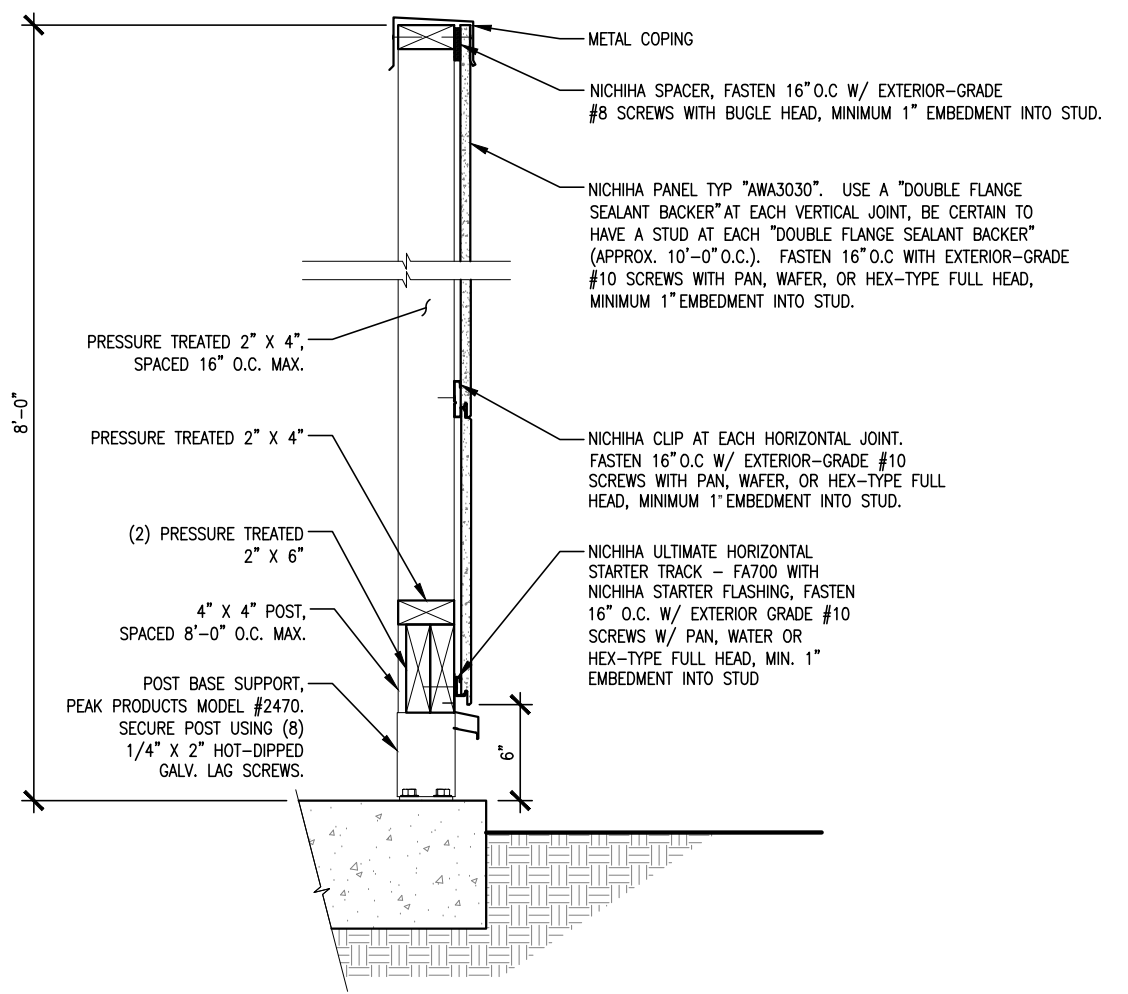
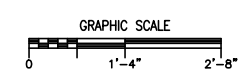
**SHEET CONTENTS:**  
FENCE & GATE DETAILS

DRAWN BY:	JP
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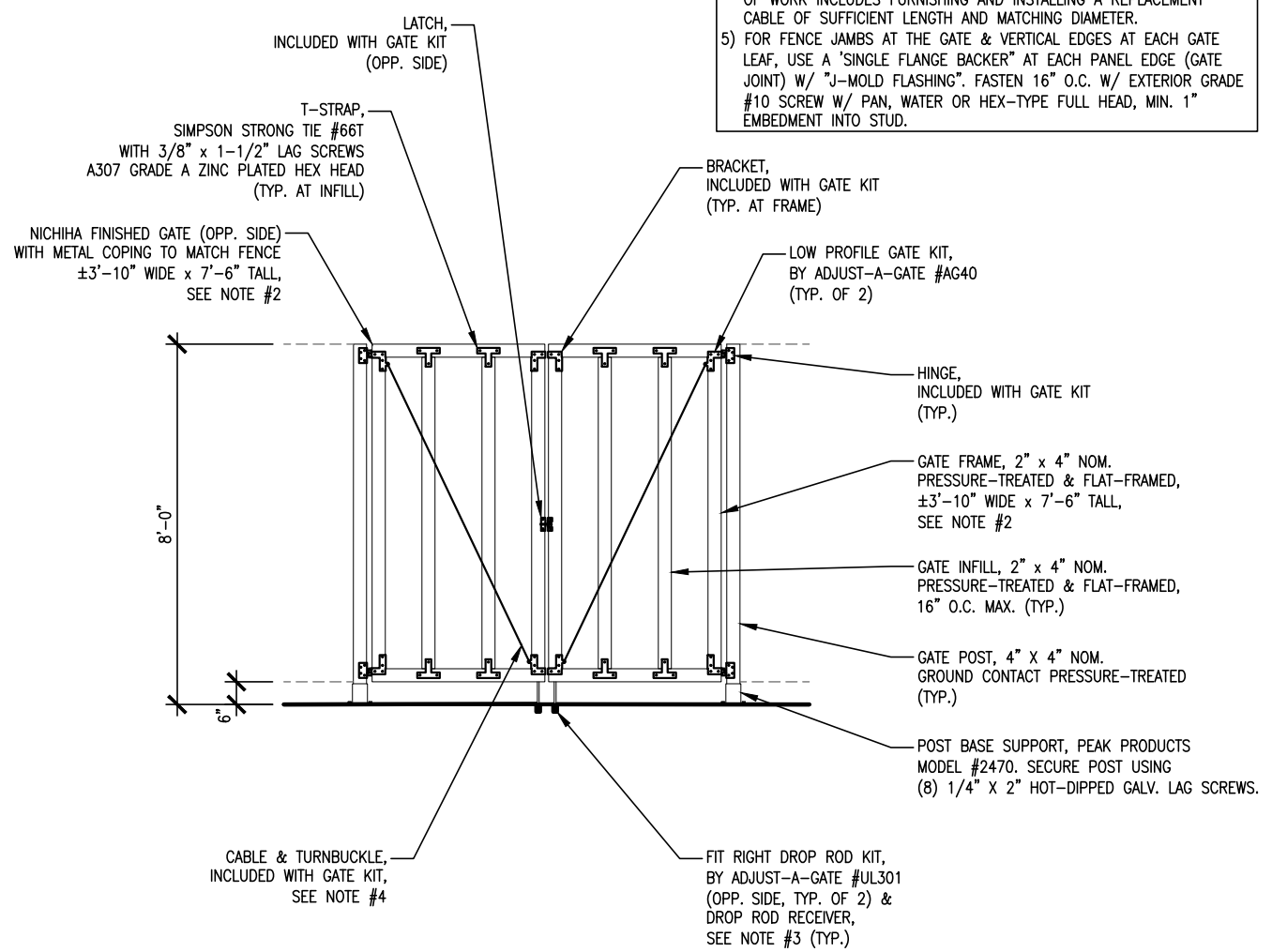
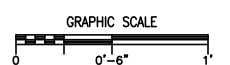
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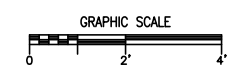
**1 FENCE PLAN**  
SCALE: 3/8" = 1'-0"



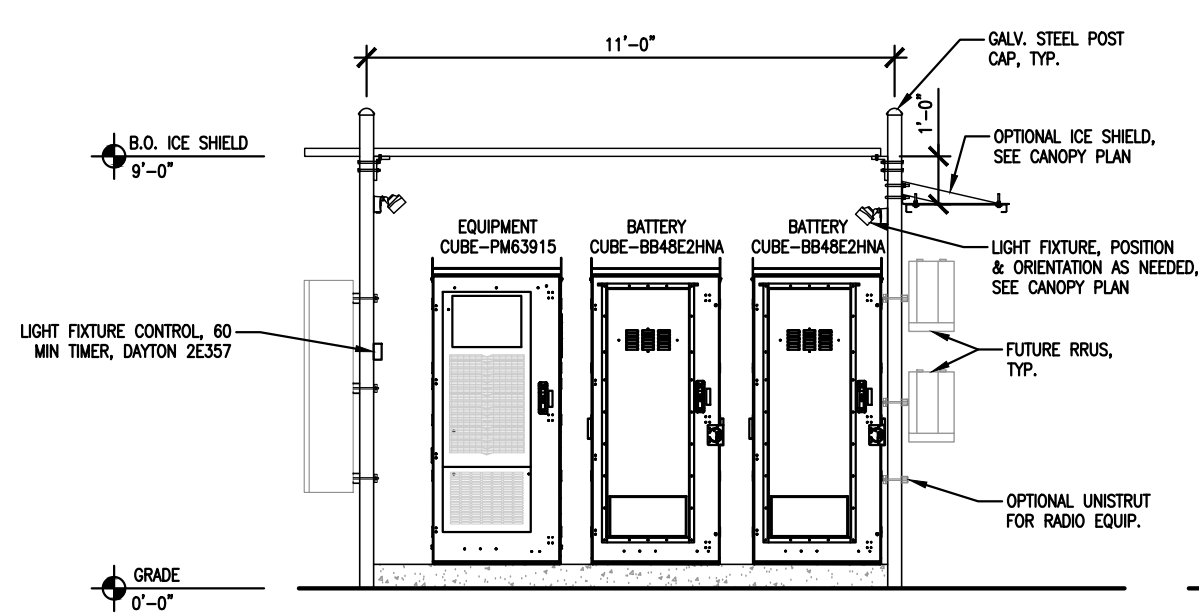
**2 FENCE SECTION**  
SCALE: 1" = 1'-0"



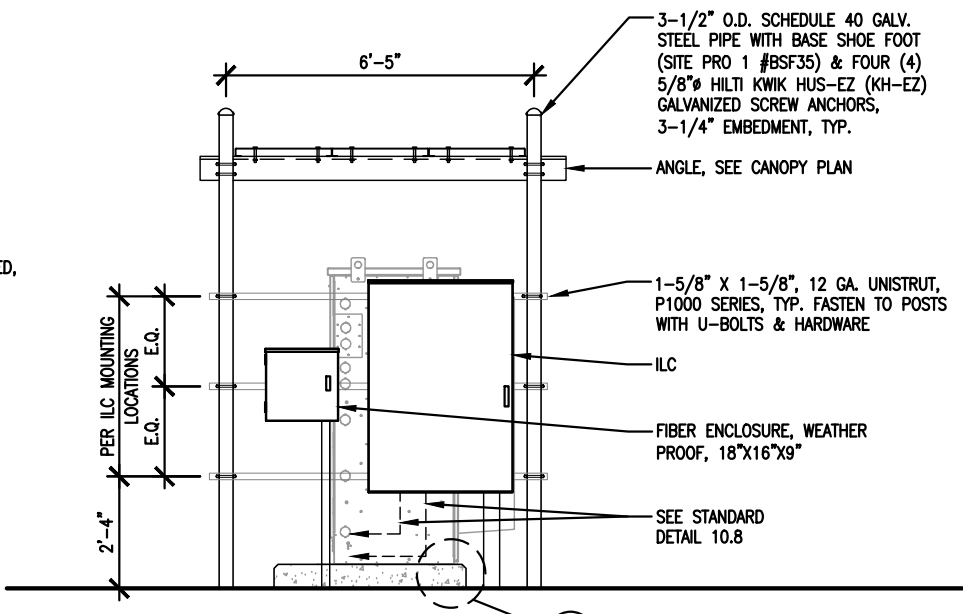
**3 GATE INTERIOR ELEVATION**  
SCALE: 1/4" = 1'-0"



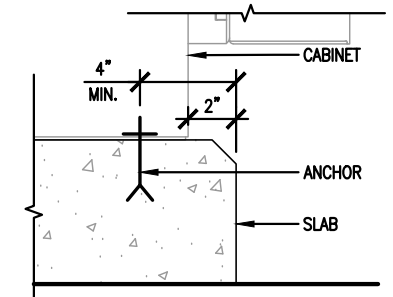
- GATE NOTES:**
- 1) LOW-PROFILE GATE KIT INCLUDES RECOMMENDED FASTENERS, SEE ASSEMBLY INSTRUCTIONS.
  - 2) FIELD VERIFY GATE WIDTH, USE HINGE OFFSET DIMENSIONS & RECOMMENDED LATCH SPACING IN THE ASSEMBLY INSTRUCTIONS.
  - 3) SCOPE OF WORK INCLUDES FURNISHING & INSTALLING DROP ROD RECEIVERS AS PART OF THE COMPOUND CONCRETE SLAB. FIELD VERIFY DIAMETER & LENGTH WITH DROP RODS. RECEIVERS TO BE ALIGNED WITH DROP RODS WHEN GATE IS IN THE 90° OPEN & CLOSED POSITIONS.
  - 4) CABLE INCLUDED WITH KIT IS INTENDED FOR A 60" TALL FRAME, SCOPE OF WORK INCLUDES FURNISHING AND INSTALLING A REPLACEMENT CABLE OF SUFFICIENT LENGTH AND MATCHING DIAMETER.
  - 5) FOR FENCE JAMBS AT THE GATE & VERTICAL EDGES AT EACH GATE LEAF, USE A 'SINGLE FLANGE BACKER' AT EACH PANEL EDGE (GATE JOINT) W/ "J-MOLD FLASHING". FASTEN 16" O.C. W/ EXTERIOR GRADE #10 SCREW W/ PAN, WATER OR HEX-TYPE FULL HEAD, MIN. 1" EMBEDMENT INTO STUD.



