

Grimes Planning and Zoning Commission Agenda

Grimes Community Complex
410 SE Main Street, Room 202
Grimes, Iowa 50111
Phone | 515.986.4050
www.grimesiowa.gov

Mission Statement

The mission of Grimes City Government is to provide excellent/exceptional city services and facilities in a financially responsible and community-friendly manner through a high performing city team that result in adding value to resident's lives.

Commission Members | Scott Almeida, Adam Bunge, Russ Lickteig, Craig Patterson, Courtney Strutt Todd
Council Liaison | Andrew Borcharding

**Grimes Planning & Zoning Commission Meeting October 1, 2024
In Person at Grimes Community Complex, 410 SE Main Street, Room 202**

GENERAL AGENDA ITEMS

1. Call to Order
2. Roll Call: Scott Almeida, Adam Bunge, Russ Lickteig, Craig Patterson, Courtney Strutt Todd, Council Liaison Andrew Borcharding
3. Approval of the Agenda
4. Approval of the Previous Minutes

PUBLIC AGENDA ITEMS

1. Glass Fabricators Site Plan Amendment

ADJOURNMENT



101 NE Harvey Street, Grimes, Iowa 50111 | P: 515.986.3036

This meeting of the Grimes Planning and Zoning Commission was called to order Tuesday, September 3, 2024 at 5:30 P.M.

Roll Call: Present: Scott Almeida, Russ Lickteig, Craig Patterson (via Zoom)

Staff: Alex Pfaltzgraff, Evann Martin, Alivia Hoodjer, Rachel Greving

Absent: Adam Bunge, Courtney Strutt-Todd, Council Liaison: Borcharding

A. GENERAL AGENDA ITEMS

1. APPROVAL OF THE AGENDA

Motion by Lickteig, Second by Patterson, to approve the agenda

Roll Call: Ayes-All; Nays-0 Motion passes: 3-0

2. APPROVAL OF THE MINUTES

Motion by Lickteig, Second by Patterson, to approve the minutes from the September 3, 2024 meeting

Roll call: Ayes-All: Nays-0 Motion passes: 3-0

B. PUBLIC AGENDA ITEMS

Grimes Tree Farm Expansion Site Plan Amendment

Staff member Martin presented the details of the site plan amendment. It includes the addition of a second smaller building complimentary to the existing building for office space and the addition of more parking.

Motion by Patterson, Second by Lickteig to approve Grimes Tree Farm Expansion Site Plan Amendment

Roll Call: Aye-All Nay-0 **Motion Passes 3-0**

C. PUBLIC FORUM – None

D. REPORTS

- 1. Department Update – Staff provided an update on development and capital projects around the City.**
- 2. Council Liaison Update – N/A**
- 3. Old Business – N/A**
- 4. New Business – N/A**
- 5. Next meeting October 1, 2024**

Meeting is adjourned at 5:36 p.m.

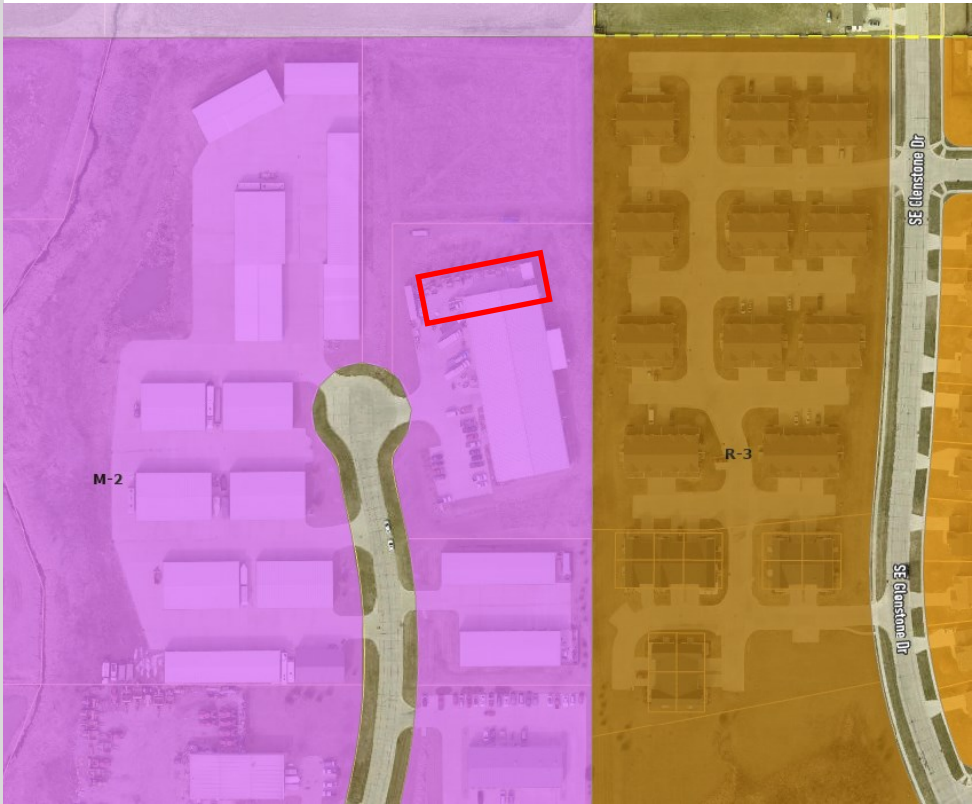
Chairperson Signature

Clerk Signature

Location Map



Zoning Map



DATE

October 1, 2024

PROJECT NAME

Glass Fabricators Building
Addition
Site Plan Amendment

APPLICANT

Glass Fabricators Inc.

REQUESTED ACTION

Construct a 2,858 sq. ft. building
addition for storage and
pavement resurface in front of
the proposed building.

