

Grimes Planning and Zoning Commission Agenda

Grimes Community Complex
410 SE Main Street, Room 202
Grimes, Iowa 50111
Phone | 515.986.4050
www.grimesiowa.gov

Mission Statement

The mission of Grimes City Government is to provide excellent/exceptional city services and facilities in a financially responsible and community-friendly manner through a high performing city team that result in adding value to resident's lives.

Commission Members | Scott Almeida, Adam Bunge, Russ Lickteig, Craig Patterson, Courtney Strutt Todd
Council Liaison | Andrew Borcharding

Grimes Planning & Zoning Commission Meeting May 7, 2024 In Person at Grimes Community Complex, 410 SE Main Street, Room 202

Any person wishing to speak at the meeting will need to attend in person.

GENERAL AGENDA ITEMS

1. Call to Order
2. Roll Call: Scott Almeida, Adam Bunge, Russ Lickteig, Craig Patterson, Courtney Strutt Todd, Council Liaison Andrew Borcharding
3. Approval of the Agenda
4. Approval of the Previous Minutes

PUBLIC AGENDA ITEMS

1. Hope Timber Plat 1 Final Plat
2. Grimes Public Library Amphitheater Site Plan
3. Urban Renewal Amendment

REPORTS

1. Department Update
2. Council Liaison Update
3. Old Business
4. New Business

ADJOURNMENT



101 NE Harvey Street, Grimes, Iowa 50111 | P: 515.986.3036

This meeting of the Grimes Planning and Zoning Commission was called to order Tuesday, April 2, 2024 at 5:30 P.M.

Roll Call: Present: Scott Almeida, Russ Lickteig, Craig Patterson, Courtney Strutt-Todd, Adam Bunge,
Council Liaison: Andrew Borcharding

Staff: Alex Pfaltzgraff, Evann Martin, Molly Mannel, Rachel Greving

Absent: NA

A. GENERAL AGENDA ITEMS

1. APPROVAL OF THE AGENDA

Motion by Strutt-Todd, Second by Lickteig, to approve the agenda

Roll Call: Ayes-All; Nays-0 Motion passes: 5-0

2. APPROVAL OF THE MINUTES

Motion by Patterson, Second by Lickteig, to approve the minutes from the February 6, 2024 meeting

Roll call: Ayes-All: Nays-0 Motion passes: 5-0

B. PUBLIC AGENDA ITEMS

Legacy at James Street Lot 4 Site Plan

Staff member Mannel presents the details of the project. Located at the northwest corner of SW 37th Street and South James Street, the project includes a 135,000 square foot flex-use building with access from South James Street and from SW 37th Street. Landscaping is provided throughout the site, and building elevations meet the architectural requirements. Staff recommends approval.

Shirley Shipley of 2901 South James Street asked questions pertaining to the size of the building and how close to the road it would be as well as when the project would start. Staff and the applicant explained that the building would be 900 feet in length and set back from James by 80 feet and a parking lot would fill some space between the road and the building.

Motion by Patterson, Second by Bunge to approve Legacy at James Street Lot 4 Site Plan

Roll Call: Aye-All Nay-0 **Motion Passes 5-0**

Hope Commercial Plat 6 Final Plat

Staff member Martin presents the details of the final plat. Located at the southwest corner of NE Gateway Drive and NE Beaverbrooke Boulevard, it divides the 34-acre property into four development lots and one outlot for a detention basin. It also includes a street lot for NE 12th Street. Staff recommends approval.

Motion by Strutt-Todd, Second by Lickteig to approve Hope Commercial Plat 6 Final Plat
Roll Call: Aye-All Nay-0 **Motion Passes 5-0**

Meadows PUD Amendment

Staff member Martin presents the details of the amendment. The current concept shows single family, townhomes, apartments, and commercial. The main purposes of the amendment are to change the commercial areas to townhomes and to revise some standards to accommodate the future public safety center.

Staff shared that the corridor study for Highway 44 showed results that would cause restrictions to the commercial lots, so townhomes would be a better fit.

Motion by Lickteig, Second by Patterson to approve Meadows PUD Amendment
Roll Call: Aye-All Nay-0 **Motion Passes 5-0**

City of Grimes Public Safety Center Site Plan

Staff member Mannel presents the details of the project. Located at the southwest corner of SW 6th Street and SW County Line Road, this site plan is for the new public safety building. As required by Ordinance with the construction of a government building, the City brought it to Board of Adjustment to receive a special use permit. Landscaping is provided throughout the site to screen headlights and for aesthetics. An existing detention pond will also assist with screening, by avoiding headlights shining toward the future homes to the south of the site.

Staff also mentioned that the current fire station will be decommissioned, and this area will be a good location for the growth of the City.

Motion by Strutt-Todd, Second by Bunge to approve City of Grimes Public Safety Center Site Plan
Roll Call: Aye-All Nay-0 **Motion Passes 5-0**

Code of Ordinances Title 13 Subdivision Regulations Amendment

Staff member Martin presents the details of the amendment. Amendment revised to reflect current development design and construction practices.

The Commission discussed the proposal and asked questions of staff.

Motion by Strutt-Todd, Second by Patterson to approve Code of Ordinances Title 13 Subdivision Regulations Amendment

Roll Call: Aye-All Nay-0 **Motion Passes 5-0**

C. PUBLIC FORUM – None

D. REPORTS

- 1. Department Update – Staff provided an update on development and capital projects around the City.**
- 2. Council Liaison Update – N/A**
- 3. Old Business – N/A**
- 4. New Business – N/A**
- 5. Next meeting May 7, 2024**

Meeting is adjourned at 6:53 p.m.

Chairperson Signature

Clerk Signature

DATE

May 7, 2024

PROJECT NAME

Hope Timber
Final Plat

APPLICANT

Hope Timber, LLC

REQUESTED ACTION

Approve final plat for the subdivision of PUD and Commercial properties.

LOCATION

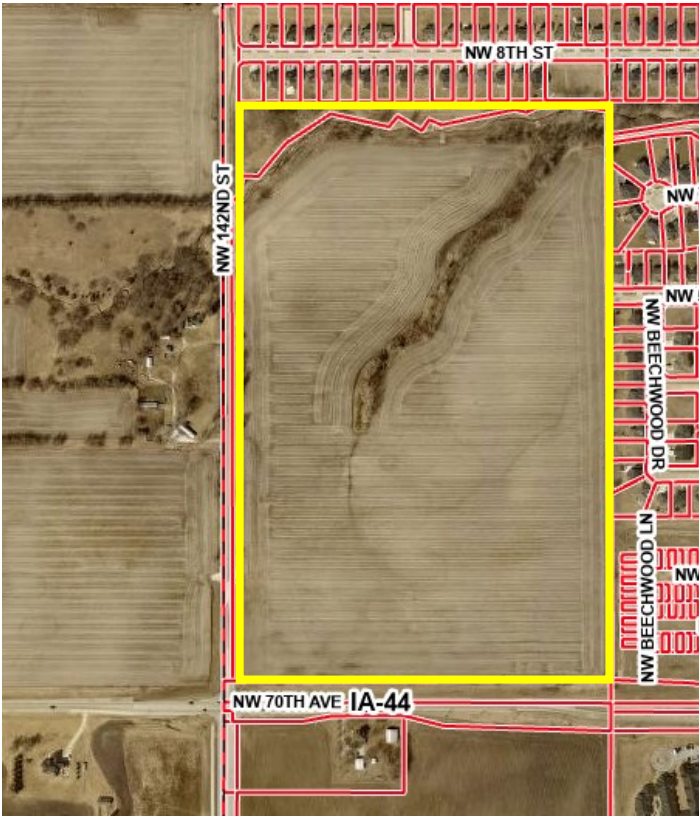
NE corner of HWY 44 and
County Line Road.

ZONING

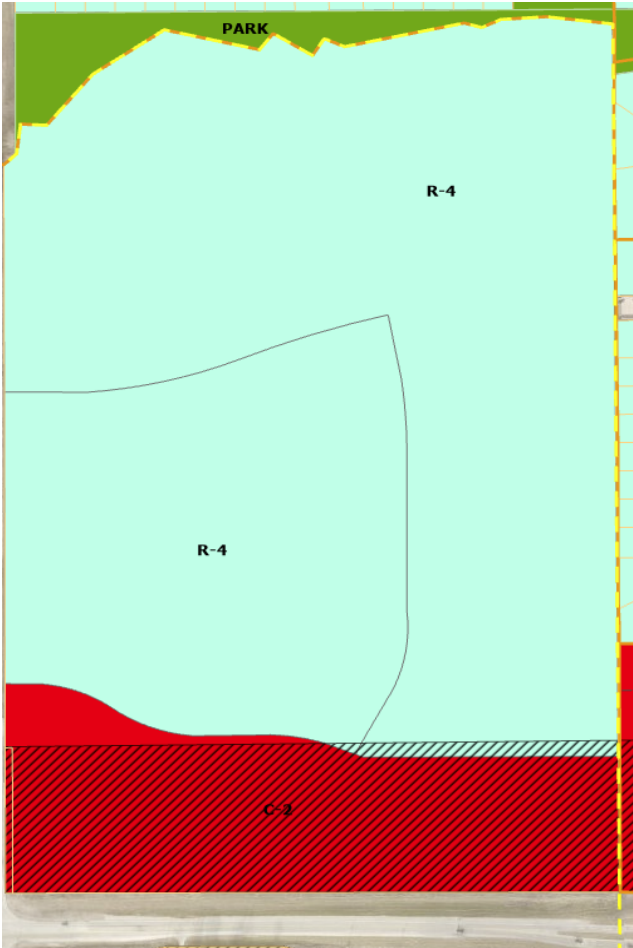
PUD & C-2 (C-2 within Transportation Corridor Mixed Use Development Overlay)

PLANNER

Molly Mannel
mmannel@grimesiowa.gov
515-986-4050



Location Map



Zoning Map

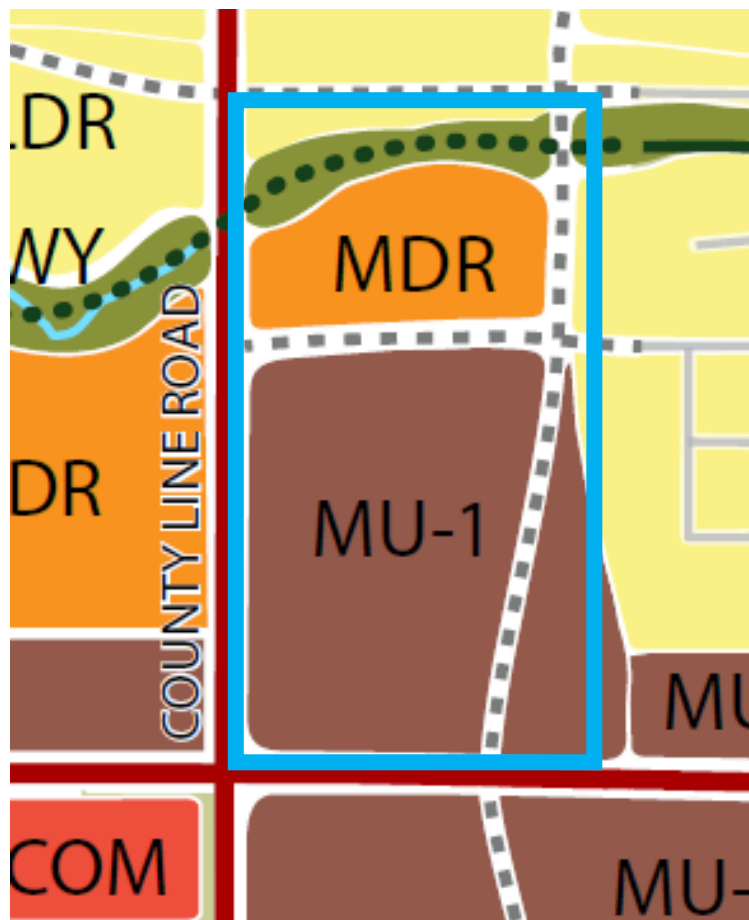
Relation to Comprehensive & Area Plans

LAND USES & ZONING

Location	Existing Land Use	Land Use Plan Designation	Current Zoning
Subject Site	Vacant	Mixed Use 1, Medium Density Residential,	A-1
North	Residential	Low Density Residential	R-4
South	Vacant	Mixed Use 1, Low Density Residential	A-1
East	Residential	Low Density Residential	R-4
West	Vacant	Mixed Use 1, Medium Density Residential	A-1

PARKS

- The project is consistent with the Parks and Trails Master Plan, in preserving the greenway to the north of the site. A 10' trail will be installed within the greenway to promote connectivity and recreation to the surrounding residential. A 30' landscaped buffer will be placed between the greenway and medium density residential to provide a natural transition between the two uses.
- The site is a mix of residential and commercial uses, so parkland dedication is required. A total of 6.315 acres is required for the parkland dedication. The applicant is meeting the dedication requirement.
- The applicant is proposing the northern greenway, and a 10' trail connection in Outlot Z as their parkland dedication. Outlot Z will be dedicated to the City of Grimes.



Future Land Use Map

The site is located at the NE corner of Highway 44 and County Line Road, and is consistent with the Future Land Use Map. Medium density residential will be constructed along the greenway. Mixed-Use 1 zoning designation includes the mix of residential, office, and limited commercial uses. The additional proposed medium density residential, high density residential, and commercial lots along Highway 44, are consistent with this.

Plat Layout

STREET ACCESS

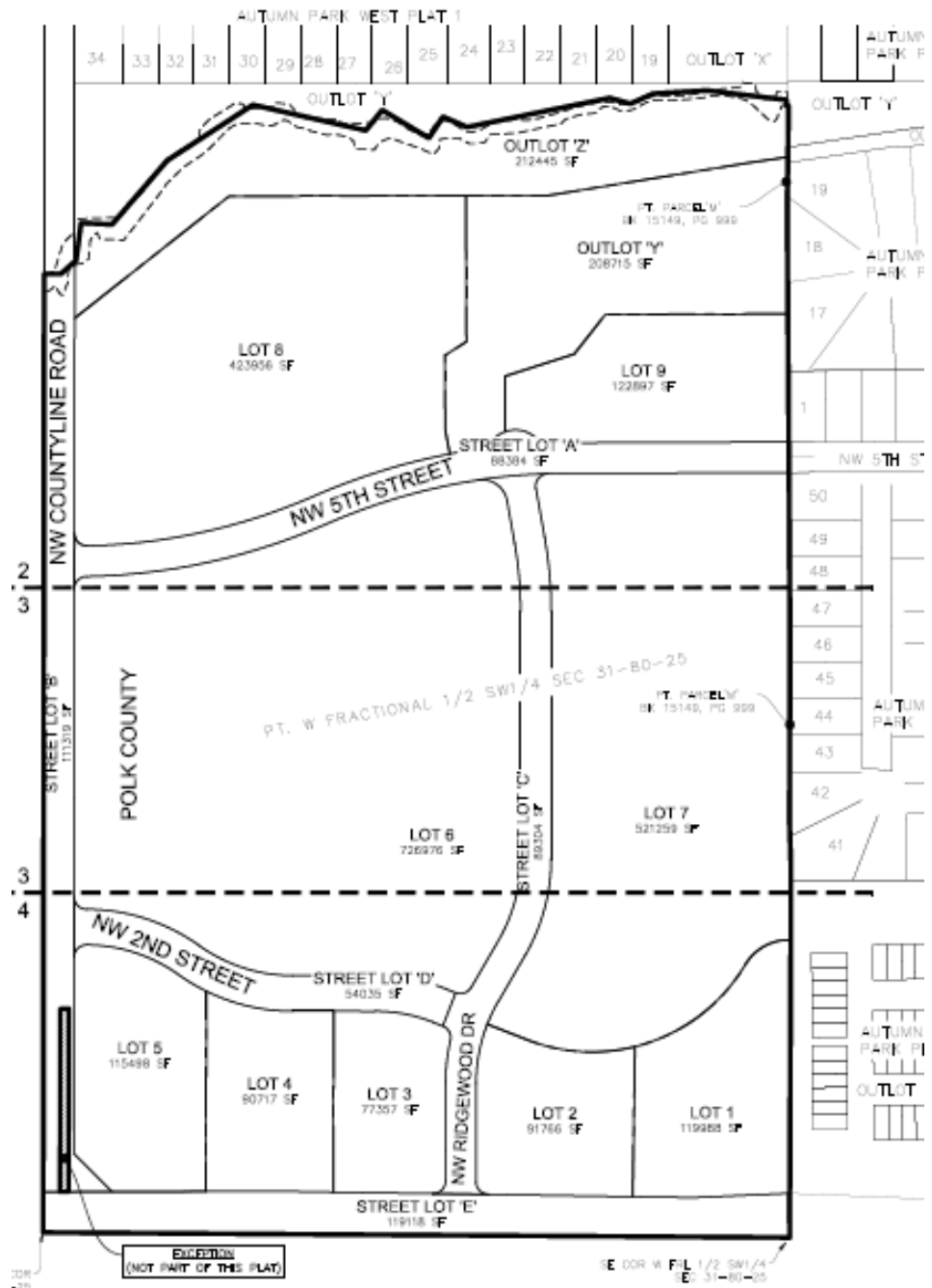
- NW 5th Street will be extended to County Line Road.
- Additional private streets will be constructed to provide circulation throughout the site.
- NW Ridgewood Drive will provide a connection from NW 2nd Street to NW 5th Street.
- The applicant has proposed to add an access off Highway 44.
- All street lot swill be dedicated to the city for public streets and ROW.

PEDESTRIAN ACCESS

- The applicant is proposing to construct a 10' trail connection along County Line Road and the greenway to the north.
- 5' sidewalks will be installed on at least one side of all private streets.
- 5' sidewalks will be required to be installed on both sides of public streets.
- A proposed trail access will be also added from NW 5th Street to the north greenway trail, on the eastern portion of the site. This will allow those that live on the east side of Hope Timber to access the trail without having to walk to NW County Line Rd.

LANDSCAPING

- A 30' landscaping buffer will be required along the eastern edge of the site.
- An additional 30' landscaping buffer along the greenway to the north will also be planted, with berm and landscaping on top.



PLAT LAYOUT

The site is made up of 5 C-2 lots within the Transportation Development Overlay, and 5 PUD lots. Outlot Z will be kept as parkland/greenway and will be dedicated to the City of Grimes for parkland dedication

Utilities, Studies, & Legal

SANITARY

- Sanitary will be constructed along the north trail within Outlot Z and along all public streets to serve all lots on site.

WATER

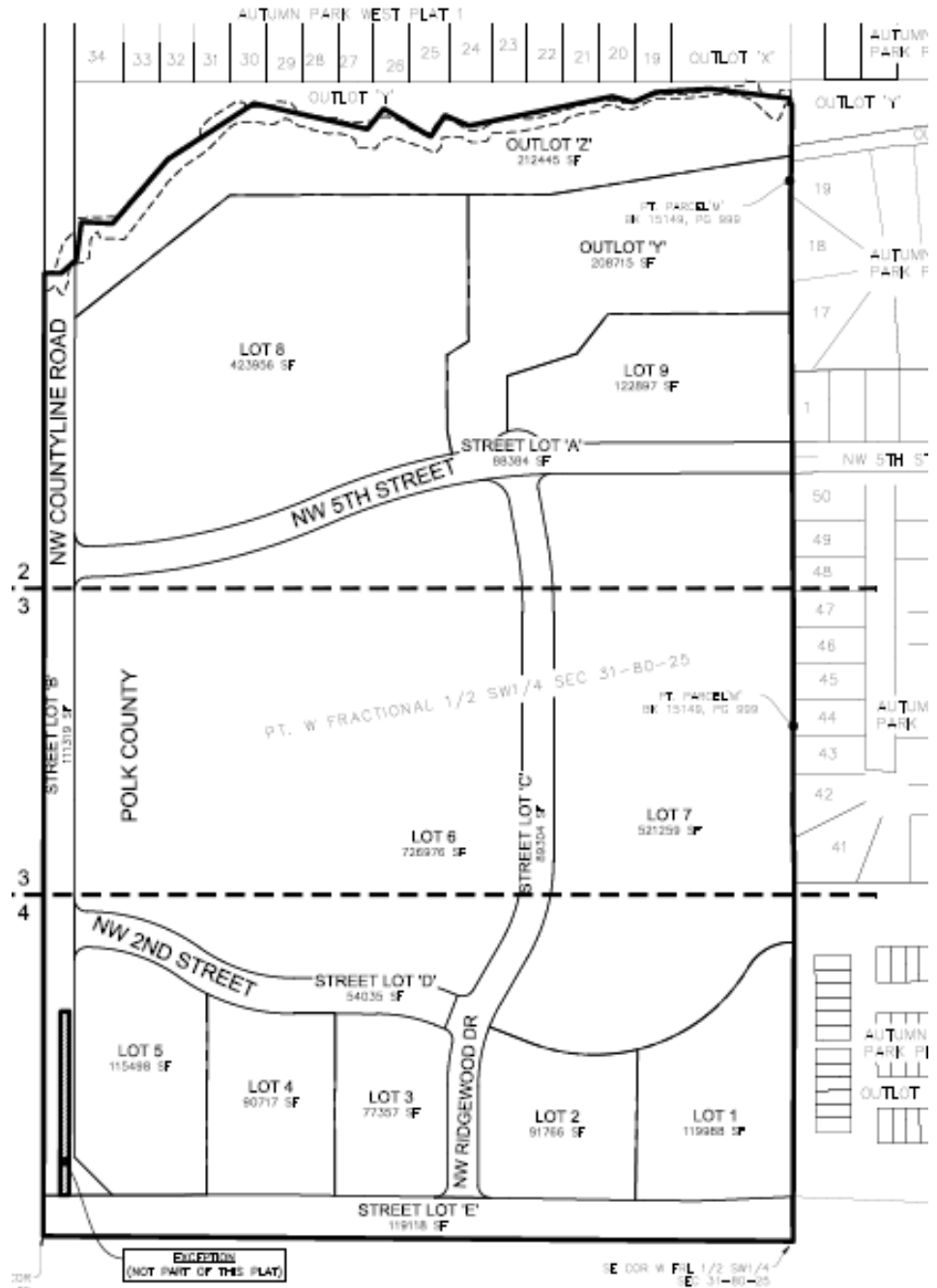
- Water will be constructed with all public streets to serve all lots on site.
- A new water main will be constructed along NW County Line Road by the City.

STORM WATER

- Stormwater infrastructure and three detention ponds are proposed to be constructed to assist in stormwater flowage. The ponds will be private.
- The applicant has provided a wetland delineation report from Impact 7G regarding the greenway south of the parkland dedication. Mature trees will be kept to maintain a natural buffer and landscape. Some improvements may be needed by the applicant to ensure the wetlands are protected and efficient.

LEGAL

- The site is subject to a development agreement. The applicant will be required to complete all items stated within the agreement.
- 120' of ROW (60' along Hope Timber) along County Line Road will be dedicated to the city, including a 45-degree chamfer at the intersection of HWY 44 and County Line Road (75' north and 75' east).



RELATION TO STUDIES

- The site shall follow the guidelines provided within each study. This includes the HWY 44 Corridor Study and water main study along County Line Road.

Summary & Conclusion

STAFF RECOMMENDATION

Staff would recommend approval of the Hope Timber final plat, subject to any remaining staff comments.

SUMMARY OF FINDINGS

- Hope Timber is proposing to final plat the site located at the NE corner of Highway 44 and County Line Road for PUD and commercial uses. The proposed uses are consistent with the Future Land Use Map.
- NW 5th Street and Street A will be extended to County Line Road. Additional public and private streets will be added to provide site connectivity.
- The applicant has proposed to add an access off Highway 44.
- Pedestrian access will be added throughout the site via public and private sidewalks. The greenway to the north will be preserved and dedicated for parkland. A 10' trail will be constructed within the greenway, extending all the way down County Line Road.
- A 30' landscaping buffer will be required along the eastern edge of the site. An additional 30' landscaping buffer along the greenway to the north will also be planted, with berm and landscaping on top.
- ROW along County Line Road will be dedicated to the City of Grimes. Any development completed will need to be consistent with the Development Agreement.



Development Services

410 SE Main St, Suite 102

Grimes, IA 50111

(515)986-4050

www.grimesiowa.gov

~~April 1, 2024~~
April 26, 2024

Hope K Farms

Attn: Arash Razizadeh

4500 Westown Parkway, Suite 277

West Des Moines, IA 50265

RE: Hope Timber Plat 1 Final Plat

Dear Arash:

The Development Services Department is in receipt of a proposed Final Plat for the Hope Timber Plat 1. Based on the review of the provided submittal materials, staff have the following comments:

General Comments:

- ~~1. Please show a sanitary sewer service easement for the stub along the boundary of Lot 8 and Outlot Y.~~
- ~~2. Sanitary stub into Lot 8 is not shown.~~
- ~~3. Please label the east landscape buffer as buffer and berm.~~
- ~~4. Please add a storm sewer easement for the main under the HWY 44 RI/RO intersection.~~
- ~~5. Label addresses. Attached.~~
- ~~6. Why is the portion of property along NW County Line Road "not part of this plat"?~~
7. Please label all detention easements as private.
8. Please show water main easements through Lot 7.
9. Provide ingress/egress easements for private streets.

10. Please provide the fees for the NW County Line Road pavement (\$150 per linear foot of frontage) and watermain (\$150 per linear foot of frontage) as stated in the development agreement.
11. The City did not receive payment for the Hope Timber Plat 1 CD's (\$2,000) and SWMP (\$1,200). Please provide the review payment for \$3,200.

Sheet 1:

1. ~~Update zoning to remove existing agricultural zoning and revise the proposed zoning to existing zoning.~~
2. ~~Remove "(2-3 stories)" from the side setbacks for medium and high density residential.~~
3. ~~Add a note that street lots A-E will be dedicated to the City of Grimes.~~
4. Please adjust the temporary construction easement along County Line Road to 20' per the development agreement.

Sheet 2:

1. ~~Update the scale. It appears to be incorrect.~~
2. Is water public through Lot 8? If so, please show easement.

Sheet 4:

1. ~~Should the ingress/egress/watermain/sanitary easement for the private street be adjusted to match the proposed layout/connection through Lot 7?~~

Legal Comments:

1. Title opinion
2. Consent(s) to Plat
 - a. Owner consent
 - b. Mortgagee consent (if applicable)
3. Treasurer's Certificate
4. County Subdivision Name Approval

5. Easement documents and legal descriptions
6. ~~Legal description in Word document~~
7. Warranty Deed for all Street Lots and Outlot Z
8. Declaration and Covenants, Restrictions and Easements (if any)
9. Letter from the surveyor confirming that monuments are in place. Confirmation is required prior to issuing a Certificate of Occupancy.
10. 4-year maintenance bond (can be provided once construction is complete)

Please provide a letter addressing all comments on this comment letter and/or state what was modified on the site plan to address said comments.

SITE PLAN SUBMITTAL SCHEDULE:

SUBMITTAL DATE:	April 8, 2024 May 3, 2024 (1 PDF of Final Plat and Legals)
PLANNING & ZONING:	May 7, 2024 at 5:30
COUNCIL MEETING:	May 28, 2024 at 5:30

Please feel free to contact me at mmannel@grimesiowa.gov or at (515) 986-4050 if you have any questions or need additional information.

Sincerely,

Molly Mannel
Assistant Planner

INDEX LEGEND

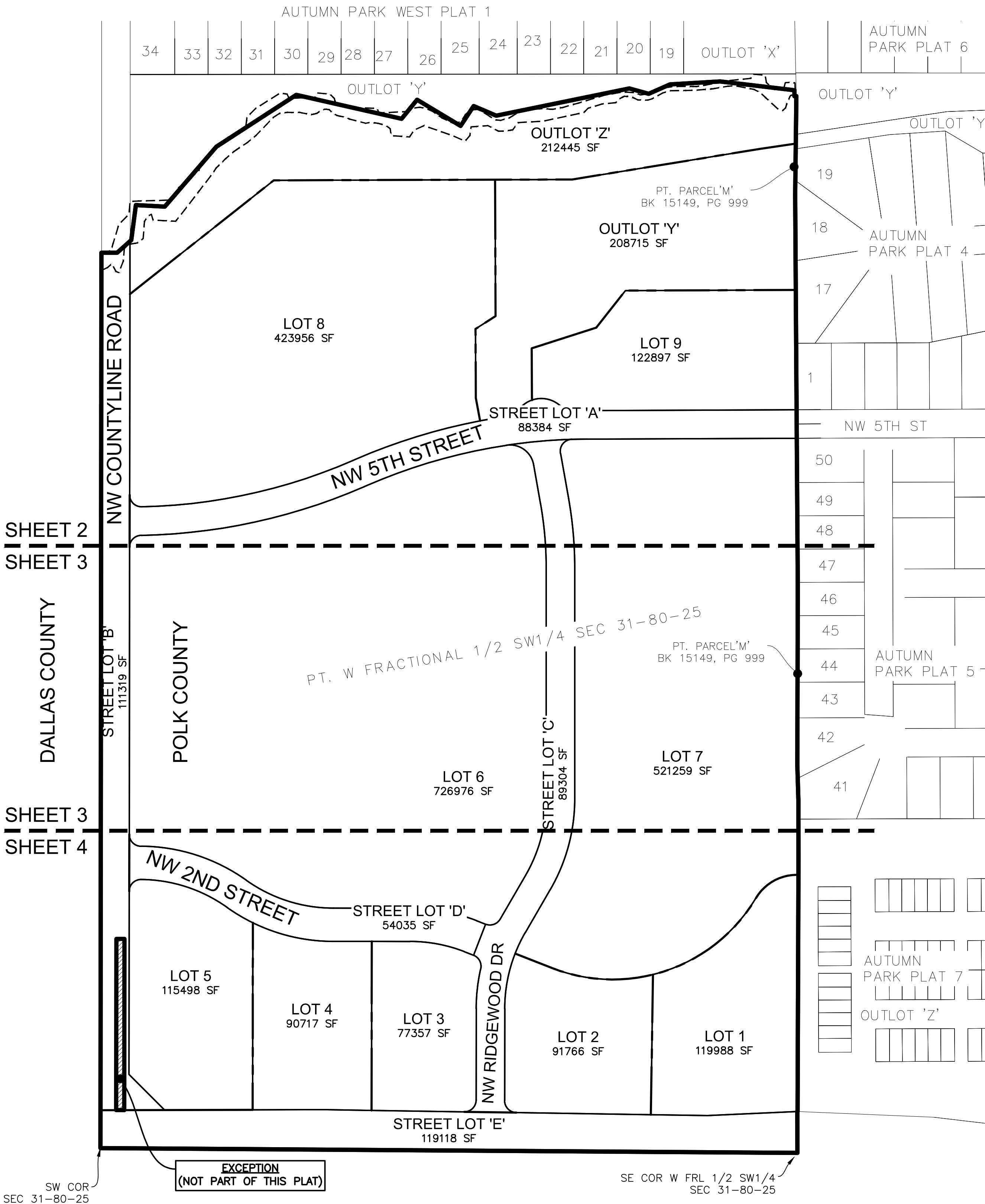
LOCATION: PT. W FRAC 1/2 SW1/4 SEC 31-80-25
PT. PARCEL 'N', E1/2 SW1/4 SEC 31-80-25
POLK COUNTY, IOWA

REQUESTOR &
PROPRIETOR: HOPE TIMBER, LLC
1548 S 45TH STREET
WEST DES MOINES, 50265

SURVEYOR: MATTHEW J. THOMAS

COMPANY: CIVIL DESIGN ADVANTAGE

PREPARED BY &
RETURN TO: CIVIL DESIGN ADVANTAGE
4121 NW URBANDALE AVE
URBANDALE, IOWA 50322
PH: 515-369-4400



HOPE TIMBER, LLC
1548 S 45TH STREET
CONTACT: ARASH RAZIZADEH
EMAIL: ARASH.RAZIZADEH@EPCMFG.COM
PH: (515) 381-3925

CIVIL DESIGN ADVANTAGE
4121 NW URBANDALE DRIVE
URBANDALE, IA 50322

DECEMBER 29, 2023

ZONING

PUD – HIGH DENSITY RESIDENTIAL DISTRICT
PUD – MEDIUM DENSITY RESIDENTIAL DISTRICT
C-2 – COMMERCIAL (WITHIN TRANSPORTATION OVERLAY)

PUD DISTRICT (MEDIUM DENSITY RESIDENTIAL)

SETBACKS:
- FRONT: 30 FT
- REAR: 30 FT
- SIDE: 15 FT EACH SIDE/30 FEET TOTAL

PUD DISTRICT (HIGH DENSITY RESIDENTIAL)

SETBACKS:
- FRONT: 30 FT
- REAR: 30 FT
- SIDE: 20 FT EACH SIDE/40 FEET TOTAL

C-2 (GENERAL HIGHWAY SERVICE COMMERCIAL DISTRICT):

SETBACKS:
- FRONT: 25 FT
- REAR: 25 FT
- SIDE: NONE, 25 FEET WHEN
BORDERING "R" DISTRICT

THE WEST FRACATIONAL 1/2 OF THE SOUTHWEST 1/4 OF SECTION 31, TOWNSHIP 80 NORTH, RANGE 25 WEST OF THE 5TH P.M., POLK COUNTY, IOWA, EXCEPT PARCEL 2017-136 OF THE PLAT OF SURVEY FILED IN THE OFFICE OF THE RECORDER OF POLK COUNTY, IOWA ON AUGUST 21, 2017, AND RECORDED IN BOOK 16614 PAGE 279, AND EXCEPT THE NORTH 360 FEET OF THE SOUTH 440.3 FEET OF THE EAST 17 FEET OF THE WEST 50 FEET OF SECTION 31--80-25, POLK COUNTY, IOWA, AS SHOWN ON ACQUISITION PLAT ATTACHED TO WARRANTY DEED TO CITY OF GRIMES FILED IN THE OFFICE OF THE RECORDER OF POLK COUNTY, IOWA ON JUNE 25TH 2021, AND RECORDED IN BOOK 18609 PAGE 165.