**5 FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"

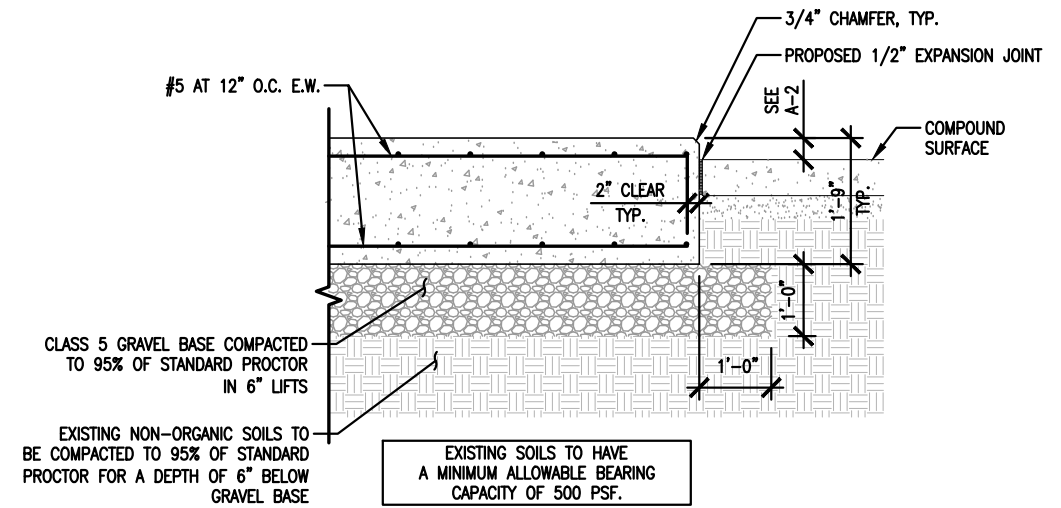


**6 SIDE ELEVATION**  
SCALE: 1/4" = 1'-0"

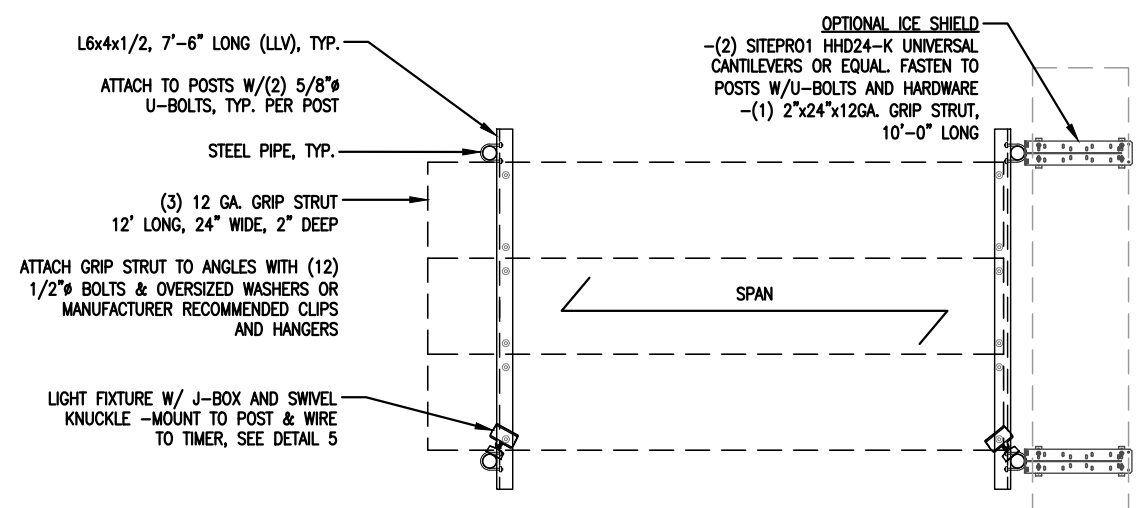


TYPICAL CAB. FRAME ANCHOR BOLT:  
HILTI KWIK BOLT TZ (GALV.) EXP.  
ANCHOR-5/8" X 3-9/16" NOM.  
EMBED, MIN.  
ANCHOR PER CABINET MANUFACTURER  
SPECIFIED LOCATIONS

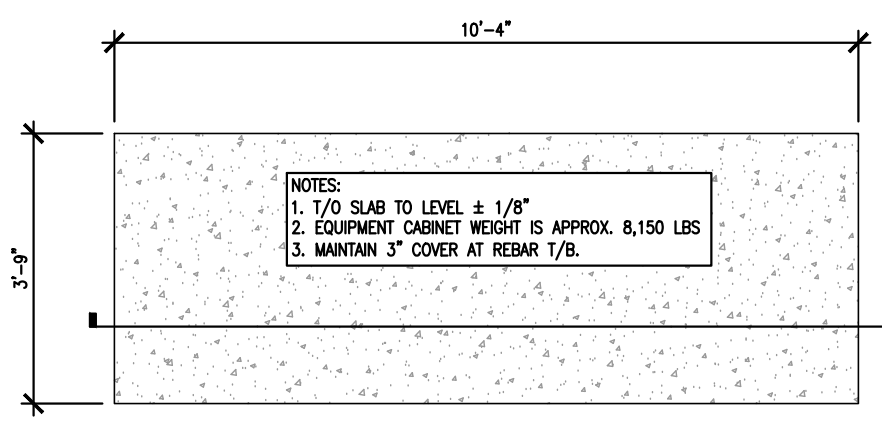
**7 DETAIL**  
SCALE: 1-1/2" = 1'-0"



**4 FOUNDATION SECTION**  
SCALE: 3/8" = 1'-0"

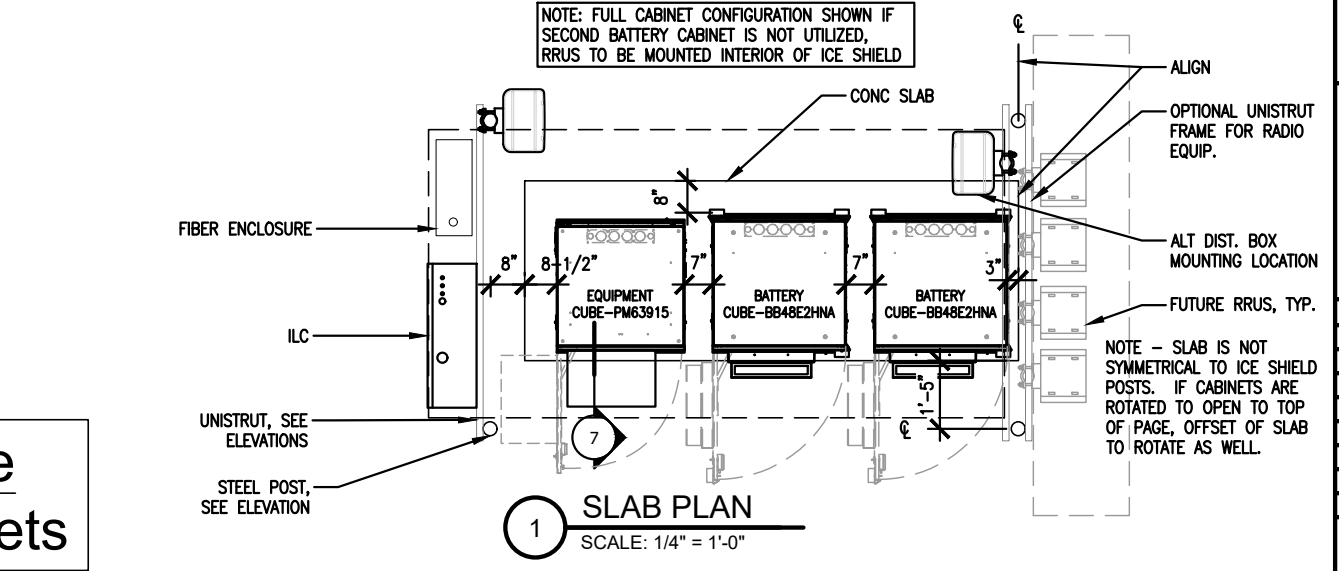


**2 CANOPY PLAN**  
SCALE: 1/4" = 1'-0"

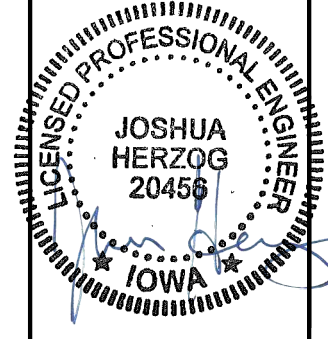


**3 FOUNDATION PLAN**  
SCALE: 3/8" = 1'-0"

**Slab On Grade  
Slab W/ 3 Cabinets**



**1 SLAB PLAN**  
SCALE: 1/4" = 1'-0"



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**PROJECT**  
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BEAVER CREEK**

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GRIMES, IA 50111

**SHEET CONTENTS:**  
FOUNDATION PLAN & DETAILS  
FLOOR PLAN  
ELEVATIONS

DRAWN BY:	JP
CHECKED BY:	TRB
REV. A	11-08-24
REV. B	12-13-24
REV. C	12-20-24
REV. D	04-10-25
REV. E	05-06-25
REV. F	05-28-25

**GENERAL CONDITIONS**

**00 0001 PERMITS**

Construction Permit shall be acquired by, or in the name of, Verizon Wireless, to be hereinafter referred to as the OWNER. Other permits shall be acquired by the Contractor.

**00 0002 SURVEY FEES**

Survey shall be furnished by the Designer. Layout Staking shall be coordinated with the Surveyor per "Request For Quote", (RFQ).

**01 0010 INSURANCE & BONDS**

Contractor is to furnish Insurance certificates for themselves and subcontractors. Contractor will provide any required Bonding. Contractor agrees to warranty the project for (1) one year after completion.

**01 0400 SUPERVISION & COORDINATION**

Contractor shall provide supervision throughout the Project, coordinating the work of the Subcontractors, and delivery & installation of Owner-furnished items. Contractor's responsibilities include arranging & conducting of Underground Utilities Locates. Contractor shall comply with municipal, county, state and/or federal codes, including OSHA.

**01 0600 TESTING**

Contractor is responsible for providing Agencies with sufficient notice to arrange for Test Samples (i.e.: Concrete Cylinders), and for Special Inspections.

**01 2000 MEETINGS**

Contractor shall make themselves aware of, and attend, meetings with the Owner and/or Designer. Contractor is to attend a Pre-Construction Meeting of all parties involved, prior to the start of construction.

**01 5100 TEMPORARY UTILITIES**

Contractor shall maintain the job site in a clean and orderly fashion, providing temporary sanitary facilities, waste disposal, and security (fence area or trailer module).

**01 5300 EQUIPMENT RENTAL**

Contractor shall furnish equipment necessary to expedite work.

**01 5900 FIELD OFFICES & SHEDS**

Contractor shall provide security (fence area or trailer module) for tools and materials that remain overnight on site.

**01 7000 CLEAN UP & CLOSE OUT**

Contractor shall clean up the Site to the satisfaction of Owner. Contractor shall complete the items listed on the Owner's Punch List, and shall sign and return the List to the Owner. Contractor shall maintain a set of drawings during the job, on which changes shall be noted in red ink. A full set of redlined drawings (As-Builts) are to be given to the Designer at Job completion and submit "construction work complete memo" to Construction Engineer.

**01 8000 TRUCKS & MILEAGE**

Contractor shall provide transportation for their own personnel.

**01 8300 TRAVEL TIME & PER DIEM**

Contractor shall provide room and board for their own personnel, and reasonable time for traveling to & from job site.

**01 9200 TAXES**

Contractor shall pay sales and/or use tax on materials and taxable services.

**SITWORK**

**02 1000 SITE PREPARATION & DEMOLITION**

Contractor is to mobilize within 7 calendar days of the Owner issuing a 'START' document. Contractor will immediately report to Designer if any environmental considerations arise. Site shall be scraped to a depth of 3" minimum to remove vegetative matter, and scrapings shall be stockpiled on site. Excess material to be disposed of in accordance with RFQ.

**02 1100 ROAD IMPROVEMENT & CONSTRUCTION**

Contractor shall furnish & install culverts as necessary to prevent ponding or washing-out from normal surface runoff. Contractor shall obtain city, county, state and/or federal approvals for road approach and culvert work within or adjacent to right-of ways. Road shall be graded smooth, and edges dressed, at job completion.

**02 2000 EARTHWORK & EXCAVATION**

Excavation material shall be used for surface grading as necessary; excess to be stockpiled on site. Excess material to be disposed of in accordance with RFQ. For dewatering excavated areas, contractor shall utilize sock or sediment filter for filtering of water discharge.

**02 5000 PAVING & SURFACING**

New paving shall be according to plans, or match existing adjacent paving. Concrete paving shall be 5" thick, reinforced with 6"x6" welded wire mesh or #3 steel bars 18" o.c.e.w., over a 3" sand cushion.

**02 7800 POWER TO SITE**

Contractor shall coordinate the electrical service to the building with the Utility Provider. Conduits shall include pull strings. Underground conduits shall be 2-1/2" Schedule 40 PVC. (schedule 80 PVC under roads and drives) Cable to be 3/0 THWN CU. Trenches shall be backfilled in a timely fashion, using a compactor, and including two (2) detectable ribbons; one each at 3" and 15" above conduit. Service shall be 200 amp, single phase, 120/240 volt. Service type shall be "General Time-Of-Day" if available, and meter base shall be approved by utility provider. Contractor to provide and install expansion joint sleeve connections to prevent differential movement at utility connections.