LOCATION

2955 SE Miehle Drive

ZONING

M-2

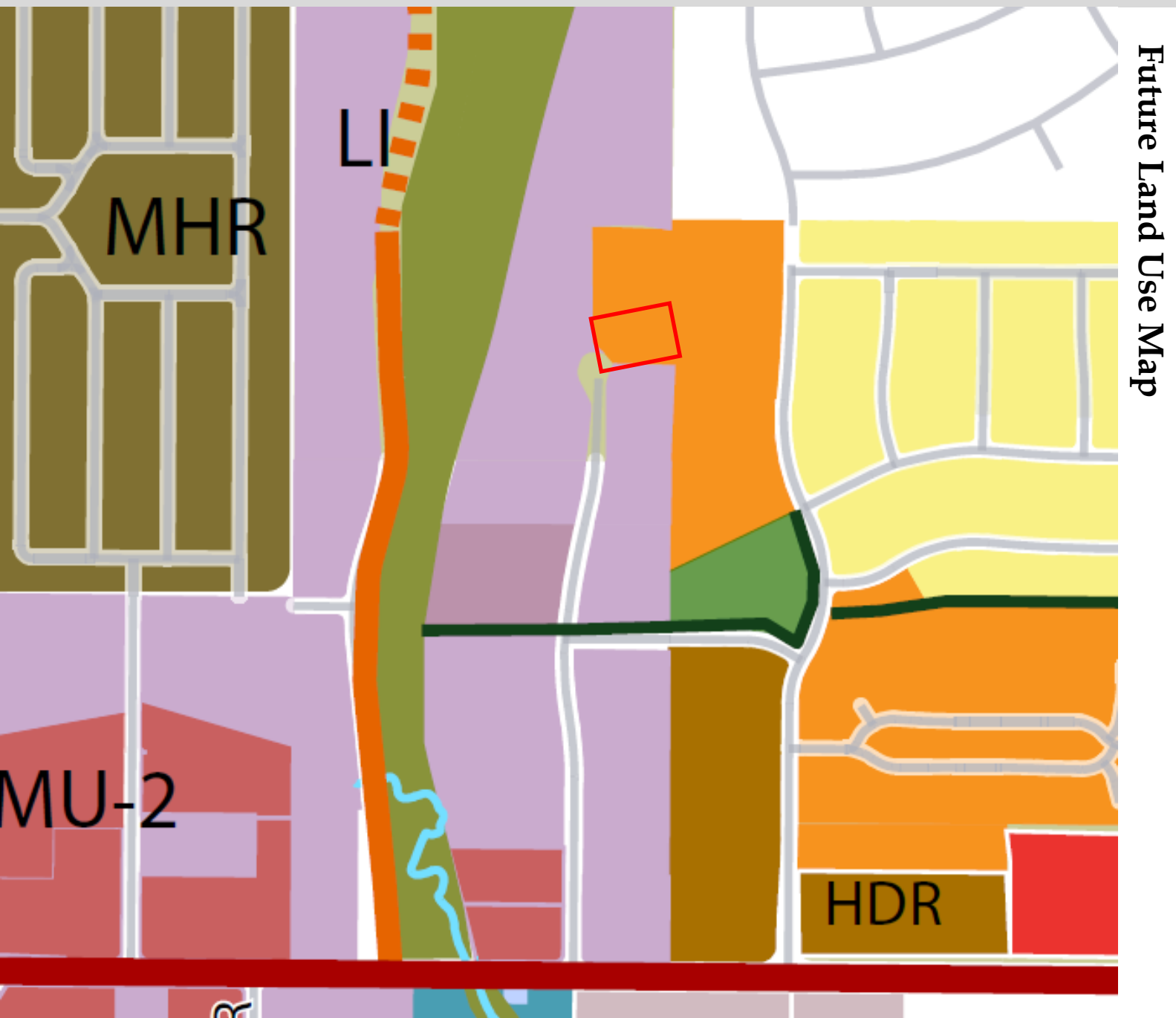
PLANNER

Evann Martin
emartin@grimesiowa.gov
515-986-4050

Relation to Comprehensive & Neighborhood Plans

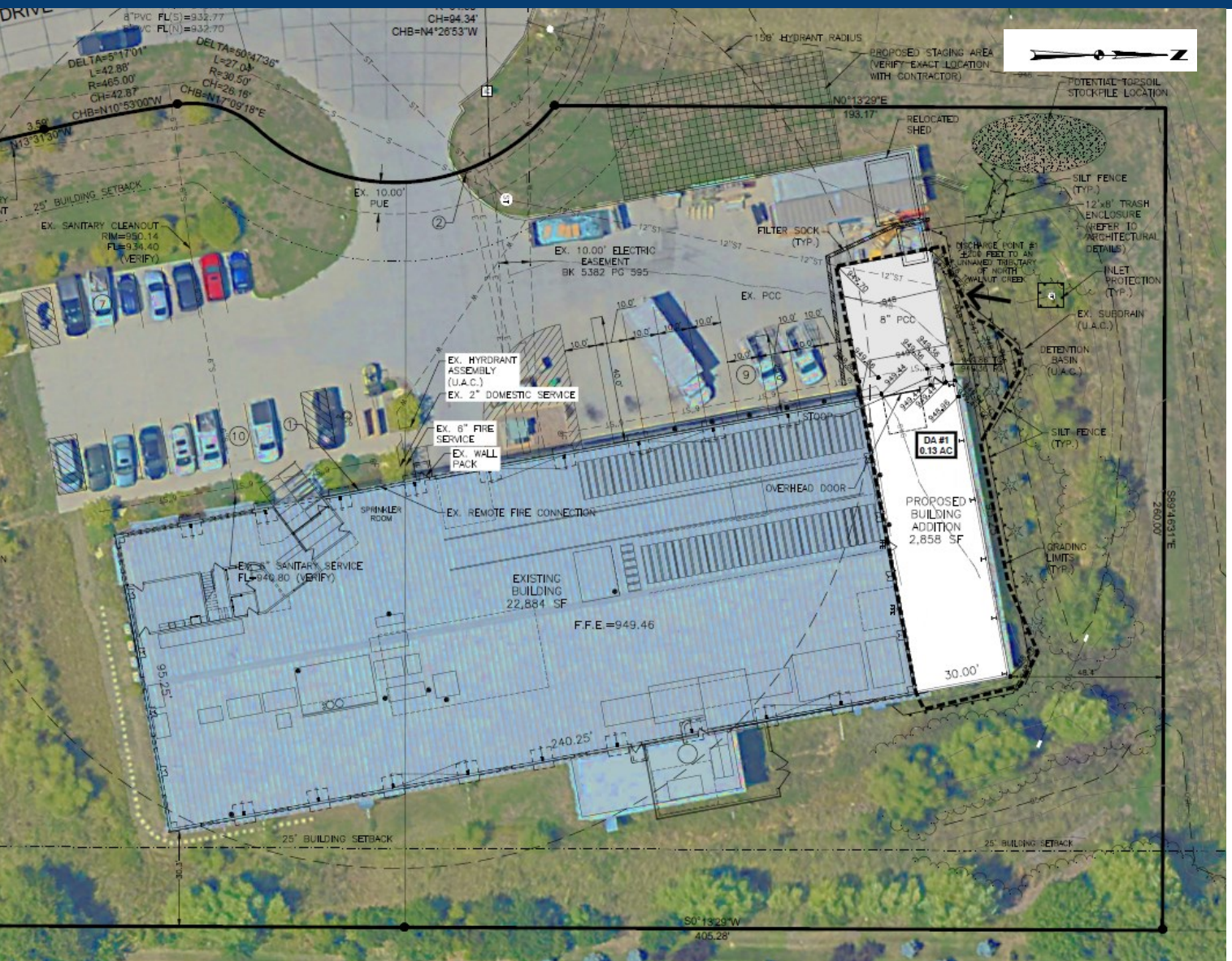
LAND USES & ZONING

Location	Existing Land Use	Land Use Plan Designation	Current Zoning
Subject Site	Light Manufacturing	Medium Density Residential	M-2
North	Undeveloped	Light Industrial	M-2
South	Light Industrial	Light Industrial	M-2
East	Multi-Family Residential	Medium Density Residential	R-3
West	Light Industrial	Light Industrial	M-2



Site Layout

Site Layout



ACCESS

Access will be provided via the existing driveway along SE Mische Drive.

OUTDOOR STORAGE

Existing outdoor storage will be removed or stored inside the building or existing shed, which will bring the site into compliance.

Parking Calculation Table

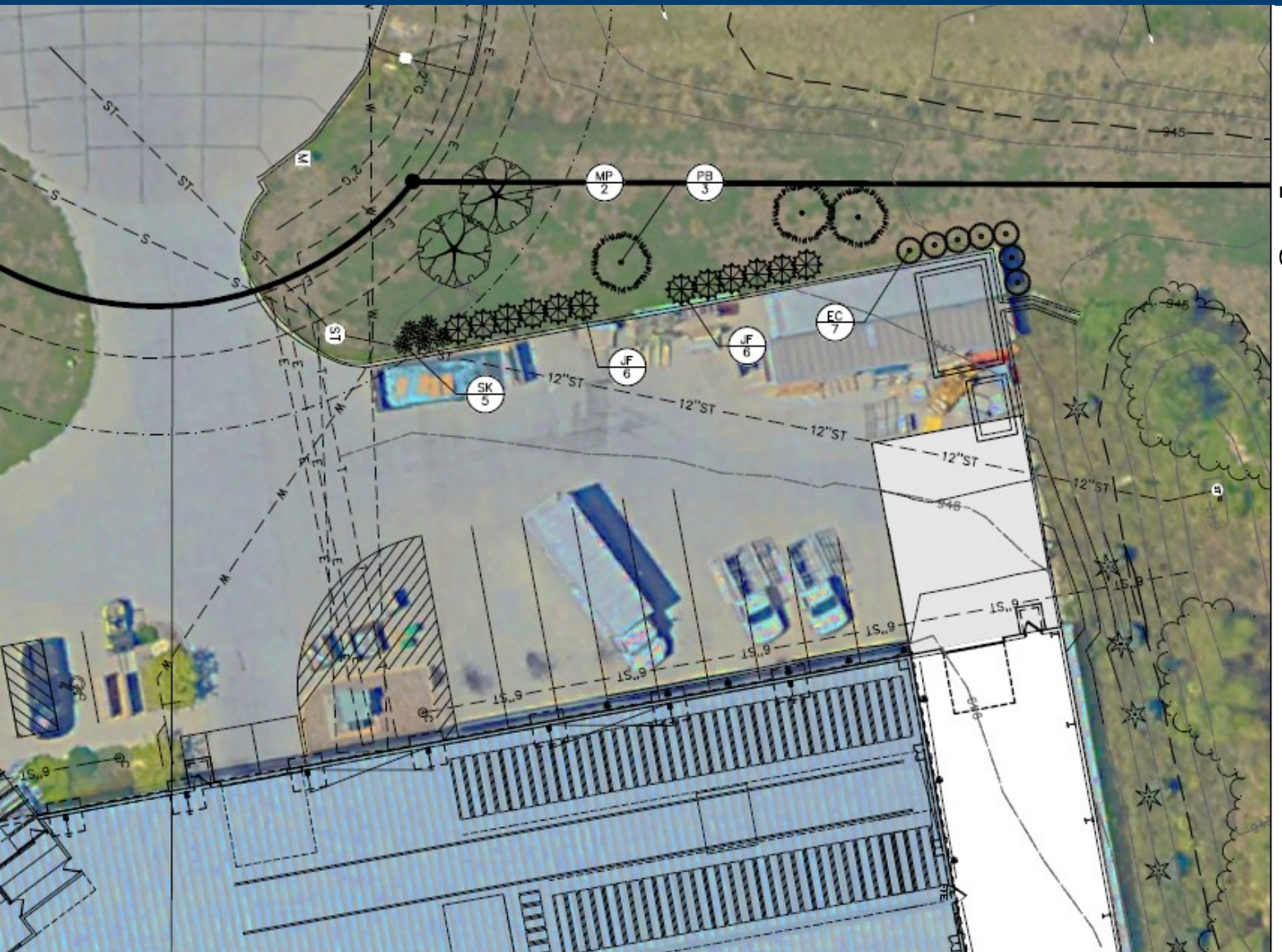
Required	Proposed
18 PARKING SPACES	18 PARKING SPACES

PARKING:

Parking on the north side will be utilized for truck parking and loading. The south side of the site will be utilized by employees. The loading area will be striped to define truck parking and loading areas as well as circulation paths.

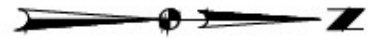
Landscaping

Landscaping Plan



LANDSCAPING

Shrubs alongside the pavement will help to screen headlights and evergreen and crab apple trees will be added to the front entrance lawn for to screen the loading area. No existing landscaping will be removed from the site.