AND

THAT PART OF PARCEL 'M' AS SHOWN ON THE PLAT OF SURVEY RECORDED IN BOOK 15149, PAGE 999, LYING SOUTH OF OUTLOT 'Y', AUTUMN PARK WEST PLAT 1, AN OFFICIAL PLAT.

ALL BEING IN THE CITY OF GRIMES, POLK COUNTY, IOWA AND
CONTAINING 72.72 ACRES (3,167,614 SQUARE FEET).

THE PROPERTY IS SUBJECT TO ANY AND ALL EASEMENTS OF
RECORD.

1. ANY SET MONUMENTATION SHOWN ON THIS PLAT WILL BE COMPLETED WITHIN ONE YEAR FROM THE DATE THIS PLAT WAS RECORDED.
2. LOTS MAY BE SUBJECT TO MINIMUM PROTECTION ELEVATIONS AND OTHER ELEVATION RESTRICTIONS NOT SHOWN ON THIS PLAT. REFERENCE TO THE APPROVED PROJECT ENGINEERING DOCUMENTS FOR ANY ELEVATION RESTRICTIONS.
3. STREET LOTS 'A', 'B', 'C', 'D' AND 'E' WILL BE DEDICATED TO THE CITY OF GRIMES.

NW 8th ST.

Y AVE.

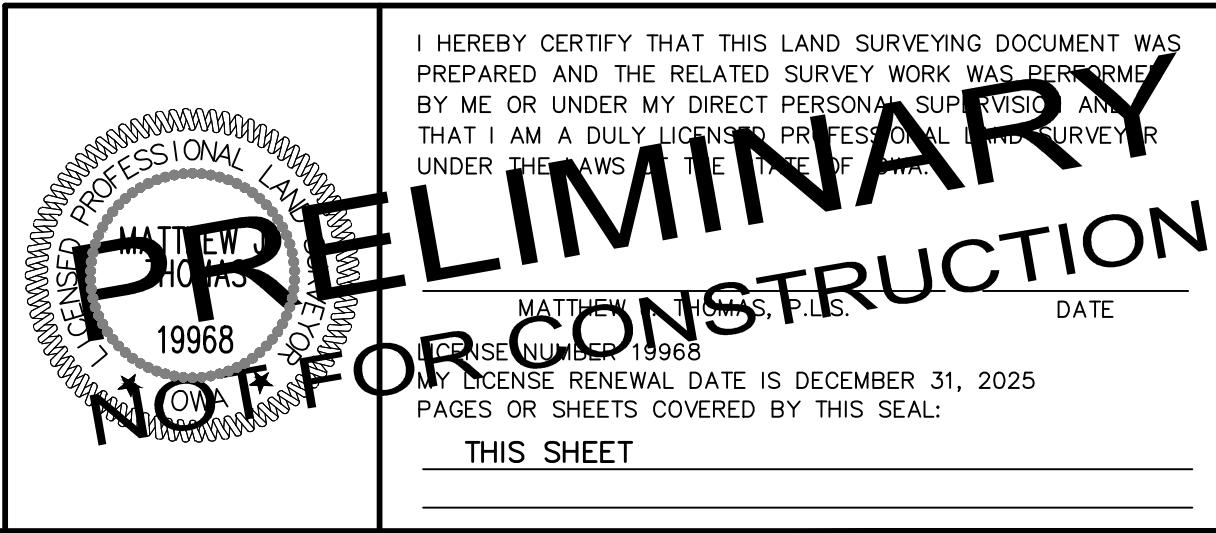
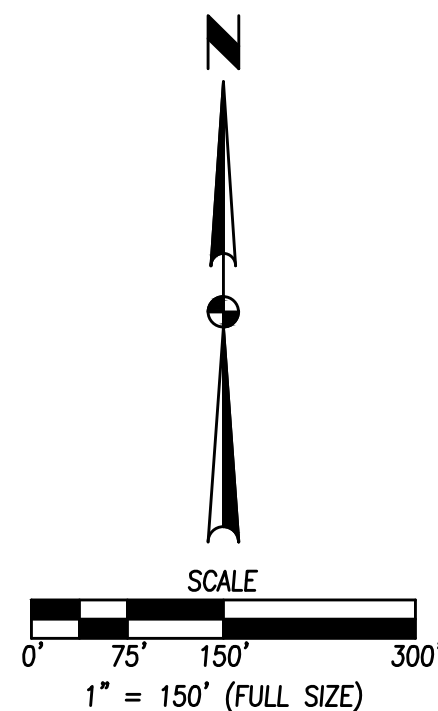
SITE

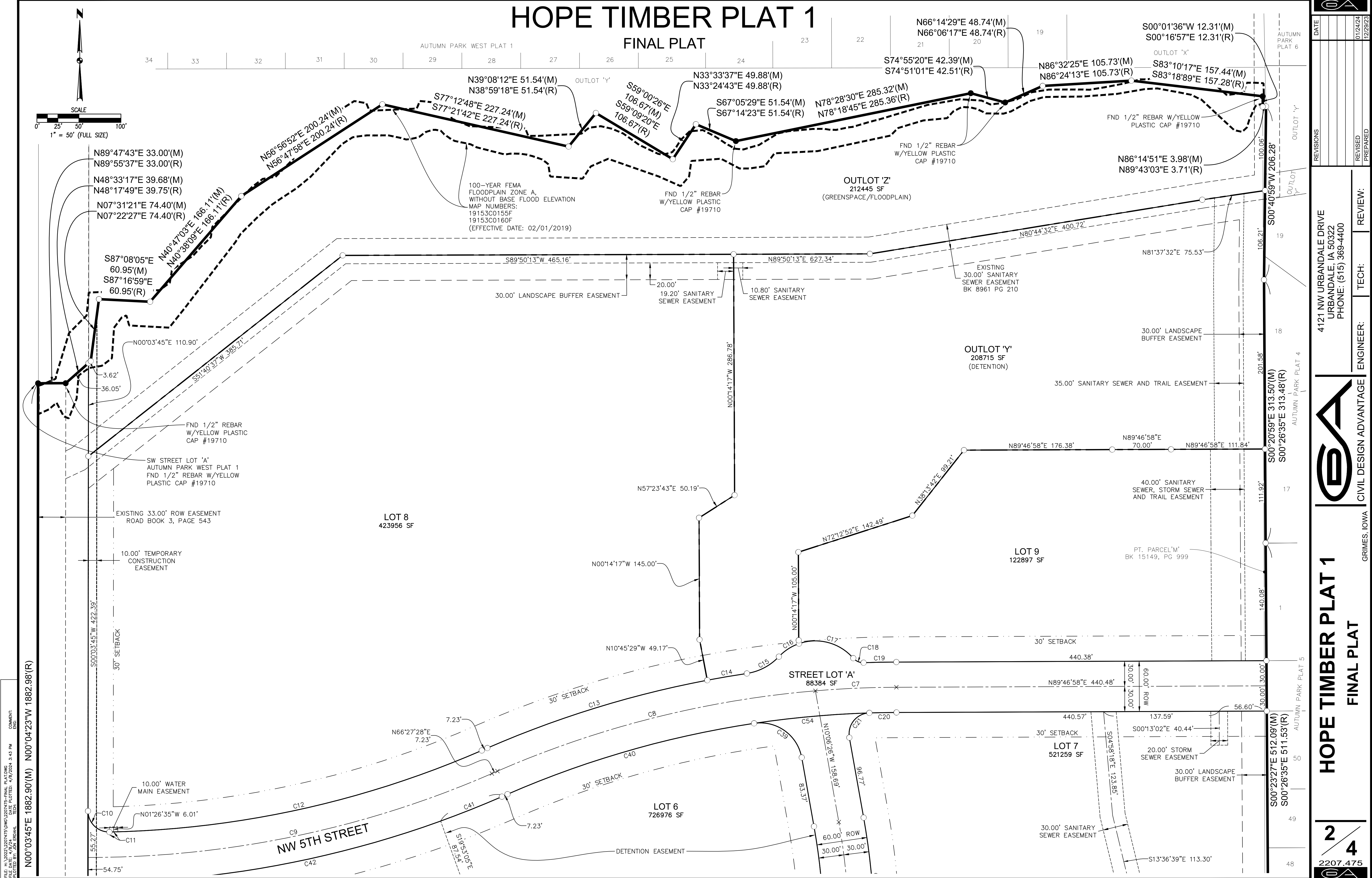
NW BROOKSIDE DR.

W 1st ST.

CURVE	DELTA	RADIUS	LENGTH	BEARING	CHORD	CURVE	DELTA	RADIUS	LENGTH	BEARING	CHORD
C1	89°10'50"	25.00'	38.91'	S44°31'40"E	35.10'	C29	12°43'14"	380.00'	84.37'	N06°25'22"E	84.19'
C2	90°49'10"	25.00'	39.63'	N45°28'20"E	35.61'	C30	81°28'49"	25.00'	35.55'	N27°57'26"W	32.63'
C3	21°14'24"	350.00'	129.75'	N10°40'57"E	129.01'	C31	4°09'26"	315.00'	22.85'	N70°46'33"W	22.85'
C4	8°45'36"	350.00'	53.51'	N25°40'57"E	53.46'	C32	21°14'36"	350.00'	129.77'	S79°19'09"E	129.03'
C5	30°02'58"	350.00'	183.56'	N15°02'16"E	181.47'	C33	21°14'36"	315.00'	116.79'	S79°19'09"W	116.12'
C6	10°07'13"	800.00'	141.31'	N05°02'50"W	141.12'	C34	21°14'36"	385.00'	142.75'	S79°19'09"E	141.93'
C7	4°36'27"	1200.00'	96.50'	N87°28'45"E	96.47'	C35	82°12'26"	25.00'	35.87'	N70°11'56"E	32.87'
C8	18°43'03"	1200.00'	392.02'	N75°49'00"E	390.28'	C36	8°51'58"	320.00'	49.52'	N25°37'46"E	49.47'
C9	23°36'17"	1200.00'	494.37'	N78°15'37"E	490.89'	C37	30°02'58"	320.00'	167.83'	N15°02'16"E	165.91'
C10	91°15'04"	25.00'	39.82'	S45°33'47"E	35.74'	C38	10°07'13"	770.00'	136.01'	N05°02'50"W	135.83'
C11	0°14'41"	1170.00'	5.00'	N88°41'20"E	5.00'	C39	88°26'25"	50.00'	77.18'	N54°19'39"W	69.74'
C12	22°21'13"	1170.00'	456.47'	N77°38'05"E	453.58'	C40	14°59'40"	1170.00'	306.19'	S73°57'18"W	305.32'
C13	12°47'03"	1230.00'	274.44'	N72°51'00"E	273.88'	C41	3°39'26"	1230.00'	78.51'	N68°17'12"E	78.50'
C14	21°13'39"	1230.00'	47.82'	N80°21'21"E	47.82'	C42	22°27'47"	1230.00'	482.23'	S77°41'22"W	479.15'
C15	38°20'49"	65.50'	43.84'	N62°16'41"E	43.02'	C43	88°51'31"	25.00'	38.77'	S44°29'30"W	35.00'
C16	27°47'45"	59.50'	28.87'	N57°00'09"E	28.58'	C44	89°43'14"	25.00'	39.15'	S44°47'52"E	35.27'
C17	68°20'01"	59.50'	70.96'	S74°55'58"E	66.83'	C45	35°09'28"	385.00'	236.24'	S72°04'45"E	232.55'
C18	51°13'10"	15.50'	13.86'	S66°22'33"E	13.40'	C46	35°26'26"	315.00'	194.84'	S72°13'14"E	191.75'
C19	1°48'50"	1230.00'	38.94'	N88°52'49"E	38.94'	C47	26°01'08"	385.00'	174.84'	N76°55'53"W	173.34'
C20	1°34'49"	1170.00'	32.27'	S88°59'34"W	32.27'	C48	8°18'03"	385.00'	55.78'	S59°46'17"E	55.73'
C21	98°18'36"	25.00'	42.90'	S39°02'52"W	37.82'	C49	9°25'18"	385.00'	63.31'	N59°12'40"W	63.24'
C22	10°07'13"	830.00'	146.60'	S05°02'50"E	146.41'	C50	35°02'32"	315.00'	192.65'	N72°01'17"W	189.67'
C23	30°02'58"	380.00'	199.30'	N15°02'16"E	197.02'	C51	90°23'42"	25.00'	39.44'	S45°15'36"W	35.48'
C24	8°45'36"	320.00'	48.92'	N25°40'57"E	48.88'	C52	35°26'26"	350.00'	216.49'	S72°13'14"E	213.06'
C25	35°15'41"	350.00'	215.40'	N86°19'41"W	212.02'	C53	35°26'14"	350.00'	216.47'	S72°13'08"E	213.04'
C26	45°19'05"	350.00'	276.83'	S53°22'56"W	269.67'	C54	6°45'01"	1170.00'	137.84'	S84°49'39"W	137.76'
C27	61°15'27"	100.00'	106.91'	S61°21'08"W	101.89'						
C28	21°14'24"	320.00'	118.63'	S10°40'57"W	117.95'						

SECTION CORNER AS NOTED	▲	△
1/2" REBAR, YELLOW PLASTIC CAP#19968 (UNLESS OTHERWISE NOTED)	●	○
MEASURED BEARING & DISTANCE	M	
RECORDED BEARING & DISTANCE	R	
DEEDED BEARING & DISTANCE	D	
PUBLIC UTILITY EASEMENT	P.U.E.	
CURVE ARC LENGTH	AL	
LOT ADDRESS	(1234)	
CENTERLINE	_____	
SECTION LINE	_____	
EASEMENT LINE	_____	
BUILDING SETBACK LINE	_____	
PLAT BOUNDARY	=====	





FILE: H:\2022\2207475\DWG\2207475-FINAL PLAT.DWG
DATE PLOTTED: 4/9/2024 3:43 PM
DRAWN BY: JAC BROADHILL
CHECKED BY: JAC BROADHILL
COMMENTS: ENCLOSURE

HOPE TIMBER PLAT 1
FINAL PLAT

2
4
2207.475

GRIMES, IOWA

CIVIL DESIGN ADVANTAGE

ENGINEER:

TECH:

REVIEW:

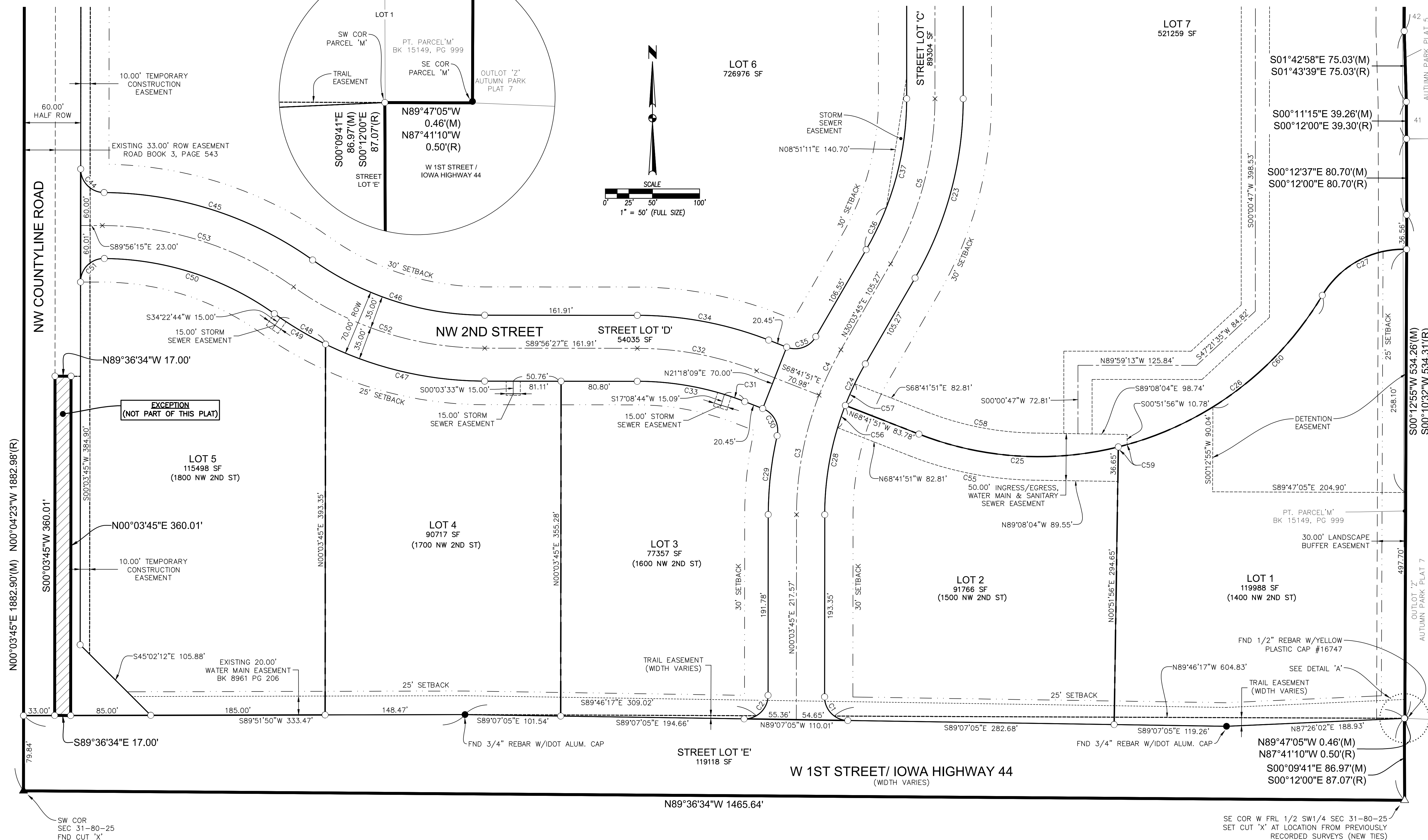
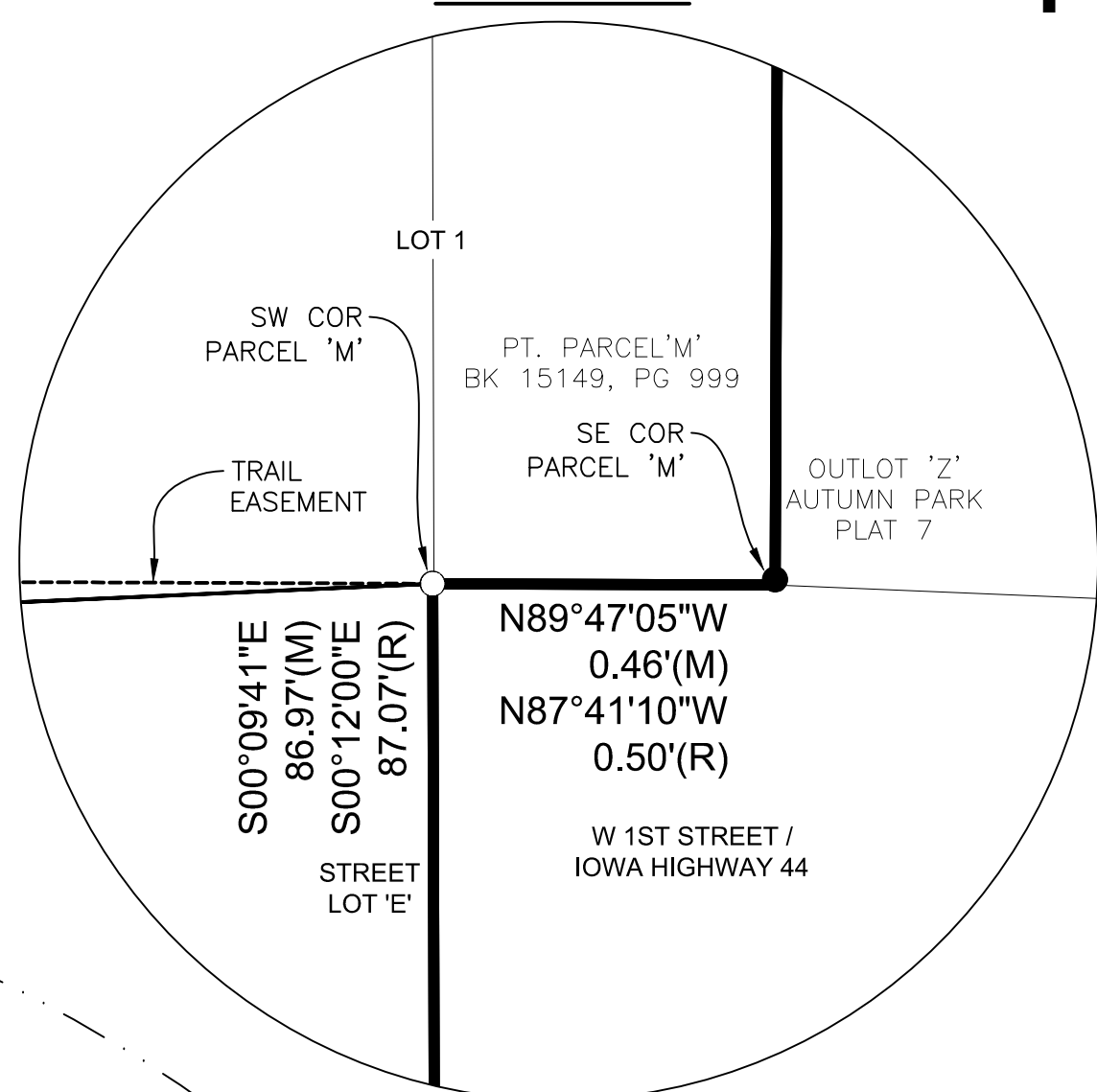
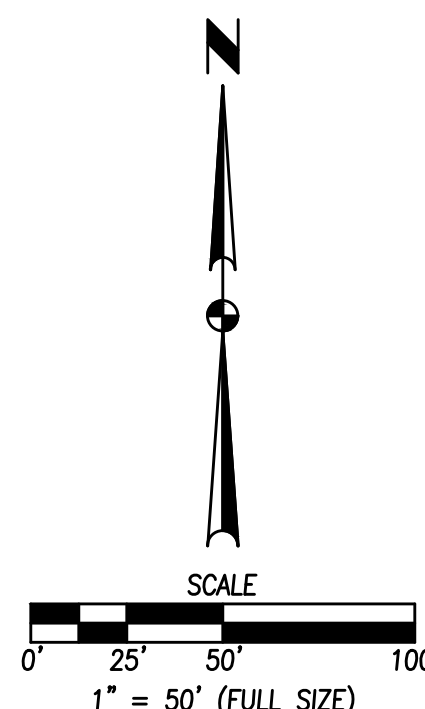
4121 NW URBANDALE DRIVE
URBANDALE, IA 50322
PHONE: (515) 369-4400

DATE
01/24/24
12/29/23

REVISIONS
REVISED
PREPARED

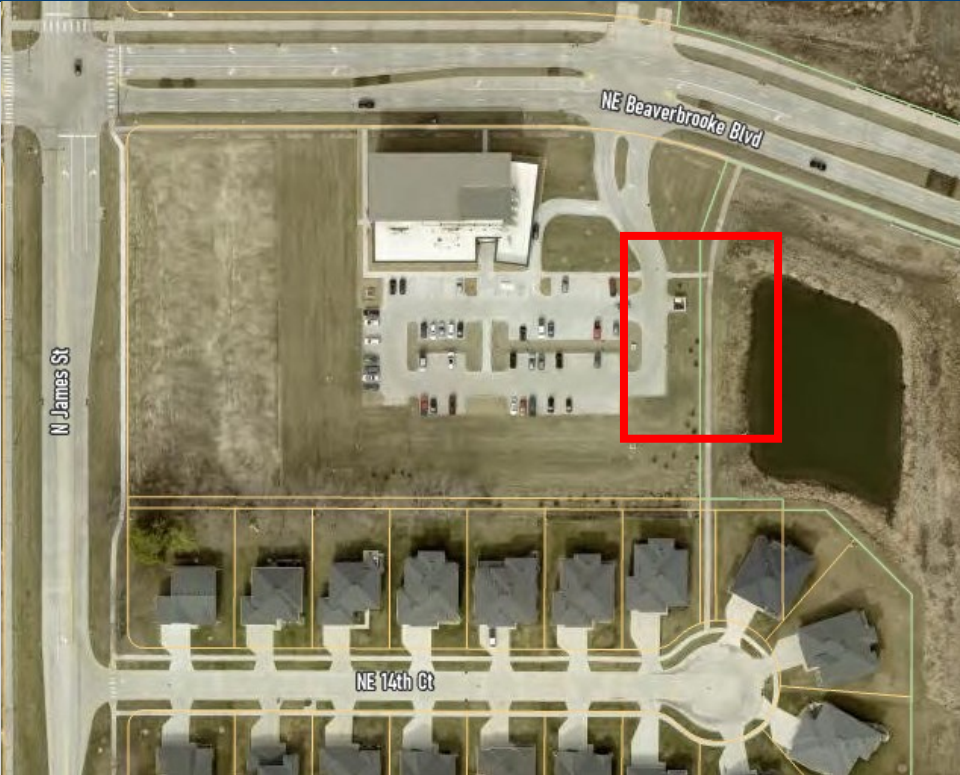
FINAL PLAT

DETAIL 'A'



FILE: H:\2022\2207475\DWG\2207475-FINAL PLAT.DWG
 FILE DATE: 4/8/24 DATE PLOTTED: 4/8/2024 3:44 PM
 PLOTTED BY: JON EROHL TECH:
 COMMENT:
 ENG:

Location Map



Zoning Map



DATE

May 7, 2024

PROJECT NAME

Grimes Public Library
Amphitheater

APPLICANT

City of Grimes

REQUESTED ACTION

Approve a site plan for an out
door amphitheater and board
walk

LOCATION

200 NE Beaverbrooke Blvd

ZONING

R-4
Heritage PUD

PLANNER

Evann Martin
emartin@grimesiowa.gov
515-986-4050

Relation to Comprehensive & Neighborhood Plans

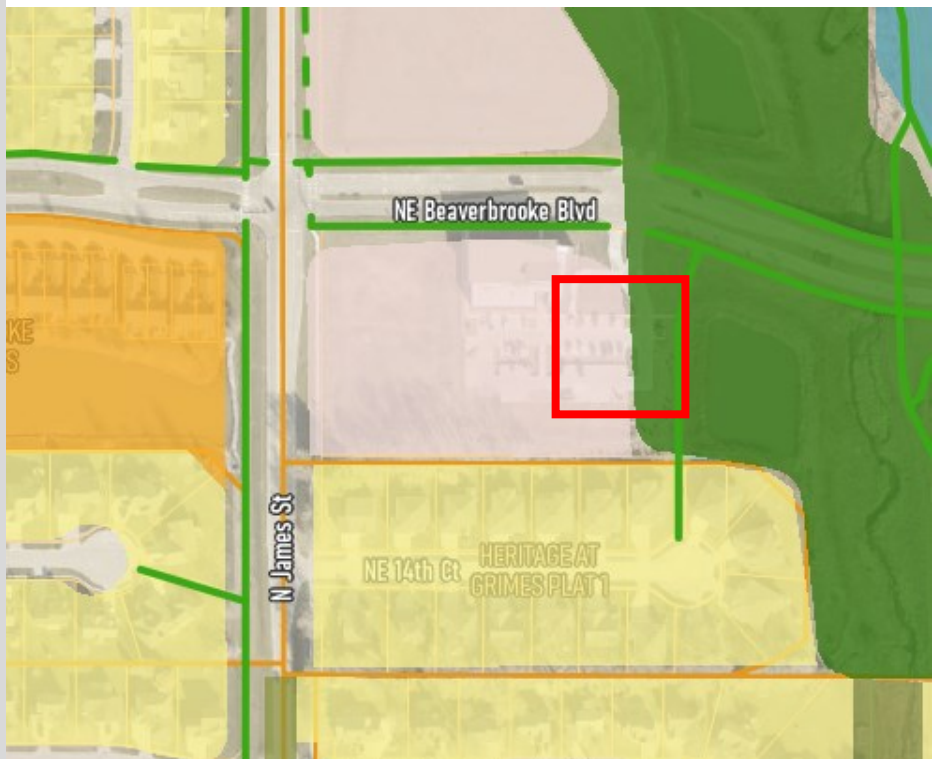
LAND USES & ZONING

Location	Existing Land Use	Land Use Plan Designation	Current Zoning
Subject Site	Civic	Neighborhood Commercial	R-4/Park
North	Vacant	Neighborhood Commercial	R-4
South	Residential	Low-Density Residential	R-4
East	Greenway	Park	Park
West	Residential	Medium-Density Residential	R-3

PARKS

The Parks and Trails Master Plan identifies the greenway to the east of the library site as a park with a trail which is consistent with the future land use plan. The amphitheater was not specifically planned for in the Master Plan but is consistent with the Plan.

The library site is not residential, therefore parkland dedication is not required.



Future Land Use Map

The amphitheater is consistent with the zoning and future land use plan.

Site Layout

Site Layout

ACCESS

Access will be provided via two side-walk connections from the library parking lot and from the existing trail that connects from NE Beaverbrooke Blvd to NE 14th Court.

PARKING

Two ADA parking stall will be constructed at the SE corner of the library parking lot to provide ADA access to the amphitheater. Across the site, a total of 75 parking spaces are provided which is more than the minimum 25 parking spaces required for the amphitheater.

LIGHTING

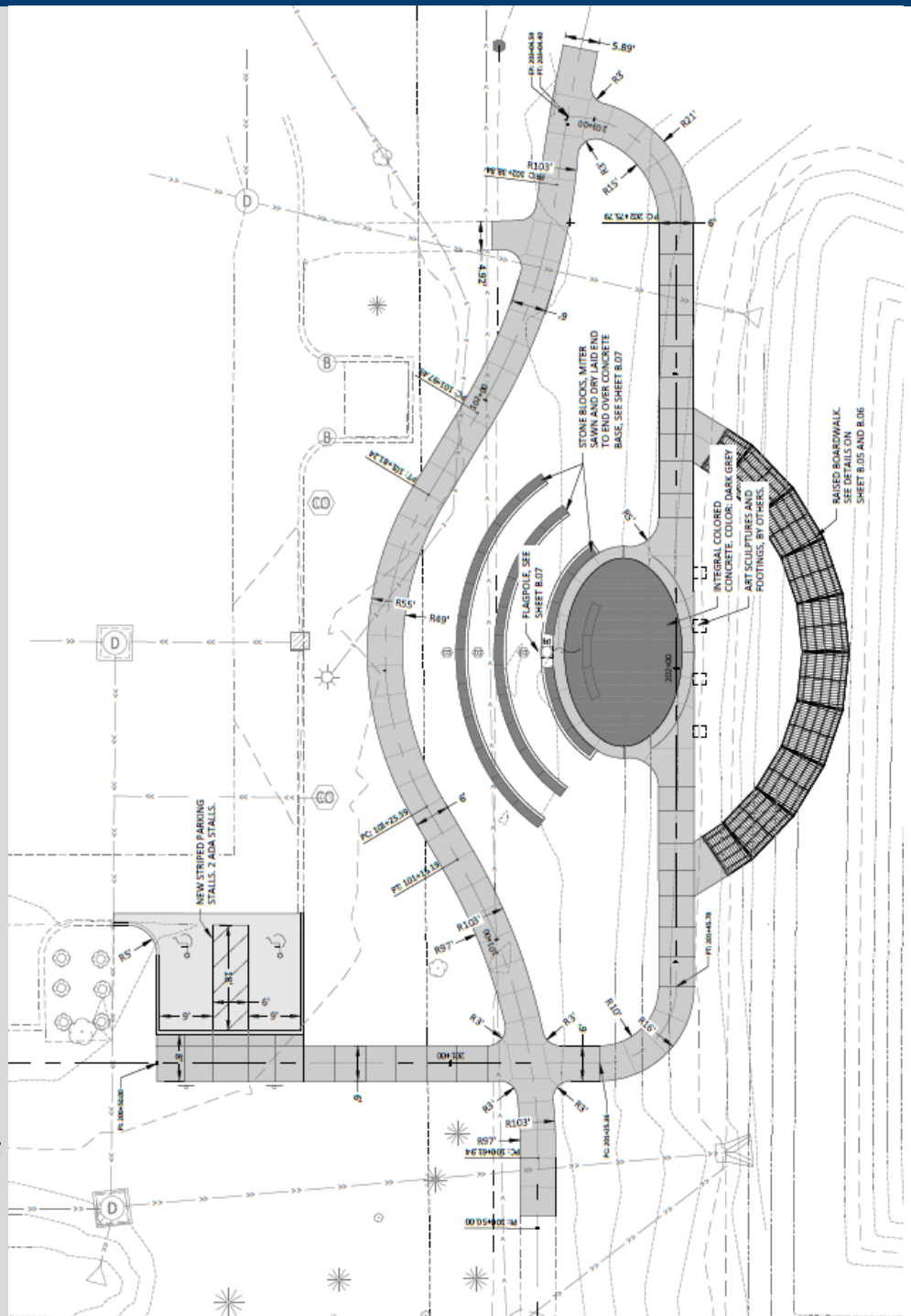
Light bollards will be provided around the amphitheater area along the side-walks.