**02 7900 TELCO TO SITE**

Contractor shall provide 2" SDR-11 HDPE conduit for fiber conduit as noted on Drawings when directional boring is utilized. Contractor shall provide 2" schedule 40 PVC conduit and 2" schedule 80 PVC conduit under roadways with large-sweep elbows for fiber conduit as noted on Drawings when hand trenched. Trenches shall be as in 02 7800.

Contractor to provide and install handholes as noted in the Drawings. Additional handholes shall be provided and installed a maximum of 500 feet on center; at 90° bends if directional boring; and every third bend if hand trenched. Handholes size per Drawings and traffic-rated in roadways.

Contractor to provide and install Carlon expansion joint connections at cabinets/shelter location per manufacturer's specifications and recommendations.

**02 8000 SITE IMPROVEMENTS**

Areas bounded by fence and adjacent to Cabinet Slab shall receive polyethylene geotextile, 200 mesh woven, topped with 3" deep 3/4" to 1 1/2" clean rock (no fines), raked smooth.

**02 8001 FENCING**

Fence enclosures shall be completed within 7 days of tower erecting and Contractor shall provide for temporary security fence at base of Tower. Existing fences shall be protected against damage during this work, and any damage that may occur shall be repaired or replaced to equal existing pre-construction condition.

**02 8500 IRRIGATION SYSTEMS**

Contractor shall provide temporary irrigation of relocated tree and new/relocated sod, to be maintained so it survives 1 year after planting.

**02 9000 LANDSCAPING**

Contractor to restore turf areas damaged by construction by preparing soil, seeding & watering to maintain grass survival for 1 year.

Contractor shall protect existing landscape elements that are not in the Scope of Work. Reasonable precautions shall be taken to assure the health of existing trees and shrubbery. If conflicts arise regarding the location of root systems, branch lines, etc., the Architect must be contacted prior to performing Work that may cause damage. Damage resulting from disregard of this Article shall be compensated by the Responsible Party and at a cost to be determined by the Property Owner, Designer, and Owner. Contractor shall furnish and install new trees, shrubs, and sod. Watering shall be as described in 02 8500.

**CONCRETE**

**03 1000 CONCRETE FORMWORK**

Concrete forms shall be dimensional lumber, modular, or steel.

**03 8000 TOWER FOUNDATION**

Contractor shall arrange for delivery of anchors, and shall furnish and install materials per Tower Manufacturer Plans. Tower foundation concrete and reinforcing to be per tower manufacturer's specification. Contractor shall comply with the Owner's Standard CONSTRUCTION SPECIFICATIONS MINIMUM CONCRETE STANDARDS.

**03 8001 CATHODIC PROTECTION**

N/A

**03 9000 EQUIPMENT CABINETS FOUNDATION**

Contractor shall furnish & install materials for Equipment Cabinets foundation. Concrete shall be 6% ±1% air entrained, and 4,000 psi at 28 days.

All reinforcing steel is to be Grade 60 (ASTM 615). Anchor bolts are furnished by Contractor. Contractor shall comply with the Owner's Standard CONSTRUCTION SPECIFICATIONS MINIMUM CONCRETE STANDARDS.

**MASONRY**

N/A

**METALS**

**05 0000 METALS**

Contractor will furnish and install steel shapes and fabricated steel items not specifically furnished by Owner, and install Owner-furnished materials. Fabrication and erection of steel items per AISC standards. Welding shall conform to AWS standards. Fabrications shall be shop welded and galvanized before delivery to site unless noted otherwise.

Steel shapes shall meet ASTM A36 and steel pipe ASTM A53 Grade B. Steel shapes and fabrications shall be hot-dip galvanized per ASTM A123 with minimum coating thickness Grade 55 (2.2 mil). Bolts shall meet ASTM F3125 and U-bolts SAE J429 Grade 5 minimum. Bolts and hardware to be hot-dip galvanized per ASTM A153. Field repair of galvanized coatings shall be per ASTM A780.

**WOOD & PLASTICS**

N/A

**THERMAL & MOISTURE**

N/A

**DOORS AND HARDWARE**

N/A

**FINISHES**

**09 9000 PAINTING**

Contractor shall provide materials and labor for all painting indicated in the architectural documents and shall touch-up construction related scrapes & scratches with appropriate paint.

Contractor to field verify finish coat colors/sheens and select appropriate swatches corresponding to the colors described below. Contractor to obtain Lessor and Designer approvals of all swatches prior to application of paint:

- Tobacco colored Nichiha Roughsawn Wood Series Fence Panels.

**SPECIAL CONSTRUCTION**

**13 1260 CABLE BRIDGE, CANOPY, & ICE SHIELDS**

Contractor shall furnish & install materials for the Cable Bridge as indicated on the drawings and Verizon Wireless Standard Details.

Contractor shall furnish & install materials for the Ice Shields as indicated on the Drawings & Verizon Wireless Standard Details.

**13 1400 ANTENNA INSTALL**

Contractor shall install Owner's antennas and feed lines during erecting. Contractor shall test and certify feed lines per current VZW standards.

**13 3423 TRANSPORT AND SET EQUIPMENT CABINETS**

Contractor shall provide crane(s) and/or truck for transporting, setting and erecting Equipment Cabinets per RFQ. Contractor shall install items shipped loose with the Equipment Cabinets.

**13 3613 TRANSPORT AND ERECT TOWER/ANTENNA MOUNTS**

Contractor shall schedule delivery of Owner-furnished Tower, and provide cranes for unloading and erecting. Contractor to Install antenna mounts. Contractor shall ensure the existence of a 3/8" cable safety climb (DBI/Sala or equal) on the Tower.

**MECHANICAL**

**15 4000 PLUMBING**

N/A

**15 5000 HVAC**

N/A

**ELECTRIC**

**16 5000 LIGHTING AND ELECTRICAL**

Contractor shall provide labor and materials as necessary to complete the work shown on Drawings including items shipped loose with the Equipment Cabinets assembly.

LITHONIA OLFL – MINI LED FLOOD LIGHT FIXTURE:

Brand: Lithonia Lighting	Lumens: 1,351
Part #: OLFL 14 PE BZ M4	Voltage: 120
UPC: 75373853497	Beam Angle: Flood
DLC Listed: No	Metal Halide Equal: 50 Watt
Safety Rating: UL indoor/outdoor	Housing: Aluminum
CRI: 72	Height: 7.4 in.
Color: Cool White	Width: 6.4 in.
Color Temp: 4000 Kelvin	Depth: 4.4 in.
Life Hours: 5000	Weight: 1.5 lbs.
Wattage: 18 Watt	Warranty: 5 Years
LPW: 75	

**16 6000 GROUNDING**

Contractor shall make themselves familiar with and follow the current GROUNDING STANDARDS of VERIZON WIRELESS. Contractor shall perform work as shown on Grounding Plans. Any site-specific grounding issues not covered by the GROUNDING STANDARD are to be addressed by the Contractor to the Owner.

**OWNER-FURNISHED EQUIPMENT & FEES**

**MONOPOLE**

**CABINETS**

**COAX AND/OR CABLES**

**ANTENNAS & DOWNTILT BRACKETS**

**GPS & GPS MOUNTING**

**BUILDING PERMIT FEES**

**MATERIALS TESTING FEES**

**SPECIAL INSPECTIONS FEES**

**CONTRACTOR-FURNISHED EQUIPMENT**

**ANTENNA MOUNTS**

**POWER TO SITE**

**TELCO TO SITE**

**CABLE BRIDGE & ICE SHIELDS**

**GROUNDING MATERIALS**

**FENCING**

**CONNECTORS, BOOTS, & RELATED HARDWARE**

**BOLLARDS**

**SCOPE OF WORK:**

CONTRACTOR SHALL PROVIDE MATERIALS, LABOR, TOOLS, TRANSPORTATION, SUPERVISION, ETC. TO FULLY EXECUTE WORK. WORK REQUIREMENTS ARE DETAILED ON THE DRAWINGS AND SPECIFICATIONS AND SHALL INCLUDE, BUT NOT BE LIMITED TO, THE FOLLOWING ITEMS:

**SITE PREPARATION**

**SITE WORK & ROAD CONSTRUCTION**

**CABINET SLAB & TOWER FOUNDATIONS**

**SET EQUIPMENT CABINETS & ERECT TOWER**

**ROUTING OF GROUND, POWER, FIBER & ALARM**

**SITE GROUNDING**

**ELECTRICAL & TELEPHONE SERVICES**

**INSTALL ANTENNAS & CABLES**

**CABLE BRIDGE & ICE SHIELDS**

**GRAVEL SURFACING & FENCING**

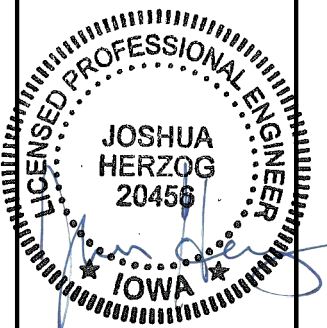
Contractor to compare drawings against Owner's "Request for Quote", (RFQ). If discrepancies arise, Contractor shall verify with Owner that the RFQ supersedes the drawings.

**EQUIPMENT**

The Designer/E.O.R. makes no warranty, expressed or implied, on the structural adequacy for proprietary brackets, clips & parts from a manufacturer.



1334 81<sup>ST</sup> AVE NE  
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**PROJECT**

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LOC. CODE: 573148

**DES  
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NE HERITAGE DR  
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**SHEET CONTENTS:  
OUTLINE SPECIFICATIONS**

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CHECKED BY:	TRB
REV. A	11-08-24
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REV. C	12-20-24
REV. D	04-10-25
REV. E	05-06-25
REV. F	05-28-25

**A-7**

**GENERAL GROUNDING NOTES:**

An external buried ground ring (Lead 1) shall be established around the equipment cabinets and tower foundations. Lead 1 shall be kept 24" from foundations; if foundations are less than 48" apart, keep Lead 1 centered between them. If the tower base is over 20'-0" from the equipment cabinets, a separate Lead 1 shall be established around each foundation, and the two Lead 1s shall be bonded with two parallel leads at least 6 feet apart horizontally. Connections between the two Lead 1s shall be bi-directional.

All subgrade connections shall be by exothermic weld, brazed weld, or gas-tight UL467-listed compression fittings pre-filled with anti-oxidant compound. Subgrade connections shall not be 'cold galvanize' coated.

Lead 1 shall be #2 solid bare copper (SBC) wire buried at local frost depth. Lead 1 bends shall be minimum 24" radius. 'Whip' lead bends may be of 12" radius.

Ground rods shall be solid copper, 5/8"Ø, spaced twenty feet apart, or as shown. Rods shall be kept min. 24 inches from foundations. Ground rods are required to be installed at their full specified length. Depth shall be as shown in Detail 11.1 in the Verizon Wireless Standard Detail Booklet.

**SPECIAL CONSIDERATIONS FOR GROUND RODS:**

When ground rods are not specified to be backfilled w/ Bentonite Slurry: If boulders, bedrock, or other obstructions prevent driving of ground rods, the Contractor will need to have drilling equipment bore a hole for ground rod placement. Hole to be backfilled w/ Bentonite Slurry.

When specified with slurried Bentonite encasement, drilling equipment will be used to be bore a hole for ground rod placement. Slurry shall be made from pelletized material ("Grounding Gravel"); powdered Bentonite is not allowed. If boulders, bedrock, or other obstructions are found, Contractor shall drill to the specified depth and provide Bentonite encasements.

Above-grade connections shall be by lugs w/ two-hole tongues unless noted otherwise, joined to solid leads by welding (T&B 54856BE "BROWN"), self-threading (RECOGNIZED, EM 2522DH.75.312), or 10,000psi crimping (BURNDY YA3C 2TC 14E2). Surfaces that are galvanized or coated shall have coating(s) removed prior to bolting. Bolts shall be stainless steel with flat washers on each side of the connection and a lock washer beneath the fastening nut. Star-tooth washers shall be used between lug & dissimilar metal (copper-to-steel, etc) but are not required between tin-clad CU lugs & tin-clad CU bus bars. Lug tongues shall be coated with anti-oxidant compound, and excess compound wiped clean after bolting. The connection shall then be coated with cold-galvanizing compound, or with color-matching paint.

Ground bars exposed to weather shall be tin-clad copper, and shall be clean of any oxidation prior to lug bolting.

Galvanized items shall have zinc removed within 1" of weld area, and below lug surface contact area. After welding or bolting, the joint shall be coated with cold galvanizing compound.

**Ground Bar Leads**

Ground bars are isolated electrically from tower bottoms and equipment cabinets by their standoff mounts. Leads from each ground bar to the ground ring shall be a pair of #2 SBC, each connected to Lead 1 bi-directionally with #2 SBC 'jumpers'. Pairs of #2 SBC may be required between ground bars. Leads shall be routed to ground bars as follows:

- \* The Main Ground Bar (MGB), typically mounted adjacent to the ILC (location varies).
- \* The Port Ground Bars (PGB), mounted inside and outside on the equipment shelter walls beneath the transmission line port. Note: Transmission line grounds also attach to the PGBs.
- \* The Tower Ground Bar (TGB) mounted at the base of the tower. Note: Transmission line grounds also attach to the TGBs.

NOTE: Contractor shall confirm that TGBs exist at 75-foot vertical intervals on any guyed or self-support tower, and that transmission lines are grounded to each TGB. Only the bottom-most TGB is isolated from the tower steel frame; upper TGBs may use the tower steel frame as common ground, requiring no copper leads between TGBs.

**#2 SBC Whip Leads**

'Whip' leads shall connect the buried external ground ring to the following items:

- Monopole Towers:
  - \* Three whips to flanges on the monopole base, at least 90° apart. If none are provided, attach to the baseplate or consult tower manufacturer.