Architecture

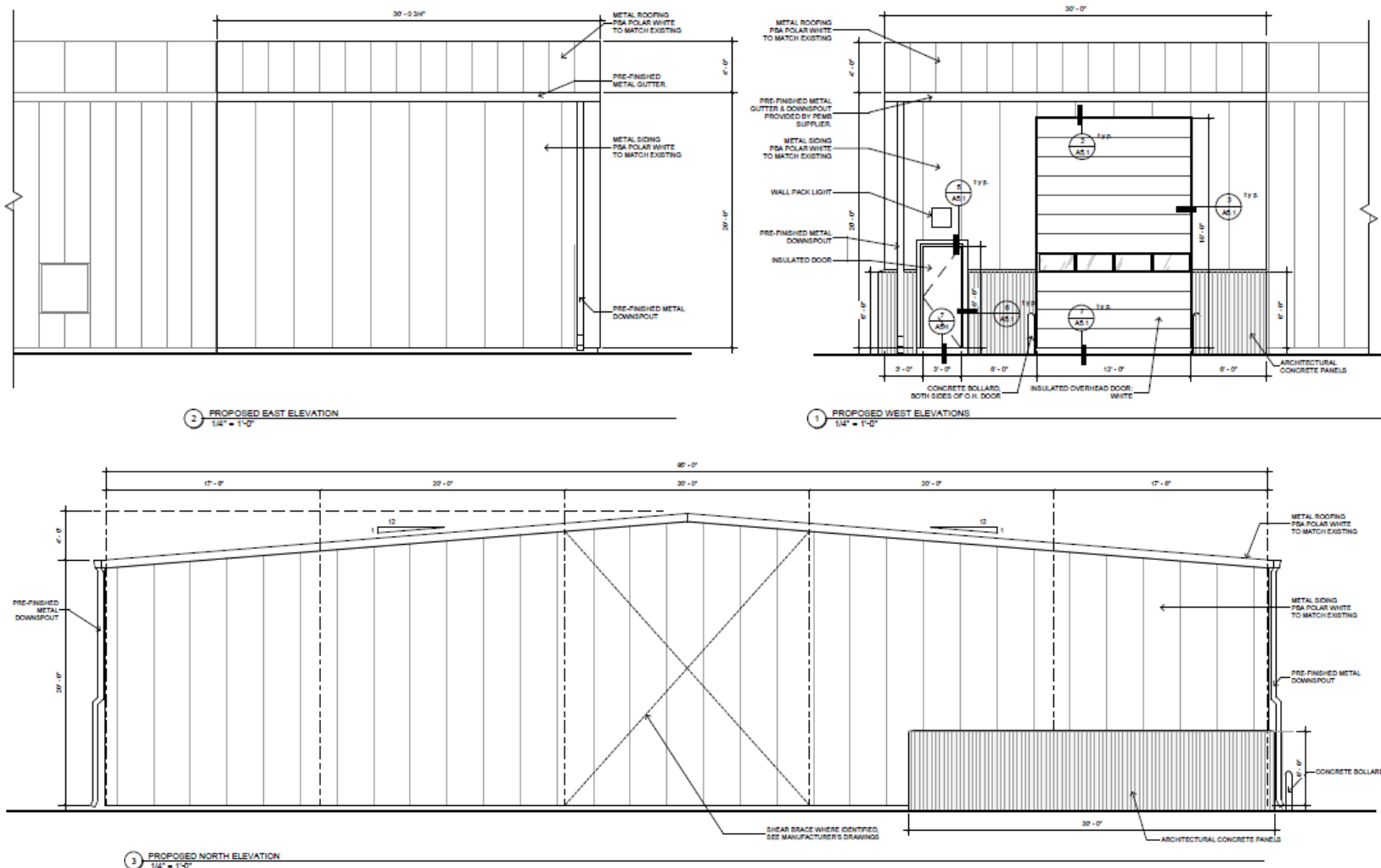
BUILDING & ELEVATIONS

The new building addition will be designed to match the existing building on site. The new addition will include an overhead garage door and man door with a stoop on the west side. The materials will be white metal siding and roofing as well as white doors to match the existing building. Architectural concrete panels will be provided on the building to meet the minimum architectural requirements. Concrete bollards will be added on both sides of the overhead door entrance.

LIGHTING

A wall pack light will be added above the proposed man door on the addition.

Proposed Elevations



Conclusion

STAFF RECOMMENDATION

Staff recommends approval of the site plan amendment.

Conclusion

A 2,858 sf building addition is proposed on the existing building for additional storage and loading.

Architectural concrete panel will be applied to the building addition to meet architecture requirements.

Existing outdoor storage on site will be remove or stored inside the building or existing shed.

A dumpster closure will be added to the site.

Landscaping will be added along the frontage to screen headlights and the loading area.





Development Services

410 SE Main St, Suite 102

Grimes, IA 50111

(515)986-4050

www.grimesiowa.gov

August 30, 2024

September 18, 2024

September 26, 2024

Civil Design Advantage

Attn: Emily Harding

4121 NW Urbandale Dr

Urbandale, IA 5

RE: Glass Fabricators Building Addition Site Plan Amendment

Dear Ms. Harding:

The Development Services Department is in receipt of a proposed Site Plan Amendment for Glass Fabricators Building Addition. Based on the review of the provided submittal materials, staff have the following comments:

General Comments:

1. Provide separate Pollution Prevention Plan as noted in the grading notes and include the following: SWPPP information is in review
 - a. ~~Downslope perimeter controls~~
 - b. ~~Provide outlet protection within the detention basin~~
 - c. ~~Clearly mark discharge~~
 - d. ~~Proposed staging area~~
 - e. ~~Proposed concrete washout location. Ensure location is at least 50 ft from any storm structure including ponds~~
 - f. ~~Proposed top soil stock pile location~~
 - g. ~~Erosion Controls including temp stabilization (included in quantities table)~~
 - h. ~~Velocity Controls (Scour protection at outlets)~~
 - i. ~~Ensure matting is installed on slopes 3:1 or greater~~
 - j. **Include sediment controls around the stockpile to meet topsoil preservation requirements and keep this from entering the basin.**
2. ~~Please verify if there will be a trench drain within the addition. If so, they will need to install a sand/oil separator.~~
3. **Staff will provide observation fee schedule template and preconstruction packet with final site plan review.**

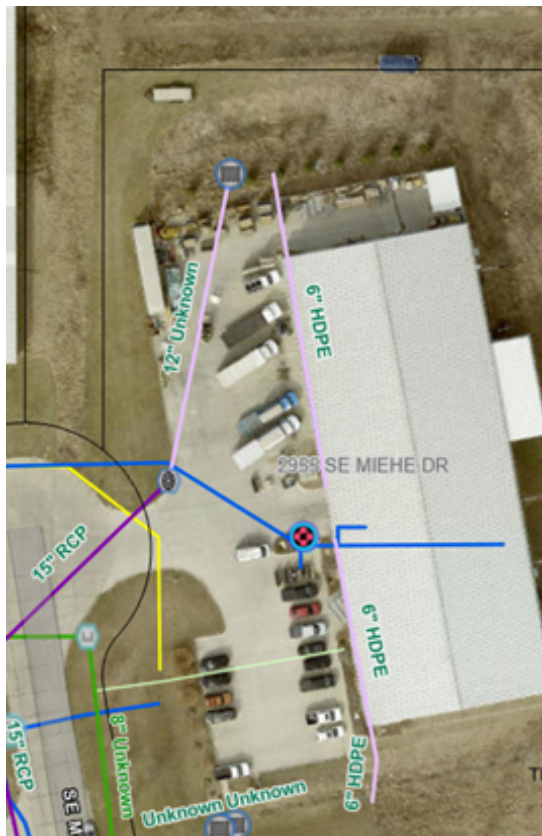
4. ~~Provide City standard notes (provided).~~

5. Staff will prepare a sidewalk construction agreement for review prior to occupancy of the building. The draft agreement is provided. There are two options for payment/installation of the sidewalk. Please let me know what you prefer, and I can update the agreement if needed.

- a. Option 1 - The property owner can provide the City with the cost of the sidewalk for the City to construct in the future. Please provide a cost estimate for the construction of the sidewalk.
- b. Option 2 - The property owner can agree to construct the sidewalk in the future upon notice from the City.