SITE FEATURES

The amphitheater will consist of four rows of limestone bench seating overlooking the existing detention basin to the east with lawn space on either side of the seating area. The total capacity of the amphitheater is 70-100 people. A composite boardwalk with railing will be constructed over the water of the basin that can be used for fishing. The site will reserve space for four art sculptures between the amphitheater and the boardwalk.

PROGRAMMING

The amphitheater will primarily be used by the library for youth educational events.

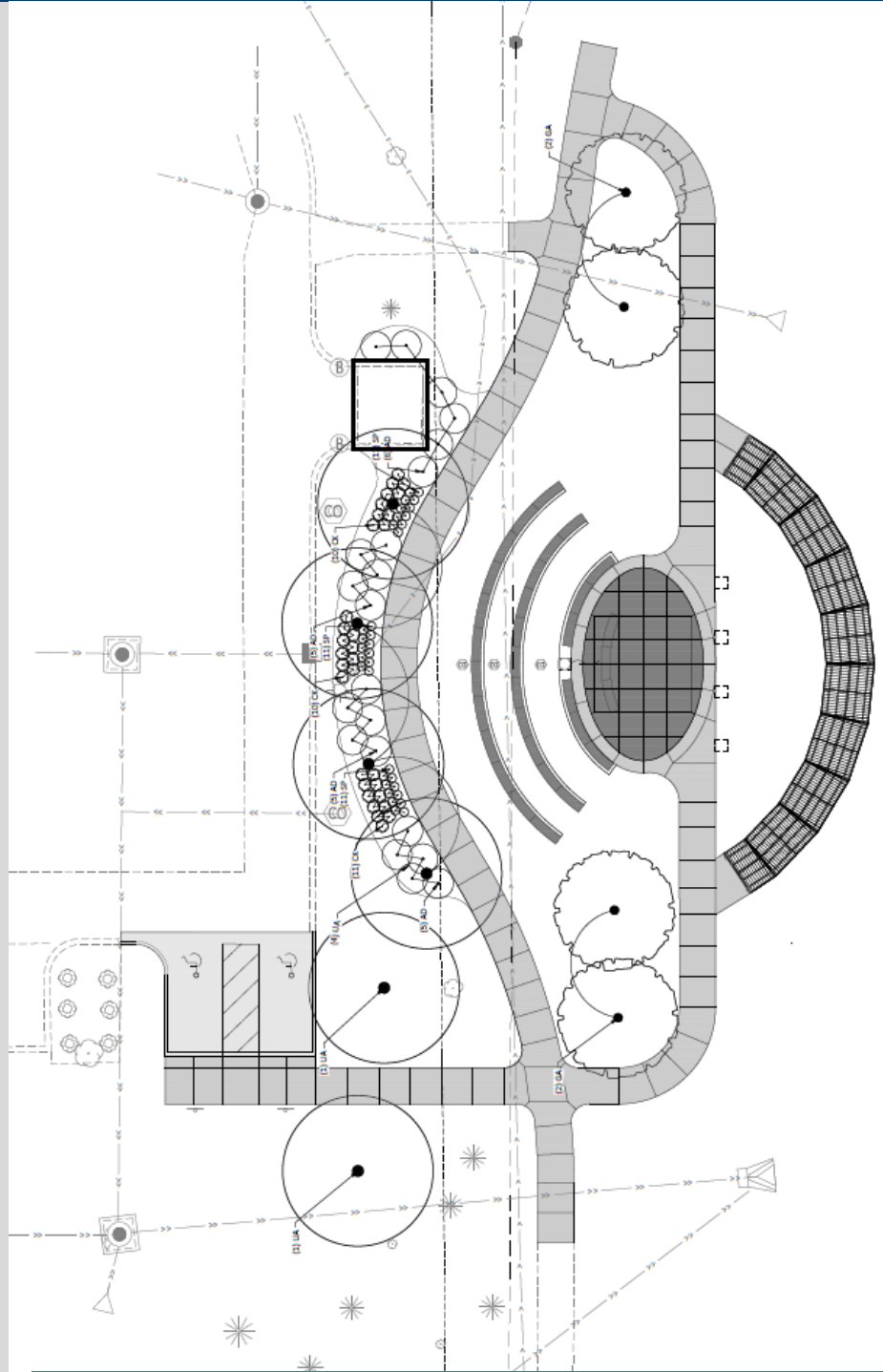


Utilities & Landscaping

Landscaping Plan

LANDSCAPING

Six existing trees will be removed and relocated elsewhere on the site to accommodate the construction of the amphitheater. A row of trees and shrubs will be provided between the parking lot and the trail and a few trees will be planted the lawn space.



STAFF RECOMMENDATION

Staff recommends approval of the site plan.

Conclusion

An amphitheater and boardwalk is proposed along the east side of the Grimes Public Library site. The amphitheater will hold 70-100 people. The amphitheater and boardwalk will primarily be used by the library for youth educational events. However, the boardwalk will also be available as a fishing pier.



Development Services

410 SE Main St, Suite 102

Grimes, IA 50111

(515)986-4050

www.grimesiowa.gov

~~April 23, 2024~~

May 3, 2024

Bolton & Menk, Inc.

Attn: Nate Weitzl

430 E Grand Avenue, Suite 101

Des Moines, IA 50309

RE: Grimes Public Library Amphitheater

Dear Mr. Weitzl:

The Development Services Department is in receipt of a proposed Site Plan Amendment for the Grimes Public Library Amphitheater. Based on the review of the provided submittal materials, staff have the following comments:

General Comments:

- ~~1. What is the capacity of the amphitheater?~~
- ~~2. Does this require an architectural review by the Heritage Committee?~~
- ~~3. Only show details that are planned for use~~
4. Provide SWPPP and filled out SWPPP Checklist. Checklist is attached.
- ~~5. Provide detail/spec sheet for the light bollards. Will these match the existing light bollards at the library?~~
- ~~6. Add city standards notes. Provided.~~
7. Floodplain permit is required. Please provide complete application. Provided. **Please provide City floodplain permit. Staff can fill out any unknown information.**
- ~~8. CAD files will be required with the final plans.~~
- ~~9. Provide calculation to show how much impervious surface will be added.~~

Sheet A.01:

- ~~1. Add site address. 200 NE Beaverbrooke Blvd.~~

- ~~2. Add property legal description.~~
- ~~3. Update Des Moines specifications to Grimes.~~

Sheet B.01

- ~~1. Are all of these used? Label thickness on D.01 or update details to match the proposal.~~

Sheet B.06:

1. Provide the guard heights and joist hangers on details 2 and 3.
2. Provide an electrical grounding detail.
3. On detail 5, please provide the NEMA Rating.
4. Provide details on the helical piers and diamond piers that being proposed. Both of these products require an engineer signoff on the installation.

Sheet B.08:

1. Keep in mind that 3'6" is the minimum guard required. The rail can be taller.

Sheet CE.01:

1. BMPs needed at downslope perimeter of project until completion.
2. Clearly mark discharge points
3. Mark proposed staging areas on this sheet.
4. Mark proposed concrete washout location- ensure it is at least 50 feet from any storm structure including but not limited to intakes and ponds.

Sheet D.01:

- ~~1. Update trail to 6" thick.~~
2. The sod areas between the seating will be hard to maintain. Please consider alternative options such as pavers for high foot traffic areas. **Is there a seed mix that is**

best suited for higher traffic areas that can be used around the amphitheater to reduce maintenance needs?

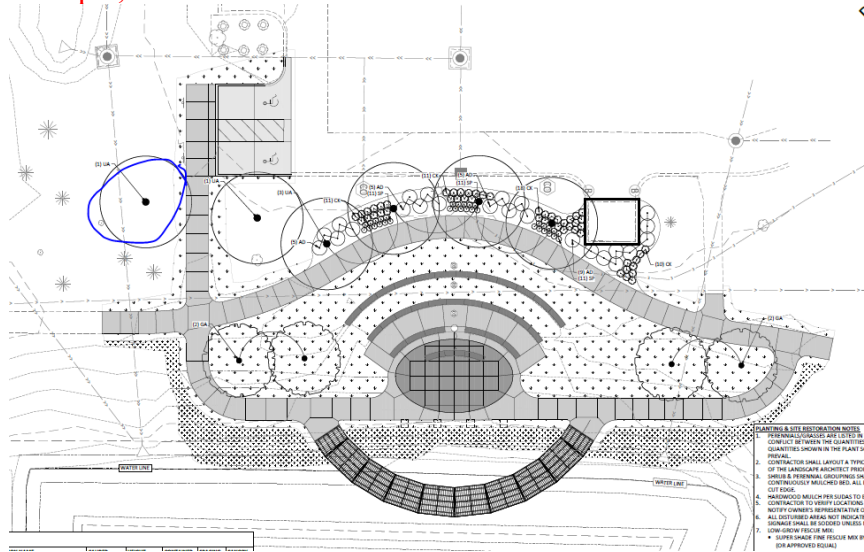
- ~~3. If there is grass between the seating, a minimum 6' needs to be provided to accommodate a mower.~~

Sheet J.01:

1. Extend the sidewalk closed sign up to the cul-de-sac where the trail begins.

Sheet K.01:

1. Can the trees that are proposed to be removed be replanted and incorporated in the landscape plan? We would like to determine the locations now and to show them on the plan. Staff suggest moving the evergreen trees along the south side of the site to enhance the buffer between the library and single-family. Could the overstory tree be relocated to one of the planned overstory tree locations on the landscape plan? For example, the location below?



- ~~2. Label the ground cover type.~~
- ~~3. Will there be any rock/mulch areas? If so, please label.~~

Sheet P.01:

1. Please make note for conduit as being schedule 80 1" Ridged Non-Metallic Conduit at 18" of depth per table 300.5 of the 2020 NEC.

2. Is there going to be a new electrical feeder pulled for the proposed work or are you planning on tapping into the existing electrical?

Sheet T.01:

1. According to the Heritage at Grimes Plat 2 construction documents, the 100-Year of the basin is 911.42. Is the electrical disconnect going to be in the 100-year flood elevation?
2. Provide 2' safety shelf on the east side of the sidewalk. **Will the new grading affect the existing FES in the basin?**

Sheet W.01-W.03

- ~~1. Hard to see cross sections. Please revise with dense lines.~~

Please provide a letter addressing all comments on this comment letter and/or state what was modified on the site plan to address said comments.

SITE PLAN SUBMITTAL SCHEDULE:

SUBMITTAL DATE:	April 30, 2024 (1 PDF of Site plan with Elevation Plan included)
LIBRARY BOARD:	May 21, 2024 at 5:00
COUNCIL MEETING:	May 28, 2024 at 5:30

Please feel free to contact me at emartin@grimesiowa.gov or at (515) 986-4050 if you have any questions or need additional information.

Sincerely,

Evann Martin
Senior Planner

CITY OF GRIMES, IOWA

90% CONSTRUCTION DOCUMENTS FOR

PUBLIC LIBRARY AMPHITHEATER

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NOT FOR CONSTRUCTION,
RECORDING PURPOSES, OR
IMPLEMENTATION.

GOVERNING SPECIFICATIONS

THE 2024 EDITION OF THE "IOWA STATEWIDE URBAN SPECIFICATIONS FOR PUBLIC IMPROVEMENTS" AND CITY OF DES MOINES SPECIFICATIONS.

THE MOST RECENT VERSION OF THE MUTCD ADOPTED BY IOWA DEPARTMENT OF TRANSPORTATION.

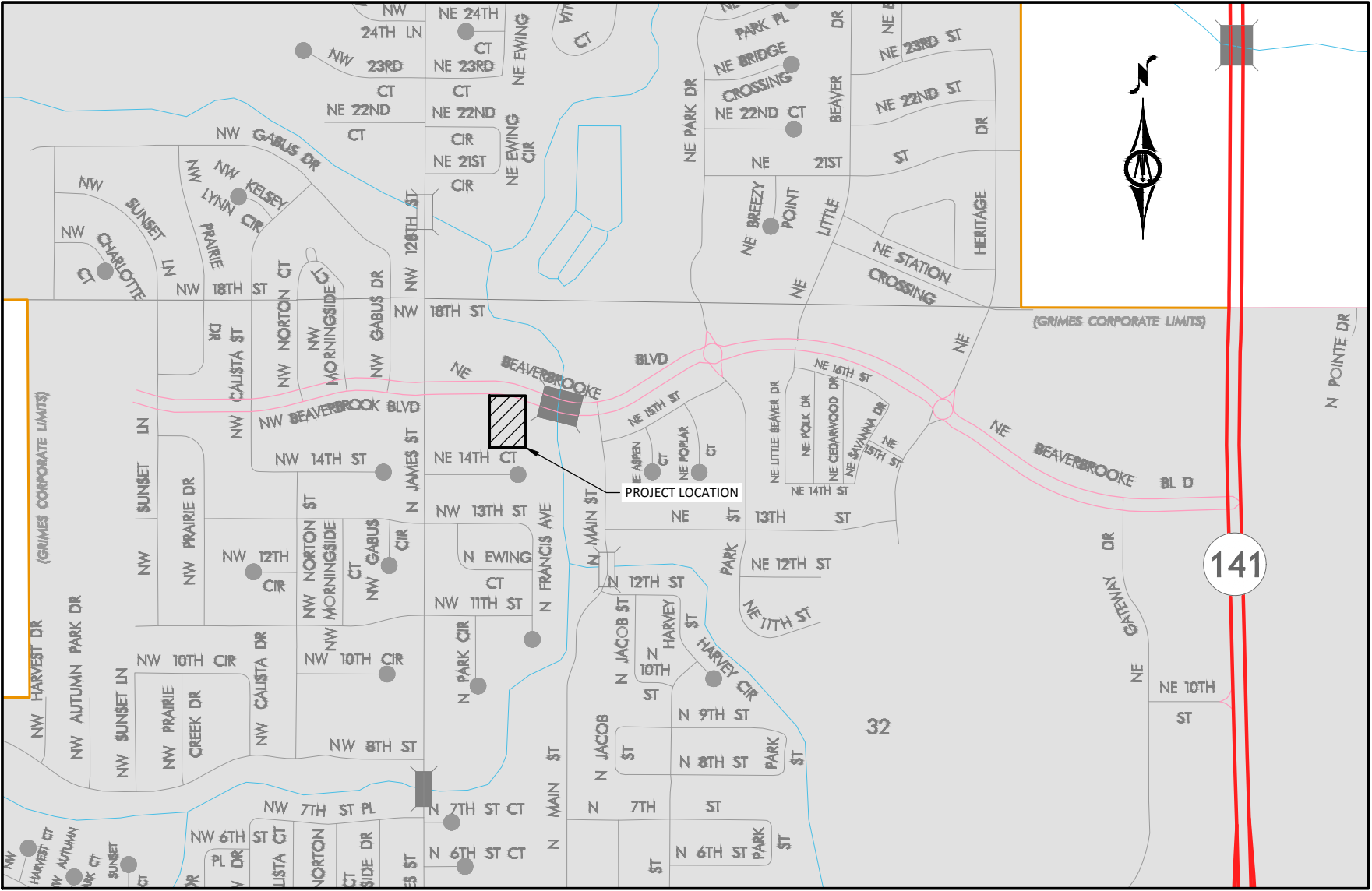
ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS AND ORDINANCES WILL BE COMPLIED WITHIN THE CONSTRUCTION OF THIS PROJECT.



NOTE: EXISTING UTILITY INFORMATION SHOWN ON THIS PLAN HAS BEEN PROVIDED BY THE UTILITY OWNER. THE CONTRACTOR SHALL FIELD VERIFY EXACT LOCATIONS PRIOR TO COMMENCING CONSTRUCTION AS REQUIRED BY STATE LAW. NOTIFY IOWA ONE CALL 1-800-292-8989 OR 811

THE SUBSURFACE UTILITY INFORMATION IN THIS PLAN IS UTILITY QUALITY LEVEL D UNLESS OTHERWISE NOTED. THIS UTILITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF CI/ASCE 38-02, ENTITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA."

CONSTRUCTION SCHEDULE SHALL BE COORDINATED WITH THE CITY OF GRIMES AND ENGINEER TO MITIGATE CONSTRUCTION ACTIVITIES TO NOT AFFECT GOVERNORS DAY PARADE ON JUNE 11TH.



SHEET INDEX			
NUMBER	SHEET TITLE	REV	DATE
A.01	TITLE SHEET		
A.02	LEGEND SHEET		
B.01	TYPICAL DETAILS		
B.02	TYPICAL DETAILS		
B.03	TYPICAL DETAILS		
B.04	TYPICAL DETAILS		
B.05	TYPICAL DETAILS		
B.06	TYPICAL DETAILS		
C.01	QUANTITIES		
C.02	ESTIMATE REFERENCE NOTES		
CE.01	EROSION CONTROL		
D.01	PLAN VIEW		
G.01	REFERENCES & BENCHMARKS		
J.01	STAGING & TRAFFIC CONTROL		
K.01	LANDSCAPE SHEETS		
L.01	JOINTING PLAN		
L.02	JOINTING PLAN		
M.01	STORM SEWER PLAN AND PROFILE		
N.01	PAVEMENT MARKINGS & SIGNAGE		
R.01	REMOVAL SHEETS		
S.01	SIDEWALK SHEETS		
T.01	GRADING SHEETS		
W.01	CROSS SECTIONS		
W.02	CROSS SECTIONS		
W.03	CROSS SECTIONS		



MAP OF THE
CITY OF GRIMES
POLK / DALLAS COUNTY, IA

PREPARED FOR:



DEVELOPMENT SERVICES
410 SE MAIN STREET #102
GRIMES, IA 50111



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& MENK**

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Phone: (515) 259-9190
Email: DesMoines@bolton-menk.com
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TITLE SHEET

SHEET

A.01

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EXISTING TOPOGRAPHIC SYMBOLS

	ACCESS GRATE		SATELLITE DISH
	AIR CONDITION UNIT		SIGN TRAFFIC
	ANTENNA		SIGNAL CONTROL CABINET
	AUTO SPRINKLER CONNECTION		SOIL BORING
	BARRICADE PERMANENT		SIREN
	BASKETBALL POST		TELEPHONE BOOTH
	BENCH		TILE INLET
	BIRD FEEDER		TILE OUTLET
	BOLLARD		TILE RISER
	BUSH		TRANSFORMER-ELECTRIC
	CATCH BASIN RECTANGULAR CASTING		TREE-CONIFEROUS
	CATCH BASIN CIRCULAR CASTING		TREE-DEAD
	CURB STOP		TREE-DECIDUOUS
	CLEAN OUT		TREE STUMP
	CULVERT END		TRAFFIC ARM BARRIER
	DRINKING FOUNTAIN		TRAFFIC SIGNAL
	DOWN SPOUT		TRASH CAN
	FILL PIPE		UTILITY MARKER
	FIRE HYDRANT		VALVE
	FLAG POLE		VALVE POST INDICATOR
	FLARED END / APRON		VALVE VAULT
	FUEL PUMP		VAULT
	GRILL		VENT PIPE
	GUY WIRE ANCHOR		WATER SPIGOT
	HANDHOLE		WELL
	HANDICAP SPACE		WETLAND DELINEATED MARKER
	IRRIGATION SPRINKLER HEAD		WETLAND
	IRRIGATION VALVE BOX		WET WELL
	LIFT STATION CONTROL PANEL		YARD HYDRANT
	LIFT STATION		
	LIGHT POLE		
	MAILBOX		
	MANHOLE-COMMUNICATION		
	MANHOLE-ELECTRIC		
	MANHOLE-GAS		
	MANHOLE-HEAT		
	MANHOLE-SANITARY SEWER		
	MANHOLE-STORM SEWER		
	MANHOLE-UTILITY		
	MANHOLE-WATER		
	METER		
	ORDER MICROPHONE		
	PARKING METER		
	PAVEMENT MARKING		
	PEDESTAL-COMMUNICATION		
	PEDESTAL-ELECTRIC		
	PEDESTRIAN PUSH BUTTON		
	PICNIC TABLE		
	POLE-UTILITY		
	POST		
	RAILROAD SIGNAL POLE		
	REGULATION STATION GAS		

PROPOSED TOPOGRAPHIC SYMBOLS

	CLEANOUT
	MANHOLE
	LIFT STATION
	STORM SEWER CIRCULAR CASTING
	STORM SEWER RECTANGULAR CASTING
	STORM SEWER FLARED END / APRON
	STORM SEWER OUTLET STRUCTURE
	STORM SEWER OVERFLOW STRUCTURE
	CURB BOX
	FIRE HYDRANT
	WATER VALVE
	WATER REDUCER
	WATER BEND
	WATER TEE
	WATER CROSS
	WATER SLEEVE
	WATER CAP / PLUG
	RIP RAP
	DRAINAGE FLOW
	TRAFFIC SIGNS
	LIGHT POLE

SURVEY SYMBOLS

	BENCHMARK LOCATION		CAST IRON MONUMENT
	CONTROL POINT		STONE MONUMENT
	MONUMENT FOUND		

EXISTING TOPOGRAPHIC LINES

	RETAINING WALL
	FENCE
	FENCE-DECORATIVE
	GUARD RAIL
	TREE LINE
	BUSH LINE

SURVEY LINES

	CONTROLLED ACCESS
	BOUNDARY
	CENTERLINE
	EXISTING EASEMENT LINE
	PROPOSED EASEMENT LINE
	EXISTING LOT LINE
	PROPOSED LOT LINE
	EXISTING RIGHT-OF-WAY
	PROPOSED RIGHT-OF-WAY
	SETBACK LINE
	SECTION LINE
	QUARTER LINE
	SIXTEENTH LINE
	TEMPORARY EASEMENT

EXISTING UTILITY LINES

	FORCEMAIN
	SANITARY SEWER
	SANITARY SERVICE
	STORM SEWER
	STORM SEWER DRAIN TILE
	WATERMAIN
	WATER SERVICE

PROPOSED UTILITY LINES

	FORCEMAIN
	SANITARY SEWER
	SANITARY SERVICE
	STORM SEWER
	STORM SEWER DRAIN TILE
	WATERMAIN
	WATER SERVICE
	PIPE CASING
	TRENCHLESS PIPE (PLAN VIEW)
	TRENCHLESS PIPE (PROFILE VIEW)

GRADING INFORMATION

	EXISTING CONTOUR MINOR
	EXISTING CONTOUR MAJOR
	PROPOSED CONTOUR MINOR
	PROPOSED CONTOUR MAJOR
	PROPOSED GRADING LIMITS / SLOPE LIMITS
	PROJECT LIMITS
	PROPOSED SPOT ELEVATION
	RISE:RUN (SLOPE)

HATCH PATTERNS

	HMA PAVEMENT		SIDEWALK		PCC PAVEMENT
	DRIVEWAY		GRAVEL		

EXISTING PRIVATE UTILITY LINES

NOTE:
EXISTING UTILITY INFORMATION SHOWN ON THIS PLAN HAS BEEN PROVIDED BY THE UTILITY OWNER. THE CONTRACTOR SHALL FIELD VERIFY EXACT LOCATIONS PRIOR TO COMMENCING CONSTRUCTION AS REQUIRED BY STATE LAW. NOTIFY IOWA ONE CALL - 1-800-252-8989

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	UNDERGROUND FIBER OPTIC
	UNDERGROUND ELECTRIC
	UNDERGROUND GAS
	UNDERGROUND COMMUNICATION
	OVERHEAD ELECTRIC
	OVERHEAD COMMUNICATION
	OVERHEAD UTILITY

UTILITIES IDENTIFIED WITH A QUALITY LEVEL OTHER THAN D:

LINE TYPES FOLLOW THE FORMAT: UTILITY TYPE - QUALITY LEVEL
EXAMPLE: G-A G-A UNDERGROUND GAS, QUALITY LEVEL A
UTILITY QUALITY LEVEL (A,B,C,D) DEFINITIONS CAN BE FOUND IN CI/ASCE 38-02.

UTILITY QUALITY LEVELS:

LEVEL D - INFORMATION COMES SOLELY FROM EXISTING UTILITY RECORDS.

LEVEL C - SURVEYING ABOVE GROUND UTILITY FACILITIES, SUCH AS MANHOLES, VALVE BOXES, ETC; AND CORRELATING THIS INFORMATION WITH EXISTING UTILITY RECORDS.

LEVEL B - THE USE OF SURFACE GEOPHYSICAL TECHNIQUES TO DETERMINE THE EXISTENCE AND HORIZONTAL POSITION OF UNDERGROUND UTILITIES.

LEVEL A - THE USE OF NONDESTRUCTIVE DIGGING EQUIPMENT AT HORIZONTAL AND VERTICAL POSITION OF UNDERGROUND UTILITIES, AS WELL AS THE TYPE, SIZE, CONDITION, MATERIAL, AND OTHER CHARACTERISTICS.

ABBREVIATIONS

A	ALGEBRAIC DIFFERENCE	GV	GATE VALVE	SAN	SANITARY SEWER
ADJ	ADJUST	HDPE	HIGH DENSITY POLYETHYLENE	SCH	SCHEDULE
ALT	ALTERNATE	HH	HANDHOLE	SERV	SERVICE
B-B	BACK TO BACK	HMA	HOT MIX ASPHALT	SHLD	SHOULDER
BLDG	BUILDING	HP	HIGH POINT	STA	STATION
BMP	BEST MANAGEMENT PRACTICE	HWL	HIGH WATER LEVEL	STD	STANDARD
BR	BEGIN RADIUS	HYD	HYDRANT	STM	STORM SEWER
BV	BUTTERFLY VALVE	I	INVERT	TC	TOP OF CURB
CB	CATCH BASIN	K	CURVE COEFFICIENT	TE	TEMPORARY EASEMENT
C&G	CURB AND GUTTER	L	LENGTH	TEMP	TEMPORARY
CIP	CAST IRON PIPE	LO	LOWEST OPENING	TNH	TOP NUT HYDRANT
CIPP	CURED-IN-PLACE PIPE	LP	LOW POINT	TP	TOP OF PIPE
CL	CENTER LINE	LT	LEFT	TYP	TYPICAL
CL	CLASS	MH	MANHOLE	VCP	VITRIFIED CLAY PIPE
CMP	CORRUGATED METAL PIPE	MIN	MINIMUM	VERT	VERTICAL
C.O.	CHANGE ORDER	MR	MID RADIUS	VPC	VERTICAL POINT OF CURVE
COMM	COMMUNICATION	NIC	NOT IN CONTRACT	VPI	VERTICAL POINT OF INTERSECTION
CSP	CORRUGATED STEEL PIPE	NMC	NON-METALLIC CONDUIT	VPT	VERTICAL POINT OF TANGENT
CLVT	CULVERT	NTS	NOT TO SCALE	WM	WATERMAIN
DIA	DIAMETER	NWL	NORMAL WATER LEVEL	WS	WATER SERVICE
DIP	DUCTILE IRON PIPE	OHW	ORDINARY HIGH WATER LEVEL		
DWY	DRIVEWAY	PC	POINT OF CURVE		
E	EXTERNAL CURVE DISTANCE	PCC	PORTLAND CEMENT CONCRETE	AC	ACRES
ESMT	EASEMENT	PE	PERMANENT EASEMENT	CF	CUBIC FEET
ELEC	ELECTRIC	PED	PEDESTRIAN, PEDESTAL	CV	COMPACTED VOLUME
ELEV/EL	ELEVATION	PERF	PERFORATED PIPE	CY	CUBIC YARD
EOF	EMERGENCY OVERFLOW	PERM	PERMANENT	EA	EACH
ER	END RADIUS	PI	POINT OF INTERSECTION	EV	EXCAVATED VOLUME
EX	EXISTING	PL	PROPERTY LINE	LB	POUND
FES	FLARED END SECTION	PRC	POINT OF REVERSE CURVE	LF	LINEAR FEET
F-F	FACE TO FACE	PT	POINT OF TANGENT	LS	LUMP SUM
FF	FINISHED FLOOR	PVC	POLYVINYL CHLORIDE PIPE	LV	LOOSE VOLUME
F&I	FURNISH AND INSTALL	PVMT	PAVEMENT	SF	SQUARE FEET
FM	FORCEMAIN	R	RADIUS	SV	STOCKPILE VOLUME
FO	FIBER OPTIC	RCP	REINFORCED CONCRETE PIPE	SY	SQUARE YARD
F.O.	FIELD ORDER	RET	RETAINING		
GRAN	GRANULAR	R/W	RIGHT-OF-WAY		
GRAV	GRAVEL	RSC	RIGID STEEL CONDUIT		
GU	GUTTER	RT	RIGHT		

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430 E GRAND AVENUE, SUITE 101
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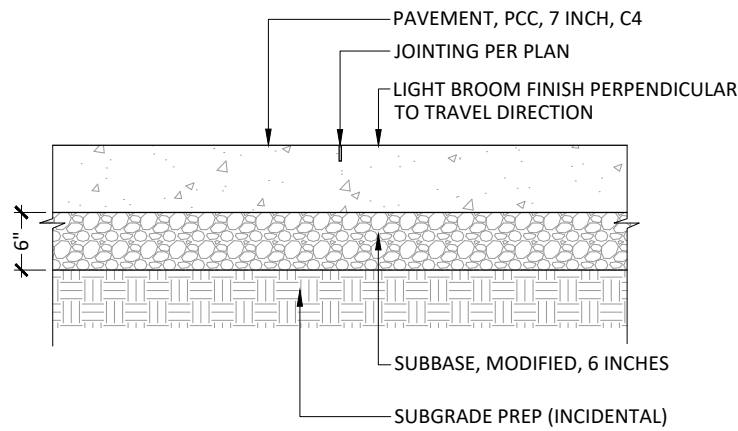
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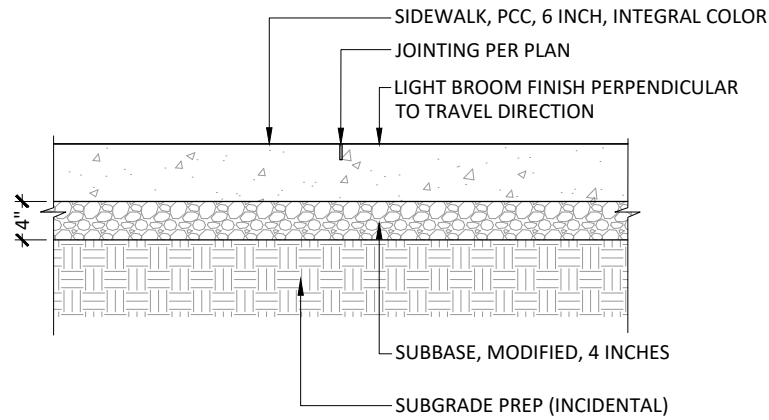
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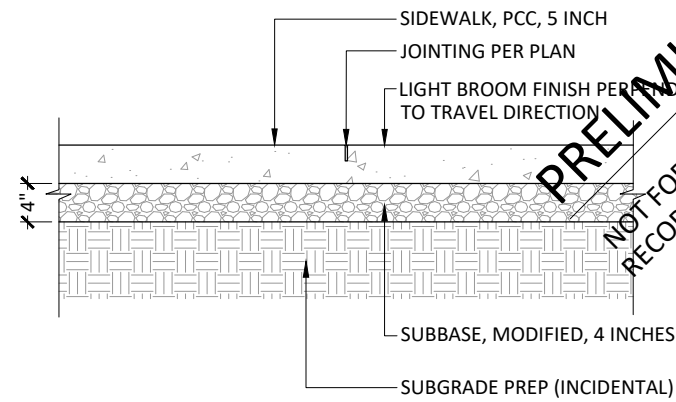
A.02