**Self-Support Towers:**

- \* Two whips to flange(s) on each tower leg base. If none are provided, attach to the baseplate or consult tower manufacturer.

**Guyed Towers:**

- \* Two whips to flange(s) on the tower base. If none are provided, attach to the baseplate or consult tower manufacturer.
- \* Establish a Lead 1 within the fence enclosure of each guy anchor, at least 40 foot perimeter and having 4 ground rods.
- \* #2 SBC leads shall extend up, and be clamped (bronze clamshell or equal), to any two guy wires. NEVER weld leads to the guy wires. The lead to the guy anchor 'hand' plate may be welded.

**Fences:**

- Metallic fence within 25 feet of tower Lead 1, or within 6 feet of shelter lead 1, shall have whip leads as follows:
  - \* Each corner post.
  - \* Each pair of gate posts.
  - \* Any line post over 20'-0" from a grounded post.
  - \* Each gate leaf to its respective gatepost using braided strap (3/4", tin-clad copper w/ lug ends).
  - \* Fences around guy anchors shall be grounded in similar fashion.

**Fuel tanks:**

NEVER WELD to any fuel enclosure. NEVER penetrate the fuel containment. Metal tanks shall have one whip lead attached. Use an approved clamp or two-hole lug on an available flange.

**Equipment Shelter/Platform and Other General Requirements (including but not limited to):**

- Extend new Lead 21B up to shelter halo, remaking two-way connections as needed. Generator-equipped shelters have 6 such connections. Connections within the shelter shall be by compression; NEVER weld inside the shelter.
- Each vertical support pipe of the exterior cable bridge. Bridge end shall be kept at least 6" from the tower structure. The cable bridge shall be jumpered to the vertical support pipes with #2 SBC at each vertical support pipe.
- Opposite corners of the steel equipment platform.
- Opposite corners of the roof shield over the equipment shelter.
- Each HVAC unit shield, if separate (may be 'jumpered' to main roof shield).
- Each HVAC package unit.
- Commercial electric meter box.
- Generator receptacle, if present.
- Steel building skid, if shelter is metal frame.
- Each air intake or exhaust fan vent louver.
- Each generator vent hood or louver.
- Generator exhaust stack, external.
- Opposite corners of generator support frame, if separate from shelter.
- Generator fuel tank, if separate from generator unit.
- Host building rain gutter, downspouts, and roof flashings within 25 feet.
- Telco MPOP (Main Point of Presence), if external to equipment shelter.
- Within cable vaults, one each to the ladder and to the manhole rim.

Note: The door frame is connected to the interior ground halo, and need no separate connection to the external ground ring.

**Inspection & Testing**

Test lead #1 and ground rods after installation but before backfilling or connecting to any other grounding, using the 3-point fall of potential method. Contractor to notify Verizon Wireless senior construction engineer at least 48 hours prior to testing. Document installation and test results with photographs.

**General Contractor Notes:**

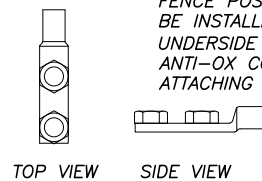
1. Contractor to coordinate public & private utility locates prior to construction start. Notify the Designer & VZW Construction Engineer immediately of any utility line issues.
2. General contractor is responsible for confirming that the installation of all grounding meets the Verizon Network Standard Number "NSTD46" document titled "Cell Site and Microwave Radio Station Protection - Engineering Considerations".
3. Contractor shall ensure that each whip is routed to lead 1 by the shortest path, and bends shall not be less than 12" radius.
4. Primary Electrical - Depth and specification by Power Utility Company.
5. Secondary Electrical - Install conduit 32" below grade with two (2) detectable ribbons.
6. Fiber Optic - Install conduit 36" below grade with pull string, traceable wire and two (2) detectable ribbons.

**SYMBOL AND NOTE LEGEND**

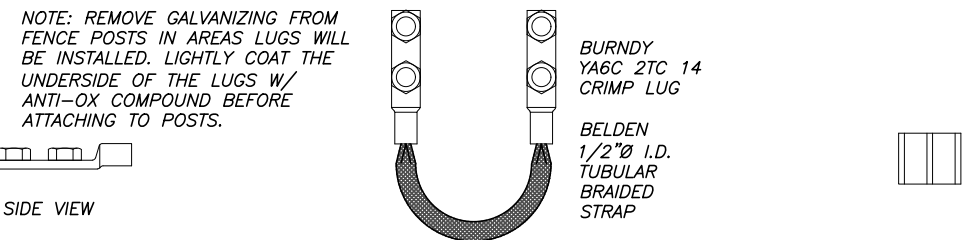
①	#2 SBC AROUND CABINET SLAB, TOWER, OR GUY ANCHOR
●	5/8" X 10'-0" SOLID COPPER GROUND ROD
◎	TEST WELL PREFERRED LOCATION
----	#2 SBC 'WHIP' LEAD
⑤	(2) #2 SBC FROM MGB, PGB, OR TGB TO LEAD 1
⑥	AC HVAC UNIT
②1B	BC BUILDING CORNER
⑥	BO BOLLARD
⑥	CBS CABLE BRIDGE SUPPORT POST
④	EL ELECTRICAL SERVICE GROUND
⑥	EM COMMERCIAL ELECTRICAL METER
⑥	FAN GUY ANCHOR PLATE
⑥	FP FENCE POST
⑨0	GEN GENERATOR
Ⓒ	GP GATE POST, 3/4" BRAID STRAP TO LEAF
⑥	GPS GPS UNIT
⑥	GUY GUY WIRE, MECH. CLAMP ONLY - NO WELDS
⑥	HL HOOD OR LOUVER
⑥	HB OUTSIDE OF HOFFMAN BOX
⑥	ILC INTEGRATED LOAD CENTER
⑤	MGB MAIN GROUND BAR
⑥	MU GENERATOR MUFFLER
⑤	PGB PORT GROUND BAR
⑥	RBR FOUNDATION REINFORCING
⑥	RS ROOF SHIELD
⑥	SB STEEL BEAM
⑥	SP STEEL POST
⑥	STP STEEL PLATFORM
⑥	TEL HOFFMAN BOX
⑤	TGB TOWER GROUND BAR
⑥	TWR TOWER BASE
⑥	VP DIESEL FUEL VENT PIPE

**Note:**

Contractor to provide #2 solid bare copper (SBC) wire lead from #1 ground ring to air conditioner & ice shield if provided by VZW.



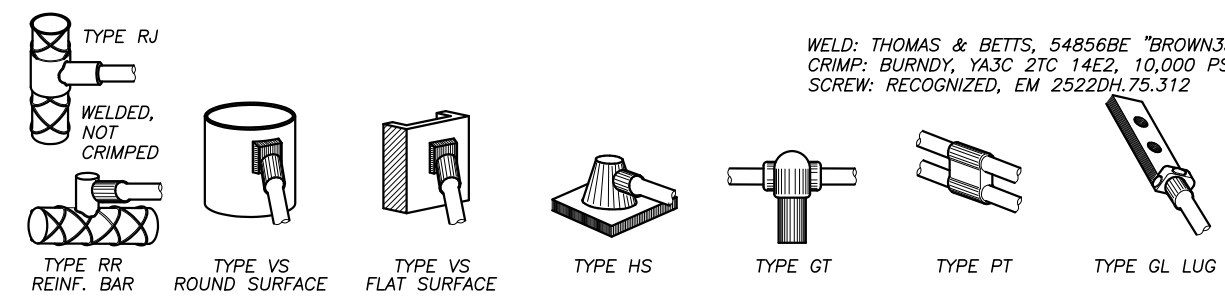
TWO-HOLE 10,000 PSI COMPRESSION FITTING UL 9498 LISTED



GATE BONDED TO FENCE POST (2) TWO-HOLE 10,000 PSI COMPRESSION FITTING w/ 3/4" BRAIDED TINNED COPPER JUMPER STRAP

HYTAP CONNECTOR 10,000 PSI COMPRESSION FITTING MUST BE UL467 LISTED ACCEPTABLE FOR DIRECT BURIAL

**2 COMPRESSION CONNECTOR DETAILS**  
SCALE: NTS



WELD: THOMAS & BETTS, 54856BE "BROWN33" CRIMP: BURNDY, YA3C 2TC 14E2, 10,000 PSI SCREW: RECOGNIZED, EM 2522DH.75.312

**1 EXOTHERMIC WELD DETAILS**  
SCALE: NTS

**LEAD IDENTIFICATION & DESCRIPTION:**

1 RING, EXTERNAL BURIED w/ RODS	#2 SBC	25 RING TO NEAREST LIGHTNING ROD	#2 SBC
1A RING, CONCRETE ENCASED	#2 SBC	26 LIGHTNING ROD SYS TO NEARBY MTL	NFPA 780
2 DEEP ANODE (TO IMPROVE OHMS)	ROD OR PIPE	27 RING TO TOWER RING	(2) #2 SBC
3 RING TO BLDG STL FRAME	#2 SBC	28 RING TO SHELTER RING	(2) #2 SBC
4 MAIN AC PANEL NEUTRAL BUS TO (2) GROUND RODS, ISOLATED FROM LEAD #1	NEC 250.66	29 BRANCH AC PNL TO BITTY CHG FRM	NSTD33-11
5 RING TO GROUND BAR	(2) #2 SBC	30 BRANCH AC PNL TO OUTLETS	NSTD33-11
6 RING TO EXT MTL OBJECT	#2 SBC	31 MGB/FGB TO PWR, BITTY FRAMES	#2/0 I-STR
7 DEEP ANODE TO MGB	NSTD33-9	32 #31 TO BATTERY CHARGER FRAME	#6 I-STR
8 AC PANEL TO WATER METER	NEC 250.66	33 #31 TO BATTERY RACK FRAME	#6 I-STR
9 EXT WATER TO INT WATER PIPES	NSTD33-9	34 #31 TO PCU FRAME	#6 I-STR
10 INT WATER PIPE TO MGB	NSTD33-9	35 #31 TO DSU FRAME	#6 I-STR
11-12 NOT USED		36 #31 TO PDU FRAME	#6 I-STR
13 AC PANEL TO MGB	NSTD33-9	37 MGB/FGB TO BITTY RETURN	NSTD33-14.5
14 MGB/FGB TO BLDG STL FRAME	#2/0 I-STR	37A MGB/FGB TO RTN TERM CARR SUPP	#6 I-STR
14C MGB/FGB TO ROOF/WALL MTL PNL	#1/0 I-STR	38 FGB TO PDU GB	#750MCM I-STR
15 MGB/FGB TO FGB-HE SAME FLOOR	#2/0 I-STR	38A FGB TO PDU GB CARRIER SUPPLY	#2/0 I-STR
16 NOT USED		39 DC BUS DUCT TO NEXT SECTION	#6 I-STR
16A ECPGB TO CABLE ENTRY RACK	#1/0 I-STR	40 DC BUS DUCT TO MGB/FGB	#6 I-STR
17 MGB TO CABLE SHIELDING	#6 I-STR	41A MGB/FGB TO #58	#2/0 I-STR
17A ECPGB TO CABLE SHIELDING	#6 I-STR	42-44 NOT USED	
17B MGB/FGB TO F-0 SPLICE SHELF	#1 I-STR	45 MAIN AC PNL TO BRANCH AC PNL	NSTD33-11
18 LOWEST MGB/FGB TO HIGHEST FGB	#2/0 I-STR	46 BRANCH AC PNL TO DED OUTLET	NSTD33-11
19 LEAD 18 TO OTHER FGBs, <6'	#2/0 I-STR	47 FGB TO INTEG FRM	#2 I-STR
20 MGB/FGB TO BRANCH AC PNL	#6 I-STR	48 LEAD #31 TO INTEG FRM	#6 I-STR
20A NEAREST GRND TO DISCONNECT PNL	NEC 250.66	49 INTEG FRM TO EQUIP SHELF	BY FASTENERS
20B GWB TO AC DISTR PNL	#6 I-STR	50 PDU BITTY RET TO #51	#2/0 I-STR
21 MGB/FGB TO INT HALO	#2 I-STR	51 #50 TO TRANS FRM ISO DC PWR	#6 I-STR
21A INTERIOR 'GREEN' HALO	#2 I-STR	52 TRANS FRM FUSE TO FRM OR BAR	#8 I-STR
21B INT HALO TO EXT RING	#2 SBC	53A MGB/FGB TO PDF/BDFB	NSTD33-22
21C INT HALO TO EQUIPMENT MTL	#6 I-STR	54 MGB/FGB TO STATIC DEVICES	#6 I-STR
22 ROOF TOWER RING TO ROOF GRND	NFPA 780	55 MGB/FGB TO CABLE AT ENTRY	#6 I-STR
23 MGB/FGB TO ECPGB, SAME FLOOR	#1 I-STR	56 MGB/FGB TO AC PWR RADIO XMTRR	#6 I-STR
23A MGB/FGB TO CXR-HF LINR PROT	#6 I-STR	57A MGB/FGB TO CBL GRID/RUNWAY	#2/0 I-STR
24 ECPGB TO EACH PROTECTOR ASSEMBLY	#6 I-STR	58A #41A TO AISLE FRAME	#2 I-STR
24A LOWER PROT ASSY TO UPPER	#6 I-STR	59A #58A TO EACH SGL FRAME GRND	#6 I-STR
		60-89 NOT USED	
		90 GENERATOR FRAME TO EXT RING	#2 SBC