Sheet 3:

1. ~~Verify if there is storm sewer running along the face to the building to the northern detention basin.~~



2. There is existing outdoor storage. Will the outdoor storage be moved inside the building? Or will there still be outdoor storage areas? If yes, please show the location on the site plan and provide details for the outdoor storage screening. **All glass panes and other materials are required to be stored within the building or shed.**
3. Dumpsters are currently being stored outside. They will need to be stored inside the building otherwise a dumpster enclosure is required. Please provide enclosure details.
 - a. **The dimensions of the dumpster enclosure do not match what is noted on the site plan. Please revise.**
 - b. **Dumpster enclosure height is required to be 6'-8' tall. Please revise.**
 - c. **Dumpster enclosures are required to be constructed with masonry. Please revise.**
 - d. **Please label the material on the face of the gates. Material is required to be opaque. Chainlink with slats is not permitted.**
 - e. **Gates are required to be metal framed. Please label.**
4. ~~Show all parking striping, including ADA.~~
5. ~~Label the width and depth of truck parking.~~
6. ~~Label ADA parking signage.~~
7. Are there building changes on the rear of the building? The footprint shown does not match the existing footprint? **The footprint doesn't match. Please remove/revise.**
8. ~~Staff would suggest installing a stop sign out to SE Mische Dr.~~
9. ~~There appears to be two boats and/or trailers parked on the north side of property, and on the adjoining vacation property. Please remove from the property, or store upon an approved paved surface and in an approved outdoor storage area.~~
10. **Why are the two southern parking stalls striped out? Based on the square footage of the building, one of the spaces is required to be provided as parking.**
11. **Please label the future 5' sidewalk in the ROW.**

Building Elevation:

1. ~~Provide landscaping to obscure the loading area and overhead doors from SE Mische in the area identified below.~~



2. ~~Is any roof-mounted equipment proposed? If so, please show locations and screen to hide from SE Mische Dr.~~
3. Please specify the color/spec for the architectural concrete panel.

Please provide a letter addressing all comments on this comment letter and/or state what was modified on the site plan to address said comments.

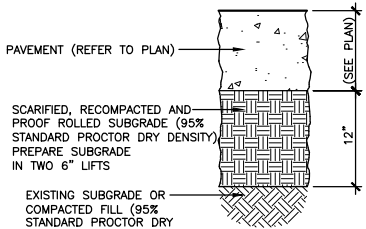
SITE PLAN SUBMITTAL SCHEDULE:

SUBMITTAL DATE:	September 3, 2024 (1 PDF of Site plan with Elevation Plan included)
PLANNING & ZONING:	October 1, 2024 at 5:30
COUNCIL MEETING:	October 22, 2024 at 5:30

Please feel free to contact me at emartin@grimesiowa.gov or at (515) 986-4050 if you have any questions or need additional information.

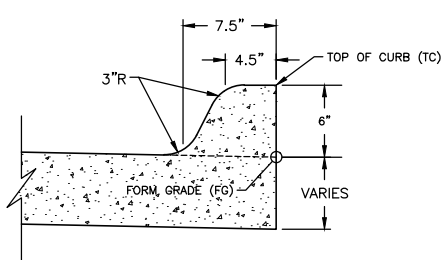
Sincerely,

Evann Martin
Senior Planner

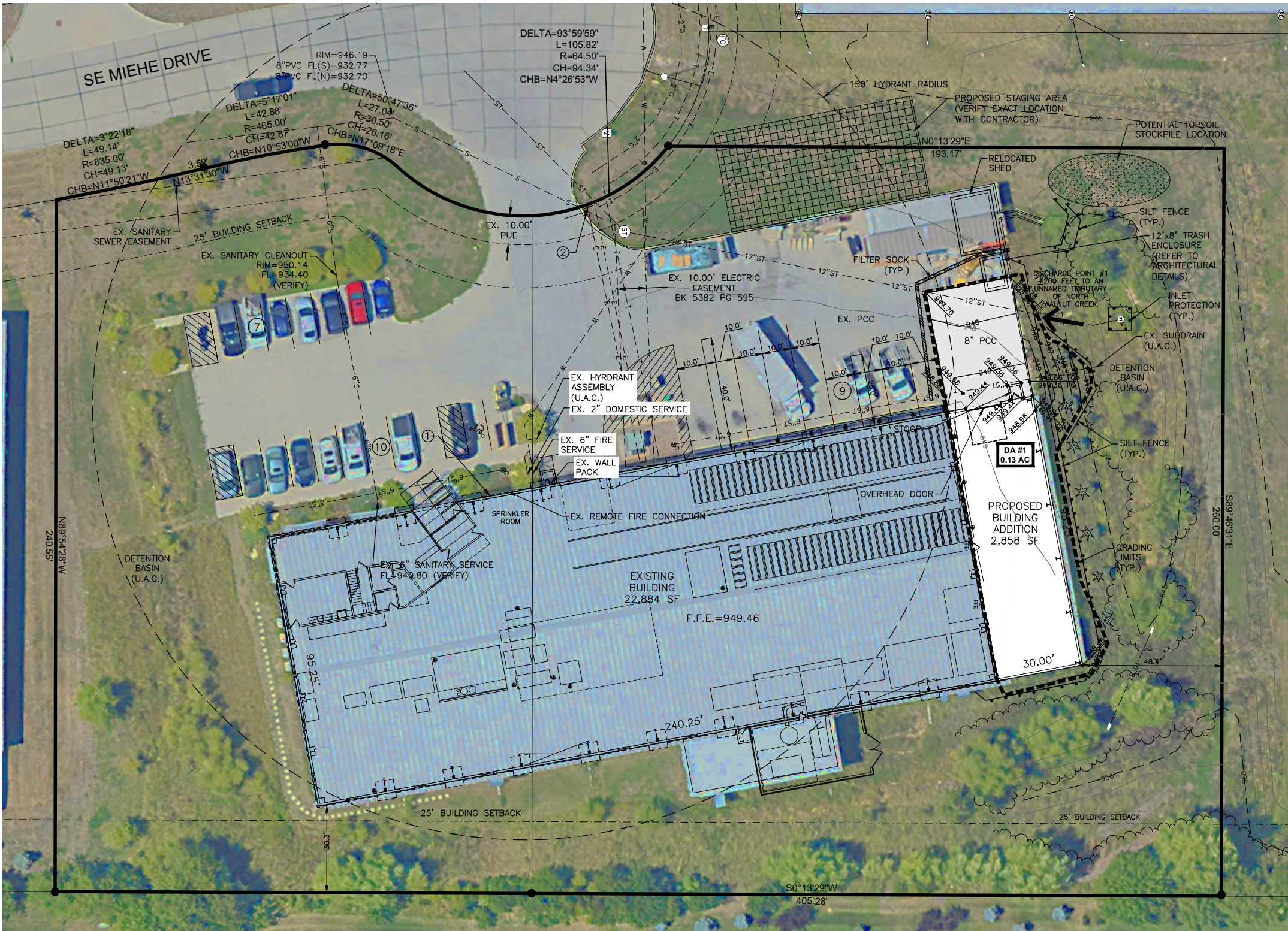


- NOTE:
- SUBGRADE PREPARATION SHALL EXTEND 24" BEYOND EDGE OF PAVING OR BACK OF CURB, EXCEPT WHEN ABUTTING EXISTING PAVEMENT.

12" SUBGRADE PREPARATION DETAIL



INTEGRAL 6" STANDARD CURB
SPOT ELEVATION REFERENCE



UTILITY NOTES

- REFER TO MECHANICAL, ELECTRICAL AND PLUMBING PLANS FOR UTILITY SERVICE SIZES AND EXACT LOCATIONS. REFER TO ELECTRICAL PLANS FOR ELECTRIC AND TELEPHONE SERVICE CONSTRUCTION DETAILS. REFER TO MECHANICAL PLANS FOR GAS SERVICE CONSTRUCTION DETAILS.
- FIELD VERIFY ELEVATIONS AND LOCATIONS OF ALL CONNECTIONS TO EXISTING UTILITIES PRIOR TO COMMENCING CONSTRUCTION.
- PROVIDE TEMPORARY SUPPORT FOR EXISTING UTILITY LINES THAT ARE ENCOUNTERED DURING CONSTRUCTION UNTIL BACKFILLING IS COMPLETE.
- BACKFILL ALL UTILITY TRENCHES ACCORDING TO THE MOST RECENT EDITION OF THE SUDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS. MAINTAIN A MINIMUM OF 5.5' COVER OVER ALL WATERMANS.
- ALL UTILITIES SHALL BE STUBBED TO 5 FEET FROM BUILDINGS. REFER TO MEP PLANS FOR DESIGN FROM 5' OUTSIDE OF BUILDING FACE.
- ADJUST ALL MANHOLES AND INTAKES TO FINISHED GRADES.
- ALL SANITARY SEWER AND WATER SERVICES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY'S PLUMBING CODE.
- 18" MINIMUM VERTICAL CLEARANCE BETWEEN STORM SEWER AND SANITARY SEWER PIPES.
- 18" MINIMUM VERTICAL CLEARANCE BETWEEN SANITARY SEWER AND WATER MAIN.
- MAINTAIN A MINIMUM OF 10' HORIZONTAL SEPARATION BETWEEN SANITARY SEWER LINES AND WATER MAINS.
- WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES, UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE, THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTORS RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATIONS, AND TO AVOID DAMAGE. THE CITY, NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK. THE CONTRACTOR IS REQUIRED TO UTILIZE THE UTILITY ONE-CALL SERVICE AT 800-292-8989 AT LEAST 48 HOURS PRIOR TO EXCAVATING ANYWHERE ON THE PROJECT.
- ALL WATERMAN WORK, PUBLIC OR PRIVATE SHALL BE DONE IN ACCORDANCE WITH THE MOST RECENT EDITION OF THE SUDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF WORK OF ALL SUBCONTRACTOR(S) INVOLVED IN THE PROJECT.
- PRIVATE UTILITIES TO BE INSTALLED PER THE CITY'S STANDARD CONSTRUCTION SPECIFICATIONS FOR PUBLIC IMPROVEMENTS AND THE 2012 UNIFORM PLUMBING CODE. CONTACT BUILDING INSPECTION A MINIMUM OF 24 HOURS IN ADVANCE FOR UTILITY INSTALLATION INSPECTIONS.
- OWNER IS RESPONSIBLE FOR MAINTENANCE OF PRIVATE RETENTION FACILITIES AND PRIVATE UTILITIES.
- CONTRACTOR SHALL PREVENT ENTRY OF MUD, DIRT, DEBRIS AND OTHER MATERIAL INTO NEW AND EXISTING SEWER SYSTEMS. SHOULD ANY CONTAMINATION OCCUR DURING CONSTRUCTION, THE CONTRACTOR SHALL CLEAN AT NO COST TO THE OWNER. INSTALL SILT FENCE AT ALL PERMANENT STORM SEWER INLETS.
- THE ENTIRE FACILITY SHALL BE SPRINKLED. ONE KNOX BOX IS REQUIRED AND MAY BE PURCHASED FROM CITY HALL. REFER TO PLAN FOR LOCATION.
- LIGHTING WALL PACKS SHALL BE SHARP CUT-OFF FIXTURES.