1 PAVEMENT, PCC, 7 INCH, C4
SCALE: N.T.S.



1 SIDEWALK, PCC, 6 INCH, INTERGAL COLOR
SCALE: N.T.S.



1 SIDEWALK, PCC, 5 INCH
SCALE: N.T.S.

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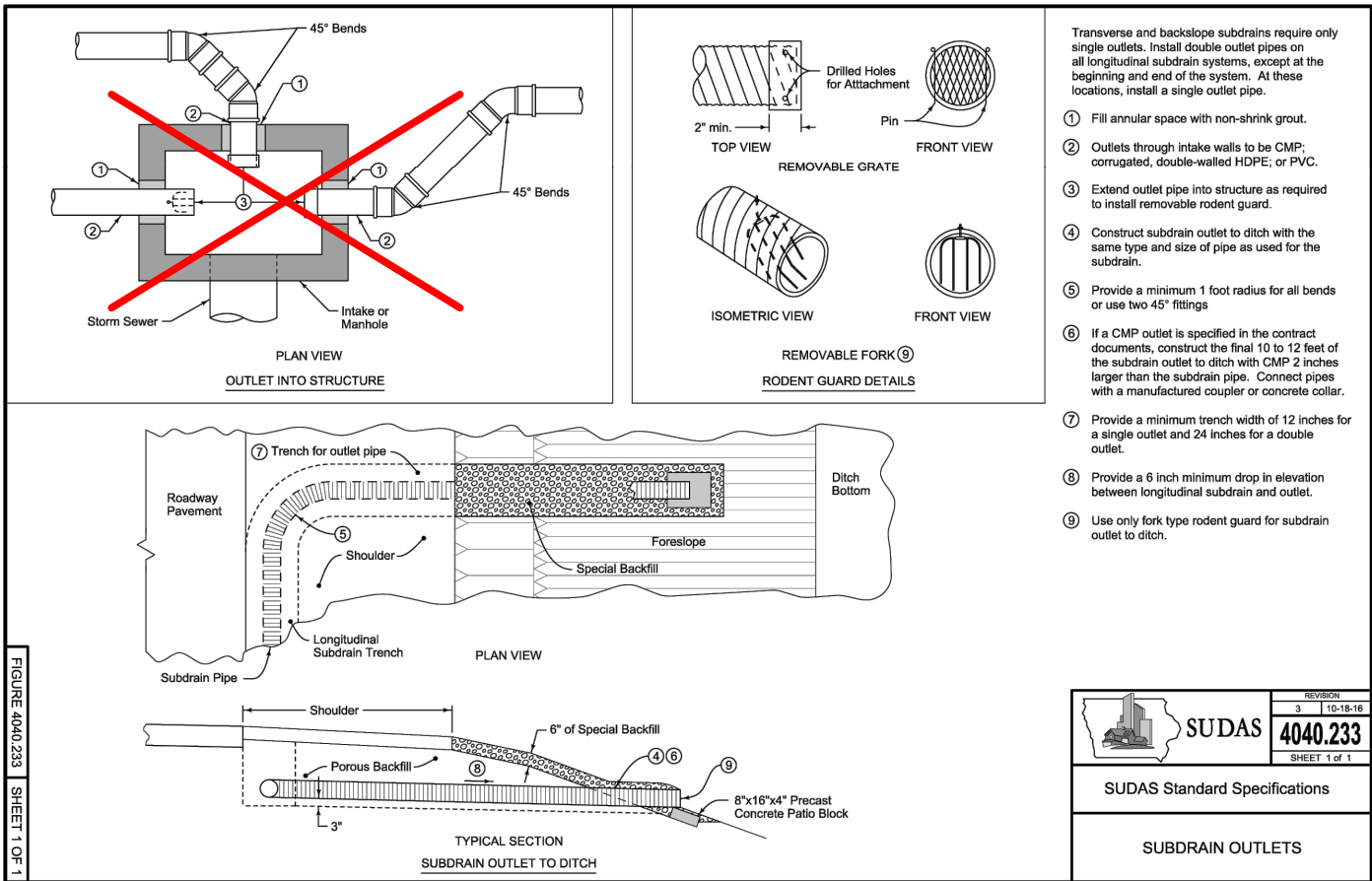
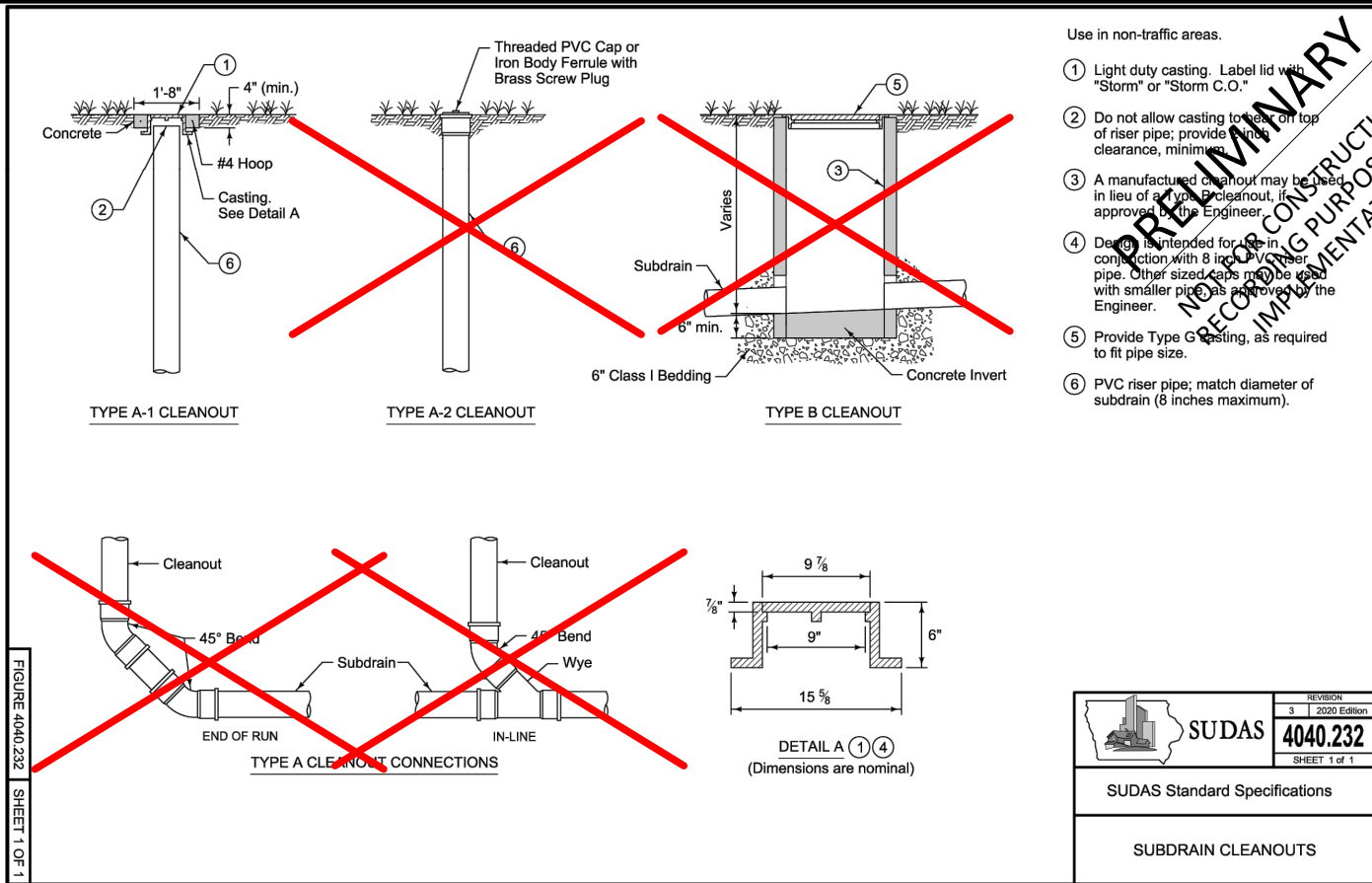
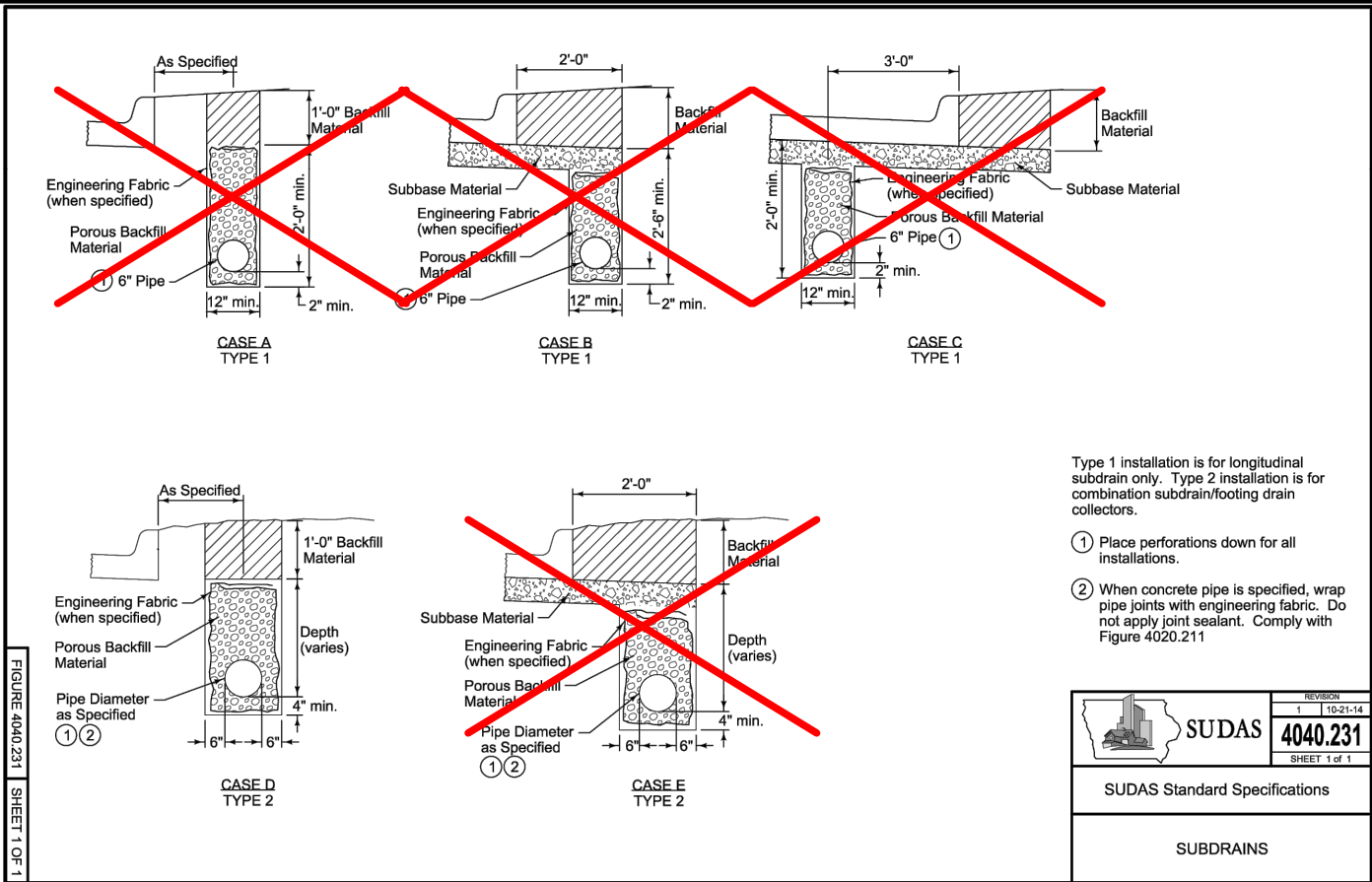
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GRIMES, IOWA
PUBLIC LIBRARY AMPHITHEATER
TYPICAL DETAILS

SHEET

B.01

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Email: DesMoines@bolton-menk.com
www.bolton-menk.com

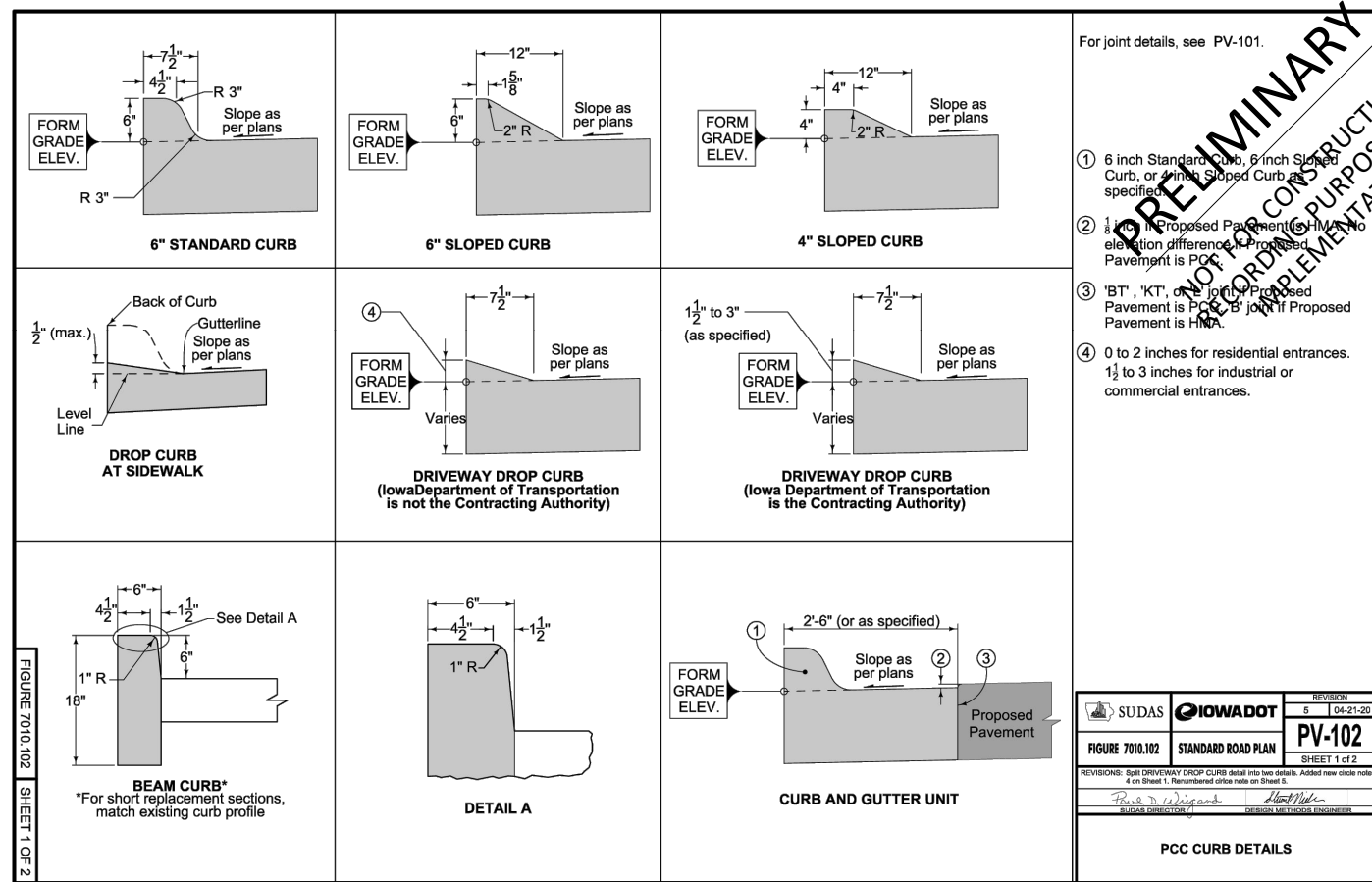
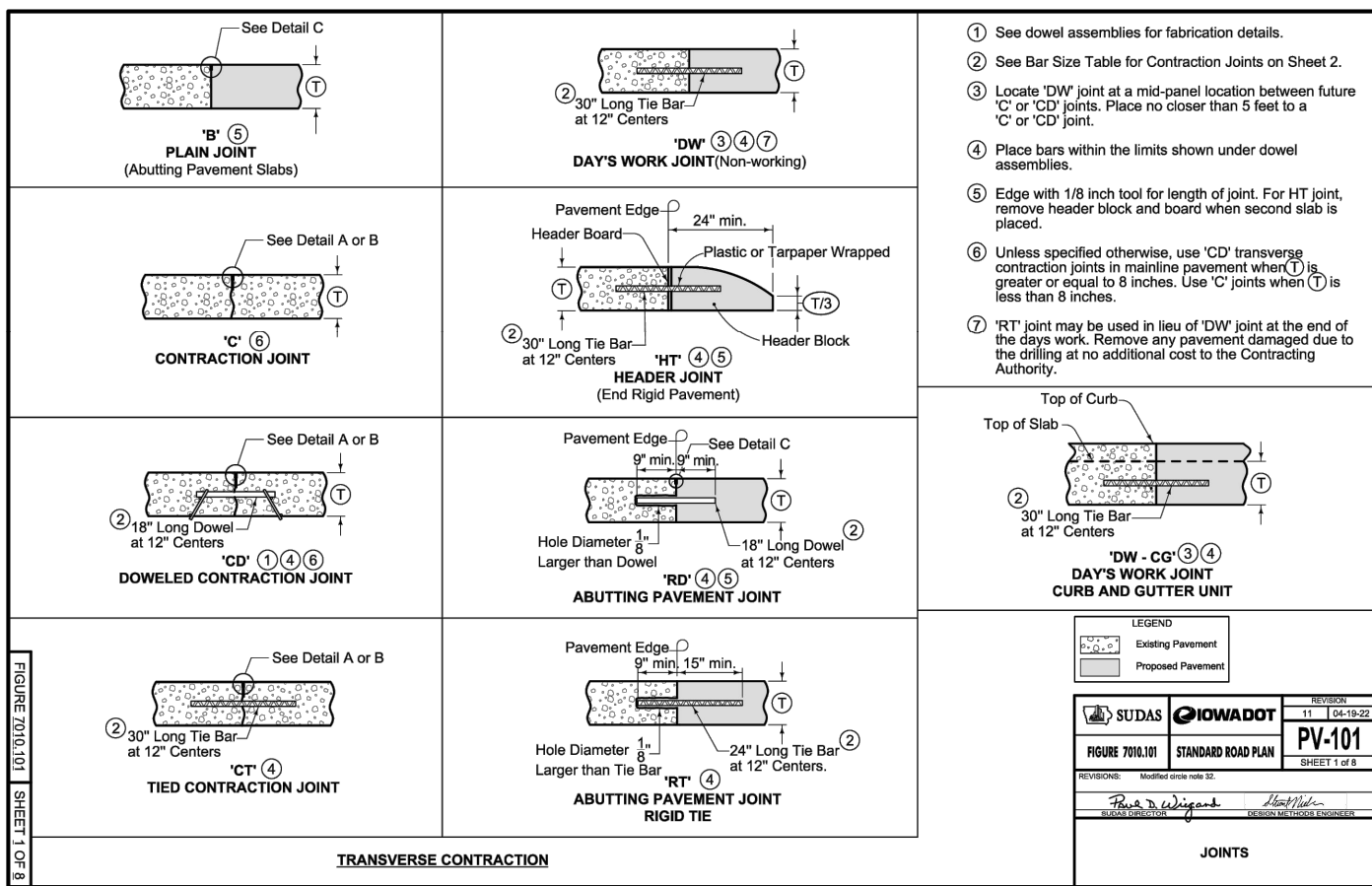


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CHECKED			
CLIENT PROJ. NO.			
0A1.133088			

GRIMES, IOWA
PUBLIC LIBRARY AMPHITHEATER
TYPICAL DETAILS

SHEET

B.02



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AUGUSTES CI JAWA133088 CAD (CD) 133088001.dwg 4/4/2024 7:01:57 PM

BCY4 BROKEN CENTERLINE (Yellow)

BLW4 BROKEN LANE LINE (White)

SLW4 SOLID LANE LINE (White)

Lane layouts shown are typical.

Centerlines and lane lines may be painted either side of centerline.

Drawings on sheets 1 and 2 are oriented to represent direction of traffic moving from left to right.

NPY4 NO PASSING ZONE LINE (Yellow)

DCY4 DOUBLE CENTERLINE (Yellow)

ELW4 EDGE LINE RIGHT (White)

ELW6 EDGE LINE RIGHT (White)

ELY4 EDGE LINE LEFT (Yellow)

Possible Contract Item:
Pavement Marking Line Items

Possible Tabulation:
108-22

RLW4 RAMP EDGE LINE RIGHT (White)

RLY4 RAMP EDGE LINE LEFT (Yellow)

IOWADOT

STANDARD ROAD PLAN

REVISIONS: Modified NPY4.

APPROVED BY DESIGN METHOD ENGINEER

LINE TYPES

REVISION

3

04-21-20

PM-110

SHEET 1 of 3

BLSW BIKE LANE SYMBOL (White)

WCSW WHEELCHAIR SYMBOL (White)

WPSB WHEELCHAIR PARKING SYMBOL (Blue)

② When placed across one lane, use the smaller dimensions shown. When placed across two lanes, use the larger dimensions shown.

SCLW SCHOOL WORD MARKING (White)

XNGW XING WORD MARKING (White)

STPW STOP WORD MARKING (White)

AHDW AHEAD WORD MARKING (White)

ONLW ONLY WORD MARKING (White)

XITW EXIT WORD MARKING (White)

BIKW BIKE WORD MARKING (White)

LANW LANE WORD MARKING (White)

SLSW SHARED LANE SYMBOL (White)

IOWADOT

STANDARD ROAD PLAN

REVISIONS: Added BLSW.

APPROVED BY DESIGN METHOD ENGINEER

SYMBOLS AND LEGENDS

REVISION

4

04-21-20

PM-111

SHEET 2 of 2

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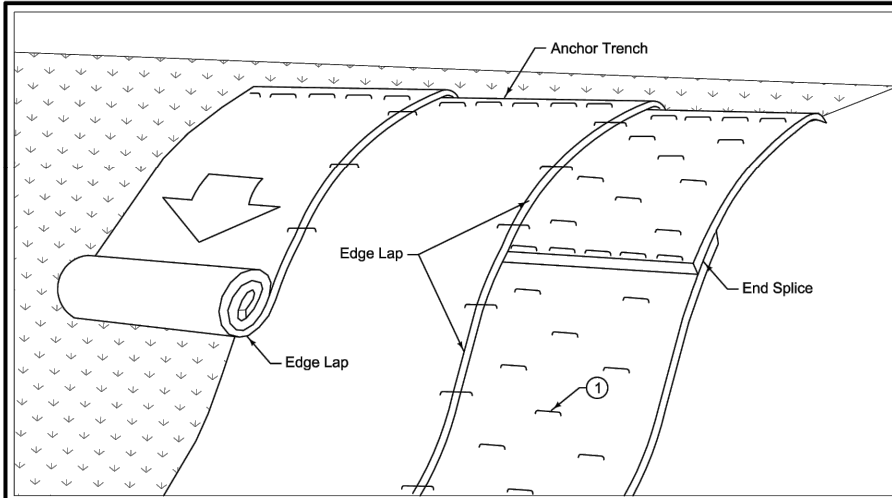
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GRIMES, IOWA
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TYPICAL DETAILS

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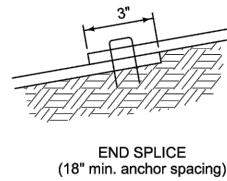
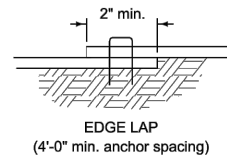
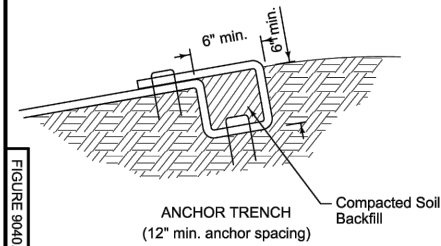
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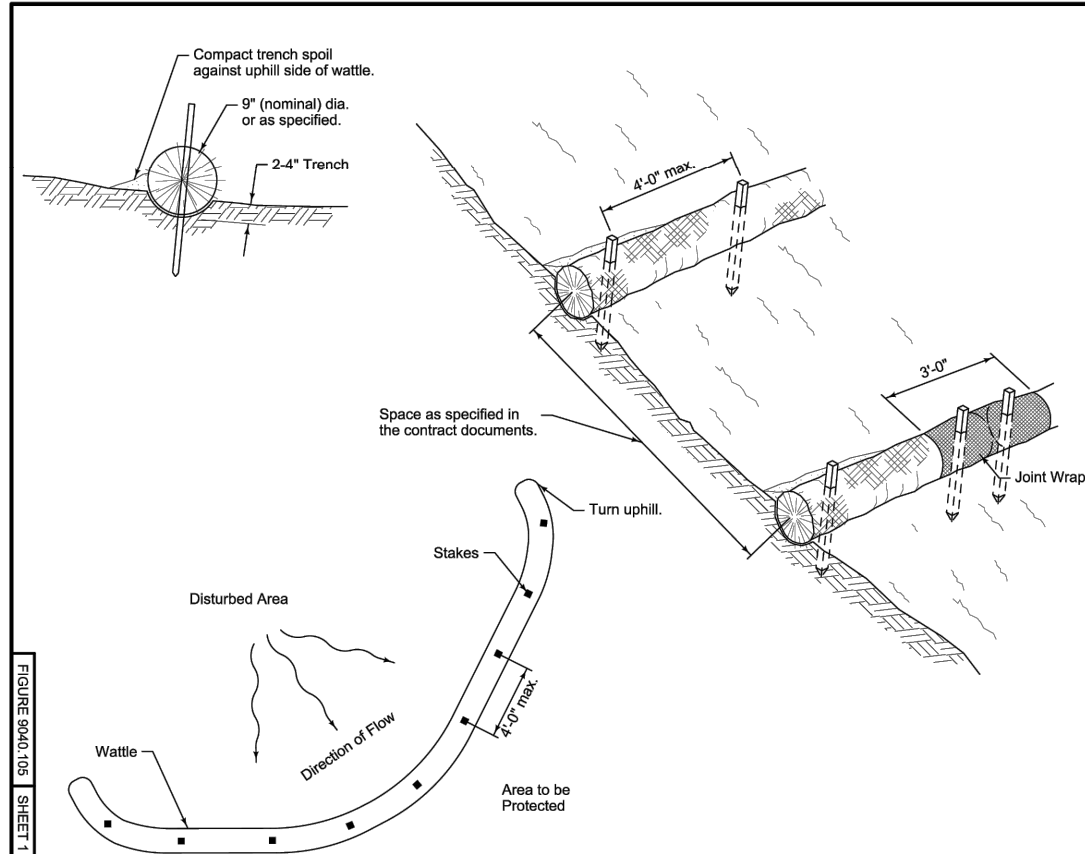


- ① Secure blanket to ground according to manufacturer's recommended anchoring pattern and minimum shown in Table 1.

TABLE 1	
Max. slope	Min. anchors
≤ 3:1	1.5/yd²
2:1	2/yd²
1:1	2.5/yd²

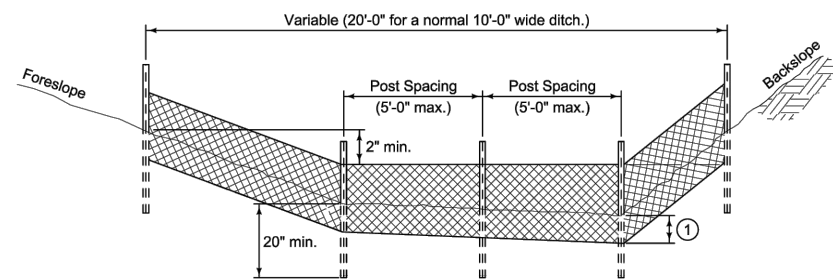


	REVISION
	2 10-21-14
	9040.103
SHEET 1 of 1	
SUDAS Standard Specifications	
ROLLED EROSION CONTROL PRODUCT (RECP) INSTALLATION ON SLOPES	

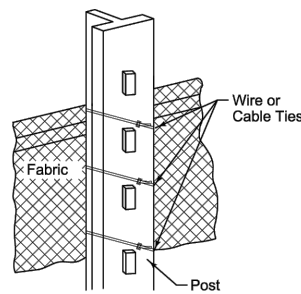


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	REVISION
	2 10-21-14
	9040.105
SHEET 1 of 1	
SUDAS Standard Specifications	
WATTLE	



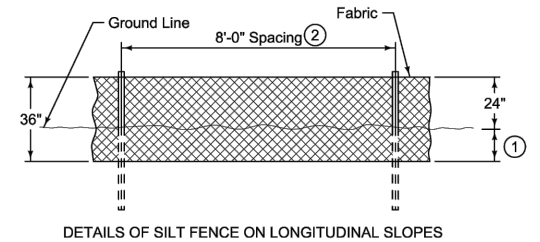
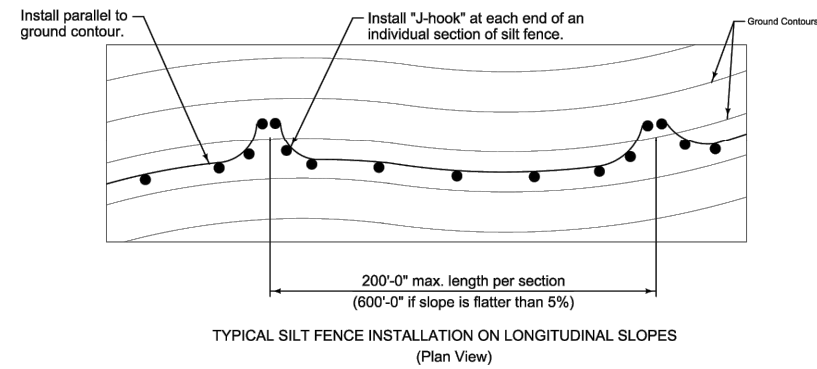
TYPICAL SILT FENCE DITCH CHECK



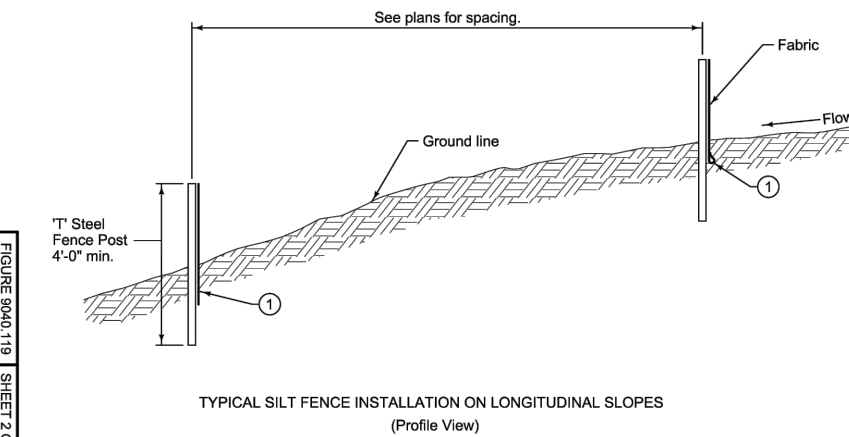
ATTACHMENT TO POST

- ① Insert 12 inches of fabric a minimum of 6 inches deep (fabric may be folded below the ground line).

	REVISION
	2 10-21-14
	9040.119
SHEET 1 of 2	
SUDAS Standard Specifications	
SILT FENCE	



- ① Insert 12 inches of fabric a minimum of 6 inches deep (fabric may be folded below the ground line).
② Reduce post spacing to 5'-0" at water concentration areas, or as required to adequately support fence.



