

Grimes Planning and Zoning Commission Agenda

Grimes Community Complex
410 SE Main Street, Room 202
Grimes, Iowa 50111
Phone | 515.986.4050
www.grimesiowa.gov

Commission Members | Scott Almeida, Adam Bunge, Russ Lickteig, Craig Patterson, Courtney Strutt Todd
Council Liaison | Andrew Borcharding

Mission Statement

The mission of Grimes City Government is to provide excellent/exceptional city services and facilities in a financially responsible and community-friendly manner through a high performing city team that result in adding value to resident's lives.

Grimes Planning & Zoning Commission January 2, 2024 In Person at Grimes Community Complex, 410 SE Main Street, Room 202

Any person wishing to speak at the meeting will need to attend in person. Below is the Zoom information for those who wish to listen in on the meeting only.

Join Zoom Meeting

<https://us06web.zoom.us/j/81352753132?pwd=V64JKoKIJEbK7dyyMLYcmpXcfK5EZ7.1>

Meeting ID: 813 5275 3132

Passcode: 1234

GENERAL AGENDA ITEMS

1. Call to Order
2. Roll Call: Scott Almeida, Adam Bunge, Russ Lickteig, Craig Patterson, Courtney Strutt Todd, Council Liaison Andrew Borcharding
3. Approval of the Agenda
4. Approval of the Previous Minutes

PUBLIC AGENDA ITEMS

1. Hope Plaza 3 Site Plan
2. Grimes Public Works Site Plan Amendment

REPORTS

1. Department Update
2. Council Liaison Update
3. Old Business
4. New Business

ADJOURNMENT



101 NE Harvey Street, Grimes, Iowa 50111 | P: 515.986.3036

This meeting of the Grimes Planning and Zoning Commission was called to order Tuesday, December 5, 2023 at 5:30 P.M.

Roll Call: Present: Scott Almeida, Russ Lickteig, Courtney Strutt-Todd, Adam Bunge, Council Liaison: Andrew Borcharding

Staff: Alex Pfaltzgraff, Evann Martin, Molly Mannel, Rachel Greving

Absent: Craig Patterson

A. GENERAL AGENDA ITEMS

1. APPROVAL OF THE AGENDA

Motion by Lickteig, Second by Strutt-Todd, to approve the agenda

Roll Call: Ayes-All; Nays-0 Motion passes: 4-0

2. APPROVAL OF THE MINUTES

Motion by Lickteig, Second by Strutt-Todd, to approve the minutes from the October 3, 2023 meeting

Roll call: Ayes-All: Nays-0 Motion passes: 4-0

B. PUBLIC AGENDA ITEMS

Rock Creek Plat 1 Final Plat

Staff member Mannel presents the details of the plat. Located at the northwest corner of NW 100th Street and SE 37th Street, area to the north of the site was dedicated to the City via a plat of survey in December 2022. Trails will be constructed along SE Keystone Drive and SE 35th Street to connect to a future sidewalk along NW 100th Street.

Motion by Strutt-Todd, Second by Bunge to approve Rock Creek Plat 1 Final Plat

Roll Call: Aye-All Nay-0 **Motion Passes 4-0**

Destination Drive Area Plan Discussion

Staff member Mannel presents the details of the proposed area plan.

The Commission discussed the proposal and asked questions of staff.

No vote required.

Northwest Territory Area Plan Discussion

Staff member Martin presents the details of the proposed area plan.

The Commission discussed the proposal and asked questions of staff.

No vote required.

C. PUBLIC FORUM – None

D. REPORTS

- 1. Department Update – Staff provided an update on development and capital projects around the City.**
- 2. Council Liaison Update – N/A**
- 3. Old Business – N/A**
- 4. New Business – N/A**
- 5. Next meeting January 2, 2024**

Meeting is adjourned at 6:44 p.m.