GRADING NOTES

- PRIOR TO ANY GRADING, A COPY OF THE NPDES PERMIT SHALL BE PROVIDED TO THE CITY'S BUILDING DIVISION.
- CONTRACTOR SHALL STRIP ALL DELETERIOUS MATERIAL. THE TOP 6" OF TOPSOIL IS TO BE STOCKPILED AND RESPREAD AFTER GRADING IS COMPLETE. CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING A SUITABLE TOPSOIL STOCKPILE SITE.
- EXCAVATION SHALL BE IN ACCORDANCE WITH THE MOST RECENT EDITION OF THE SUDAS STANDARD SPECIFICATIONS, AND ALL CITY SUPPLEMENTALS, IF APPLICABLE.
- MATCH EXISTING GRADES AT PROPERTY LINES AND/OR CONSTRUCTION LIMITS.
- ALL SPOT ELEVATIONS ARE FORM GRADE (FG) OR TOP OF FINISHED SURFACES UNLESS OTHERWISE NOTED.
- SITE SHALL BE GRADED TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS.
- SLOPES IN PAVEMENT SHALL BE UNIFORM TO AVOID PONDING.
- THE CONTRACTOR SHALL CONFINE HIS GRADING OPERATIONS TO WITHIN THE CONSTRUCTION LIMITS AND EASEMENTS SHOWN ON THE PLANS. ANY DAMAGE TO PROPERTIES OUTSIDE THE SITE BOUNDARY SHALL BE AT THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR SHALL APPLY NECESSARY MOISTURE CONTROL TO THE CONSTRUCTION AREA AND HAIL ROADS TO PREVENT THE SPREAD OF DUST.
- FINAL FINISH GRADING TO BE APPROVED BY THE ARCHITECT AND CIVIL ENGINEER. MATCH EXISTING GRADES AT THE INTERFACE OF NEW AND EXISTING GRADES OR PAVING.
- SIDEWALKS: MAINTAIN 1% MINIMUM AND 5% MAXIMUM LONGITUDINAL SLOPES ON ALL PAVED WALKWAYS. ALL WALKS TO HAVE 2.0% MAXIMUM TRANSVERSE SLOPE IN THE DIRECTION OF NATURAL DRAINAGE. SAW CUT JOINTS AS SOON AS CONCRETE HAS SET. SAW CUTS TO BE 1/8" TO 1/4" WIDE; DEPTH: LONGITUDINAL T/3, TRANSVERSE T/4.

TRAFFIC CONTROL NOTES

- ALL APPLICABLE CITY PERMITS, INCLUDING BUT NOT LIMITED TO CLOSURE PERMITS, SHALL BE OBTAINED PRIOR TO ANY CONSTRUCTION WITHIN CITY R.O.W. OR LANE CLOSURES.
- ALL TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- PERMANENT SIGNING THAT CONVEYS A MESSAGE CONTRARY TO THE MESSAGE OF TEMPORARY SIGNING AND NOT APPLICABLE TO THE WORKING CONDITIONS SHALL BE COVERED BY THE CONTRACTOR WHEN DIRECTED BY THE CITY.
- THE CONTRACTOR SHALL COORDINATE HIS TRAFFIC CONTROL WITH OTHER CONSTRUCTION PROJECTS IN THE AREA.
- SIDEWALK CLOSED SIGNS REQUIRED FOR ALL SIDEWALK CLOSURES.
- THE CONTRACTOR IS CAUTIONED NEITHER TO OBSTRUCT NOR REMOVE ANY EXISTING PAVEMENT, NOR TO DISTURB THE EXISTING TRAFFIC PATTERNS MORE THAN IS NECESSARY FOR THE PROPER EXECUTION OF THE WORK.
- ALL SIGNING AND LANE STRIPING WILL NEED TO COMPLY WITH MUTCD. MAINTENANCE AND REPLACEMENT OF THE SIGNING AND STRIPING WILL BE THE RESPONSIBILITY OF THE APPLICANT.