	REVISION
	2 10-21-14
	9040.119
SHEET 2 of 2	
SUDAS Standard Specifications	
SILT FENCE	



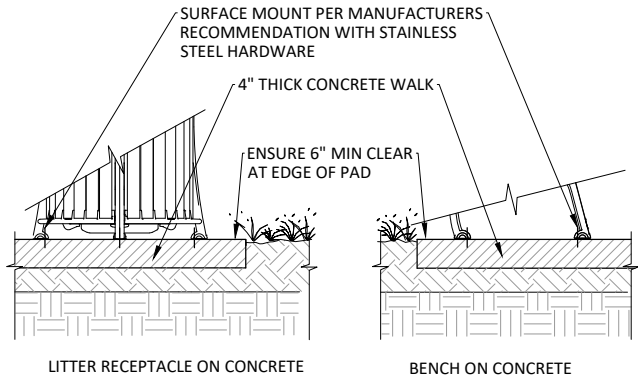
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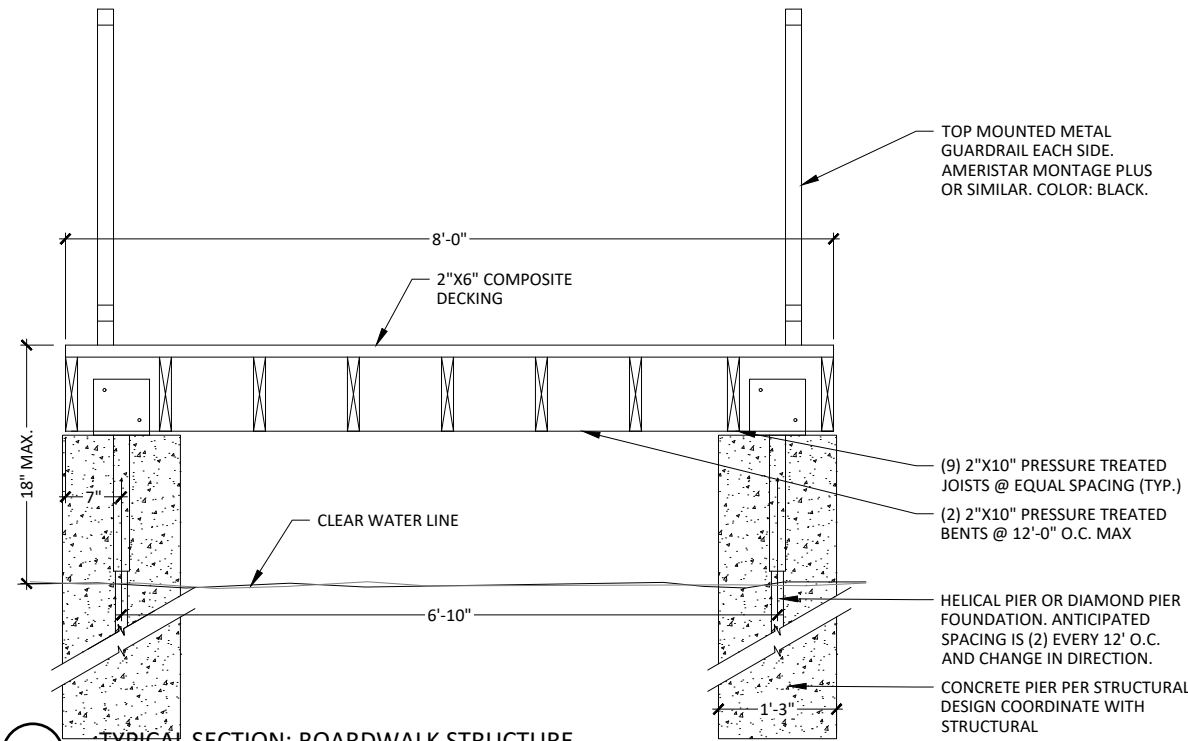
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TYPICAL DETAILS

SHEET
B.05

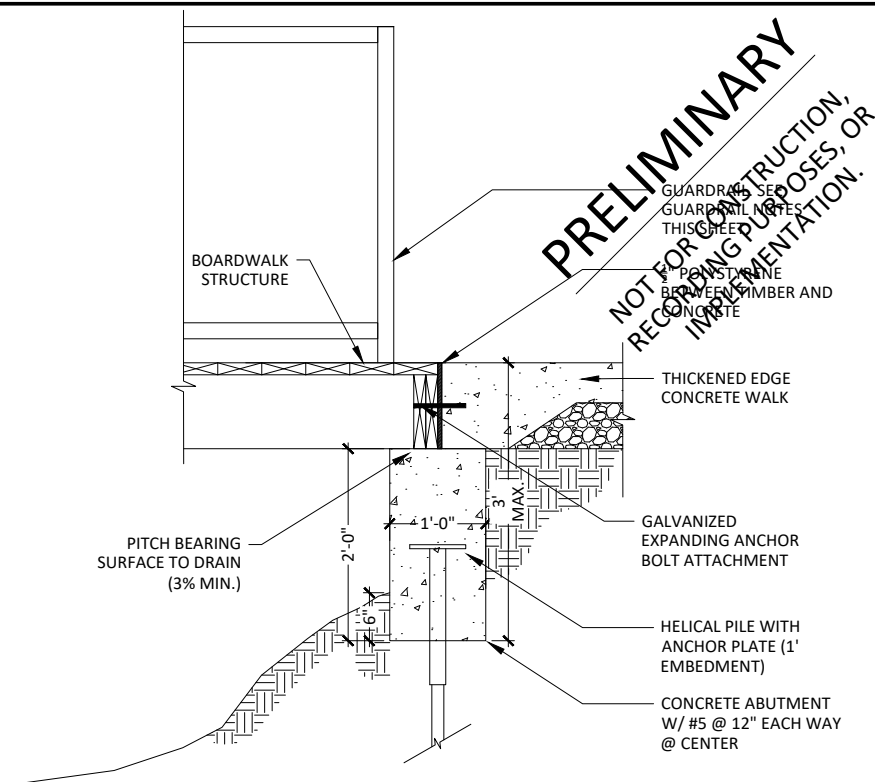


- NOTES:
1. REFER TO SPECS FOR MODEL AND MANUFACTURERS
 2. FIELD VERIFY LOCATION BY LANDSCAPE ARCHITECT
 3. SHIM TO LEVEL SITE FURNISHINGS

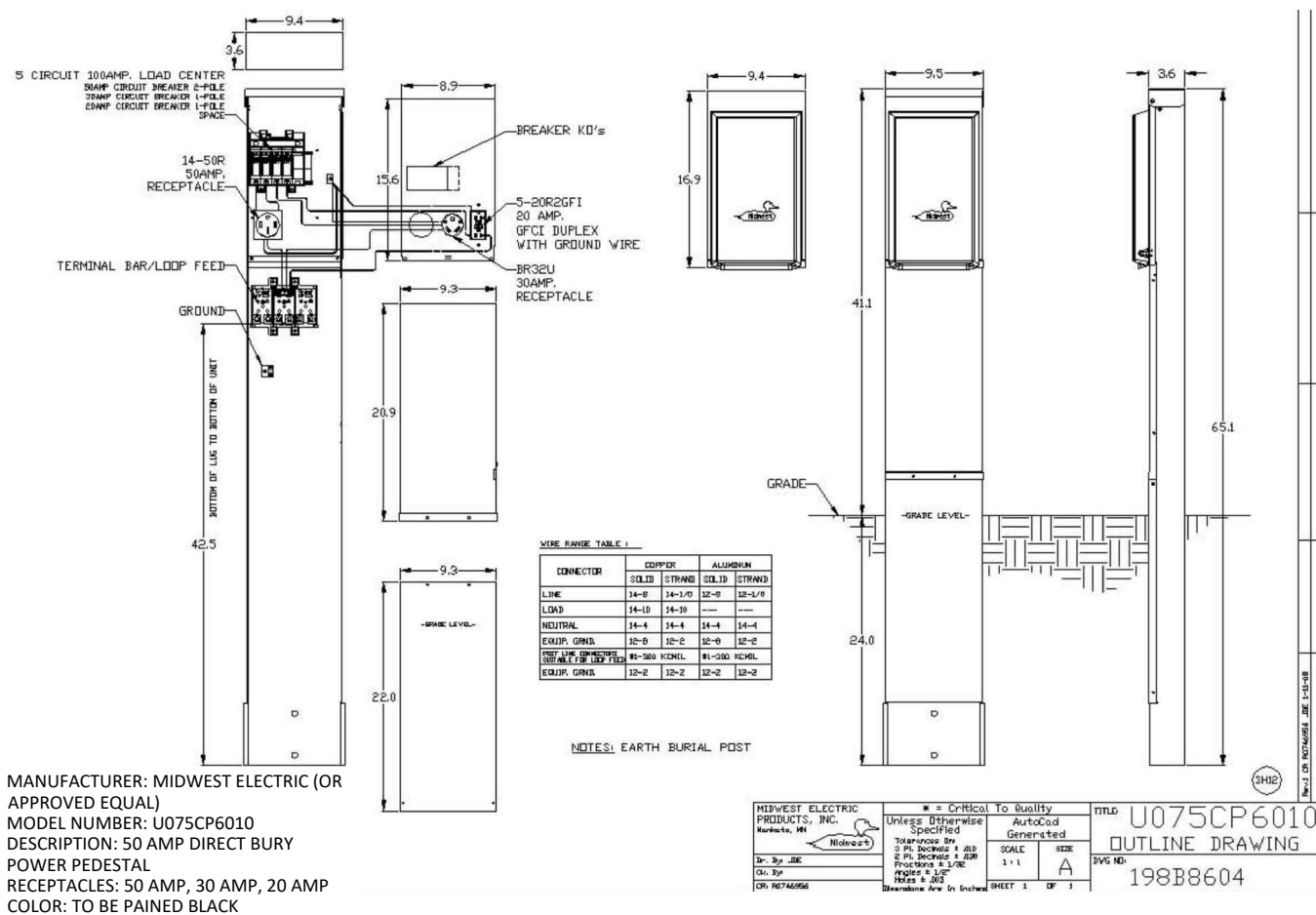
1 TYPICAL SECTION: SURFACE MOUNT FURNISHINGS
SCALE: N.T.S.



2 TYPICAL SECTION: BOARDWALK STRUCTURE
SCALE: N.T.S.

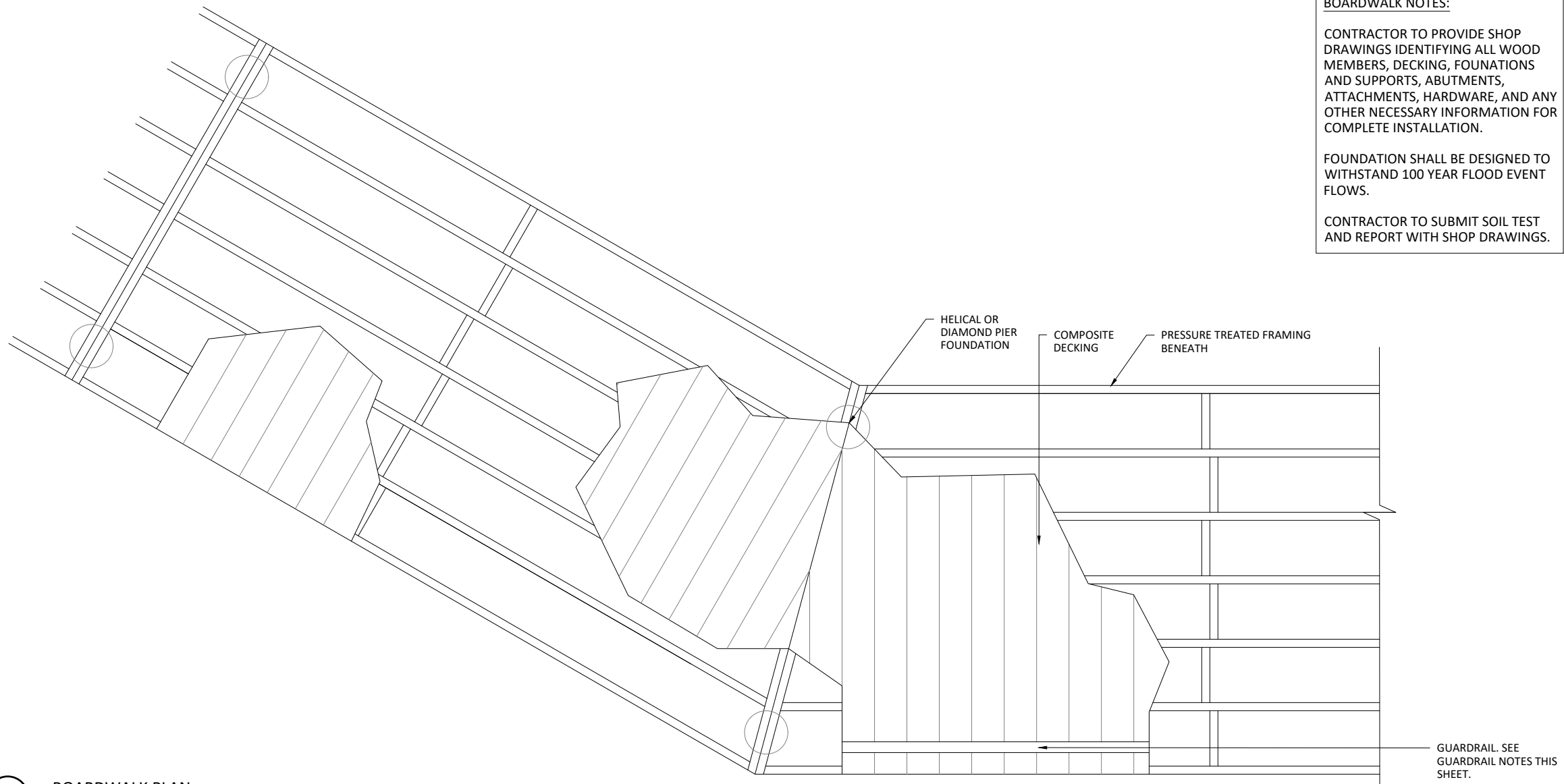


3 TYPICAL SECTION: BOARDWALK ABUTMENT
SCALE: N.T.S.



5 50 AMP EVENT POWER PEDESTAL
SCALE: N.T.S.

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BOARDWALK NOTES:

CONTRACTOR TO PROVIDE SHOP DRAWINGS IDENTIFYING ALL WOOD MEMBERS, DECKING, FOUNDATIONS AND SUPPORTS, ABUTMENTS, ATTACHMENTS, HARDWARE, AND ANY OTHER NECESSARY INFORMATION FOR COMPLETE INSTALLATION.

FOUNDATION SHALL BE DESIGNED TO WITHSTAND 100 YEAR FLOOD EVENT FLOWS.

CONTRACTOR TO SUBMIT SOIL TEST AND REPORT WITH SHOP DRAWINGS.

1 BOARDWALK PLAN
SCALE: N.T.S.

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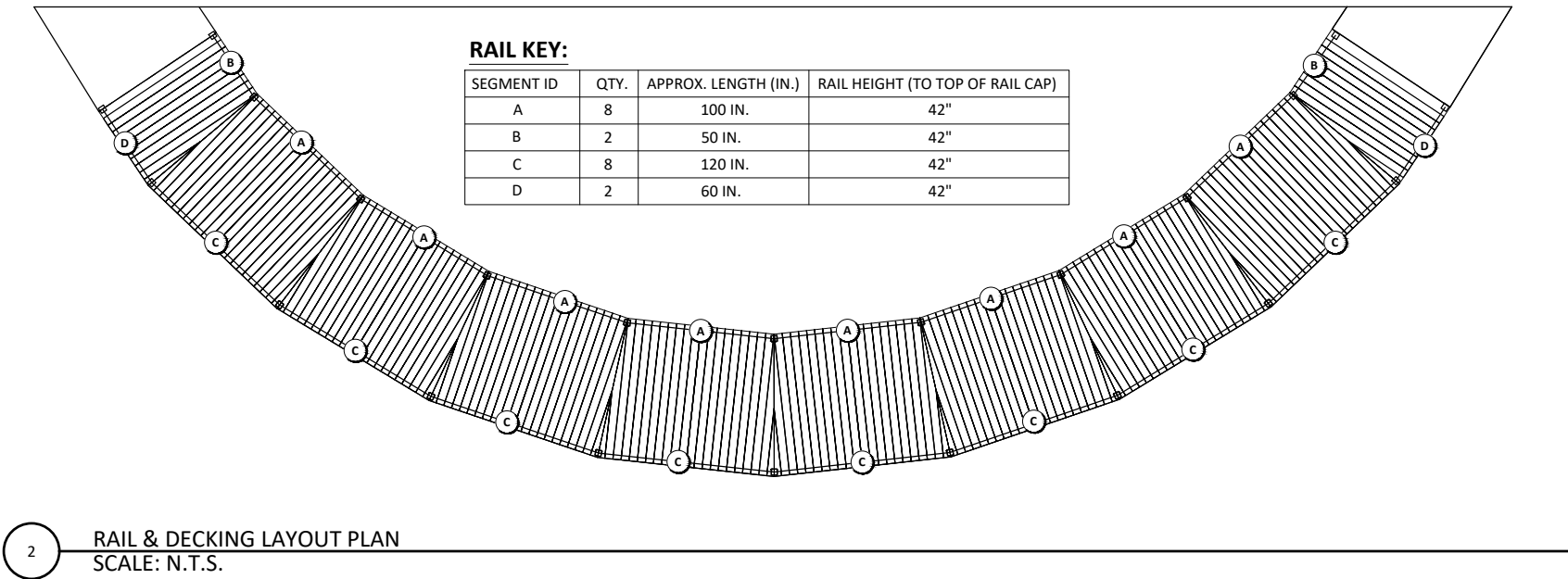
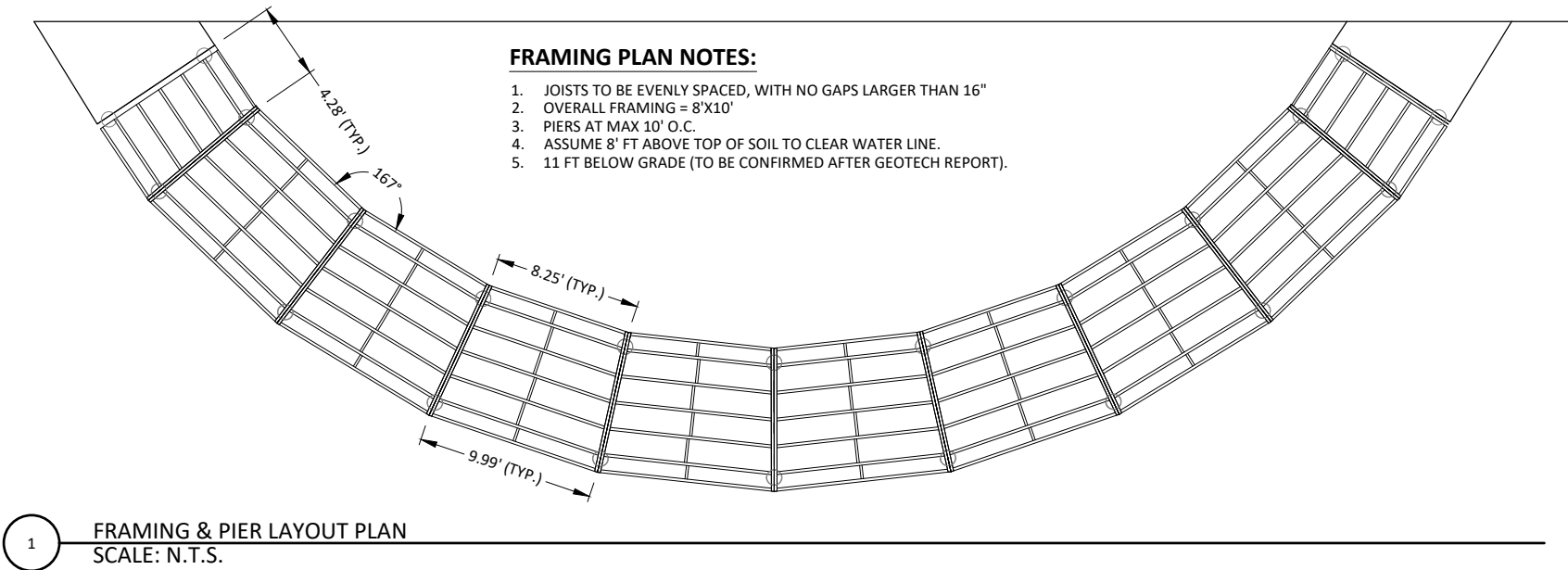


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COMPOSITE DECKING:

- MANUFACTURER: TREX
- MODEL: TREX TRANSCEND
- COLOR: SPICED RUM

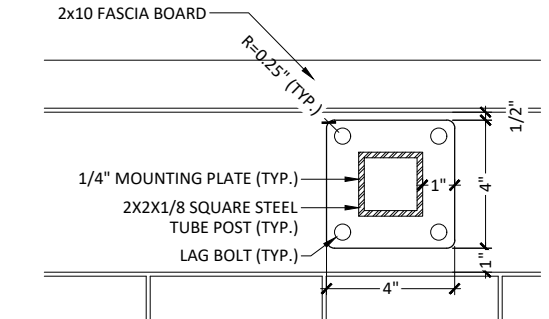
OR APPROVED EQUAL

GUARDRAIL:

- MANUFACTURER: TREX
- MODEL: TREX SIGNATURE (LOOK A: ALUMINUM, ALUMINUM ROUND BALUSTER)
- COLOR: CHARCOAL BLACK
- MOUNTING: EMBEDDED PER MANUFACTURER

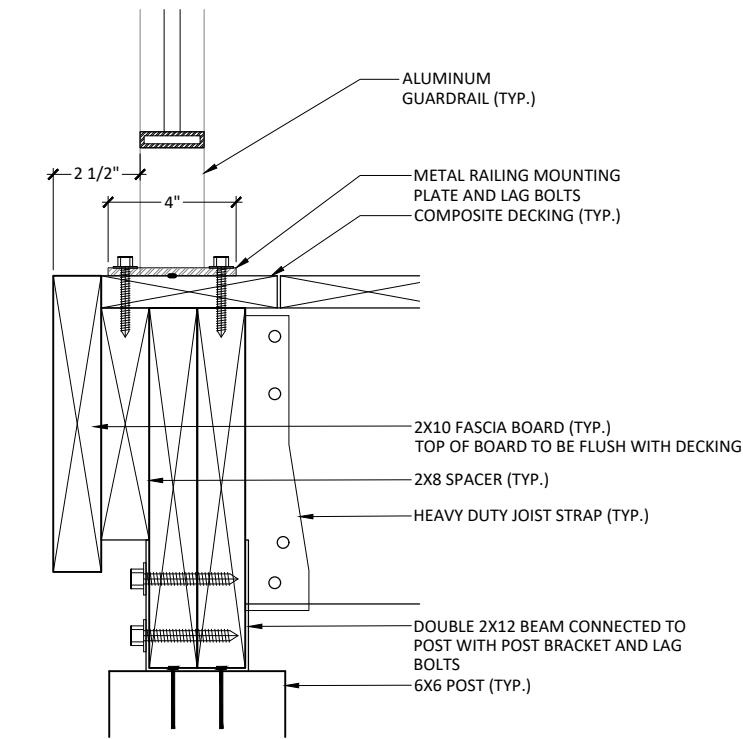
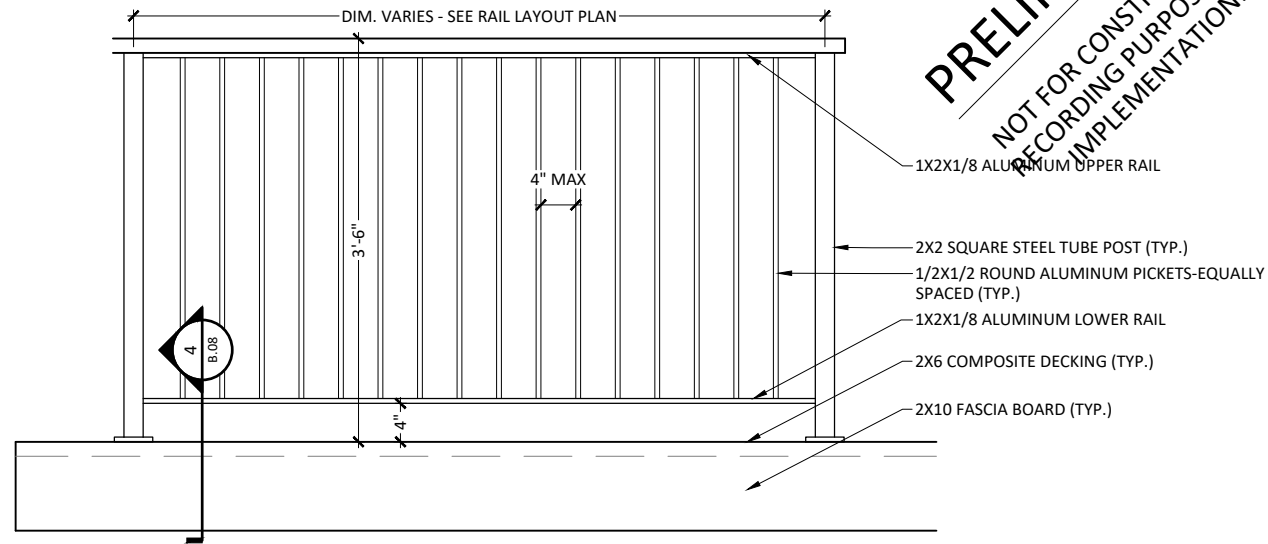
OR APPROVED EQUAL

CONTACT:
TREX
1-800-289-8739
<https://www.trex.com>



METAL RAILING NOTES:

- ALL METAL RAILING COMPONENTS TO BE POWDER COATED
- POWDER COAT COLOR TO BE DETERMINED BY OWNER PRIOR TO FABRICATION
- ALL WELDS TO BE CONTINUOUS AND SMOOTH
- CONTRACTOR TO FIELD VERIFY RAIL DIMENSIONS
- CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR ALL RAILING SEGMENTS



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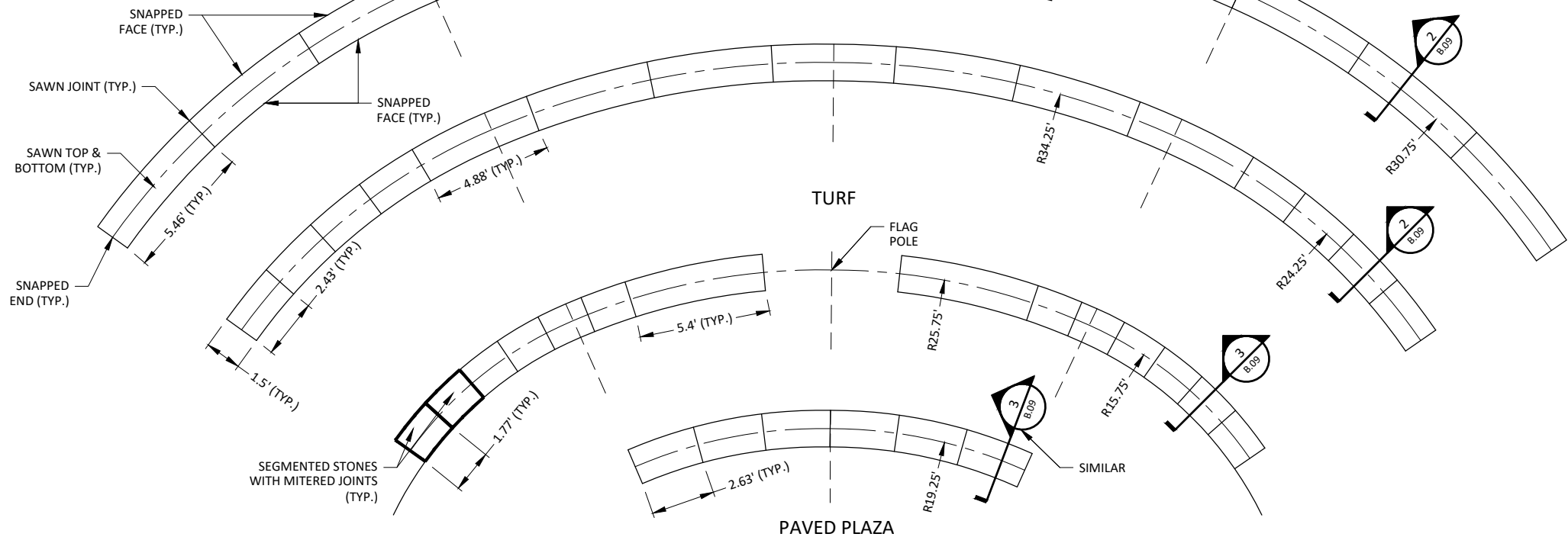
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LIMESTONE NOTES:

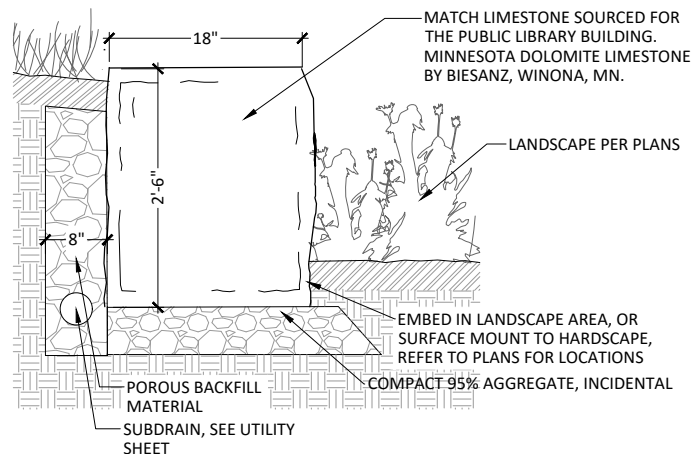
MATCH LIMESTONE SOURCED FOR THE PUBLIC LIBRARY BUILDING.

MINNESOTA DOLOMITE LIMESTONE BY BIESANZ, WINONA, MN.



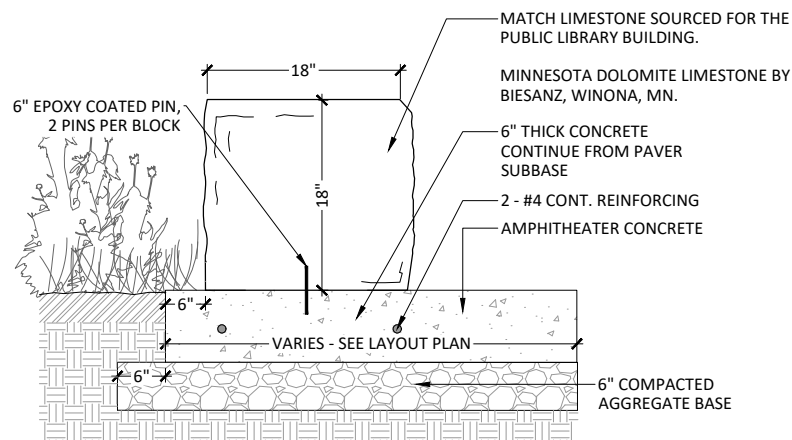
1

STONE BENCH IN LANDSCAPE
SCALE: N.T.S.



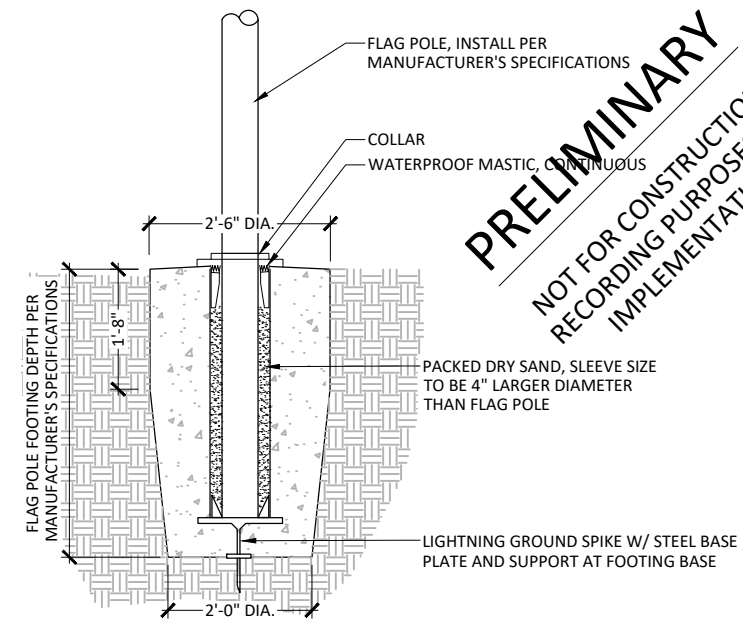
2

STONE BENCH IN LANDSCAPE
SCALE: N.T.S.



3

STONE BENCH IN LANDSCAPE
SCALE: N.T.S.



4

TYPICAL SECTION: FLAGPOLE
SCALE: N.T.S.



FLAGPOLE:

1. MANUFACTURER: LIBERTY FLAGPOLES
2. MODEL: LIB-ECX25 (25' ALUMINUM FLAGPOLE - EXTERNAL HALYARD - COMMERCIAL GRADE)
3. FINISH: SATIN ALUMINUM
4. MOUNTING: EMBEDDED PER MANUFACTURER

OR APPROVED EQUAL

CONTACT:

LIBERTY FLAGPOLES
800-314-2392
support@libertyflagpoles.com

FLAGPOLE LIGHT:

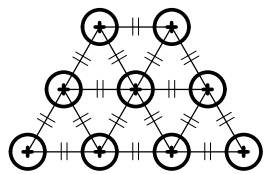
1. MANUFACTURER: LARSON ELECTRONICS
2. MODEL: LED1X10WRE-1S-FLGP
3. COLOR: BLACK
4. MOUNTING: ADJUSTABLE U-BRACKET

OR APPROVED EQUAL

CONTACT:

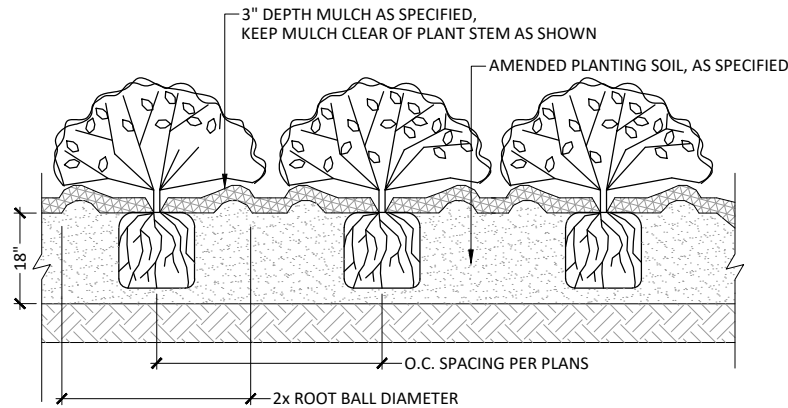
LARSON ELECTRONICS
1-877-492-8439
sales@larsonelectronics.com

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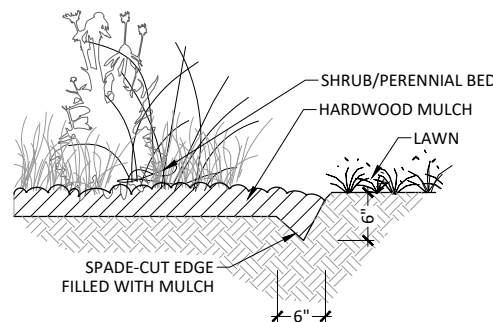
- NOTES:
1. O.C. TRIANGULAR PLANT SPACING PER PLANS
 2. AREAS IDENTIFIED ON PLANTING PLAN AS O.C. SHALL BE TRIANGULAR SPACED
 3. SEE PLANTING PLAN/SCHEDULE FOR SPECIES

PERENNIAL PLANT SPACING
SCALE: N.T.S.