HE #: 241495 05/28/2025

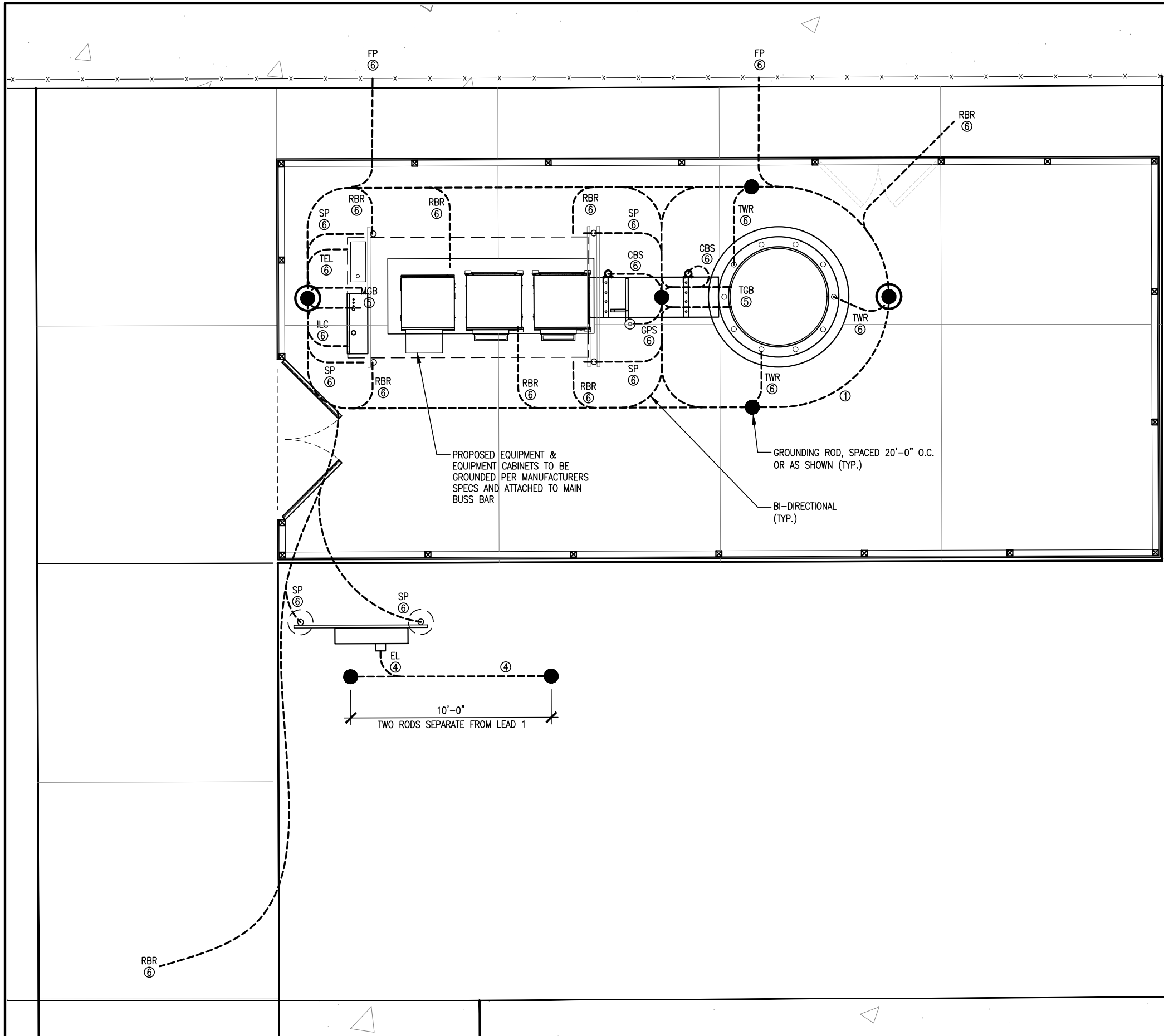
PROJECT  
LOC. CODE: 573148

DES  
BEAVER CREEK  
NE HERITAGE DR  
GRIMES, IA 50111

SHEET CONTENTS:  
GROUNDING & UTILITY NOTES

DRAWN BY:	JP
CHECKED BY:	TRB
REV. A	11-08-24
REV. B	12-13-24
REV. C	12-20-24
REV. D	04-10-25
REV. E	05-06-25
REV. F	05-28-25

G-1



### GROUNDING DETAIL INDEX

DETAIL	DETAIL DESCRIPTION
SLAB	SLAB ON GRADE GROUNDING
11.1	TEST WELL DETAIL, GROUND RING & ROD DETAIL
11.3	REBAR GROUNDING DETAIL
11.4	CONDUIT DETAIL
11.5	TYPICAL GROUNDING CABLE BRIDGE DETAIL
11.6	TYPICAL TOWER GROUNDING DETAIL

**HERZOG ENGINEERING**  
 1334 81<sup>ST</sup> AVE NE  
 SPRING LAKE PARK, MN 55432  
 (612) 844-1234  
 WWW.HERZOGENGINEERING.COM



HE #: 241495 05/28/2025

**DESIGN 1**

9973 VALLEY VIEW RD.  
 EDEN PRAIRIE, MN 55344  
 (952) 903-9299  
 WWW.DESIGN1EP.COM

**verizon**

10801 BUSH LAKE ROAD  
 BLOOMINGTON, MN 55438  
 (952) 946-4700

PROJECT  
 ---  
 LOC. CODE: 573148

DES  
 BEAVER CREEK

NE HERITAGE DR  
 GRIMES, IA 50111

SHEET CONTENTS:  
 GROUNDING PLAN  
 GROUNDING DETAIL INDEX

**NOTES:**  
 1. NO PORTION OF THE GROUNDING SYSTEM SHALL PASS THROUGH OR BE CONNECTED TO A CONCRETE FOUNDATION PER SECTION 10.4.2 OF ANSI/TIA-222-H.  
 2. SEE SHEET G-1 FOR ADDITIONAL NOTES.

DRAWN BY:	JP
CHECKED BY:	TRB
REV. A	11-08-24
REV. B	12-13-24
REV. C	12-20-24
REV. D	04-10-25
REV. E	05-06-25
REV. F	05-28-25

**1 GROUNDING PLAN**  
 SCALE: NTS

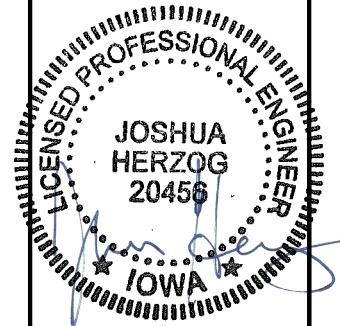


**G-2**

POWER TYPE:  
120/240V, SINGLE  
PHASE, 200 AMPS

NOTE:  
SEE SHEET G-1 FOR ADDITIONAL NOTES

**HERZOG  
ENGINEERING**  
1334 81<sup>ST</sup> AVE NE  
SPRING LAKE PARK, MN 55432  
(612) 844-1234  
WWW.HERZOGENGINEERING.COM



HE #: 241495 05/28/2025

**DESIGN**  
1  
9973 VALLEY VIEW RD.  
EDEN PRAIRIE, MN 55344  
(952) 903-9299  
WWW.DESIGN1EP.COM

**verizon**  
10801 BUSH LAKE ROAD  
BLOOMINGTON, MN 55438  
(952) 946-4700

PROJECT  
----  
LOC. CODE: 573148

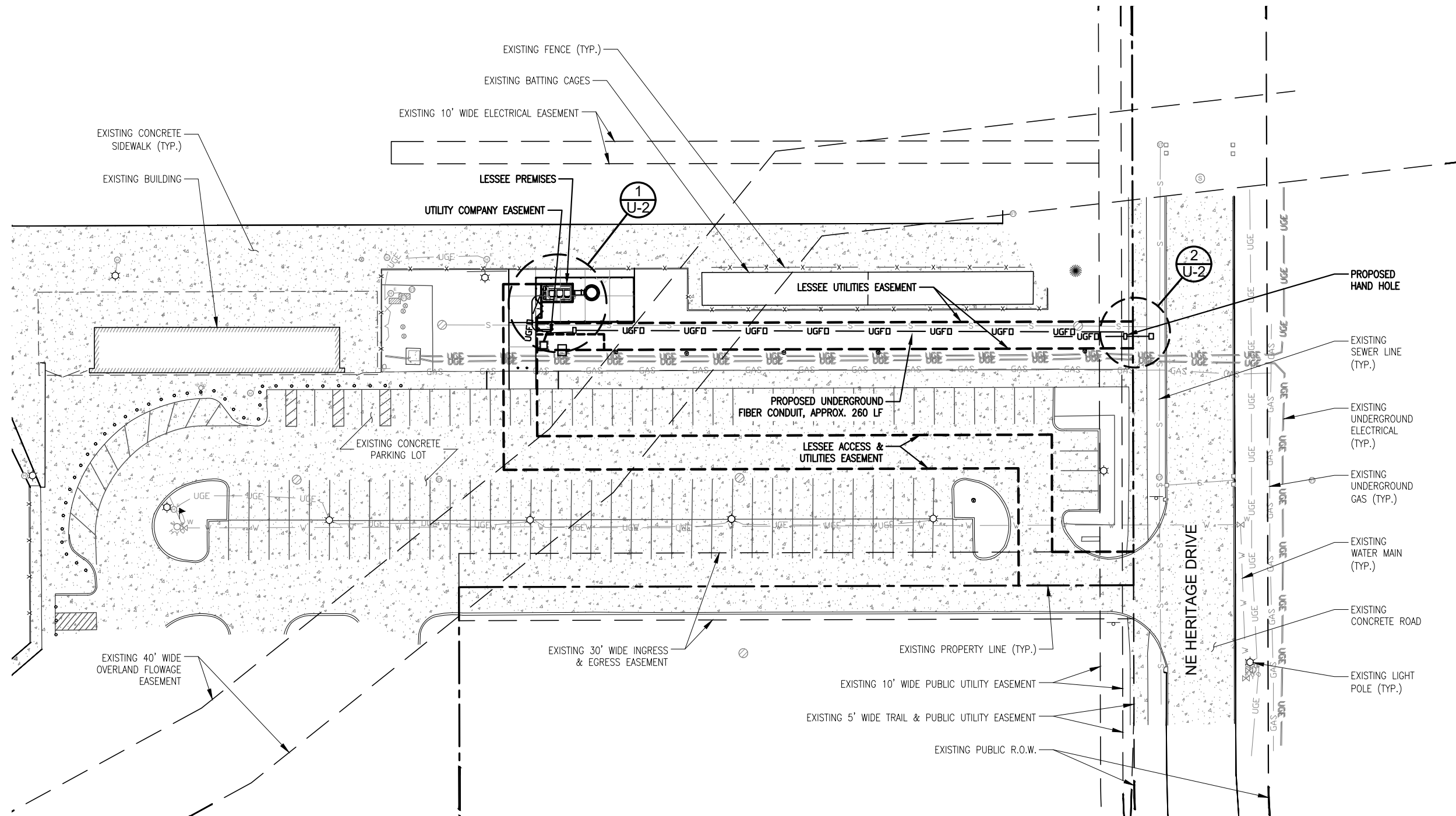
DES  
BEAVER CREEK

NE HERITAGE DR  
GRIMES, IA 50111

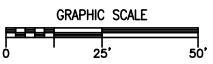
SHEET CONTENTS:  
SITE UTILITY PLAN

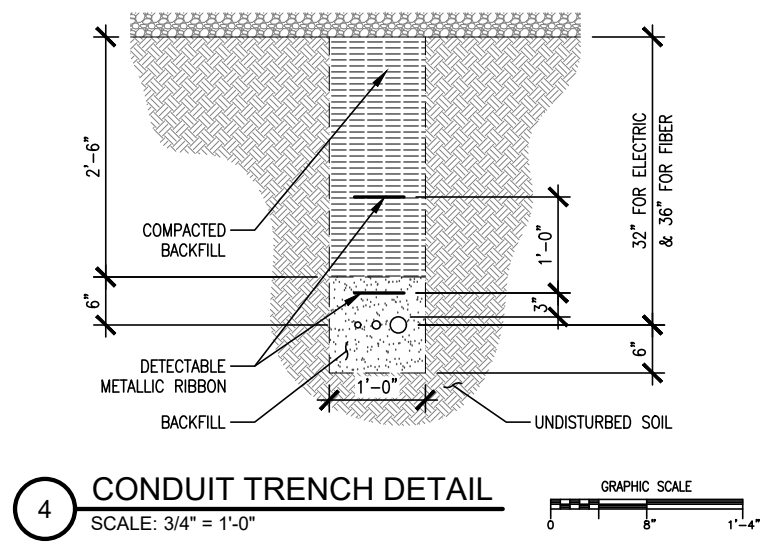
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CHECKED BY: TRB  
REV. A 11-08-24  
REV. B 12-13-24  
REV. C 12-20-24  
REV. D 04-10-25  
REV. E 05-06-25  
REV. F 05-28-25