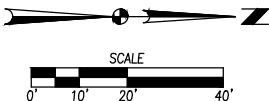
SIGN LEGEND

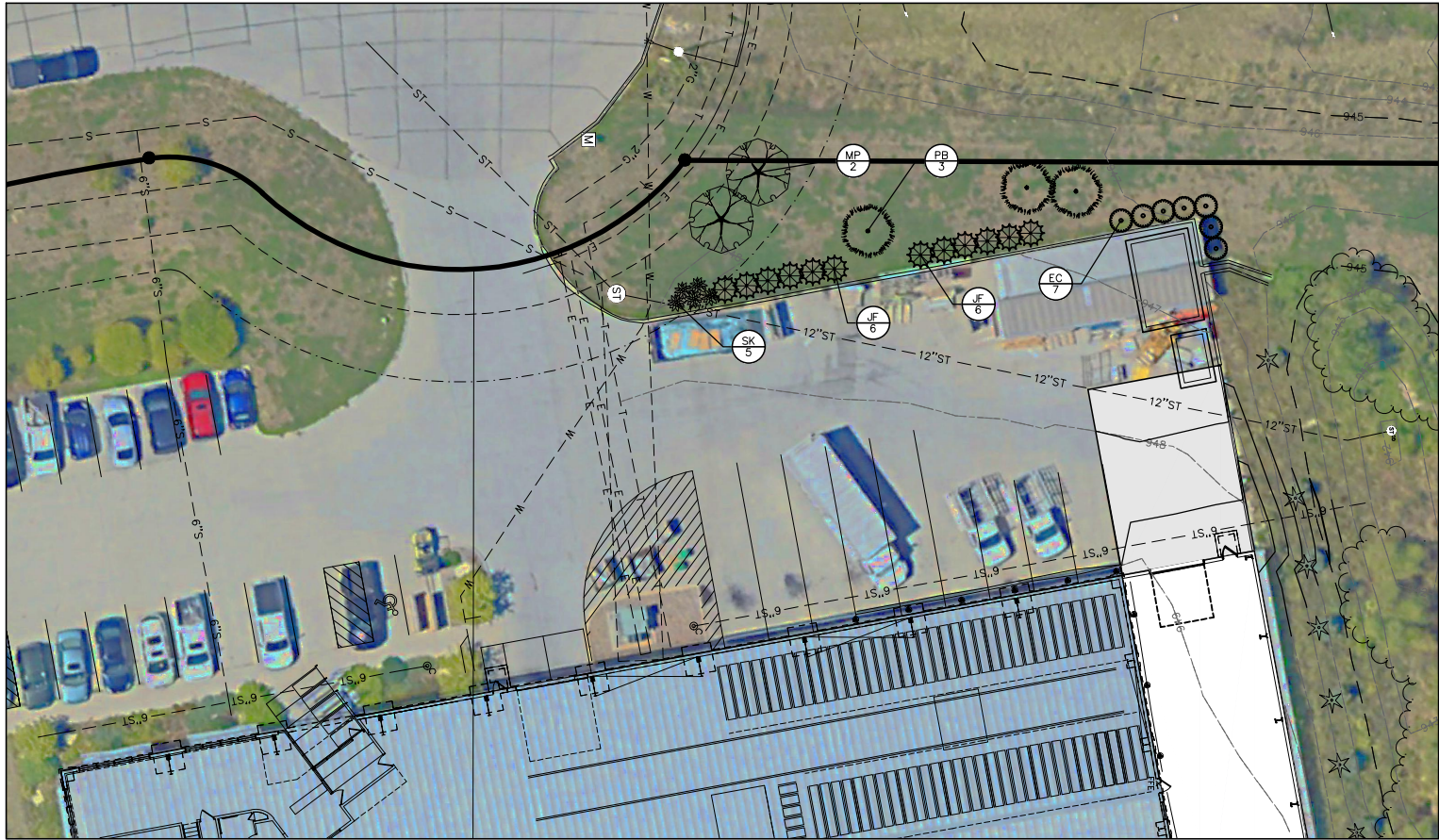


R7-8
①



R1-1
②





LANDSCAPING NOTES

- LOCATE ALL UTILITIES BEFORE ANY PLANTING BEGINS.
- THE 2024 EDITION OF THE SUDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.
- TYPE, SIZE, AND QUALITY OF PLANT MATERIAL SHALL CONFORM TO THE MOST CURRENT EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1
- ALL PLANT MATERIAL SHALL BE HEALTHY SPECIMENS WITHOUT DEFORMITIES, VOIDS AND OPEN SPACES, WITH WELL DEVELOPED BRANCH AND ROOT SYSTEMS; TRUE TO HEIGHT, SHAPE AND CHARACTER OF GROWTH OF THE SPECIES OR VARIETY.
- SOD ALL DISTURBED AREAS AS DIRECTED BY OWNER.
- BACKFILL TO TOP OF CURB (MINUS 1 1/2" FOR SOD, IF REQ.)
- WEED PREVENTER (PRE-EMERGENT) SHALL BE SPREAD OVER SOIL AFTER PLANTING AND BEFORE MULCHING IN ALL PLANTING BEDS PER MANUFACTURER'S RECOMMENDATIONS.
- SHREDDED HARDWOOD MULCH SHALL BE PLACED AROUND ALL TREES, SHRUBS AND IN ALL PLANTING BEDS TO A (MIN) DEPTH OF 3".
- ALL EDGING SHALL BE SPADE CUT EDGE.
- PLANT QUANTITIES ARE SHOWN FOR INFORMATION ONLY, THE DRAWING SHALL PREVAIL IF ANY CONFLICTS ARISE.
- ALL DEBRIS SPILLED IN THE PUBLIC R.O.W. SHALL BE PICKED UP BY THE CONTRACTOR AT THE END OF EACH WORK DAY.
- CONTRACTOR SHALL WARRANTY ALL PLANT MATERIALS FOR A PERIOD OF ONE YEAR FROM DATE OF INSTALLATION.
- CONTRACTOR SHALL PROVIDE IRRIGATION DESIGN TO OWNER, IF REQUESTED, FOR APPROVAL.

PLANT SCHEDULE				
CODE	QTY	COMMON NAME	BOTANICAL NAME	CONDITION AND SIZE
EVERGREEN TREES				
PB	3	Black Hills Spruce	Picea glauca densata	B&B, 6" HEIGHT
ORNAMENTAL TREES				
MP	2	Prairifire Crab Apple	Malus x 'Prairifire'	B&B, 8" HEIGHT
SHRUBS				
EC	7	Compact Burning Bush	Euonymus alatus 'Compactus'	18" HEIGHT
JF	12	Sea Green Juniper	Juniperus chinensis 'Sea Green'	18" HEIGHT
SK	5	Miss Kim Korean Lilac	Syringa pubescens 'Miss Kim'	18" HEIGHT

CITY OF GRIMES STANDARD NOTES FOR PUBLIC IMPROVEMENTS

1. GENERAL NOTES:

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CURRENT VERSION OF THE IOWA STATEWIDE URBAN DESIGN AND SPECIFICATIONS (SUDAS) FOR PUBLIC IMPROVEMENTS ON THE DATE OF APPROVAL AND THE CITY OF GRIMES SUPPLEMENTAL SPECIFICATIONS.
- PROVIDE GEOTECHNICAL EXPLORATION FOR ALL PROPOSED STREET, SANITARY, STORM SEWER, AND WATER MAIN PROJECTS IN ACCORDANCE WITH THE SUDAS DESIGN MANUAL; SUBMIT WRITTEN REPORT AND TEST RESULTS TO THE CITY FOR REVIEW.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REVIEWING, SIGNING, AND RETURNING THE PRECONSTRUCTION PACKET TO THE DEVELOPMENT SERVICES DEPARTMENT PRIOR TO THE START OF CONSTRUCTION.
- ALL PERMITS (IDNR, SWPP, IDOT, ARMY CORP., ETC.) SHALL BE OBTAINED PRIOR TO THE START OF CONSTRUCTION.
- PROVIDE THE CITY OF GRIMES WITH RECORD DRAWINGS (AS-BUILTS) OF ALL IMPROVEMENTS AND EASEMENTS AS PER THE CITY'S COMMERCIAL AS BUILT POLICY.
- THE RECORD DRAWINGS SHOULD INCLUDE A CERTIFIED GRADING SHEET AND AS-BUILT PLANS OF ALL STORMWATER MANAGEMENT FACILITIES ON SITE WITH A CERTIFICATION STATEMENT SIGNED BY THE DESIGN ENGINEER INDICATING THAT THE FACILITIES WERE CONSTRUCTED AS DESIGNED.
- RECORD DRAWINGS TO INCLUDE ONE ELECTRONIC FILE IN .DWG AND .PDF FILE EXTENSIONS.
- TYPICAL BUILDING SERVICE LAYOUT TO REFLECT THE CITY'S SERVICE ORDER FROM LEFT TO RIGHT FACING THE LOT: SANITARY, WATER, SUMP. MARK THE ENDS OF SERVICES WITH A STEEL FENCE POST AND PAINT GREEN FOR SANITARY, BLUE FOR WATER, AND WHITE FOR STORM. MARK THE ENDS OF SANITARY AND SUMP WITH A 2 X 4 FROM END OF PIPE TO 2' ABOVE GRADE.
- ALL SERVICES LOCATIONS ARE TO BE STAMPED IN THE CURB WITH LETTER IRONS AS PER CITY STANDARD PROCEDURES.
- PROVIDE A 4-YEAR MAINTENANCE BOND FOR ALL PUBLIC IMPROVEMENTS (UTILITY, PAVING, SUBGRADE) WITH AN ITEMIZED COST BREAKDOWN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL NEWLY CONSTRUCTED PUBLIC AND PRIVATE UTILITIES ASSOCIATED WITH THE PROJECT AT THEIR EXPENSE UNTIL THE CITY ACCEPTS THE PROJECT THROUGH THE GRIMES CITY COUNCIL.

2. SANITARY SEWER NOTES:

- THE CONTRACTOR IS REQUIRED TO PLACE A TEMPORARY PLUG IN THE EXISTING DOWNSTREAM SANITARY SEWER MANHOLE PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL REMOVE THE PLUG FOLLOWING APPROVAL OF CONSTRUCTION BY THE CITY OF GRIMES.
- SANITARY GRAVITY PIPE MATERIAL SHALL BE PVC SDR 26 OR TRUSS (8" TO 15").
- SANITARY GRAVITY SERVICE PIPE MATERIAL SHALL BE PVC SDR 23.5 (4" TO 6").
- ALL SANITARY SEWER MANHOLES SHALL HAVE STEPS.
- ALL SANITARY SEWER MANHOLES CASTINGS SHALL BE SEALED WITH HEAT SHRINK SLEEVES.
- ALL SANITARY SEWER MANHOLE CASTINGS LOCATED WITHIN PAVEMENT SHALL BE TYPE B:PCC W/ADJUSTING MECHANISM.
- SANITARY SEWER CLEANING & TELEVISION SHALL BE COMPLETED PRIOR TO PAVING. RUN SUFFICIENT DYED WATER THROUGH PIPE PRIOR TO TELEVISION. PROVIDE THE VIDEO AND INSPECTION REPORT TO THE CITY ENGINEERING DIVISION.

3. WATER MAIN NOTES:

- ALL FIRE HYDRANTS SHALL BE AMERICAN FLOW CONTROL-WATEROUS PACER WB-67-250, MUELLER SUPER CENTURION 250 (3-WAY A-423), OR CLOW MEDALLION F-2545. ALL HYDRANTS SHALL HAVE THE FOLLOWING: 6" MJ SHOE, 2-1/2" HOSE NOZZLE, 4-1/2" STEAMER NOZZLE, NST THREADS, PENTAGON OPERATING NUT, CHAIN ON CAP, OPEN LEFT, 5-1/2" BURY, AND FACTORY PAINTED RED. THE MINIMUM SPOOL PIPE LENGTH FROM AUXILIARY VALVE TO HYDRANT SHOE SHALL BE 2.0'.
- ALL HYDRANTS WILL IMMEDIATELY BE COVERED WITH A BLACK PLASTIC BAG (OR EQUIVALENT) ONCE THE HYDRANT IS INSTALLED. THE CITY OF GRIMES WILL NOTIFY THE CONTRACTOR WHEN THE BAGS CAN BE REMOVED.
- A TRACER WIRE RECEPTACLE SHALL BE INSTALLED AT EACH HYDRANT, AA MANUFACTURING TRACER WIRE RECEPTACLE MODEL TW-18-2.
- ALL VALVES SHALL BE RESILIENT WEDGE GATE VALVES.
- WATER SERVICE SHALL BE 1-INCH MINIMUM TYPE K COPPER. CURB STOP TO BE LOCATED AT ROW LINE.
- THE CITY OF GRIMES SHALL DO THE FILLING OF THE WATER MAIN.
- NEW WATER MAIN SHALL BE PRESSURE TESTED AND CHLORINATED BY THE CONTRACTOR. THE BACTERIA TEST AND SUBMITTAL OF THE TEST TO LAB SHALL BE COMPLETED BY THE CONTRACTOR AND RESULTS PROVIDED TO THE CITY OF GRIMES ENGINEERING DIVISION. ALL TESTS AND SAMPLING TO BE WITNESSED BY THE CITY ENGINEERING DIVISION. IF THE TEST DOES NOT PASS, THE CONTRACTOR WILL BE REQUIRED TO PAY FOR ALL THE WATER USED TO REPEAT THE TEST.
- ALL WATERMAIN FITTINGS TO BE RESTRAINED JOINT, MEGA-LUG OR APPROVED EQUAL.
- ALL DEAD-END WATER MAINS TO HAVE TEMPORARY BLOWOFF HYDRANTS.