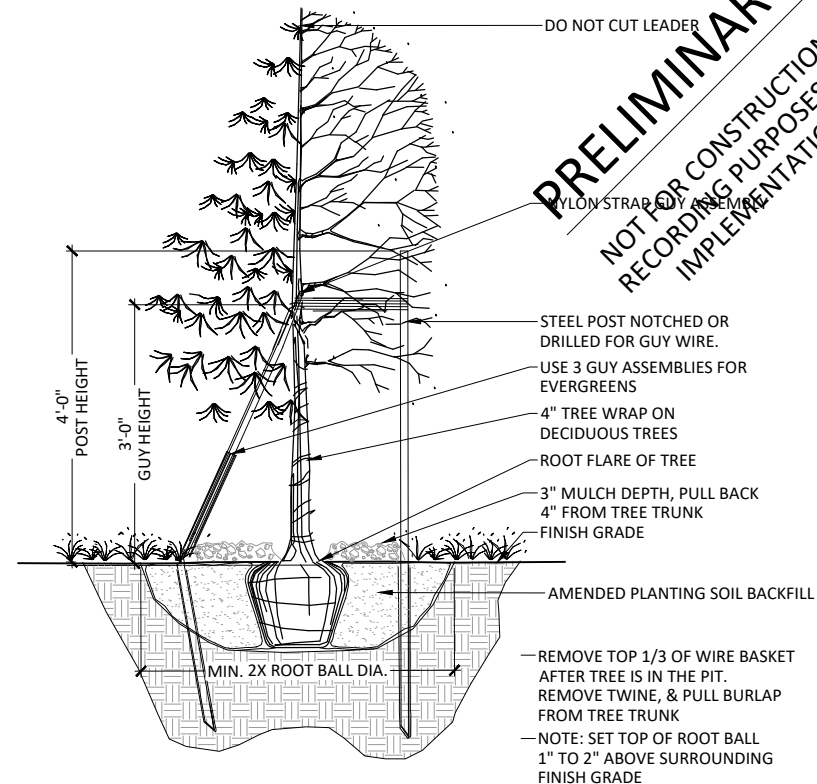


PERENNIAL / SHRUB PLANTING
SCALE: N.T.S.

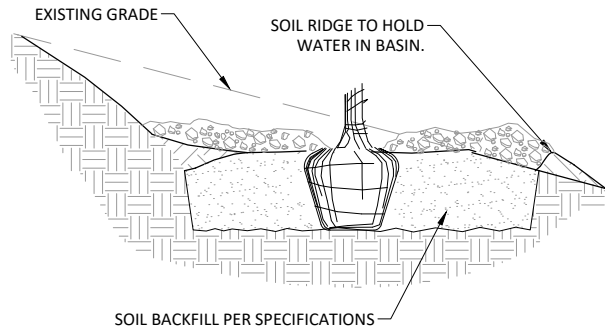
- NOTES:
- SPADE-CUT EDGE TO BE INCIDENTAL TO PLANT MATERIAL AND SHALL BE USED WHERE ALL LANDSCAPE BEDS MEET ADJACENT SEEDED OR LAWN AREAS.



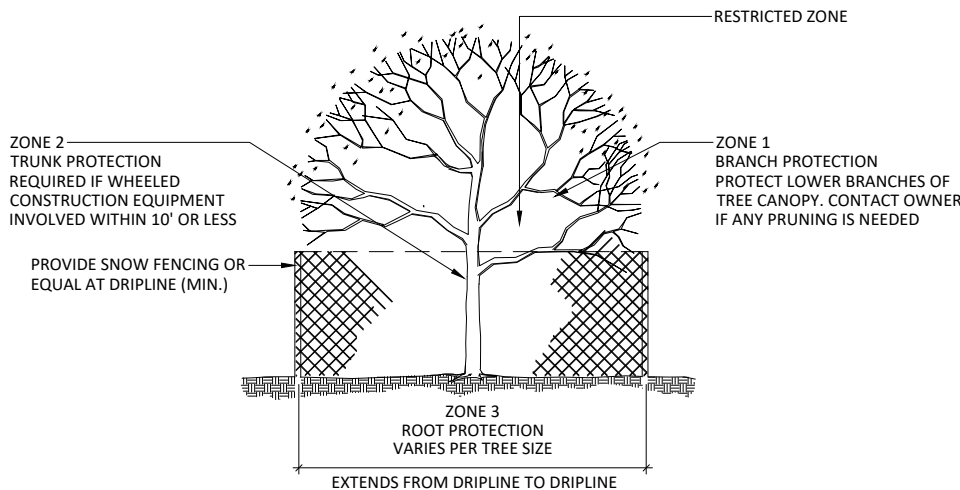
SECTION: SPADE-CUT EDGE
SCALE: N.T.S.



TREE PLANTING
SCALE: N.T.S.



TREE PLANTING ON SLOPES
SCALE: N.T.S.



EXISTING TREE PROTECTION
SCALE: N.T.S.

TREE PROTECTION NOTES

1. ALL TREES TO BE PROTECTED AND PRESERVED SHALL BE PER DETAIL. GROUPING OF MORE THAN ONE TREE MAY OCCUR.
2. TREES TO BE PROTECTED AND PRESERVED SHALL BE IDENTIFIED ON THE TRUNK WITH WHITE SURVEY TAPE.
3. TO PREVENT TREE ROOT SMOTHERING, SOIL STOCKPILES, SUPPLIES, EQUIPMENT OR ANY OTHER MATERIAL SHALL NOT BE PLACED OR STORED WITHIN A TREE DRIP LINE OR WITHIN 15 FEET OF A TREE TRUNK, WHICHEVER IS GREATER.
4. TREE ROOTS SHALL NOT BE CUT UNLESS CUTTING IS UNAVOIDABLE.
5. TRENCHES SHALL BE HAND DUG WITHIN THE DRIP LINE IN AREAS WHERE ROOTS TWO INCHES IN DIAMETER AND GREATER ARE PRESENT, OR WHEN IN CLOSE PROXIMITY TO LOW BRANCHING TREES. WHENEVER POSSIBLE, ROOTS TWO INCHES OR GREATER IN DIAMETER SHALL BE TUNNELED OR BORED UNDER AND SHALL BE COVERED TO PREVENT DEHYDRATION.
6. WHEN ROOT CUTTING IS UNAVOIDABLE, A CLEAN SHARP CUT SHALL BE MADE TO AVOID SHREDDING OR SMASHING. ROOT CUTS SHOULD BE MADE BACK TO A LATERAL ROOT. WHENEVER POSSIBLE, TREE ROOTS SHOULD BE CUT BETWEEN LATE FALL AND BUD OPENING, WHEN ROOT ENERGY SUPPLIES ARE HIGH AND CONDITIONS ARE LEAST FAVORABLE FOR DISEASE CAUSING AGENTS. EXPOSED ROOTS SHALL BE COVERED IMMEDIATELY TO PREVENT DEHYDRATION. ROOTS SHALL BE COVERED WITH SOIL OR BURLAP AND KEPT MOIST.
7. WATERING OF PROTECTED TREES IN WHICH ROOTS WERE CUT SHALL BE PROVIDED BY THE CONTRACTOR.
8. AUGER TUNNELING RATHER THAN TRENCHING SHOULD BE USED FOR UTILITY PLACEMENT WITHIN DRIP LINE OF TREE.
9. FENCING MATERIAL SHALL ENCIRCLE ANY TREE WHOSE OUTER DRIP LINE EDGE IS WITHIN 20 FEET OF ANY CONSTRUCTION ACTIVITIES.
10. FENCING MATERIAL SHALL BE BRIGHT, CONTRASTING COLOR, DURABLE, AND A MINIMUM OF FOUR FEET IN HEIGHT.
11. FENCING MATERIAL SHALL BE SET AT THE DRIP LINE OR 15 FEET FROM TREE TRUNK, WHICHEVER IS GREATER, AND MAINTAINED IN AN UPRIGHT POSITION THROUGHOUT THE DURATION OF CONSTRUCTION ACTIVITIES.
12. ANY GRADE CHANGES (SUCH AS THE REMOVAL OF TOPSOIL OR ADDITION OF FILL MATERIAL) WITHIN THE DRIP LINE SHOULD BE AVOIDED FOR EXISTING TREES TO REMAIN. RETAINING WALLS AND TREE WELLS ARE ACCEPTABLE ONLY WHEN CONSTRUCTED PRIOR TO GRADE CHANGE.

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ESTIMATED PROJECT QUANTITIES - BASE BID					
ITEM NO.	ITEM CODE	ITEM	UNIT	QUANTITY	AS-BUILT QTY.
1	2010-C	CLEARING AND GRUBBING	LS	1	
2	2010-D-1	TOPSOIL, ON-SITE	CY	280	
3	2010-D-2	TOPSOIL, COMPOST AMENDED	CY	100	
4	2010-E	EXCAVATION, CLASS 10	CY	155	
5	2010-G	SUBGRADE PREPARATION	SY	60	
6	2010-J	SUBBASE, MODIFIED, 4 INCHES	SY	410	
7	2010-J	SUBBASE, MODIFIED, 6 INCHES	SY	140	
8	4040-A	SUBDRAIN, TYPE 2D, HDPE, 8 INCH	LF	320	
9	4040-C-1	SUBDRAIN CLEANOUT, TYPE A-1, 8 INCH	EA	3	
10	4040-D-1	SUBDRAIN OUTLETS AND CONNECTIONS, DITCH, 8 INCH	EA	2	
11	7010-A	PAVEMENT, PCC, 7 INCH, C4	SY	60	
12	7030-A-1	REMOVAL OF SIDEWALK	SY	145	
13	7030-E	SIDEWALK, PCC, 5 INCH	SY	325	
14	7030-E	SIDEWALK, PCC, 6 INCH, INTEGRAL COLOR	SY	60	
15	7040-I	CURB AND GUTTER REMOVAL	LF	30	
16	8020-C	PAINTED PAVEMENT MARKINGS, DURABLE	LS	1	
17	8020-G	PAINTED SYMBOLS AND LEGENDS, DURABLE	EA	3	
18	8030-A	TEMPORARY TRAFFIC CONTROL	LS	1	
19	8040-A	TRAFFIC SIGNS, R7-8A, 12 X 18	EA	2	
20	8040-A	TRAFFIC SIGNS, R7-8BP, 18 X 9	EA	2	
21	8040-D	PERFORATED SQUARE STEEL TUBE POSTS	LF	2	
22	9010-A	CONVENTIONAL SEEDING, SEEDING, FERTILIZING, AND MULCHING, TYPE 1 - PERMANENT LAWN	LS	1	
23	9010-D	WATERING	MGAL	5	
24	9020-A	SOD	SQ	80	
25	9030-B	PLANTS WITH WARRANTY, ____ (TYPE), ____ (SIZE)	EA	0	
26	9030-B	PLANTS WITH WARRANTY, DECIDUOUS SHRUBS, ____ (SIZE)	EA	0	
27	9030-B	PLANTS WITH WARRANTY, ORNAMENTAL TREE, ____ (SIZE)	EA	0	
28	9030-B	PLANTS WITH WARRANTY, PERENNIAL GROUND COVER, (1 GAL)	EA	0	
29	9030-B	PLANTS WITH WARRANTY, DECIDUOUS TREE, ____ (SIZE)	EA	0	
30	9040-E	TEMPORARY RECP, ____ (TYPE)	SY	0	
31	9040-N-1	SILT FENCE OR SILT FENCE DITCH CHECK	LF	750	
32	9040-N-3	SILT FENCE OR SILT FENCE DITCH CHECK, REMOVAL OF DEVICE	LF	750	
33	9040-T-1	INLET PROTECTION DEVICE, WATTLES	EA	3	
34	9060-F	TEMPORARY FENCE, CHAIN LINK, 60 INCH	LF	550	
35	11020-A	MOBILIZATION	LS	1	
36	11050-A	CONCRETE WASHOUT	LS	1	

ESTIMATE REFERENCE INFORMATION		
ITEM NO.	ITEM CODE	DESCRIPTION
1	2010-C	<u>CLEARING AND GRUBBING</u>
2	2010-D-1	<u>TOPSOIL, ON-SITE</u> TOPSOIL WITHIN THE GRADING LIMITS OF THE PROJECT SHALL BE STRIPPED, SALVAGED, AND RESPREAD AT A MINIMUM DEPTH OF 6". ITEM INCLUDES HAULING OFF-SITE TO STORE AND HAULING BACK IN IF NEEDED. SALVAGED TOPSOIL SHALL REMAIN WITHIN THE RIGHT-OF-WAY UNLESS AGREEMENTS MADE WITH THE PROPERTY OWNER. CONTRACTOR TO PAY FOR RESTORATION COST IF LOCATED OUTSIDE OF THE RIGHT OF WAY. REPAIRS SHALL BE PAID SEPERATELY. RAW STRIP = 151 CY, RAW FILL = 100 CY, ADJUSTED FILL (1.40 FACTOR) = 140 CY
3	2010-D-2	<u>TOPSOIL, COMPOST AMENDED</u>
4	2010-E	<u>EXCAVATION, CLASS 10</u> THIS ITEM SHALL INCLUDE THE REMOVAL OF EXISTING SOIL, HAULING, DISPOSAL/EXPORT AND RE-GRADING AS PER PLAN TO FACILITATE ALL PROPOSED SECTIONS. ALL BORROW SHALL BE PROVIDED BY THE CONTRACTOR. EXCESS OR UNSUITABLE EXCAVATED MATERIAL WILL BECOME PROPERTY OF THE CONTRACTOR AND WILL BE HAULED OFF-SITE INCIDENTAL TO THE ITEM. NO ADDITIONAL PAYMENT WILL BE ALLOWED FOR OVERHAUL OF WASTE. TOPSOIL MEASUREMENT SHALL NOT BE PAID AS PART OF THIS EXCAVATION ITEM. RAW CUT = 125 CY, RAW FILL = 111 CY, ADJUSTED FILL (1.40 FACTOR) = 155 CY RAW EARTHWORK QUANTITIES ARE FOR INFORMATIONAL PURPOSES ONLY ARE A COMPARISON OF EXISTING CONDITIONS AND PROPOSED CONDITIONS AND MAY INCLUDE MATERIALS AND OPERATIONS PAID FOR UNDER OTHER BID ITEMS E.G. PAVEMENT REMOVAL, STORM SEWER TRENCHED, PCC PAVEMENT, SUBBASE, TOPSOIL, COMPOST AMENDMENT, ETC. MEASUREMENT WILL NOT BE MADE AND QUANTITY PAID WILL BE ON A PERCENT OF ITEM COMPLETE.
5	2010-G	<u>SUBGRADE PREPARATION</u>
6	2010-J	<u>SUBBASE, MODIFIED, 4 INCHES</u> THIS ITEM INCLUDES, BUT IS NOT LIMITED TO, COMPACTION OF SUBGRADE, FURNISHING, PLACING, COMPACTING, AND TRIMMING TO THE PROPER GRADE. IT SHALL BE PLACED 1' OUTSIDE OF THE SIDEWALK EXTENTS.
7	2010-J	<u>SUBBASE, MODIFIED, 6 INCHES</u> THIS ITEM INCLUDES, BUT IS NOT LIMITED TO, COMPACTION OF SUBGRADE, FURNISHING, PLACING, COMPACTING, AND TRIMMING TO THE PROPER GRADE.
8	4040-A	<u>SUBDRAIN, TYPE 2D, HDPE, 8 INCH</u> ENGINEERING FABRIC SHALL BE INCIDENTAL TO THIS ITEM. LENGTHS OF ALL FITTINGS WILL BE INCLUDED IN LENGTH OF PIPE MEASURED.
9	4040-C-1	<u>SUBDRAIN CLEANOUT, TYPE A-1, 8 INCH</u> 8" TEE FITTING OR APPROVED EQUAL SHALL BE INCIDENTAL TO THIS ITEM.
10	4040-D-1	<u>SUBDRAIN OUTLETS AND CONNECTIONS, DITCH, 8 INCH</u> MATERIAL SHALL BE CORRUGATED HDPE. INSTALL RMEOVABLE FORK RODENT GUARD. REMOVABLE FORK TYPE RODENT GUARD SHALL BE INCIDENTAL TO THIS ITEM.
11	7010-A	<u>PAVEMENT, PCC, 7 INCH, C4</u> INTEGRAL CURB AND GUTTER SHALL BE INCIDENTAL TO THIS ITEM.
12	7030-A-1	<u>REMOVAL OF SIDEWALK</u> ALL REMOVALS TO BE MARKED AND MEASURED BY THE ENGINEER. FULL DEPTH SAW CUTS ALONG THE REMOVAL LIMITS ARE INCIDENTAL TO THIS ITEM. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADDITIONAL REMOVAL, EARTHWORK, SUBGRADE PREPARATION, MODIFIED SUBBASE AND PAVING EXPENSES DUE TO DAMAGED EDGES. ADDITIONAL REMOVAL TO BE DETERMINED BY ENGINEER. PAYMENT SHALL BE MADE FOR THE AREA OF PAVEMENT REMOVED REGARDLESS OF THICKNESS.
13	7030-E	<u>SIDEWALK, PCC, 5 INCH</u> CONCRETE WILL BE C OR M MIX WITH A MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI AT 28 DAYS. SLAG IS NOT ALLOWED. COMPACTION OF SUBGRADE IS INCIDENTAL TO THIS ITEM. CONCRETE TESTING WILL BE PROVIDED BY THE OWNER. NO EXTRA PAYMENT FOR COLD WEATHER PAVING.
14	7030-E	<u>SIDEWALK, PCC, 6 INCH, INTEGRAL COLOR</u> SEE ITEM 13. SEE TECHNICAL SPECIFICATIONS
15	7040-I	<u>CURB AND GUTTER REMOVAL</u>
16	8020-C	<u>PAINTED PAVEMENT MARKINGS, DURABLE</u> THIS ITEM SHALL INCLUDE ALL MATERIALS, EQUIPMENT, AND LABOR TO INSTALL PAVEMENT MARKINGS AS SHOWN IN THE PLANS. PAVEMENT MARKINGS SHALL BE PROTECTED FROM SCUFFS OR OTHER DAMAGE AFTER INSTALLATION.
17	8020-G	<u>PAINTED SYMBOLS AND LEGENDS, DURABLE</u> THIS ITEM SHALL INCLUDE ALL MATERIALS, EQUIPMENT, AND LABOR TO INSTALL PAINTED SMYBOLS AND LEGENDS. PAINTED SMYBOLS AND LEGENDS SHALL BE PROTECTED FROM SCUFFS OR OTHER DAMAGE AFTER INSTALLATION.
18	8030-A	<u>TEMPORARY TRAFFIC CONTROL</u> THIS ITEM SHALL INCLUDE INSTALLATION, MAINTENANCE, AND REMOVAL OF TEMPORARY TRAFFIC CONTROL; REMOVAL AND REINSTALLATION OR COVERING OF PERMANENT TRAFFIC CONTROL DEVICES THAT CONFLICT WITH THE TEMPORARY TRAFFIC CONTROL PLAN; MONITORING AND DOCUMENTING TRAFFIC CONTROL CONDITIONS; AND FLAGGERS. WHEN REQUIRED IN THE CONTRACT DOCUMENTS, THE FOLLOWING ARE ALSO INCLUDED IN TRAFFIC CONTROL UNLESS A SEPARATE BID ITEM IS PROVIDED; PORTABLE DYNAMIC MESSAGE SIGNS, TEMPORARY BARRIER RAIL, TEMPORARY FLOOD LIGHTING, AND PILOT CARS.
19	8040-A	<u>TRAFFIC SIGNS, R7-8A, 12 X 18</u> THIS ITEM SHALL INCLUDE ALL MATERIALS, EQUIPMENT, AND LABOR REQUIRED TO INSTALL SIGNS, INCLUDING MOUNTING HARDWARE. REFER TO THE MOST CURRENT MUTCD FOR MOUNTING HEIGHT. THE MINIMUM HEIGHT, MEASURED VERTICALLY FROM THE BOTTOM OF THE SIGN TO THE ELEVATION OF THE NEAR EDGE OF THE TRAVELED WAY, SHALL BE 7 FEET.
20	8040-A	<u>TRAFFIC SIGNS, R7-8BP, 18 X 9</u> SEE ITEM 19

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21	8040-D	<u>PERFORATED SQUARE STEEL TUBE POSTS</u> THIS ITEM SHALL INCLUDE ALL MATERIALS, EQUIPMENT, AND LABOR REQUIRED TO INSTALL POSTS, INLCUDING ALL MOUNTING HARDWARE.
22	9010-A	<u>CONVENTIONAL SEEDING, SEEDING, FERTILIZING, AND MULCHING, TYPE 1 - PERMANENT LAWN</u> SEED ALL AREAS DISTURBED BY CONSTRUCTION AS INDICATED ON PLANS. THE COST FOR WATERING UNTIL SEED ESTABLISHMENT IS ACCEPTED SHALL BE CONSIDERED INCIDENTAL TO THIS ITEM. ROCK PICKING, FINISH GRADING, SEED BED PREP AND RESEEDING ARE CONSIDERED INCIDENTAL TO THIS ITEM. SEED AND FERTILIZER SHALL BE APPLIED PRIOR TO MULCHING. THE CONTRACTOR IS RESPONSIBLE FOR MOWING AND MAINTAINING SEEDED AREAS UNTIL THE PROJECT IS ACCEPTED BY THE OWNER. SEEDING OF AREAS DISTURBED OUTSIDE OF THE CONSTRUCTION LIMITS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AT NO ADDITIONAL COST TO OWNER. THE SEEDING RATE SHALL BE AT LEAST 260 LBS/ACRE. APPLY A 6-24-24, NITROGEN, PHOSPHATE, POTASH, COMMERCIAL FERTILIZER OR EQUIVALENT AT THE RATE OF 300 LBS PER ACRE. APPLY MULCHING PER MANUFACTERS RECOMMENDATIONS. SEEDING AREAS ASSUMED FOR TWO APPLICATIONS OVER THE AREAS DISTURBED.
23	9010-D	<u>WATERING</u>
24	9020-A	<u>SOD</u>
25	9030-B	<u>PLANTS WITH WARRANTY, _____ (TYPE), _____ (SIZE)</u>
26	9030-B	<u>PLANTS WITH WARRANTY, DECIDUOUS SHRUBS, _____ (SIZE)</u>
27	9030-B	<u>PLANTS WITH WARRANTY, ORNAMENTAL TREE, _____ (SIZE)</u>
28	9030-B	<u>PLANTS WITH WARRANTY, PERENNIAL GROUND COVER, (1 GAL)</u>
29	9030-B	<u>PLANTS WITH WARRANTY, DECIDUOUS TREE, _____ (SIZE)</u>
30	9040-E	<u>TEMPORARY RECP, _____ (TYPE)</u>
31	9040-N-1	<u>SILT FENCE OR SILT FENCE DITCH CHECK</u> MAINTENANCE OF THIS ITEM SHALL BE INCIDENTAL.
32	9040-N-3	<u>SILT FENCE OR SILT FENCE DITCH CHECK, REMOVAL OF DEVICE</u>
33	9040-T-1	<u>INLET PROTECTION DEVICE, WATTLES</u> THIS ITEM SHALL INCLUDE ALL MATERIALS, EQUIPMENT, AND LABOR REQUIRED TO INSTALL, MAINTAIN, AND REMOVE WATTLES. THIS ITEM SHALL BE MEASURED AS 0.5 FOR INSTALLING, AND 0.5 FOR REMOVING.
34	9060-F	<u>TEMPORARY FENCE, CHAIN LINK, 60 INCH</u>
35	11020-A	<u>MOBILIZATION</u>
36	11050-A	<u>CONCRETE WASHOUT</u>

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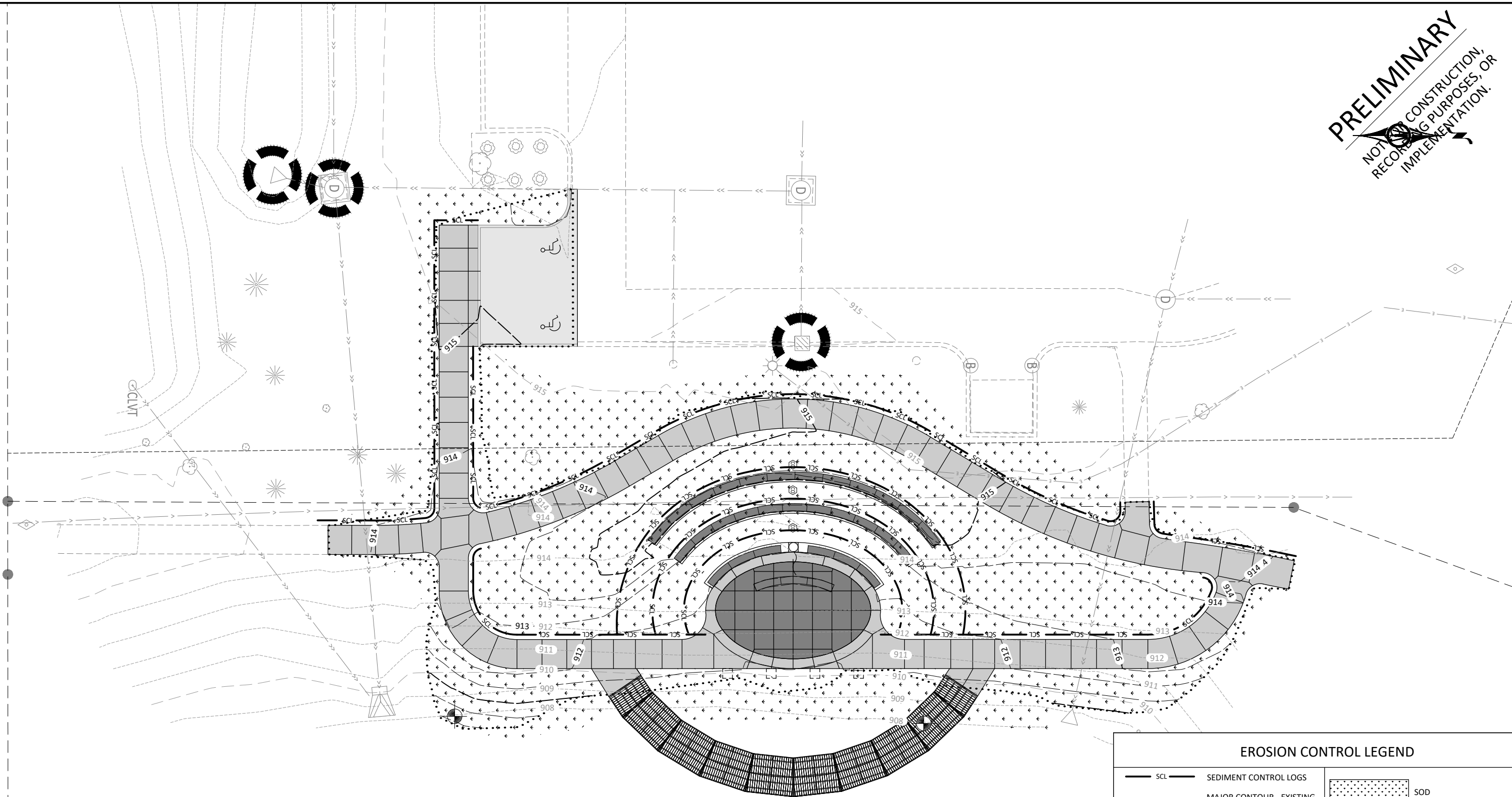


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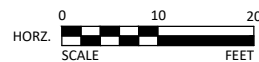
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NOTE:
EROSION CONTROL BEST MANAGEMENT PRACTICES (BMPs) AS SHOWN ON THIS PLAN SHEET ARE RECOMMENDATIONS. THE CONTRACTOR IS RESPONSIBLE FOR DESIGNING, INSTALLING, AND MODIFYING BMPs AS NECESSARY TO PREVENT ILLICIT DISCHARGE FROM THE PROJECT SITE.

EROSION CONTROL LEGEND

	SEDIMENT CONTROL LOGS		SOD
	MAJOR CONTOUR - EXISTING		TURF REINFORCEMENT MAT (TRM)
	MINOR CONTOUR - EXISTING		OTHER APPROVED BEST MANAGEMENT PRACTICE (BMP)
	MAJOR CONTOUR - PROPOSED		STABILIZED CONSTRUCTION EXIT
	MINOR CONTOUR - PROPOSED		
	INLET PROTECTION DEVICE		



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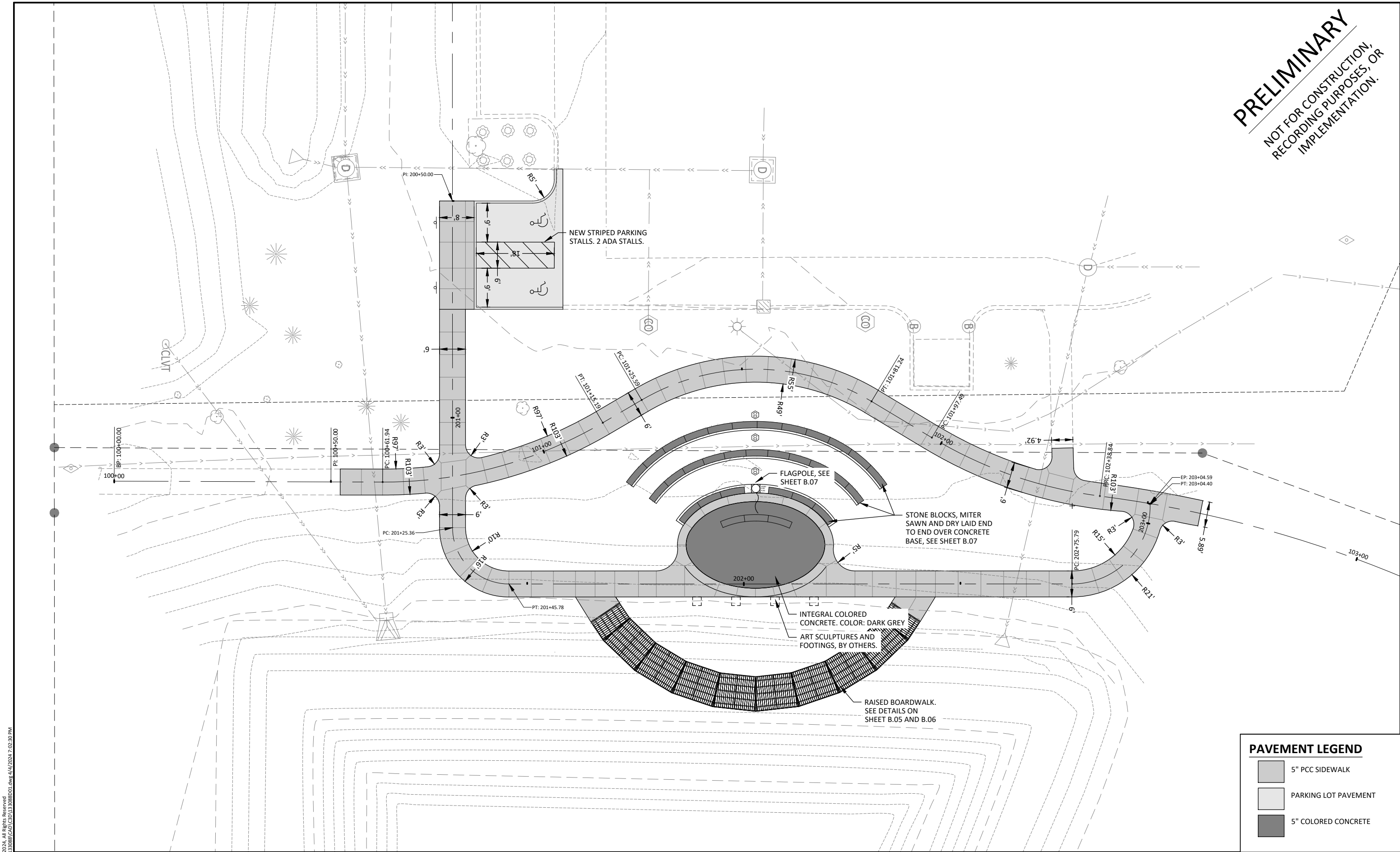


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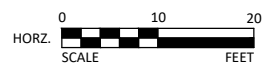
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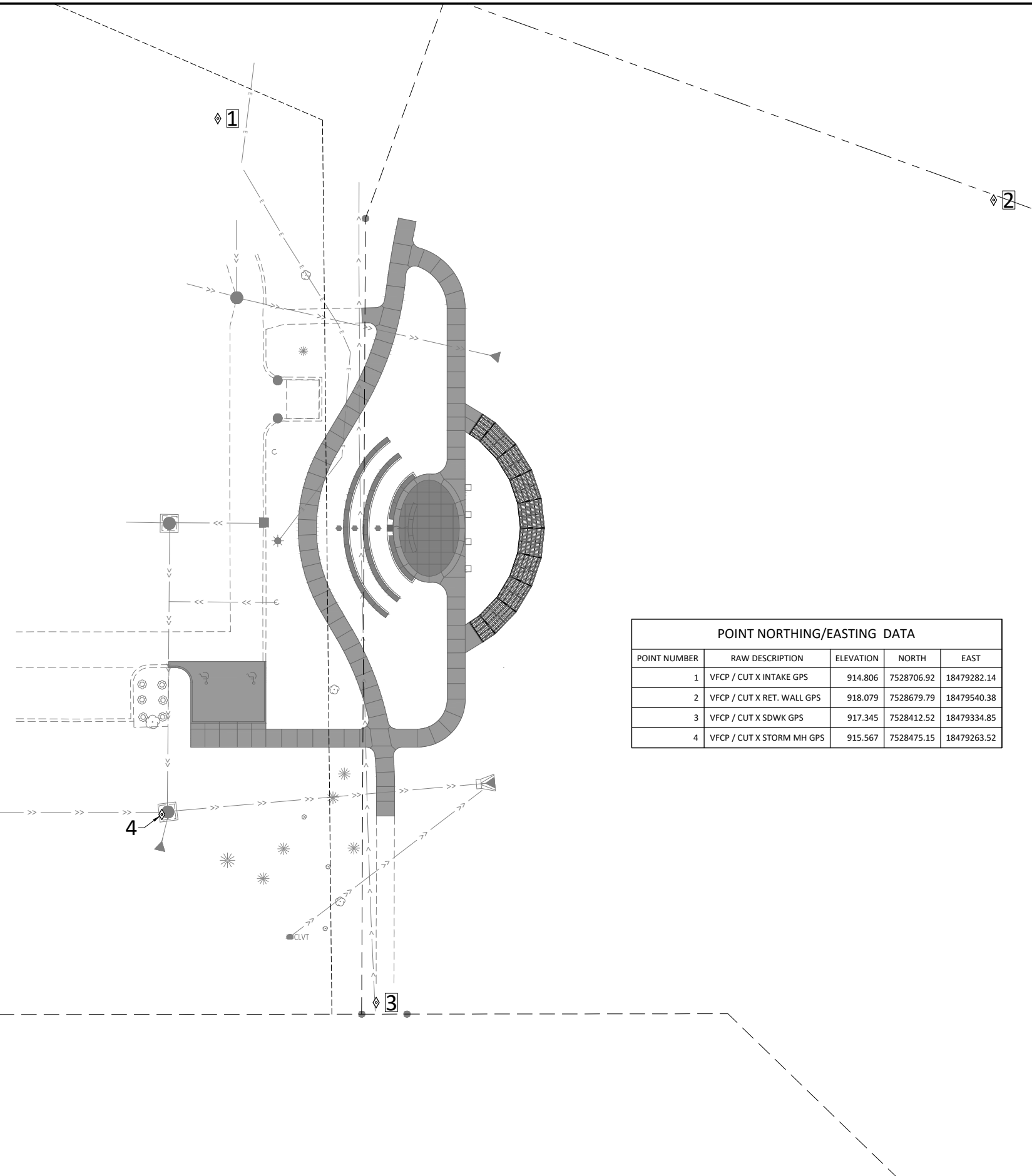