U-1

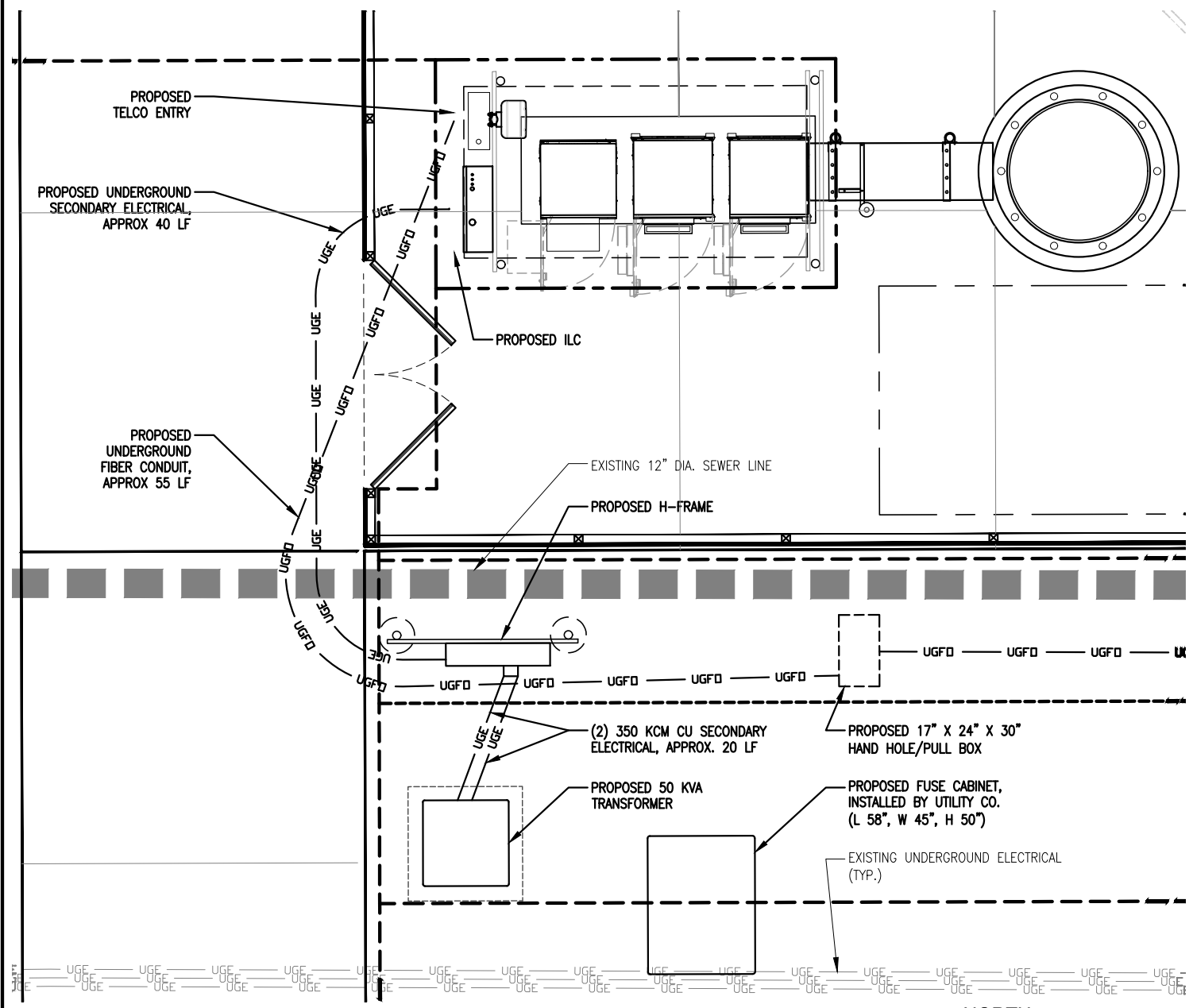


1 SITE UTILITY PLAN  
SCALE: 1" = 50'-0"





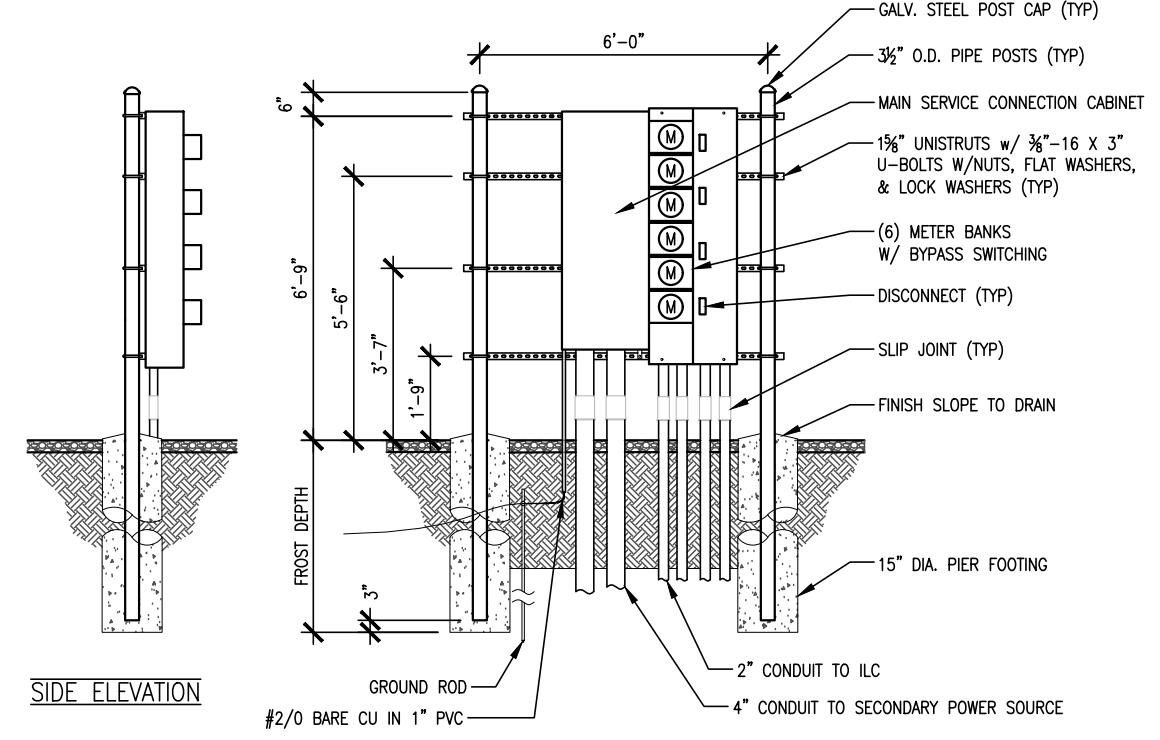
**4 CONDUIT TRENCH DETAIL**  
SCALE: 3/4" = 1'-0"



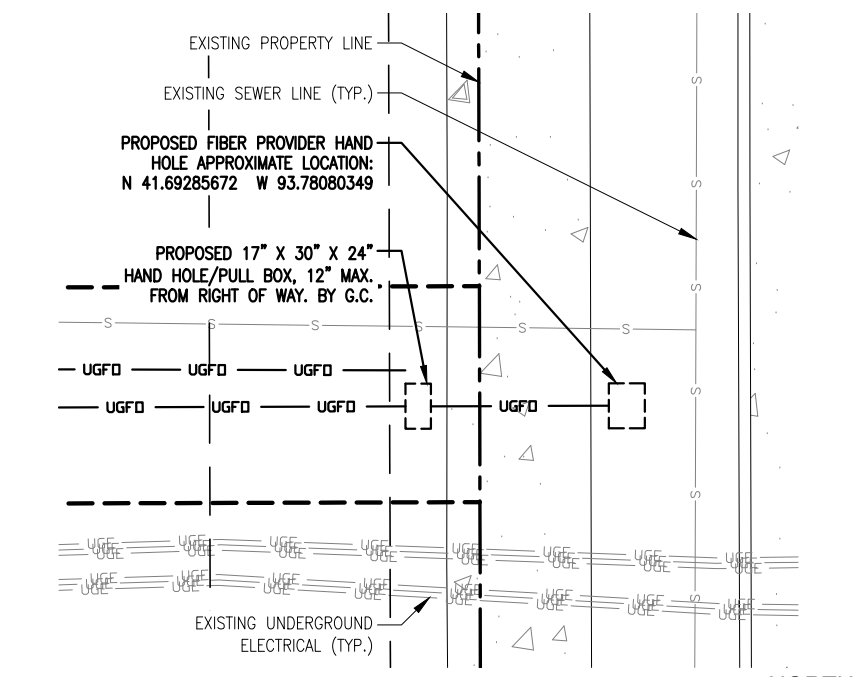
**1 ENLARGED SITE PLAN**  
SCALE: 3/16" = 1'-0"

**NOTE:**  
1. ALL WORK SHALL CONFORM TO THE NATIONAL ELECTRICAL CODE AND THE LOCAL BUILDING CODES. ALL COMPONENTS SHALL BE U.L. APPROVED.  
2. ALL COMPONENTS TO BE AS SPECIFIED OR EQUIVALENT AS APPROVED BY OWNER.  
3. ALL BREAKERS SUPPLIED BY CONTRACTOR.

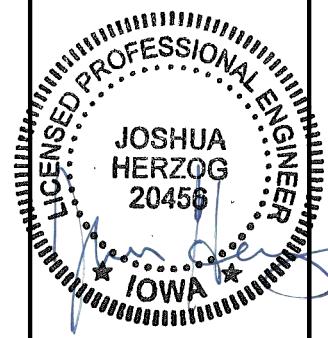
**NOTE:**  
CONTRACTOR TO PROVIDE TWO RUNS 2" PVC WITH PULL STRING FROM ROW TO PROPOSED TRANSFORMER LOCATION. 90 DEGREE SWEEPS TO BE FIBERGLASS AND TOP OF CONDUIT TO BE 42" BELOW FINAL GRADE. UTILITY PROVIDER TO PROVIDE FINAL UTILITY ROUTE AND TRANSFORMER LOCATION.



**3 H-FRAME DETAIL**  
SCALE: 1/4" = 1'-0"



**2 PULLBOX LOCATION PLAN**  
SCALE: 3/32" = 1'-0"



HE #: 241495 05/28/2025

**DESIGN 1**  
9973 VALLEY VIEW RD.  
EDEN PRAIRIE, MN 55344  
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WWW.DESIGN1EP.COM

**verizon**  
10801 BUSH LAKE ROAD  
BLOOMINGTON, MN 55438  
(952) 946-4700

**PROJECT**  
LOC. CODE: 573148

**DES BEAVER CREEK**

NE HERITAGE DR  
GRIMES, IA 50111

**SHEET CONTENTS:**  
ENLARGED SITE UTILITY PLAN  
PULLBOX LOCATION PLAN

DRAWN BY:	JP
CHECKED BY:	TRB
REV. A	11-08-24
REV. B	12-13-24
REV. C	12-20-24
REV. D	04-10-25
REV. E	05-06-25
REV. F	05-28-25

# SITE SURVEY

**PROPERTY DESCRIPTION:** (per U.S. Title Solutions File No. UST77584, effective date June 14, 2024)

Lot 14 in HOPE COMMERCIAL PLAT 4, an Official Plat, now included in and forming a part of the City of Grimes, Polk County, Iowa.

**SCHEDULE III:** (per U.S. Title Solutions File No. UST77584, effective date June 14, 2024)

Easements and Right of Ways

- 4.1) Underground Electric Easement by City of Grimes, Iowa to Midamerican Energy Company, Dated April 25, 2023, Recorded May 12, 2023, in Book 19472, Page 407.  
This document describes a 10 foot wide easement for electrical purposes. Said easement is shown on the survey.
- 4.2) Ingress/Egress Easement by Hope K. Farms, LLC to City of Grimes, Iowa, Dated October 27, 2021, Recorded November 03, 2021, in Book 18844, Page 213.  
This document describes a 30 foot wide easement for ingress and egress purposes. Said easement is shown on the survey.
- 4.3) Trail and Public Utility Access Easement by Hope K. Farms, LLC to City of Grimes, Iowa, Dated October 27, 2021, Recorded November 03, 2021, in Book 18844, Page 193.  
This document describes a 5 foot wide easement for trail and public utilities purposes. Said easement is shown on the survey.
- 4.4) Buffer Easement by Hope K. Farms, LLC to City of Grimes, Iowa, Dated October 27, 2021, Recorded November 03, 2021, in Book 18844, Page 183.  
This document describes a 30 foot wide buffer easement on the west line of the parent parcel. Said easement is shown on the survey.
- 4.5) Overland Flowage Easement by Hope K. Farms, LLC to City of Grimes, Iowa, Dated October 27, 2021, Recorded November 03, 2021, in Book 18844, Page 178.  
This document describes a 30 foot wide overland flowage easement along the north line of the parent parcel. Said easement is shown on the survey.
- 4.6) Water Main Easement by Hope K. Farms, LLC to City of Grimes, Iowa, Dated October 27, 2021, Recorded November 03, 2021, in Book 18844, Page 173.  
This document describes a 15 foot wide easement for watermain purposes. Said easement is shown on the survey.
- 4.7) Public Utility Easement by Hope K. Farms, LLC to City of Grimes, Iowa, Dated October 27, 2021, Recorded November 03, 2021, in Book 18844, Page 167.  
This document describes a 10 foot wide public utility easement. Said easement is shown on the survey.
- 4.8) Storm Sewer Easement by Hope K. Farms, LLC to City of Grimes, Iowa, Dated October 27, 2021, Recorded November 03, 2021, in Book 18844, Page 155.  
This document describes a 20 foot wide storm sewer easement. Said easement is shown on the survey.
- 4.9) Underground Electric Easement by Hope K. Farms, LLC to Midamerican Energy Company, Dated October 08, 2020, Recorded October 26, 2020, in Book 18147, Page 507.  
This document describes a 10 foot electrical easement. Said easement does not affect the proposed tower area and is not shown on the survey.
- 4.10) Water Main Easement by Hope K. Farms, LLC to City of Grimes, Iowa, Dated June 03, 2020, Recorded June 23, 2020, in Book 17906, Page 557.  
This document describes an easement for watermain purposes. Said easement does not affect the proposed tower area and is not shown on the survey.
- 4.11) Sanitary Sewer Easement by Hope K. Farms, LLC to City of Grimes, Iowa, Dated June 03, 2020, Recorded June 23, 2020, in Book 17906, Page 542.  
This document describes a 30 foot wide sanitary sewer easement. Said easement does not affect the proposed tower area and is not shown on the survey.
- 4.12) Public Utility Line Easement by Hope K. Farms, LLC to City of Grimes, Iowa, Dated June 03, 2020, Recorded June 23, 2020, in Book 17906, Page 537.  
This document describes a 10 foot wide utility easement. Said easement does not affect the proposed tower area and is not shown on the survey.
- 4.13) Public Utility Easement by Hope K. Farms, LLC to City of Grimes, Iowa, Dated December 17, 2018, Recorded January 22, 2020, in Book 17673, Page 892.  
This document describes a 10 foot wide public utility easement. Said easement does not affect the proposed tower area and is not shown on the survey.
- 4.14) Water Main Easement by Hope K. Farms, LLC to City of Grimes, Iowa, Dated December 17, 2018, Recorded January 22, 2020, in Book 17673, Page 886.  
This document describes a 15 foot wide watermain easement. Said easement does not affect the proposed tower area and is not shown on the survey.
- 4.15) Public Utility Easement by Hope K. Farms, LLC to City of Grimes, Iowa, Dated November 19, 2018, Recorded November 26, 2018, in Book 17157, Page 319.  
This document describes a 10 foot wide public utility easement. Said easement does not affect the proposed tower area and is not shown on the survey.
- 4.16) Overland Flowage Easement by Hope K. Farms, LLC to City of Grimes, Iowa, Dated November 19, 2018, Recorded November 26, 2018, in Book 17157, Page 314.  
This document describes a 40 foot wide overland flowage easement. Said easement is shown on the survey.
- 4.17) Storm Sewer Easement by Hope K. Farms, LLC to City of Grimes, Iowa, Dated November 19, 2018, Recorded November 26, 2018, in Book 17157, Page 309.  
This document describes multiple storm sewer easements. Said easements do not affect the proposed tower area and are not shown on the survey.
- 4.18) Sanitary Sewer Easement by Hope K. Farms, LLC to City of Grimes, Iowa, Dated November 19, 2018, Recorded November 26, 2018, in Book 17157, Page 304.  
This document describes a 30 foot wide sanitary sewer easement. Said easement does not affect the proposed tower area and is not shown on the survey.