4. STORM SEWER NOTES:

- ALL STORM SEWER IN THE ROW SHALL BE RCP, UNLESS OTHERWISE APPROVED BY THE CITY.
- ALL FLARED END SECTIONS SHALL HAVE FOOTINGS AND APRON GRATES. THE LAST 3 PIPE SECTIONS AND THE FLARED END SECTION ON ALL STORM SEWERS SHALL BE TIED. ALL STORM SEWER JOINTS SHALL BE WRAPPED WITH ENGINEERING FABRIC UNLESS OTHERWISE DIRECTED.
- THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY FIELD TILE DAMAGED DURING CONSTRUCTION. THE TILE SHOULD BE DIRECTED TO PUBLIC STORM SEWER IF POSSIBLE. THE CONTRACTOR SHALL RECORD THE ELEVATION AND LOCATION OF ALL TILES AND INCLUDE ON RECORD DRAWINGS.
- STORM SEWER CLEANING & TELEVISION SHALL BE COMPLETED PRIOR TO PAVING. RUN SUFFICIENT DYED WATER THROUGH PIPE PRIOR TO TELEVISION. PROVIDE THE VIDEO AND INSPECTION REPORT TO THE CITY ENGINEERING DIVISION.
- USE O RING GASKETS ON STORM SEWERS CROSSING OVER WATERMAIN PER IDNR REQUIREMENT.

COMMENTS:
ENGINEER

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PLOTTER: HP PLOTTER
PLOTTER: HP PLOTTER

DATE

9/08/2024

8/12/2024

REVISIONS

SECOND SUBMITTAL

FIRST SUBMITTAL

4121 NW URBANDALE DRIVE
URBANDALE, IA 50322
PHONE: (515) 369-4400

TECH: JDS

ENGINEER: ENH

4

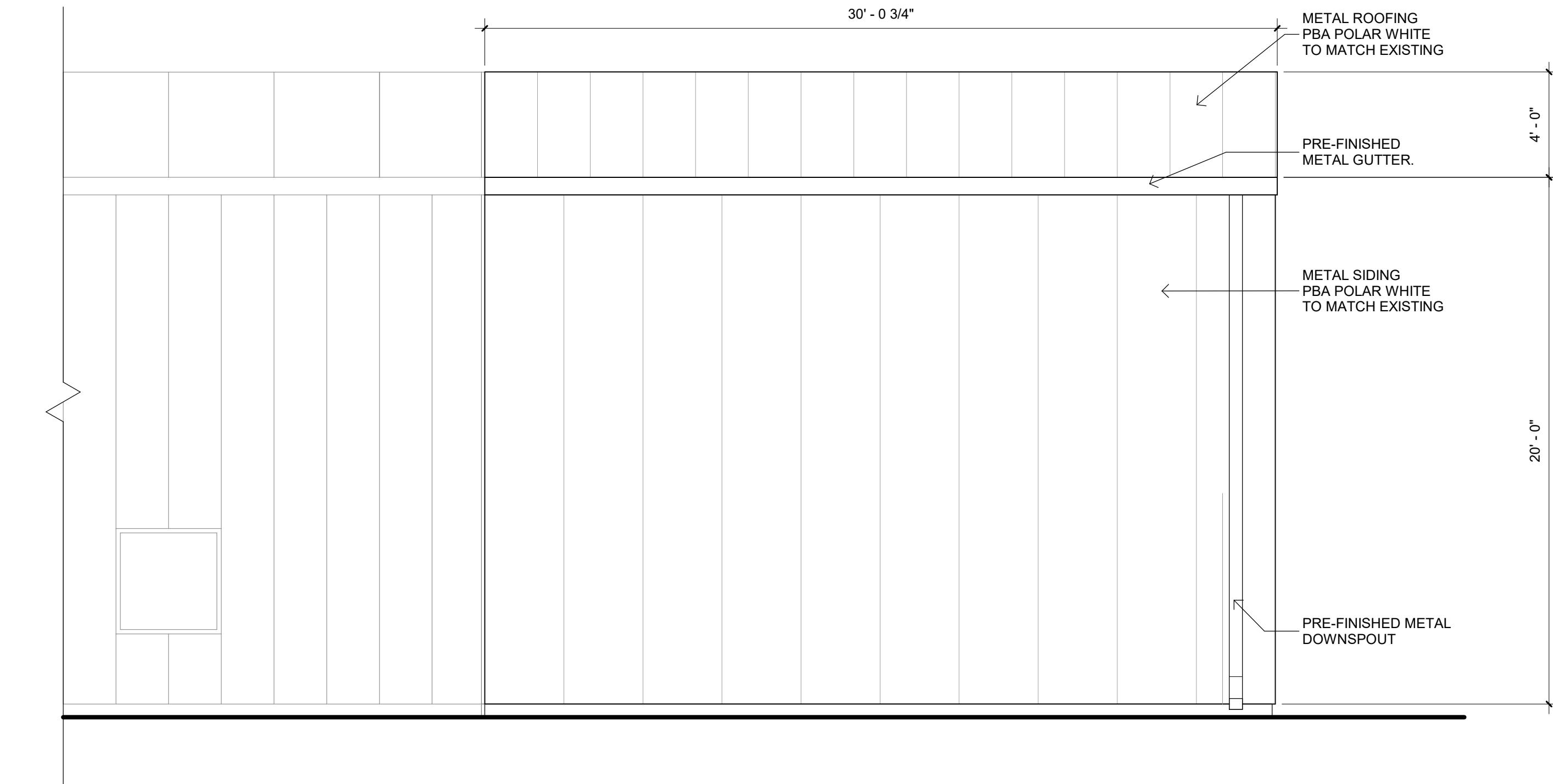
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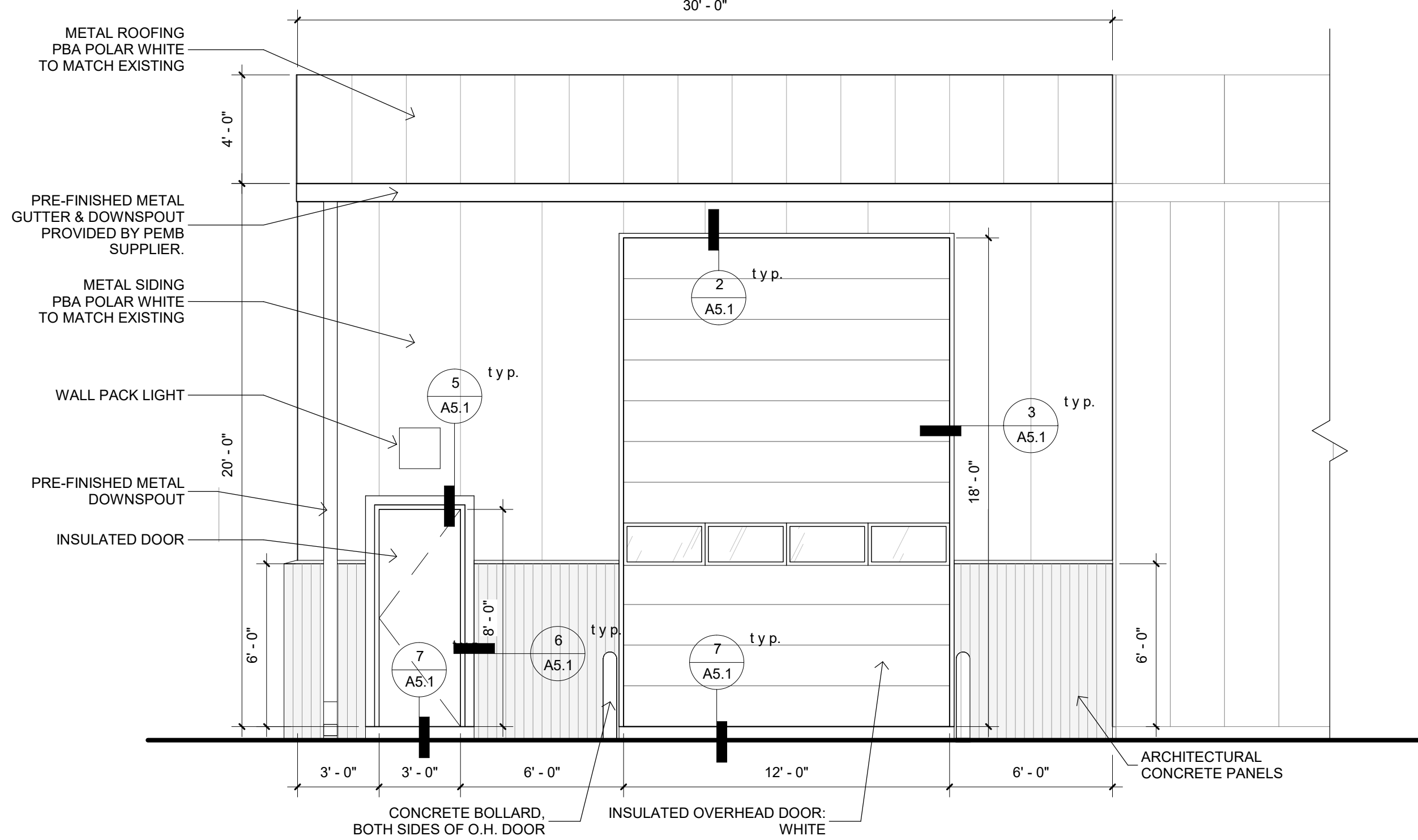
GLASS FABRICATORS
BUILDING ADDITION
LANDSCAPE PLAN & CITY NOTES