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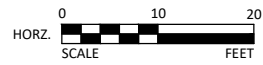
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POINT NORTHING/EASTING DATA				
POINT NUMBER	RAW DESCRIPTION	ELEVATION	NORTH	EAST
1	VFCP / CUT X INTAKE GPS	914.806	7528706.92	18479282.14
2	VFCP / CUT X RET. WALL GPS	918.079	7528679.79	18479540.38
3	VFCP / CUT X SDWK GPS	917.345	7528412.52	18479334.85
4	VFCP / CUT X STORM MH GPS	915.567	7528475.15	18479263.52

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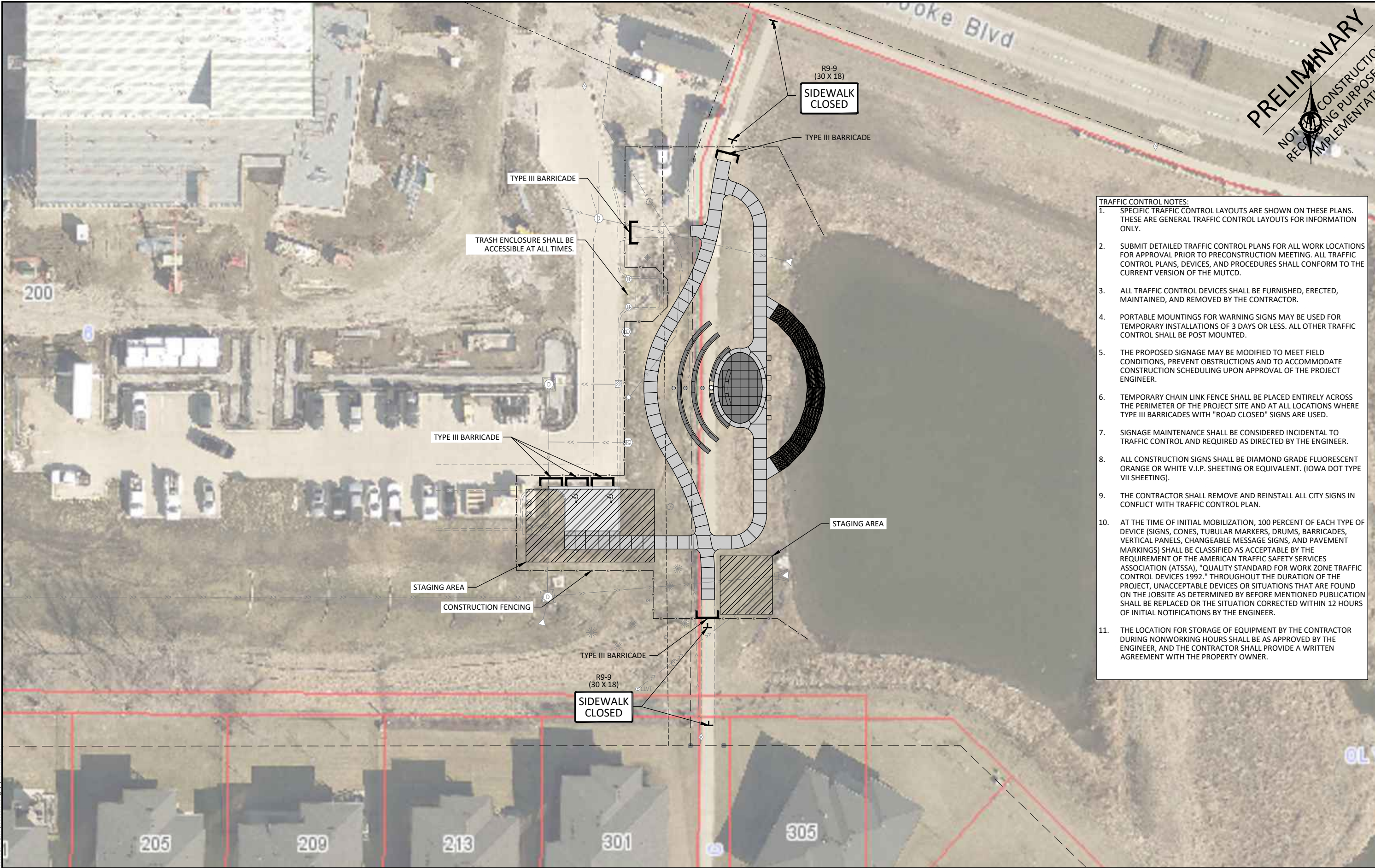
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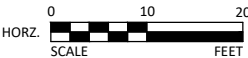
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- TRAFFIC CONTROL NOTES:**
1. SPECIFIC TRAFFIC CONTROL LAYOUTS ARE SHOWN ON THESE PLANS. THESE ARE GENERAL TRAFFIC CONTROL LAYOUTS FOR INFORMATION ONLY.
 2. SUBMIT DETAILED TRAFFIC CONTROL PLANS FOR ALL WORK LOCATIONS FOR APPROVAL PRIOR TO PRECONSTRUCTION MEETING. ALL TRAFFIC CONTROL PLANS, DEVICES, AND PROCEDURES SHALL CONFORM TO THE CURRENT VERSION OF THE MUTCD.
 3. ALL TRAFFIC CONTROL DEVICES SHALL BE FURNISHED, ERECTED, MAINTAINED, AND REMOVED BY THE CONTRACTOR.
 4. PORTABLE MOUNTINGS FOR WARNING SIGNS MAY BE USED FOR TEMPORARY INSTALLATIONS OF 3 DAYS OR LESS. ALL OTHER TRAFFIC CONTROL SHALL BE POST MOUNTED.
 5. THE PROPOSED SIGNAGE MAY BE MODIFIED TO MEET FIELD CONDITIONS, PREVENT OBSTRUCTIONS AND TO ACCOMMODATE CONSTRUCTION SCHEDULING UPON APPROVAL OF THE PROJECT ENGINEER.
 6. TEMPORARY CHAIN LINK FENCE SHALL BE PLACED ENTIRELY ACROSS THE PERIMETER OF THE PROJECT SITE AND AT ALL LOCATIONS WHERE TYPE III BARRICADES WITH "ROAD CLOSED" SIGNS ARE USED.
 7. SIGNAGE MAINTENANCE SHALL BE CONSIDERED INCIDENTAL TO TRAFFIC CONTROL AND REQUIRED AS DIRECTED BY THE ENGINEER.
 8. ALL CONSTRUCTION SIGNS SHALL BE DIAMOND GRADE FLUORESCENT ORANGE OR WHITE V.I.P. SHEETING OR EQUIVALENT. (IOWA DOT TYPE VII SHEETING).
 9. THE CONTRACTOR SHALL REMOVE AND REINSTALL ALL CITY SIGNS IN CONFLICT WITH TRAFFIC CONTROL PLAN.
 10. AT THE TIME OF INITIAL MOBILIZATION, 100 PERCENT OF EACH TYPE OF DEVICE (SIGNS, CONES, TUBULAR MARKERS, DRUMS, BARRICADES, VERTICAL PANELS, CHANGEABLE MESSAGE SIGNS, AND PAVEMENT MARKINGS) SHALL BE CLASSIFIED AS ACCEPTABLE BY THE REQUIREMENT OF THE AMERICAN TRAFFIC SAFETY SERVICES ASSOCIATION (ATSSA), "QUALITY STANDARD FOR WORK ZONE TRAFFIC CONTROL DEVICES 1992." THROUGHOUT THE DURATION OF THE PROJECT, UNACCEPTABLE DEVICES OR SITUATIONS THAT ARE FOUND ON THE JOBSITE AS DETERMINED BY BEFORE MENTIONED PUBLICATION SHALL BE REPLACED OR THE SITUATION CORRECTED WITHIN 12 HOURS OF INITIAL NOTIFICATIONS BY THE ENGINEER.
 11. THE LOCATION FOR STORAGE OF EQUIPMENT BY THE CONTRACTOR DURING NONWORKING HOURS SHALL BE AS APPROVED BY THE ENGINEER, AND THE CONTRACTOR SHALL PROVIDE A WRITTEN AGREEMENT WITH THE PROPERTY OWNER.

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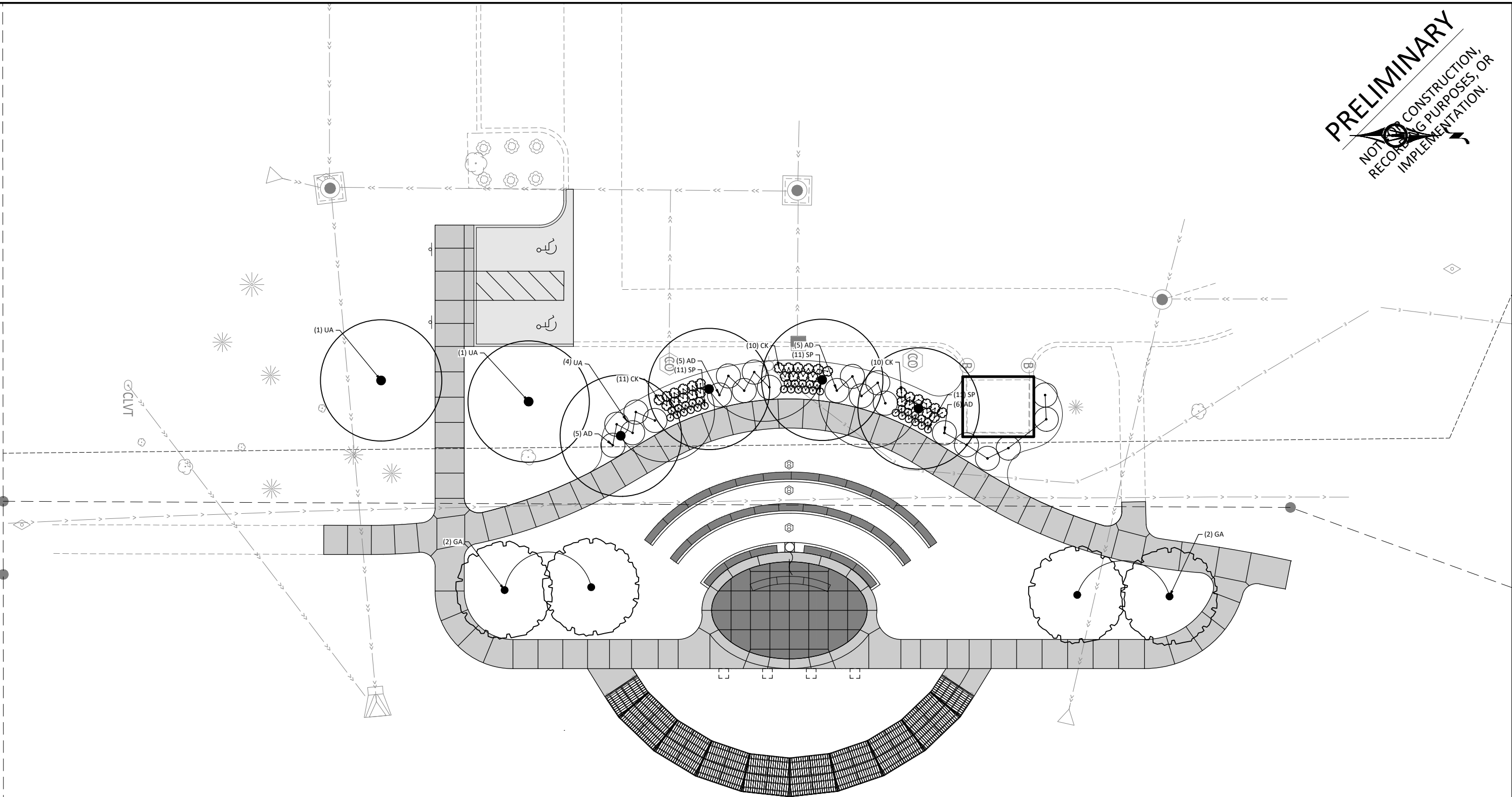


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STAGING AND TRAFFIC CONTROL

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PLANT SCHEDULE

CODE	QTY	BOTANICAL NAME	COMMON NAME	CALIPER	HEIGHT	CONTAINER	SPACING	CANOPY
TREES								
GA	4	GINKGO BILOBA 'AUTUMN GOLD'	AUTUMN GOLD MAIDENHAIR TREE	2" CAL.				20'
UA	6	ULMUS X 'MORTON'	ACCOLADE™ ELM	2" CAL.				25'
CODE	QTY	BOTANICAL NAME	COMMON NAME	SPREAD	HEIGHT	CONTAINER	SPACING	SPACING
SHRUBS								
AD	21	ARONIA MELANOCARPA 'PROFESSOR ED'	PROFESSOR ED BLACK CHOKEBERRY	42 - 48" SPR.	4 - 6' HT.	#5 CONT.	42" O.C	60" o.c.
ORNAMENTAL GRASSES								
CK	31	CALAMAGRÖSTIS X ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS	18 - 24" SPR.	3 - 4' HT.	#3 CONT.	24" O.C	24" o.c.
PERENNIALS								
SP	33	SALVIA OFFICINALIS 'PURPUREA'	COMMON SAGE	10 - 12" SPR.	10 - 12" HT.	#3 CONT.	18" O.C	18" o.c.

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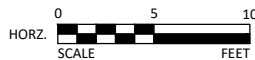


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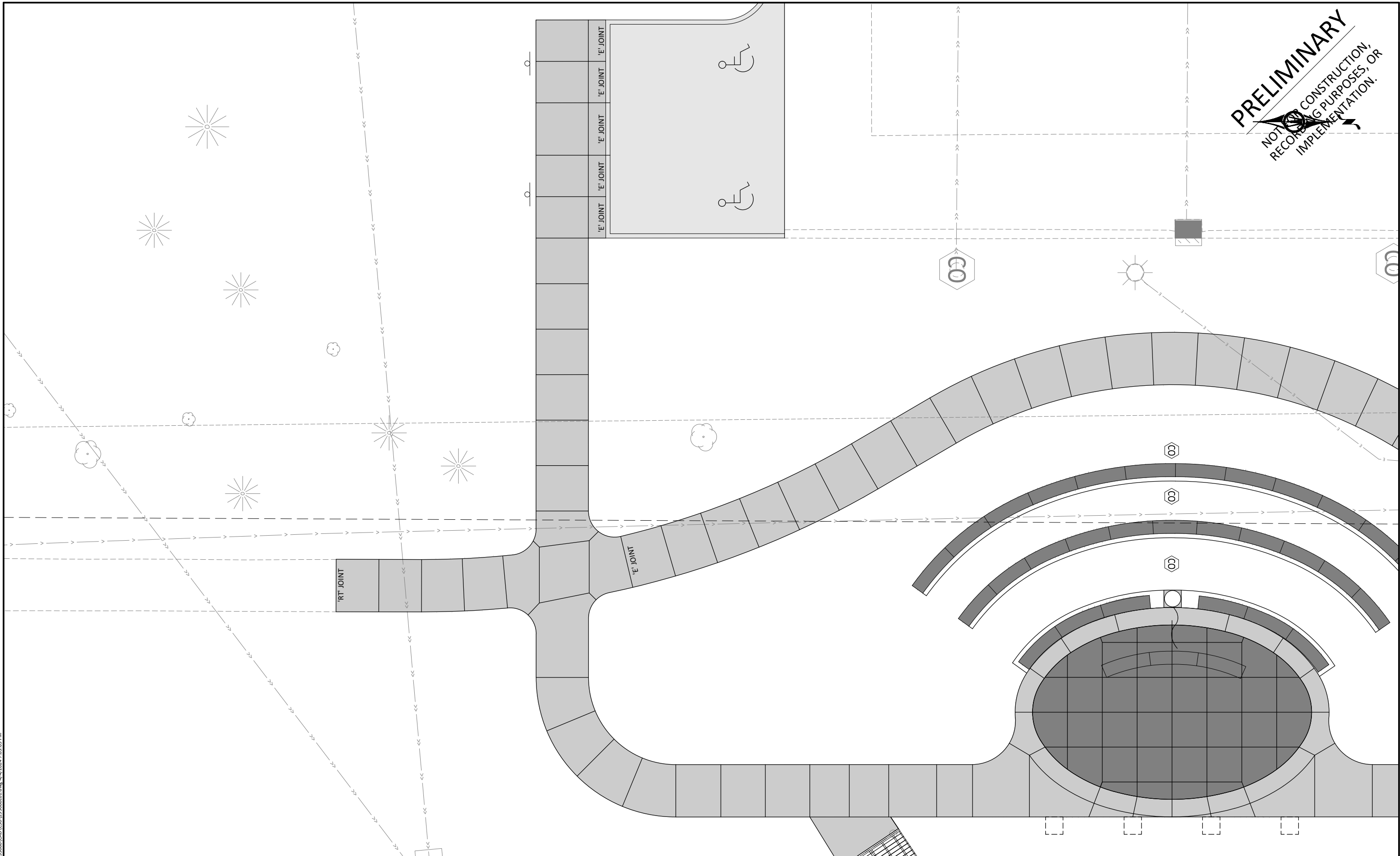


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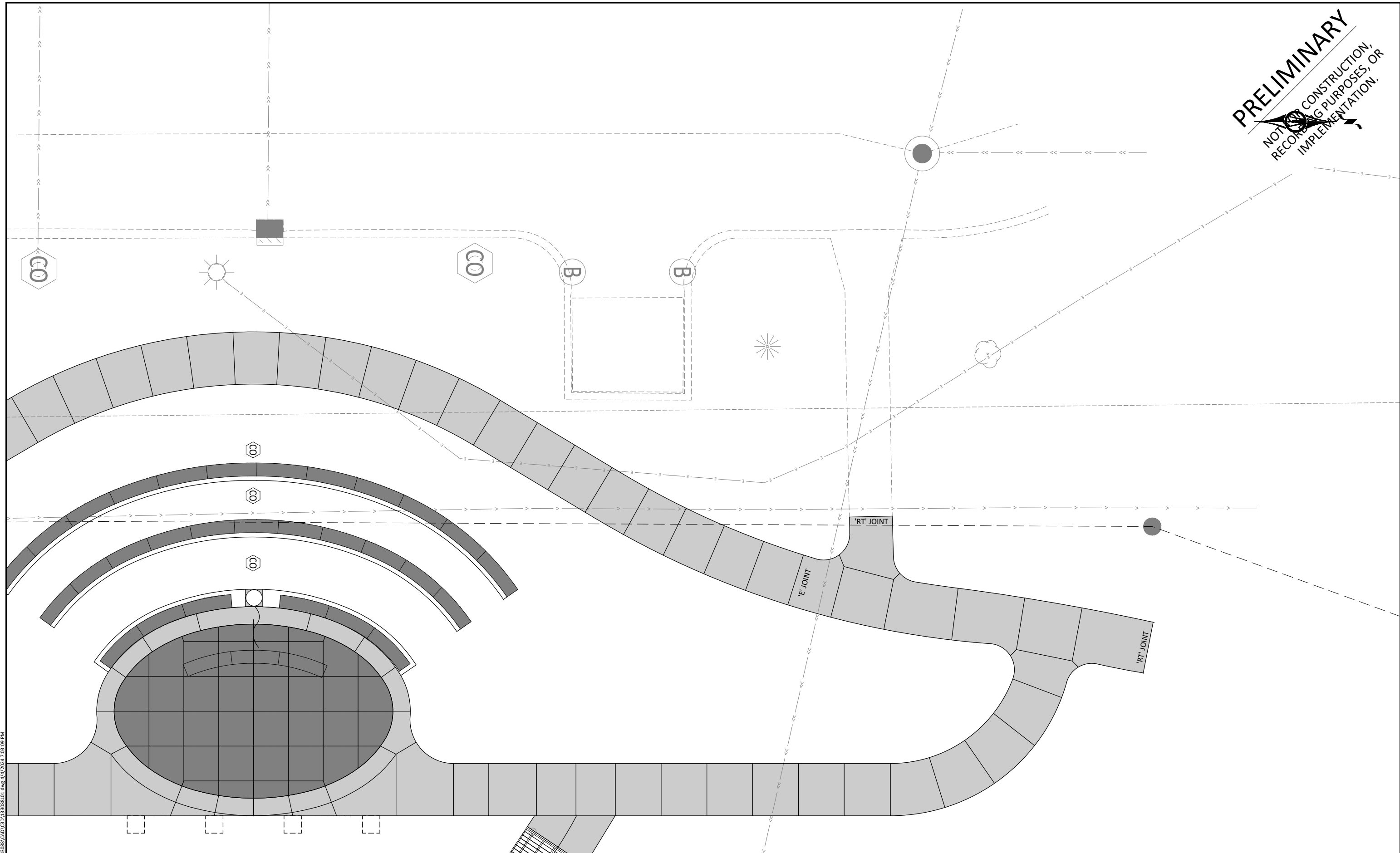
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JOINTING PLAN

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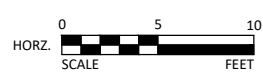
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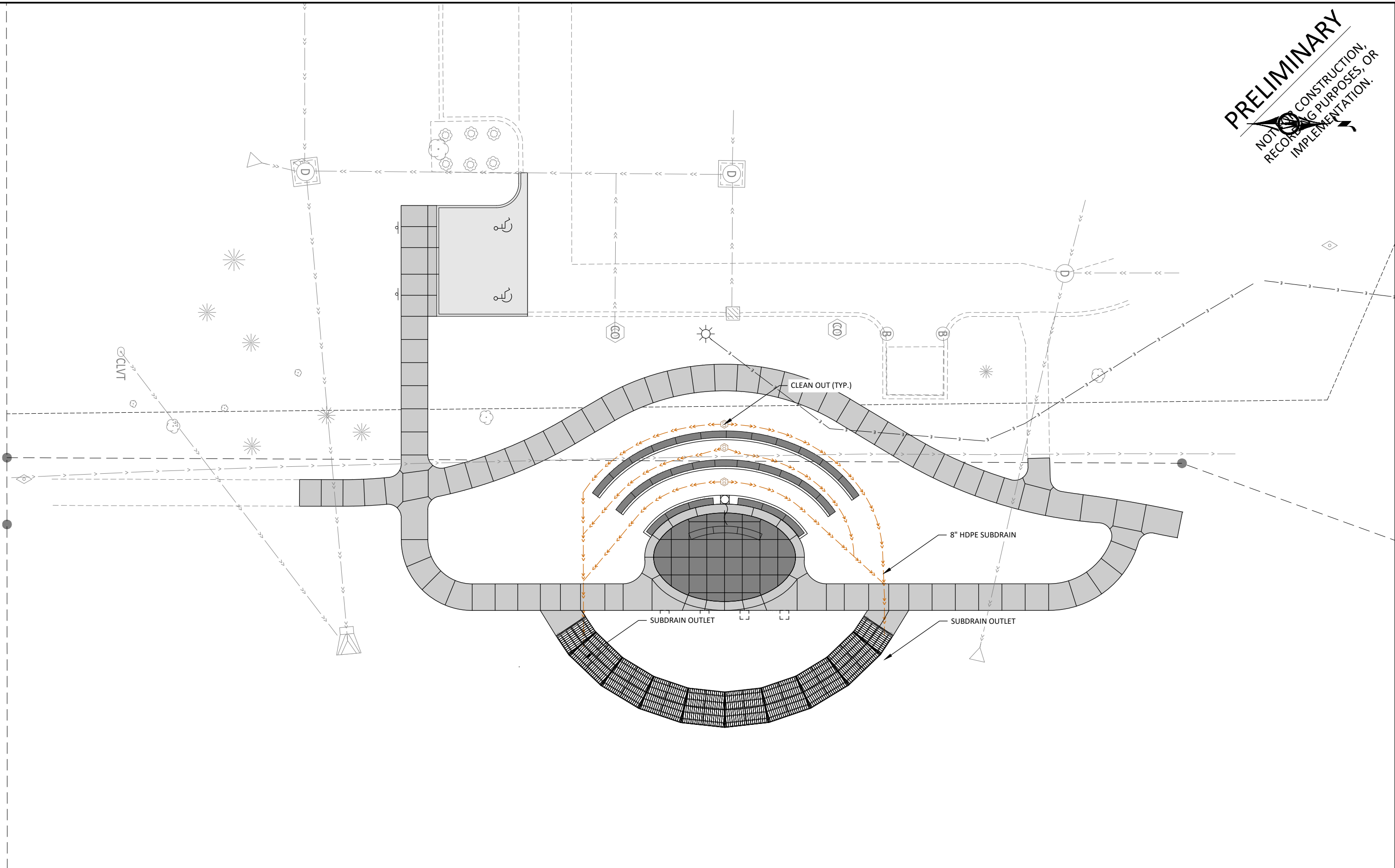


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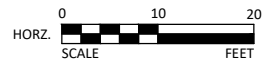
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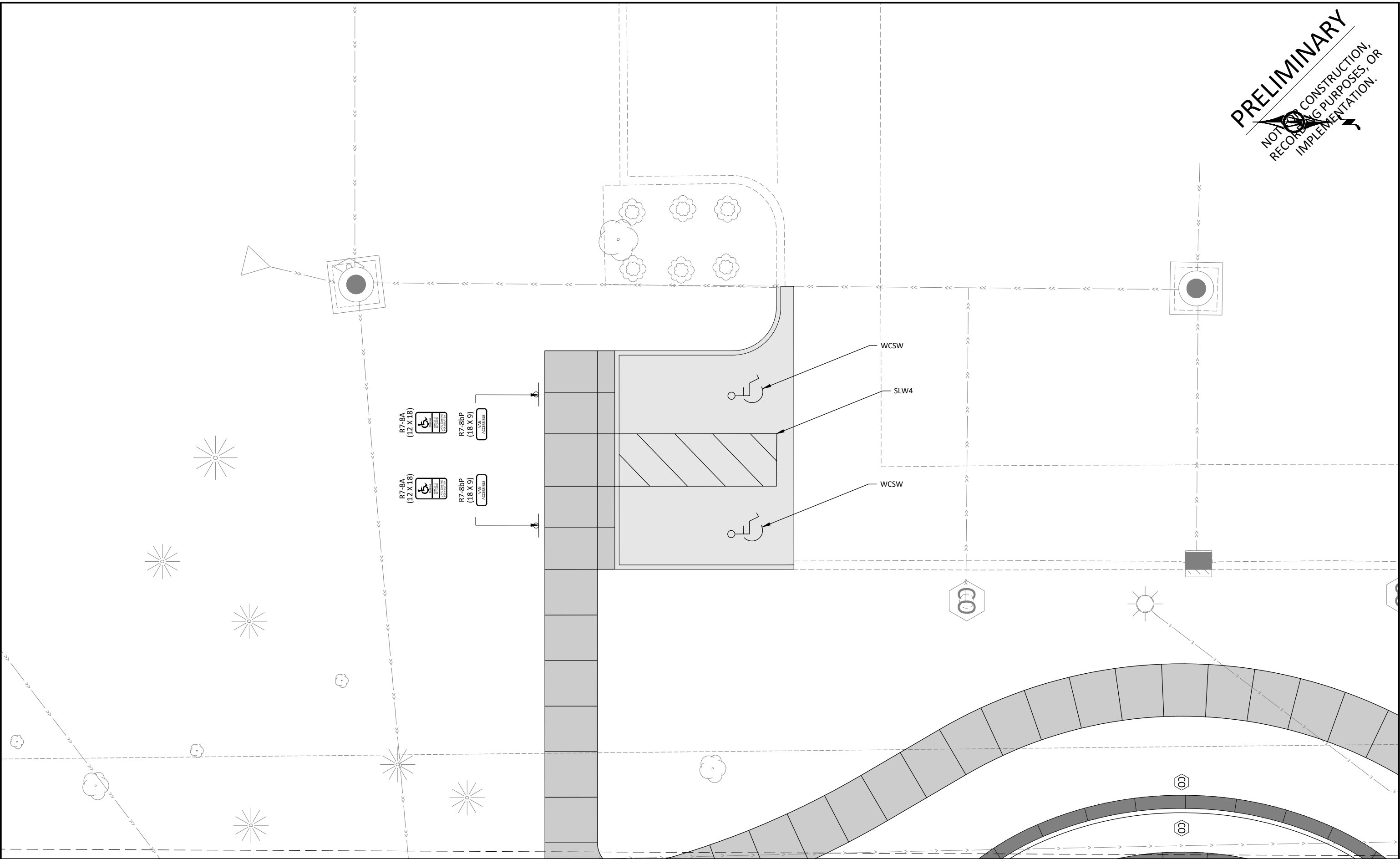


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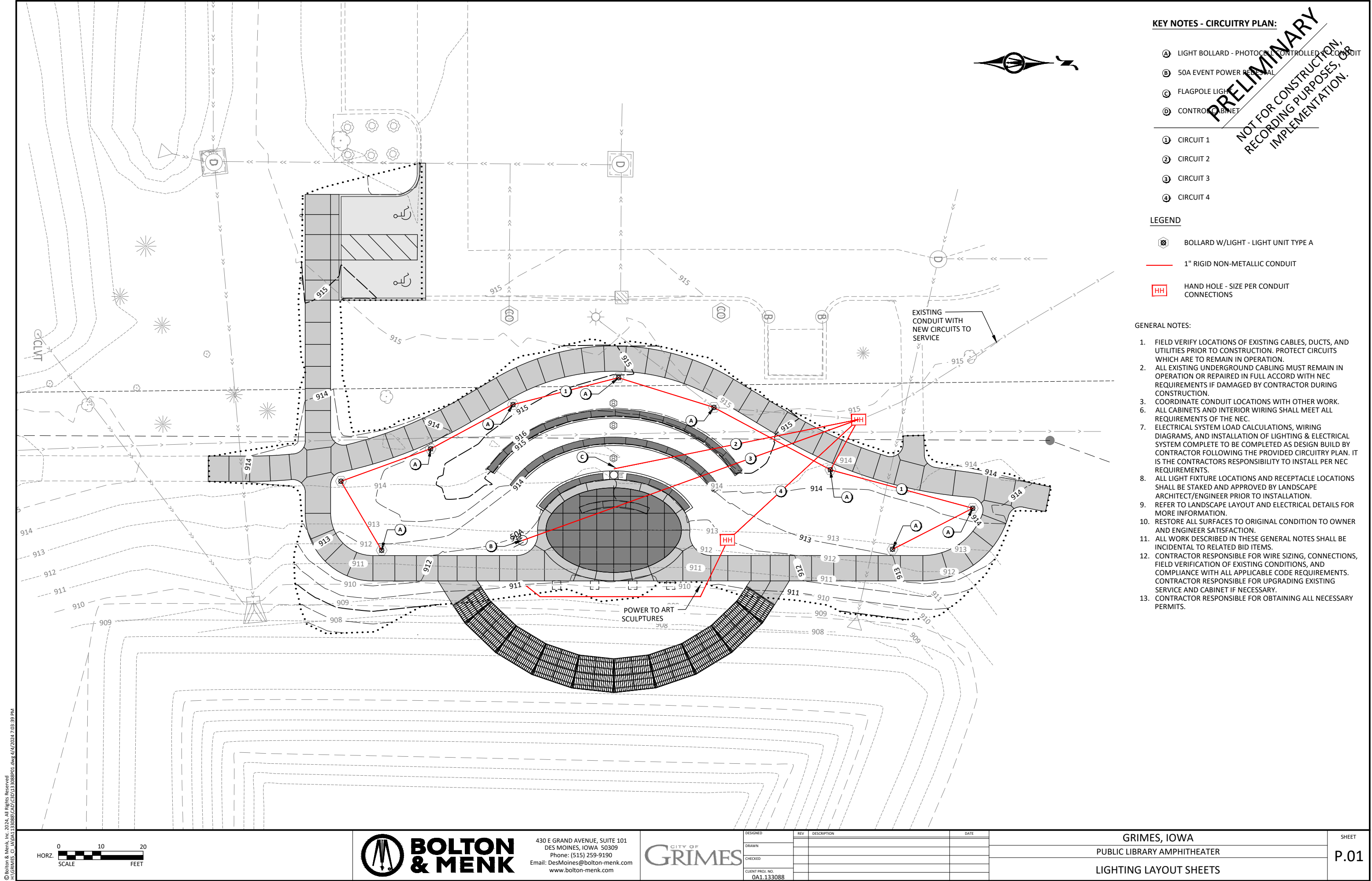
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KEY NOTES - CIRCUITRY PLAN:

- (A) LIGHT BOLLARD - PHOTOCELL CONTROLLED BY CONDUIT
- (B) 50A EVENT POWER RECESSED
- (C) FLAGPOLE LIGHT
- (D) CONTROL CABINET

- 1 CIRCUIT 1
- 2 CIRCUIT 2
- 3 CIRCUIT 3
- 4 CIRCUIT 4

LEGEND

- BOLLARD W/LIGHT - LIGHT UNIT TYPE A
- 1" RIGID NON-METALLIC CONDUIT
- HAND HOLE - SIZE PER CONDUIT CONNECTIONS

GENERAL NOTES:

- FIELD VERIFY LOCATIONS OF EXISTING CABLES, DUCTS, AND UTILITIES PRIOR TO CONSTRUCTION. PROTECT CIRCUITS WHICH ARE TO REMAIN IN OPERATION.
- ALL EXISTING UNDERGROUND CABLING MUST REMAIN IN OPERATION OR REPAIRED IN FULL ACCORD WITH NEC REQUIREMENTS IF DAMAGED BY CONTRACTOR DURING CONSTRUCTION.
- COORDINATE CONDUIT LOCATIONS WITH OTHER WORK.
- ALL CABINETS AND INTERIOR WIRING SHALL MEET ALL REQUIREMENTS OF THE NEC.
- ELECTRICAL SYSTEM LOAD CALCULATIONS, WIRING DIAGRAMS, AND INSTALLATION OF LIGHTING & ELECTRICAL SYSTEM COMPLETE TO BE COMPLETED AS DESIGN BUILD BY CONTRACTOR FOLLOWING THE PROVIDED CIRCUITRY PLAN. IT IS THE CONTRACTORS RESPONSIBILITY TO INSTALL PER NEC REQUIREMENTS.
- ALL LIGHT FIXTURE LOCATIONS AND RECEPTACLE LOCATIONS SHALL BE STAKED AND APPROVED BY LANDSCAPE ARCHITECT/ENGINEER PRIOR TO INSTALLATION.
- REFER TO LANDSCAPE LAYOUT AND ELECTRICAL DETAILS FOR MORE INFORMATION.
- RESTORE ALL SURFACES TO ORIGINAL CONDITION TO OWNER AND ENGINEER SATISFACTION.
- ALL WORK DESCRIBED IN THESE GENERAL NOTES SHALL BE INCIDENTAL TO RELATED BID ITEMS.
- CONTRACTOR RESPONSIBLE FOR WIRE SIZING, CONNECTIONS, FIELD VERIFICATION OF EXISTING CONDITIONS, AND COMPLIANCE WITH ALL APPLICABLE CODE REQUIREMENTS. CONTRACTOR RESPONSIBLE FOR UPGRADING EXISTING SERVICE AND CABINET IF NECESSARY.
- CONTRACTOR RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.