- 4.19) Public Water Main Easement by Heritage at Grimes, LLC to City of Grimes, Iowa, Dated December 07, 2016, Recorded January 09, 2017, in Book 16338, Page 360.  
This document describes an irregular shaped watermain easement. Said easement does not affect the proposed tower area and is not shown on the survey.
- 4.20) Public Trail Easement by Heritage at Grimes, LLC to City of Grimes, Iowa, Dated December 07, 2016, Recorded January 09, 2017, in Book 16338, Page 354.  
This document describes an irregular shaped public trail easement. Said easement does not affect the proposed tower area and is not shown on the survey.
- 4.21) Public Storm Sewer Easement by Heritage at Grimes, LLC to City of Grimes, Iowa, Dated December 07, 2016, Recorded January 09, 2017, in Book 16338, Page 347.  
This document describes multiple storm sewer easements. Said easements do not affect the proposed tower area and are not shown on the survey.
- 4.22) Public Sanitary Sewer Easement by Heritage at Grimes, LLC and Beaverbrooke Development Company to City of Grimes, Iowa, Dated December 07, 2016, Recorded January 09, 2017, in Book 16338, Page 332.  
This document describes an irregular shaped sanitary sewer easement. Said easement is shown on the survey.
- 4.23) Public Utility Line Easement by Beaverbrooke Development Company and Beaverbrooke North No. 1, L.L.C. to City of Grimes, Iowa, Dated September 10, 2015, Recorded September 23, 2015, in Book 15743, Page 387.  
This document describes a public utility easement. Said easement does not affect the proposed tower area and is not shown on the survey.
- 4.24) Trail Easement by Howard H. Bauman, Darrell J. Bauman, Lynda M. Bauman, Donald H. Bauman and Colleen M. Bauman to City of Grimes, Iowa, Dated August 30, 2013, Recorded September 24, 2013, in Book 14969, Page 489.  
This document describes a 10 foot wide trail easement. Said easement does not affect the proposed tower area and is not shown on the survey.
- 4.25) Permanent Sanitary Sewer Easement by Howard H. Bauman and Agnes V. Bauman to City of Grimes, Iowa, Dated August 11, 2000, Recorded August 15, 2000, in Book 8566, Page 525.  
This easement describes a permanent sanitary sewer easement. Said easement does not affect the proposed tower area and is not shown on the survey.

Other Recorded Documents:

- 5.1) Hope Commercial Plat 4 Recorded November 03, 2021, in Book 18844, Page 119.  
Part of the described plat is shown on the survey.
- 5.2) Resolution between City of Grimes Dated February 23, 2021, Recorded March 02, 2021, in Book 18388, Page 628.  
Not related to the survey.
- 5.3) Hope Commercial Plat 2 Recorded June 23, 2020, in Book 17906, Page 514.  
This plat was referenced to determine if existing easements affect the proposed tower area.
- 5.4) Hope Commercial Plat 1 Recorded November 26, 2018, in Book 17157, Page 281.  
This plat was referenced to determine if existing easements affect the proposed tower area.
- 5.5) Heritage at Grimes Plat 2 Recorded January 09, 2017, in Book 16338, Page 205.  
This plat was referenced to determine if existing easements affect the proposed tower area.
- 5.6) Plat of Survey Recorded February 18, 2016, in Book 15900, Page 199.  
Not related to this survey.
- 5.7) Plat of Survey Recorded February 18, 2016, in Book 15900, Page 199.  
Not related to this survey.

**PROPOSED UTILITY COMPANY EASEMENT DESCRIPTION:**

A 7.00 foot wide easement for utility purposes over, under and across Lot 14, HOPE COMMERCIAL PLAT 4, Polk County, Iowa, the centerline of said easement is described as follows:

Commencing the northeast corner of Lot 55, said HOPE COMMERCIAL PLAT 4; thence South 89 degrees 50 minutes 18 seconds West along the north line of said Lot 55, a distance of 279.87 feet; thence North 0 degrees 10 minutes 12 seconds West, a distance 535.39 feet; thence South 89 degrees 49 minutes 48 seconds West, a distance of 23.53 feet; thence South 89 degrees 12 seconds East, a distance of 26.00 feet to the Point of Beginning of the centerline to be described; thence North 89 degrees 49 minutes 48 seconds East, a distance of 37.50 feet and said centerline there terminating.

**LESSEE PREMISES DESCRIPTION:**

That part of Lot 14, HOPE COMMERCIAL PLAT 4, according to the recorded plat thereof, Polk County, Iowa, described as follows:

Commencing the northeast corner of Lot 55, said HOPE COMMERCIAL PLAT 4; thence South 89 degrees 50 minutes 18 seconds West along the north line of said Lot 55, a distance of 279.87 feet; thence North 0 degrees 10 minutes 12 seconds West, a distance 535.39 feet to the Point of Beginning of the premises to be described; thence South 89 degrees 49 minutes 48 seconds West, a distance of 14.00 feet; thence South 0 degrees 10 minutes 12 seconds East, a distance of 8.00 feet; thence North 89 degrees 49 minutes 48 seconds East, a distance of 14.00 feet; thence North 0 degrees 10 minutes 12 seconds West, a distance of 8.00 feet to the Point of Beginning.

**LESSEE ACCESS & UTILITIES EASEMENT:**

A 15.00 foot wide easement for access and utility purposes over, under and across Lot 14, HOPE COMMERCIAL PLAT 4, Polk County, Iowa, the centerline of said easement is described as follows:

Commencing the northeast corner of Lot 55, said HOPE COMMERCIAL PLAT 4; thence South 89 degrees 50 minutes 18 seconds West along the north line of said Lot 55, a distance of 279.87 feet; thence North 0 degrees 10 minutes 12 seconds West, a distance 535.39 feet; thence South 89 degrees 49 minutes 48 seconds West, a distance of 23.53 feet to the Point of Beginning of the centerline to be described; thence South 0 degrees 10 minutes 12 seconds East, a distance of 7.50 feet to a point hereinafter referred to as Point "A"; thence continue South 0 degrees 10 minutes 12 seconds East, a distance of 68.00 feet; thence North 89 degrees 49 minutes 48 seconds East, a distance of 230.00 feet; thence South 0 degrees 10 minutes 12 seconds East, a distance of 52.43 feet; thence North 89 degrees 49 minutes 48 seconds East, a distance of 43.86 feet to the west right of way line of NE Heritage Drive and said centerline there terminating.

The sidelines of said easement shall be shortened or lengthened to terminate at said west right of way line of NE Heritage Drive.

**TOGETHER WITH:**

A 15.00 foot wide easement for access and utility purposes over, under and across said Lot 14, the centerline of said easement is described as follows:

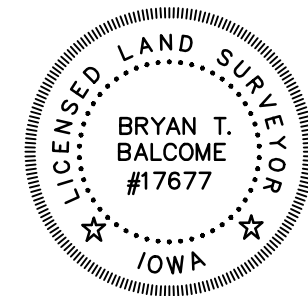
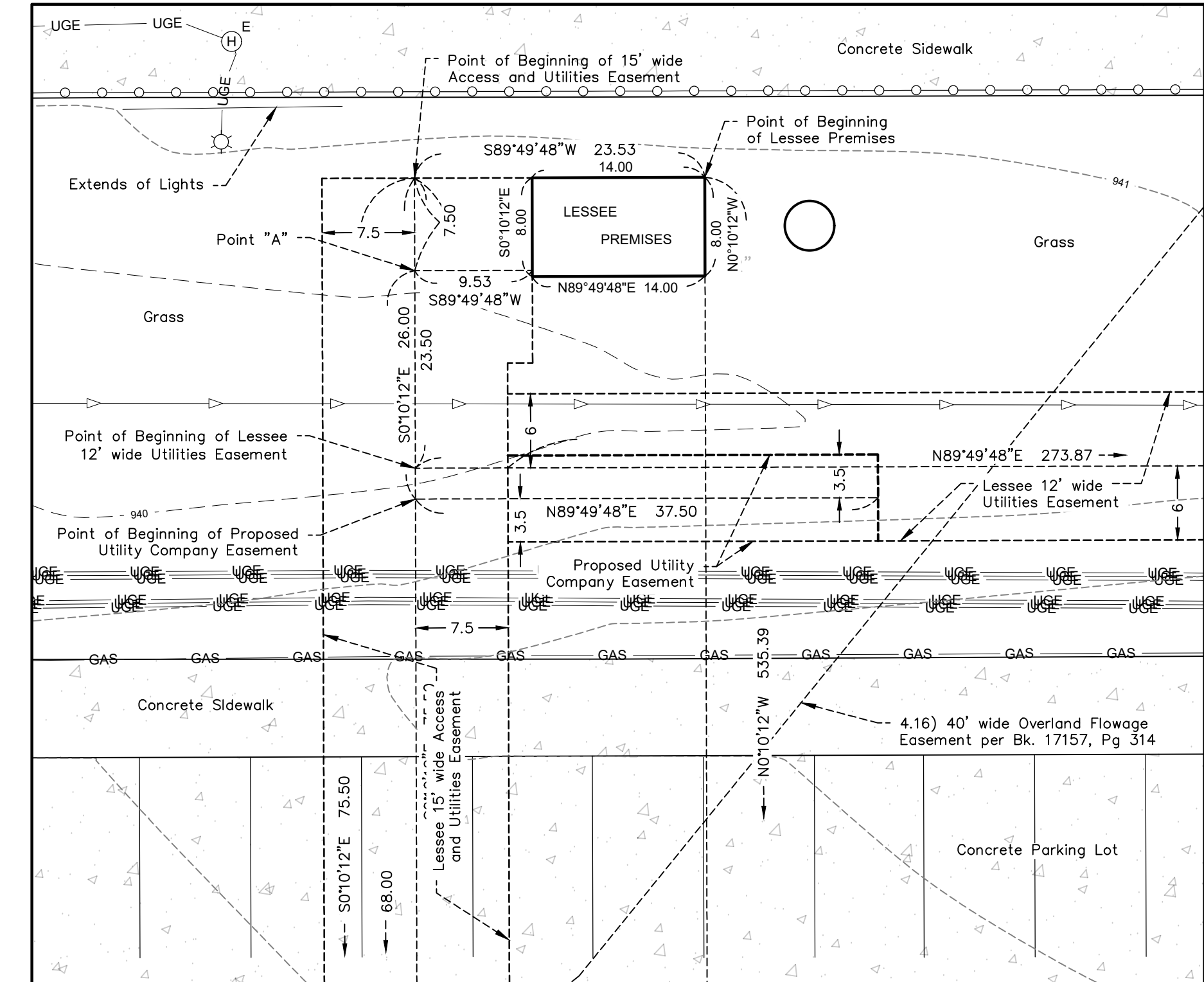
Beginning at the previously described Point "A"; thence South 89 degrees 49 minutes 48 seconds West, a distance of 9.53 feet and said centerline there terminating.

**LESSEE UTILITIES EASEMENT:**

A 12.00 foot wide easement for utility purposes over, under and across Lot 14, HOPE COMMERCIAL PLAT 4, Polk County, Iowa, the centerline of said easement is described as follows:

Commencing the northeast corner of Lot 55, said HOPE COMMERCIAL PLAT 4; thence South 89 degrees 50 minutes 18 seconds West along the north line of said Lot 55, a distance of 279.87 feet; thence North 0 degrees 10 minutes 12 seconds West, a distance 535.39 feet; thence South 89 degrees 49 minutes 48 seconds West, a distance of 23.53 feet; thence South 0 degrees 10 minutes 12 seconds East, a distance of 23.50 feet to the Point of Beginning of the centerline to be described; thence North 89 degrees 49 minutes 48 seconds East, a distance of 273.87 feet to the west right of way line of NE Heritage Drive and said centerline there terminating.

The sidelines of said easement shall be shortened or lengthened to terminate at said west right of way line of NE Heritage Drive.



**SHEET 1 OF 2 SHEETS**



**SITE NAME:**  
DES BEAVER CREEK  
Polk County, IA

No.	Date	REVISIONS	By	CHK	APP'D
1	9/24/24				
FIELD WORK:		9/24/24	CHECKED BY:	BTB	DRAWN BY:
				BAM	

I HEREBY CERTIFY THAT THIS LAND SURVEYING DOCUMENT WAS PREPARED AND THE RELATED SURVEY WORK WAS PERFORMED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF IOWA.