CIVIL DESIGN ADVANTAGE

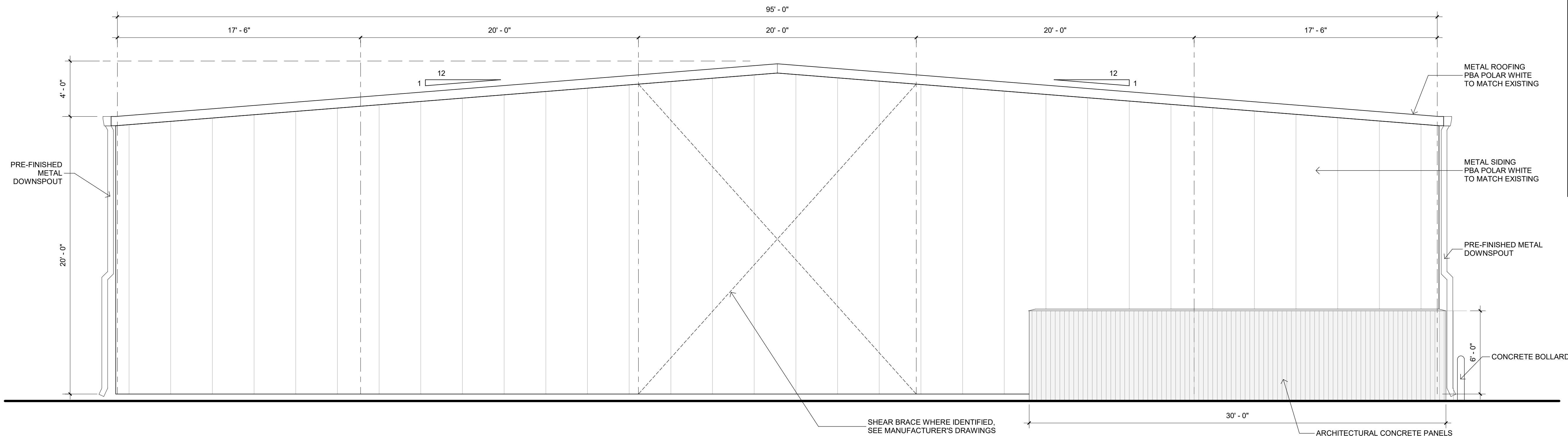
GRIMES, IOWA



2 PROPOSED EAST ELEVATION
1/4" = 1'-0"



1 PROPOSED WEST ELEVATIONS
1/4" = 1'-0"



3 PROPOSED NORTH ELEVATION
1/4" = 1'-0"

ELEVATIONS - GENERAL NOTES:

1. THE PRE-ENGINEERED METAL BUILDING, STRUCTURAL MAIN FRAMES, END-WALL FRAMES, GIRTS, PURLINS, METAL SIDING PANELS, METAL ROOFING, OVERHANGS, METAL SOFFITS, FASCIA, GUTTERS, DOWNSPOUTS, INSULATION, EXTRUDED METAL SIDING TRIMS AT OPENINGS, CLIPS, ANGLES, FASTENERS, ATTACHMENTS, AND ALL OTHER RELATED ACCESSORIES ARE PROVIDED BY AN INDEPENDENT METAL BUILDING CONTRACTOR AND ARE THE SOLE RESPONSIBILITY OF THE METAL BUILDING MANUFACTURER AND INSTALLATION CONTRACTOR.
2. DIMENSIONS SHOWN ARE BASED ON NOMINAL WALL THICKNESS TO CORRESPOND WITH THE OVERALL FLOOR PLANS. SEE WALL TYPES AND DETAILS FOR ACTUAL WALL DIMENSIONS.
3. DIMENSIONS AND ELEVATIONS AT WINDOWS AND DOORS ARE SHOWN AS ROUGH OPENING SILLHEADER DIMENSIONS. CONTRACTOR SHALL COORDINATE ACTUAL ROUGH OPENINGS WITH BOTH THE WINDOW AND DOOR ELEVATIONS, ALONG WITH THE SIDING MANUFACTURER'S REQUIREMENTS PRIOR TO ORDER AND INSTALLATION.
4. CONTRACTOR SHALL PROVIDE BACKER RODS AND SEALANT AROUND THE PERIMETER OF ALL WINDOWS, DOORS, OPENINGS, PENETRATIONS, AND AT ALL JOINTS BETWEEN DISSIMILAR EXTERIOR FINISH/LOADING MATERIALS, TYPICAL.
5. PROVIDE EXTERIOR SIGNAGE & ATTACHMENTS AS REQUIRED BY AUTHORITY HAVING JURISDICTION. CONTRACTOR SHALL COORDINATE WITH THE REQUIREMENTS PRIOR TO CONSTRUCTION. SIZE, LOCATION, AND QUANTITY OF BUILDING SIGNS, MONUMENT SIGNS, AND OTHER STRUCTURES SHALL BE SUBMITTED TO THE CITY BY A SEPARATE DESIGNER/ARCHITECT/ENGINEER UNDER A SEPARATE SET OF PERMIT DOCUMENTS.

PRE-ENGINEERED METAL BUILDING:

1. THE PRE-ENGINEERED METAL BUILDING, STRUCTURAL MAIN FRAMES, END-WALL FRAMES, GIRTS, PURLINS, METAL SIDING PANELS, METAL ROOFING, OVERHANGS, METAL SOFFITS, FASCIA, GUTTERS, DOWNSPOUTS, INSULATION, EXTRUDED METAL SIDING TRIMS AT OPENINGS, CLIPS, ANGLES, FASTENERS, ATTACHMENTS AND ALL OTHER RELATED ACCESSORIES ARE PROVIDED BY AN INDEPENDENT METAL BUILDING CONTRACTOR AND ARE THE SOLE RESPONSIBILITY OF THE METAL BUILDING MANUFACTURER AND INSTALLATION CONTRACTOR.
2. SEE THE PLANS AND SPECIFICATIONS PROVIDED BY THE PRE-ENGINEERED METAL BUILDING MANUFACTURER FOR SPECIFIC DIMENSIONS, AS WELL AS, SPECIFIC CONSTRUCTION MATERIALS OF WALLS, ROOF AND STRUCTURAL FRAMING, CONNECTIONS, SPECIFICATIONS, ETC.
3. THE BUILDING MANUFACTURER IS RESPONSIBLE FOR THE CONSTRUCTION OF THE BUILDING STRUCTURE.
4. THE BUILDING MANUFACTURER IS NOT RESPONSIBLE FOR THE CONSTRUCTION OF FOUNDATION OR CAST IN-PLACE CONCRETE (BY OTHERS).
5. THE BUILDING MANUFACTURER IS NOT RESPONSIBLE FOR THE MECHANICAL SYSTEMS, PLUMBING OR ELECTRICAL (BY OTHERS).

EXTERIOR ELEVATIONS - SIDING MATERIAL

EXTERIOR MATERIAL REQUIREMENT:
THE EXTERIOR MATERIALS OF THE WALL AREA FACING THE PUBLIC STREET AND A MINIMUM OF THIRTY (30) FEET ALONG THE ADJACENT SIDE WALL SHALL BE COMPRISED OF NO LESS THAN TWENTY-FIVE PERCENT (25%) EARTHTONE COLORED BRICK, ARCHITECTURAL CONCRETE PANELS, TEXTURED CONCRETE BLOCK, MARBLE, NATIVE MANUFACTURED STONE PANELS OR OTHER SIMILAR SUBSTANTIAL MATERIAL.

PROPOSED ADDITION:
OVERALL AREA OF WEST SIDE (STREET FACING) ELEVATION SIDING = 330 SQ. FT. (LESS THE DOORS)
330 X .25 = 82.5 SQ. FT.

AREA OF ARCHITECTURAL CONCRETE PANELS = 93 SQ. FT., APPROX. 28% OF SIDING MATERIAL
93 SQ. FT. > 82.5 SQ. FT. REQUIRED

OVERALL AREA OF NORTH SIDE ELEVATION SIDING = 615 SQ. FT.
615 X .25 = 153.75 SQ. FT.

AREA OF ARCHITECTURAL CONCRETE PANELS = 180 SQ. FT., APPROX. 29% OF SIDING MATERIAL
180 SQ. FT. > 153.75 SQ. FT. REQUIRED

NOT FOR CONSTRUCTION

ISSUE DATE:
SEPTEMBER 25, 2024

SHEET NAME:
PROPOSED ELEVATIONS

GLASS FABRICATORS INC.
2955 SE MIEHE DRIVE
GRIMES, IOWA 50111

STUDIO M E E E
139 4th STREET
DES MOINES, IOWA 50265

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