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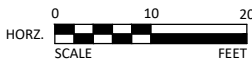
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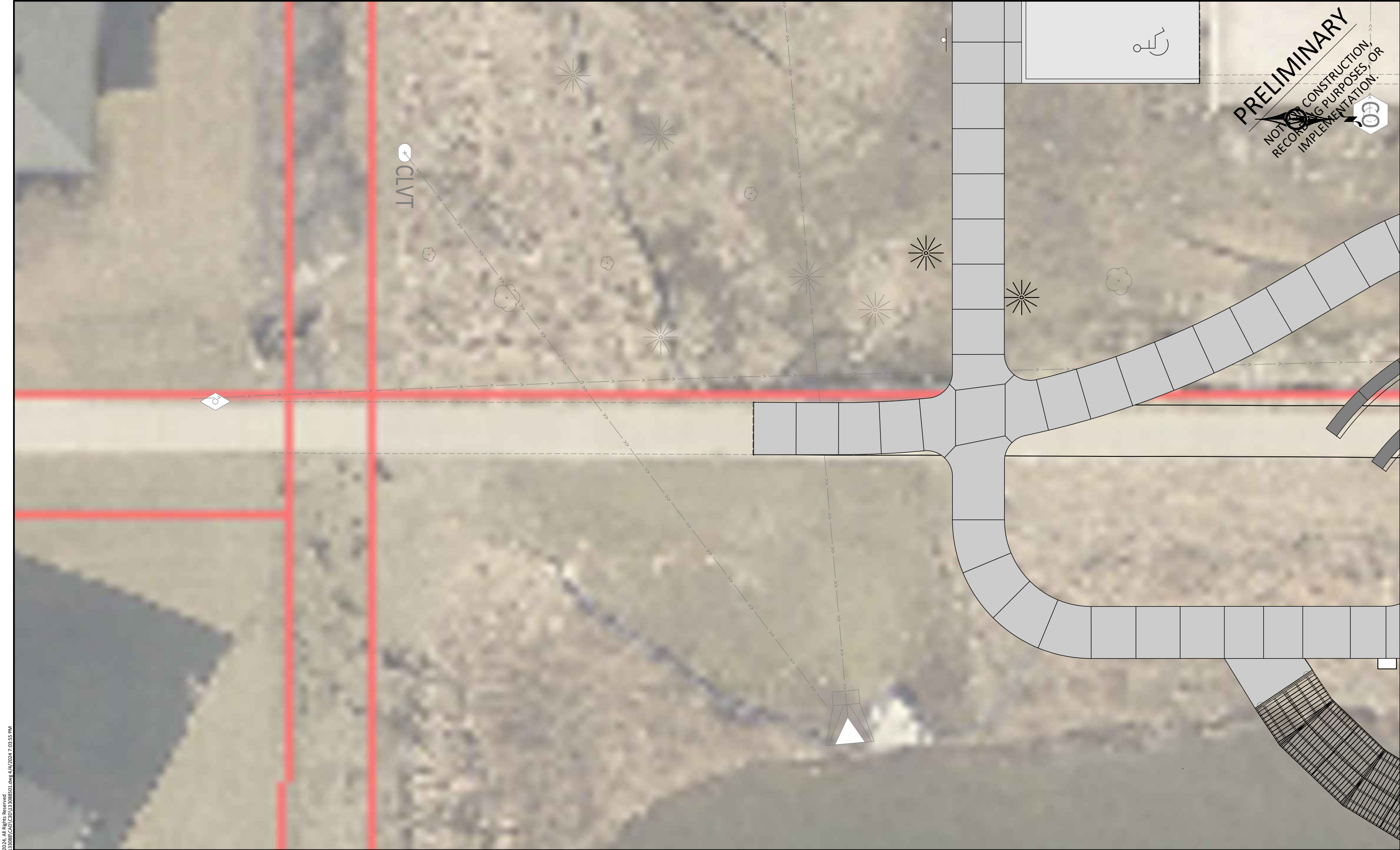
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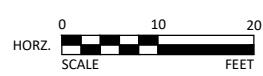
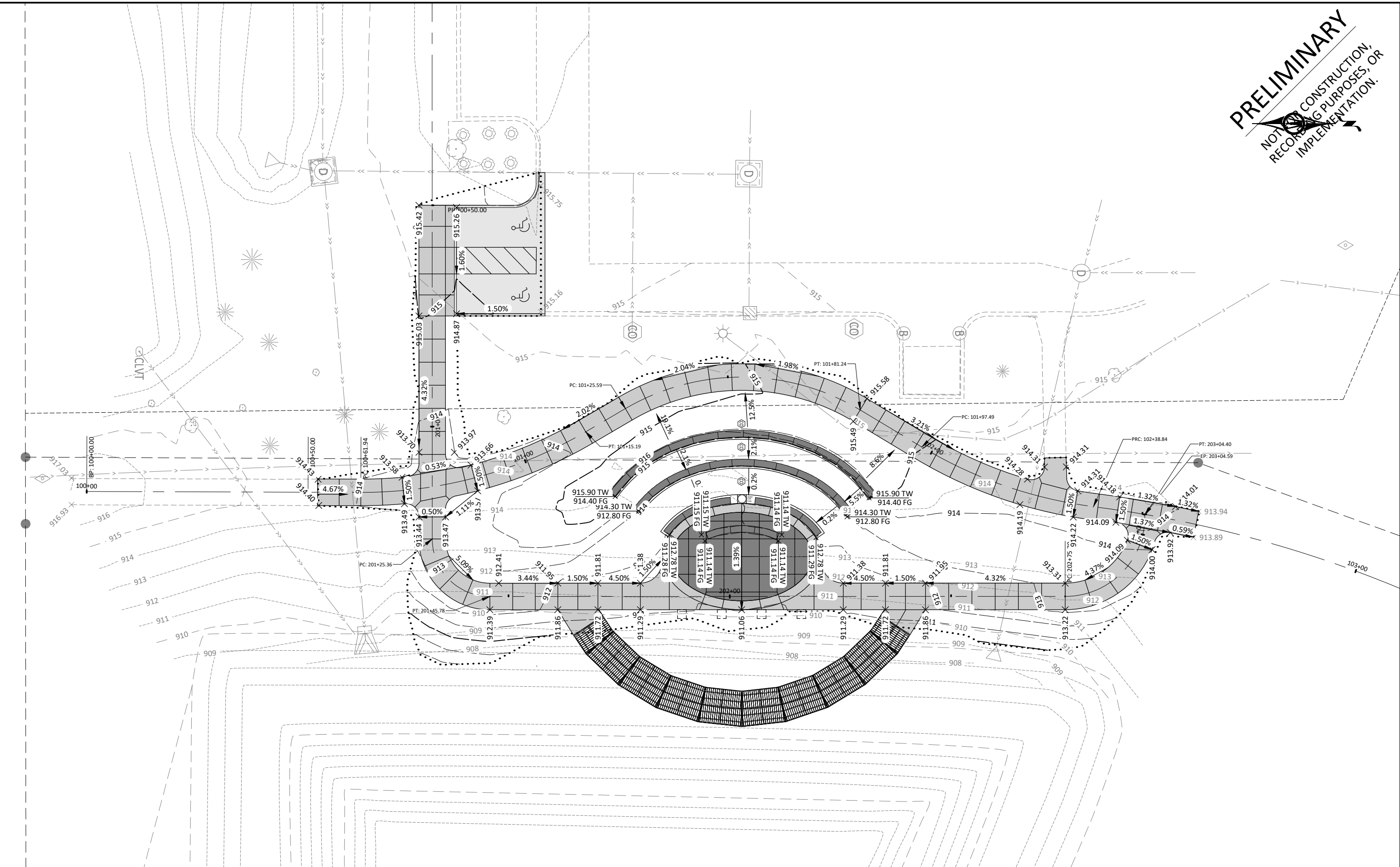
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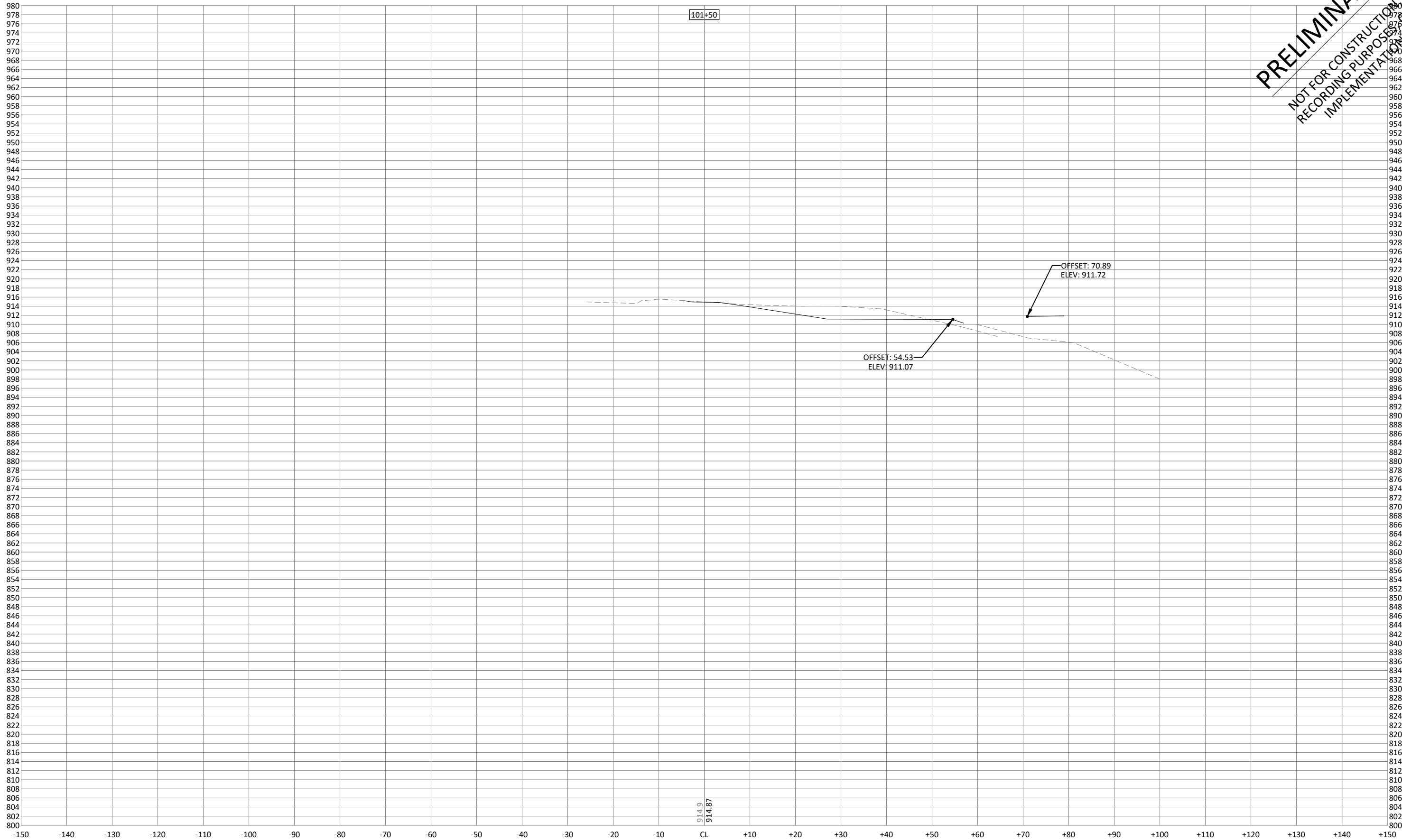
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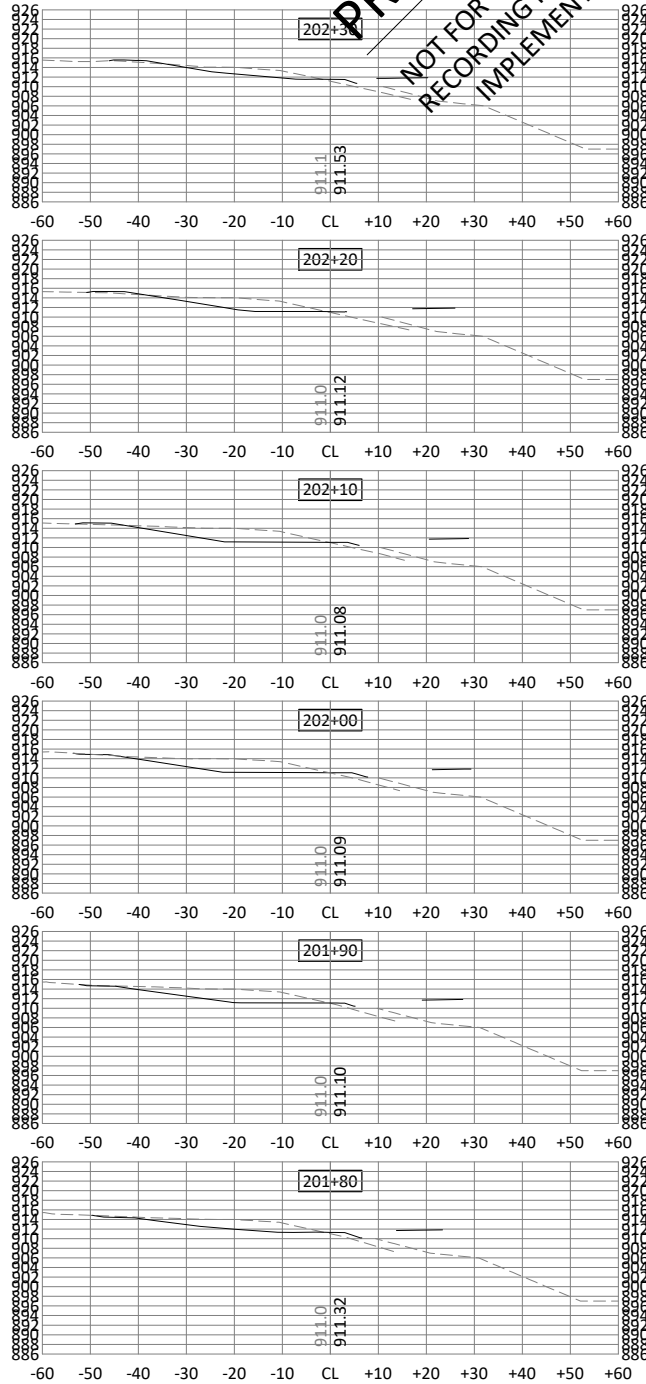
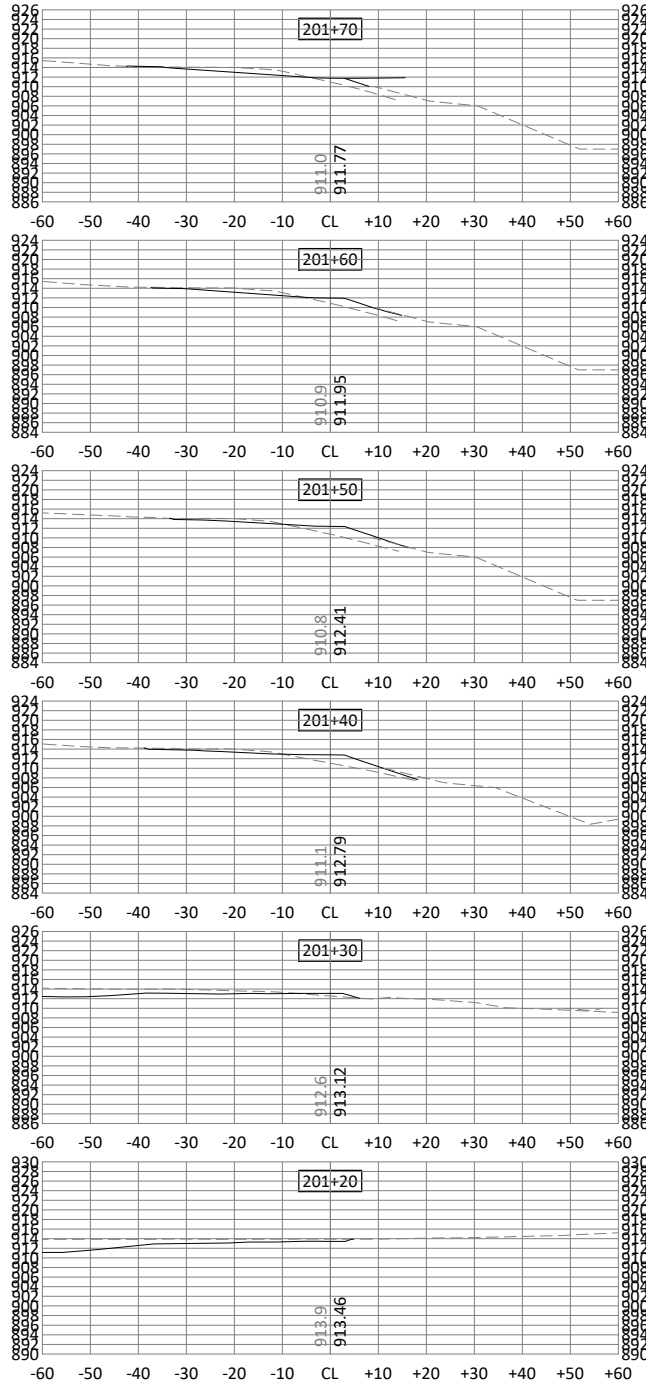
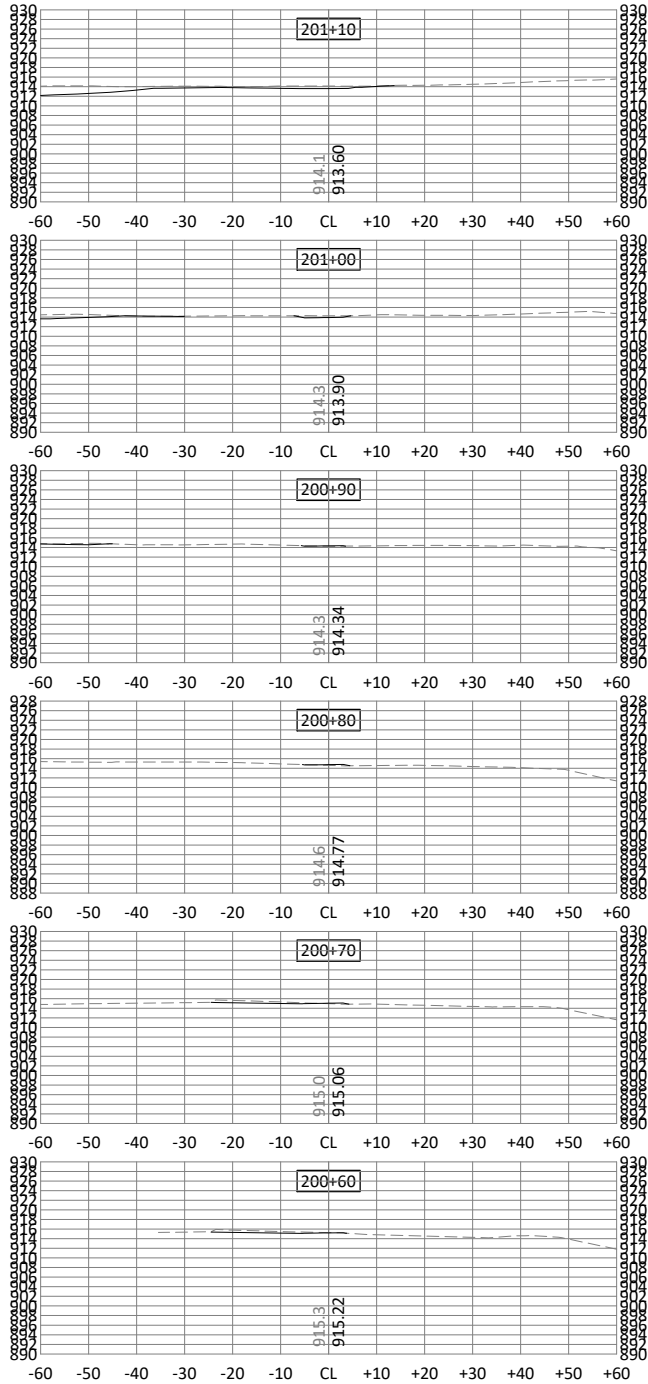
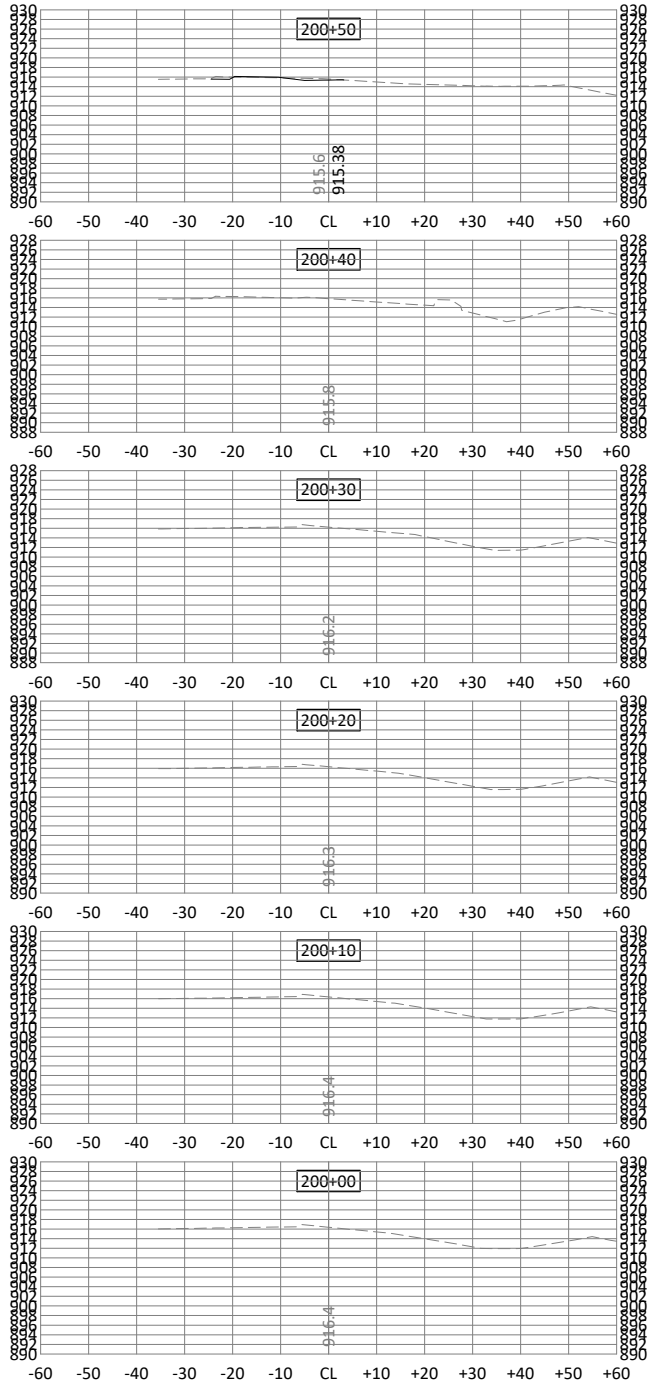
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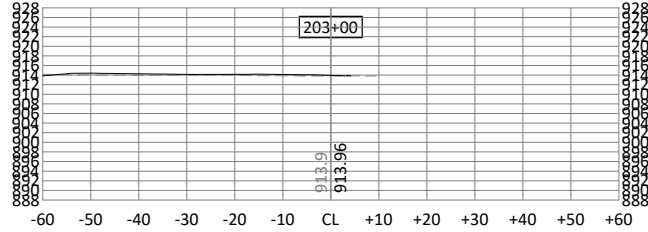
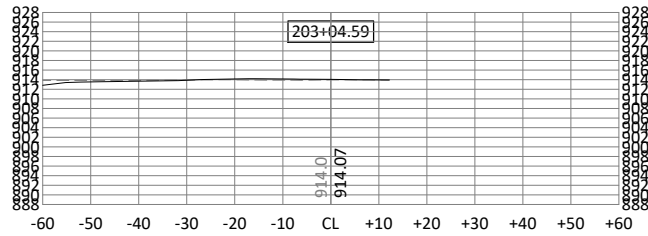
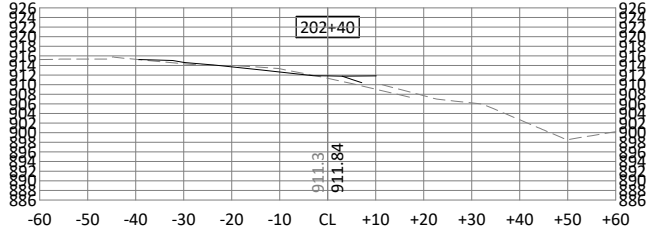
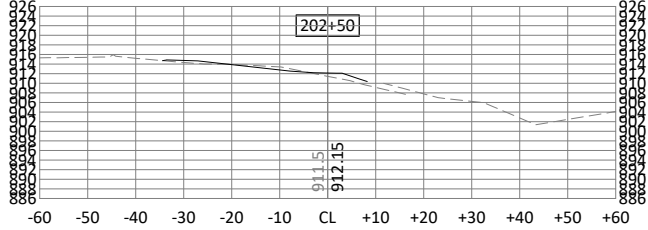
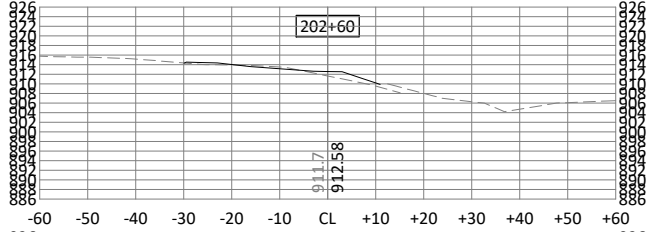
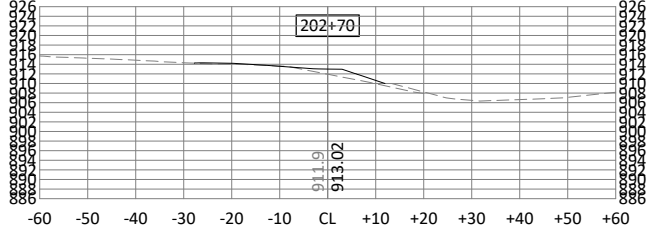
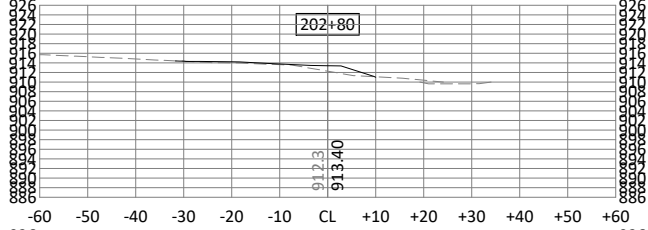
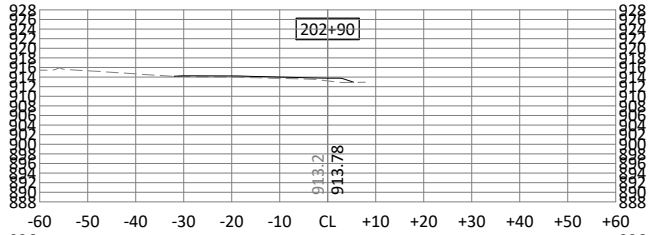
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Memo



TO: Planning and Zoning Commission

FROM: Alex Pfaltzgraff, AICP, CFM

DATE: May 1, 2024

RE: Grimes Urban Renewal Amendment

Development Services Department

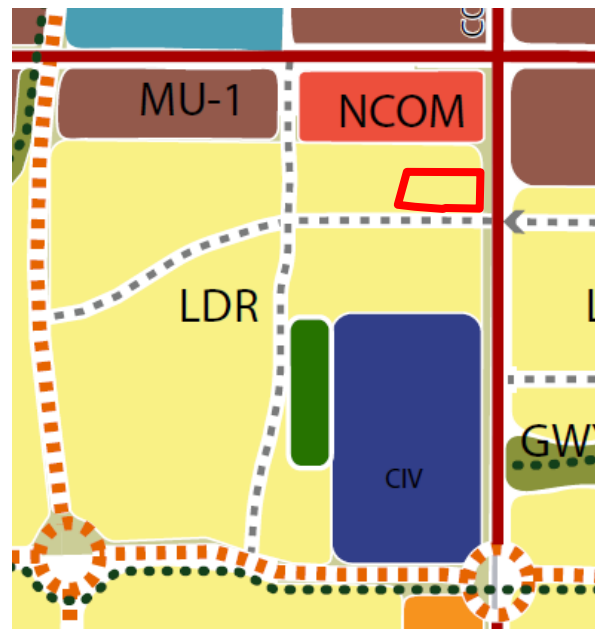
The State Code requires that the Planning and Zoning Commission weigh in on and, provide a recommendation on any areas to be incorporated into the Urban Renewal Plan.

The intent is to ensure that that the proposed amendment conforms to, and is consistent with the City's Comprehensive Plan. In this particular case, the area in question is related to the new Public Safety Center to be constructed off of SW County Line Road. It is necessary to add this area to the Urban Renewal Plan, thus to afford the City ability to partially fund the project with Urban Renewal monies.

That being said, staff has reviewed the Comprehensive Plan and feels that the area in question is consistent with such. Public Safety Centers are necessary to support growing populations, and the location of this station will afford the City to be able to do so.

If the Planning and Zoning Commission concurs, staff will need the Commission Chair to execute a letter stating the same. A copy of the letter is included in the packet, as well as maps of the area.

If you should have any questions prior to the meeting, please contact me at either 515-986-4050 or at apfaltzgraff@grimesiowa.gov



Future Land Use Map

Alex Pfaltzgraff, AICP, CFM

Development Services Director

Memo



TO: Grimes City Council

FROM: Scott Almedia, Planning and Zoning Commission Chairman

DATE: May 7, 2024

RE: Grimes Urban Renewal Amendment

Development Services Department

The State Code requires that the Planning and Zoning Commission weigh in on and, provide a recommendation on any areas to be incorporated into the Urban Renewal Plan.

The Grimes Planning and Zoning Commission met on May 7, 2024. The Commission has reviewed the plan amendment and state that the plan amendment conforms to or is consistent with the City's Comprehensive Plan.

Scott Almeida

Planning and Zoning Commission Chairman