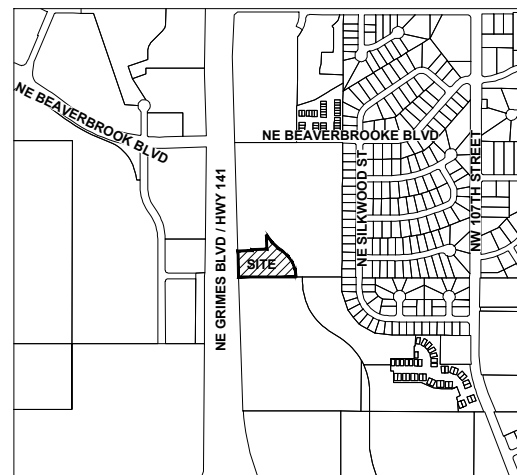
SIGNATURE: *Bryan T. Balcome*  
BRYAN T. BALCOME, L.S.  
DATE: 12/18/24  
LICENSE # 17677  
MY LICENSE RENEWAL DATE IS DECEMBER 31, 2026

FULL SCALE ON 22"x34"  
HALF SCALE ON 11"x17"  
2024-10896





**VICINITY MAP**



GRIMES, IOWA

**DEVELOPMENT SUMMARY (MIXED USE)**

OFFICE SPACE (3,434 SF)	
APARTMENTS (1 BUILDING - 73 UNITS)	
(6) STUDIO UNITS	
(29) 1-BEDROOM UNITS	
(32) 2-BEDROOM UNITS	
(6) 3-BEDROOM UNITS	
<b>PARKING REQUIRED</b>	
FLEX SPACE (OFFICE/RETAIL - 3,434 SF)	= 21 SPACES
6 SPACE / 1,000 GFA	
1.5 SPACES / EFFICIENCY (STUDIO) UNIT (6 UNITS)	= 9 SPACES
1.75 SPACES / 1 AND 2 BEDROOM UNITS (61 UNITS)	= 106.75 SPACES
2.0 SPACES / 3+ BEDROOM UNITS (6 UNITS)	= 12 SPACES
* TOTAL REQUIRED	= 128 SPACES
* OFFICE PARKING IS NEEDED DURING OPPOSITE TIME OF RESIDENTIAL PARKING	
GARAGES REQUIRED (73 UNITS)	= 18.25 SPACES (25% OF UNITS)
ACCESSIBLE SPACES REQUIRED (101-150 SPACES PROVIDED)	= 5 SPACES
<b>PARKING PROVIDED</b>	
STANDARD SPACES	= 101 SPACES
GARAGE SPACES	= 26 SPACES
ACCESSIBLE SPACES (STREET)	= 4 SPACES
ACCESSIBLE SPACES (GARAGE)	= 1 SPACE
TOTAL PROVIDED	= 132 SPACES

**BULK REGULATIONS (MIXED USE)**

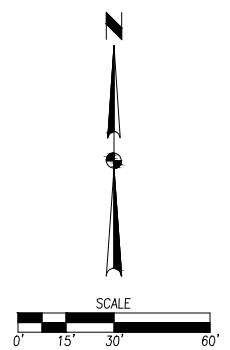
MIXED USE AREA	= 3.27 ACRES
MIN. FRONT YARD SETBACK	= 25'
MIN. SIDE YARD SETBACK	= NONE REQUIRED, EXCEPT WHEN ADJOINING ANY "R" DISTRICT OR STREET RIGHT-OF-WAY LINE, IN WHICH CASE -25 FEET
MIN. REAR YARD SETBACK	= 25 FEET; HOWEVER, FOR EVERY FOOT THE FRONT YARD IS INCREASED OVER 25 FEET, THE REAR YARD MAY BE DECREASED IN DIRECT PROPORTION THERETO, BUT IN NO CASE SHALL THE REAR YARD BE LESS THAN 10 FEET
PARKING LOT SETBACK	= 10' ALONG HWY 141 AND NE DESTINATION DR.
MAX HEIGHT	= 50'
MAX # OF STORIES	= 4 STORIES
DENSITY (73 UNITS)	= 22.32 (25 MAX)

**HIGHWAY 141 MIXED USE CORRIDOR**

MIN. HIGHWAY 141 SETBACK	= 20'
MIN. PUBLIC STREET SETBACK	= 25'
MINIMUM OPEN SPACE	= 20%

**PARKLAND DEDICATION**

REQUIRED	
73 APARTMENTS UNITS	
X 1.615 INDIVIDUALS/UNIT	= 0.59 ACRES
X 0.005 ACRES/INDIVIDUAL	
TOTAL REQUIRED	= 0.59 ACRES



**OWNER:**

SIGNATURE ERNST HOLDINGS, LLC  
 CONTACT: BRIAN ATWOOD  
 4800 E 57TH STREET  
 SIOUX FALLS, SOUTH DAKOTA  
 PH: (515) 630-6043  
 EMAIL: BRIAN@SIGNATURECOMPANIESLLC.COM

**APPLICANT:**

SIGNATURE COMPANIES  
 CONTACT: BRIAN ATWOOD  
 3430 SE DESTINATION DRIVE, SUITE #400  
 GRIMES, IOWA 50111  
 PH: (515) 630-6043  
 EMAIL: BRIAN@SIGNATURECOMPANIESLLC.COM

**ENGINEER / SURVEYOR:**

CIVIL DESIGN ADVANTAGE  
 CONTACT: JARED MURRAY  
 4121 NW URBAN DALE DRIVE  
 URBAN DALE, IOWA 50322  
 PH: (515) 369-4400  
 EMAIL: JAREDM@CDA-ENG.COM

**PUD DESCRIPTION (OVERALL PUD)**

A PART OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 33, TOWNSHIP 80 NORTH, RANGE 25 WEST OF THE FIFTH PRINCIPAL MERIDIAN IN THE CITY OF GRIMES, POLK COUNTY, IOWA AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

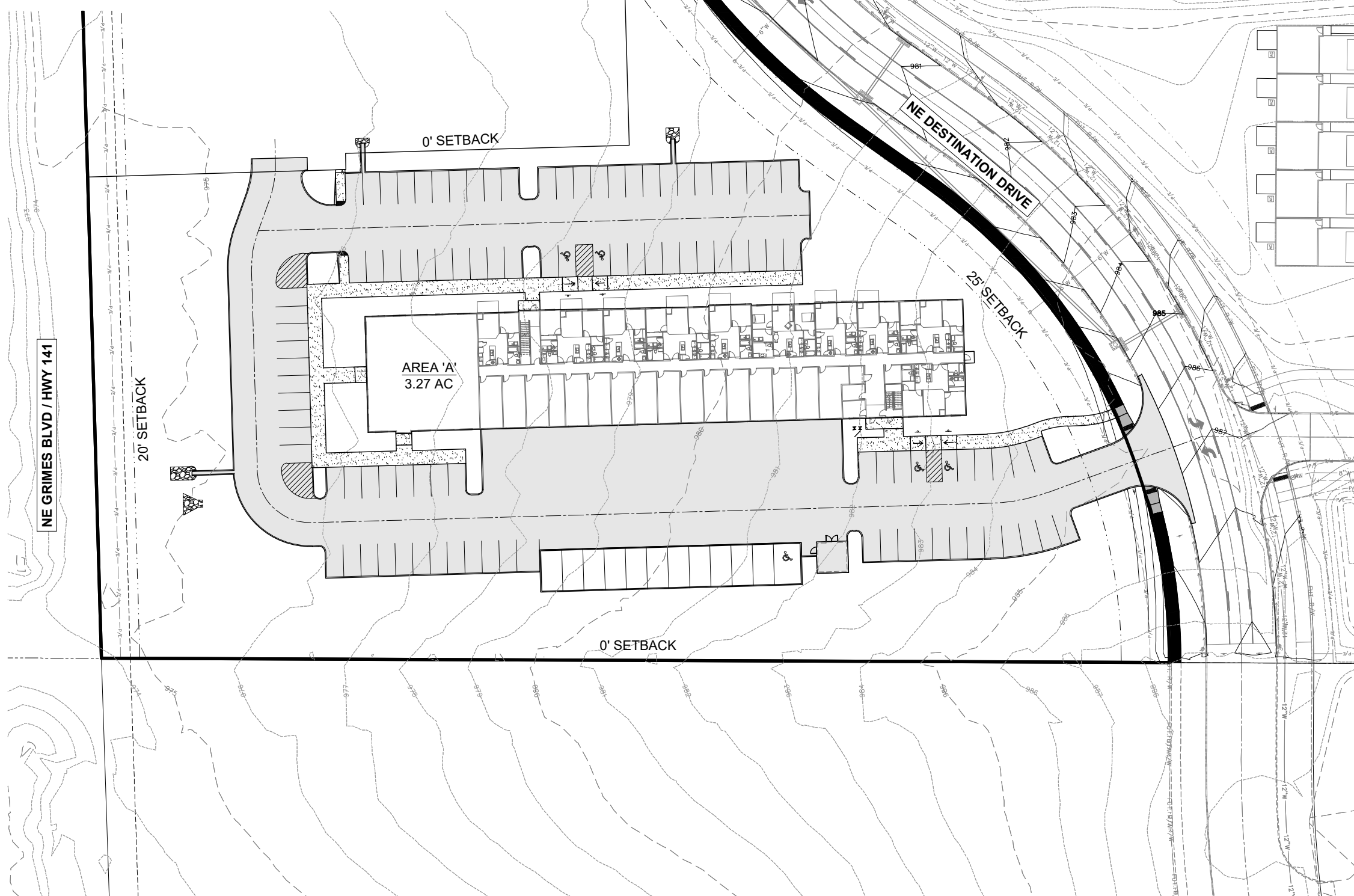
BEGINNING AT THE SOUTHWEST CORNER OF OUTLOT 'X', NORTH POINTE PLAT 1, AN OFFICIAL PLAT IN SAID CITY OF GRIMES; THENCE SOUTH 89°49'33" EAST ALONG THE NORTHERLY LINE OF SAID SOUTHWEST QUARTER OF THE NORTHWEST QUARTER, 763.49 FEET; THENCE SOUTH 00°20'06" WEST, 87.38 FEET; THENCE SOUTH 89°39'54" EAST, 179.05 FEET; THENCE SOUTH 00°20'06" WEST, 1117.50 FEET; THENCE NORTH 89°39'54" WEST, 71.79 FEET; THENCE SOUTH 00°20'06" WEST, 120.36 FEET TO THE SOUTH LINE OF SAID SOUTHWEST QUARTER OF THE NORTHWEST QUARTER; THENCE NORTH 89°46'05" WEST ALONG SAID SOUTH LINE, 825.10 FEET TO THE EASTERLY RIGHT OF WAY LINE OF NE GRIMES BOULEVARD; THENCE NORTH 01°38'20" WEST ALONG SAID EASTERLY RIGHT OF WAY LINE, 1325.37 FEET TO THE POINT OF BEGINNING AND CONTAINING 27.42 ACRES (1,194,434 SQUARE FEET).

THE PROPERTY IS SUBJECT TO ANY AND ALL EASEMENTS OF RECORD.

**PUD DESCRIPTION (MIXED USE)**

A PART OF OUTLOT 'Z', BROOKSIDE VILLAGE PLAT 1, AN OFFICIAL PLAT IN THE CITY OF GRIMES, POLK COUNTY, IOWA AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF SAID OUTLOT 'Z'; THENCE NORTH 01°38'20" WEST ALONG THE WEST LINE OF SAID OUTLOT 'Z', 250.23 FEET; THENCE NORTH 88°21'40" EAST, 134.29 FEET; THENCE NORTH 01°38'20" WEST, 8.50 FEET; THENCE NORTH 88°21'40" EAST, 147.50 FEET; THENCE NORTH 01°38'20" WEST, 141.85 FEET TO THE EASTERLY LINE OF SAID OUTLOT 'Z'; THENCE SOUTHEASTERLY ALONG SAID EASTERLY LINE AND A CURVE CONCAVE NORTHEASTERLY WHOSE RADIUS IS 370.50 FEET, WHOSE ARC LENGTH IS 178.10 FEET AND WHOSE CHORD BEARS SOUTH 41°01'26" EAST, 176.39 FEET; THENCE SOUTH 54°47'41" EAST ALONG SAID EASTERLY LINE, 50.05 FEET; THENCE SOUTHEASTERLY ALONG SAID EASTERLY LINE AND A CURVE CONCAVE SOUTHWESTERLY WHOSE RADIUS IS 302.50 FEET, WHOSE ARC LENGTH IS 290.92 FEET AND WHOSE CHORD BEARS SOUTH 27°14'36" EAST, 279.84 FEET TO THE SOUTHEAST CORNER OF SAID OUTLOT 'Z'; THENCE NORTH 89°46'05" WEST ALONG THE SOUTH LINE OF SAID OUTLOT 'Z', 555.00 FEET TO THE POINT OF BEGINNING AND CONTAINING 3.27 ACRES (142,270 SQUARE FEET).



FILE: H:\2024\240400\WMO\NEZONING\240400-PUD EXHIBIT.DWG  
 DATE: 6/17/2025 11:12 AM  
 PLOTTED BY: JARED MURRAY  
 CHECKED BY: JARED MURRAY  
 SCALE: AS SHOWN

DATE	06/09/2025
REVISIONS	
1ST SUBMITTAL	

4121 NW URBAN DALE DRIVE  
 URBAN DALE, IA 50322  
 PHONE: (515) 369-4400

**TECH:**

**ENGINEER: JMM**

**CIVIL DESIGN ADVANTAGE**

GRIMES, IOWA

**BROOKSIDE VILLAGE**

**PUD EXHIBIT**

1/1

2505.400