Chairperson Signature

Clerk Signature

DATE

January 2, 2024

PROJECT NAME

Hope Plaza 3 Site Plan

APPLICANT

Hope K Farms

REQUESTED ACTION

Approve a site plan for a 17,618 square foot multi-tenant retail building

LOCATION

Southwest corner of NE Gateway Drive and NE Beaverbrooke Blvd

ZONING

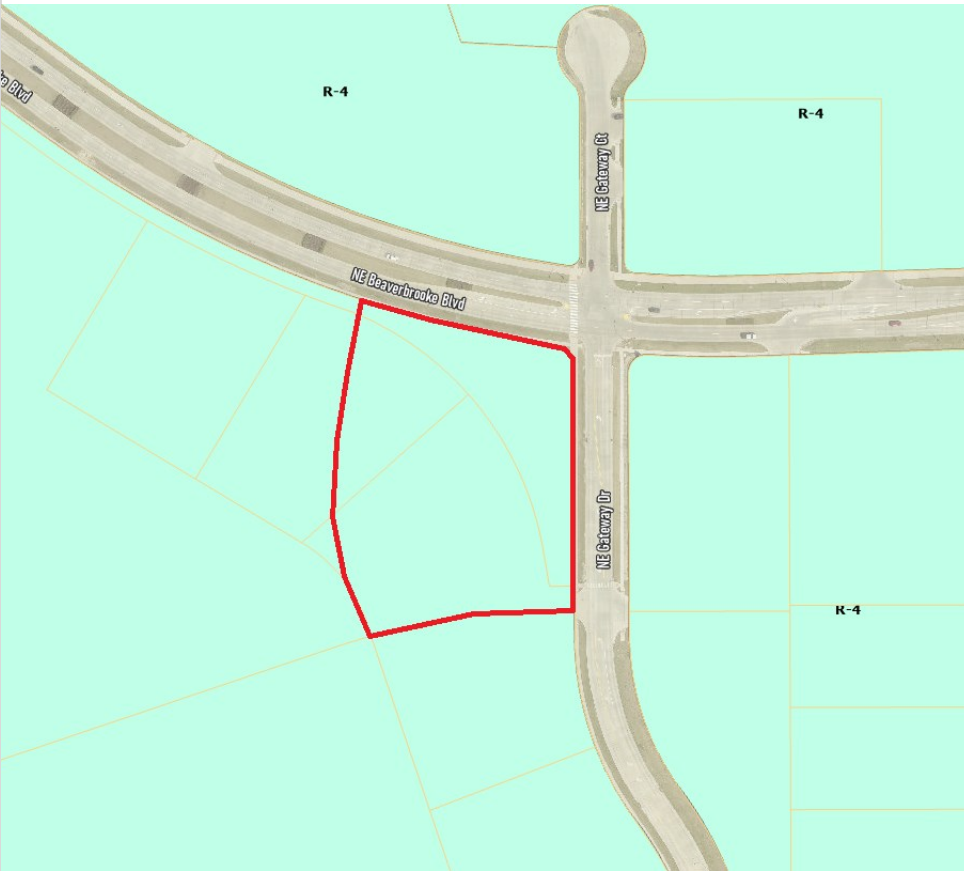
R-4
Hope Commercial PUD

PLANNER

Evann Martin
emartin@grimesiowa.gov
515-986-4050



Location Map



Zoning Map

Relation to Comprehensive & Neighborhood Plans

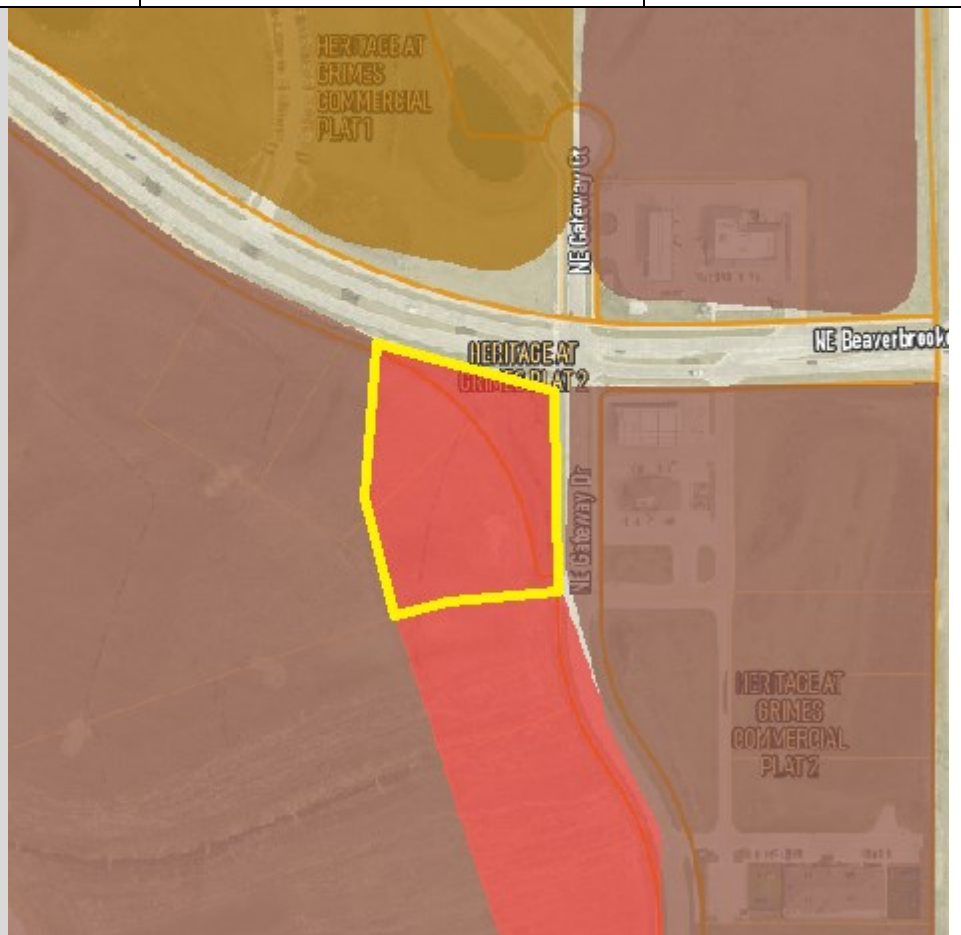
LAND USES & ZONING

Location	Existing Land Use	Land Use Plan Designation	Current Zoning
Subject Site	Vacant	Commercial	R-4
North	Commercial/Church	High Density Residential/Mixed Use 1	R-4
South	Vacant	Commercial/Mixed Use 1	R-4
East	Commercial	Mixed Use 1	R-4
West	Vacant (Future Town-homes and Apartments)	Mixed Use 1	R-4

PARKS

The Parks and Trails Master Plan planned for a trail connection from NE Gateway Drive to the west to connect with the trail along Lions Park. A trail will be constructed on the north side of NE 12th Street which will align partially with the Master Plan. The trail will not continue west to connect to the Lions Park trail due to the Grimes Plex. However, trail is existing along NE Heritage Drive, around the basin, and down to E 1st Street which ultimately provides a connection to the Lion Park trail. Sidewalks along NE 12th Street and NE Park Street can also connect patrons to the trail along Lions Park.

Because the Hope Plaza 3 site plan is commercial, no parkland dedication is required.



Future Land Use Map

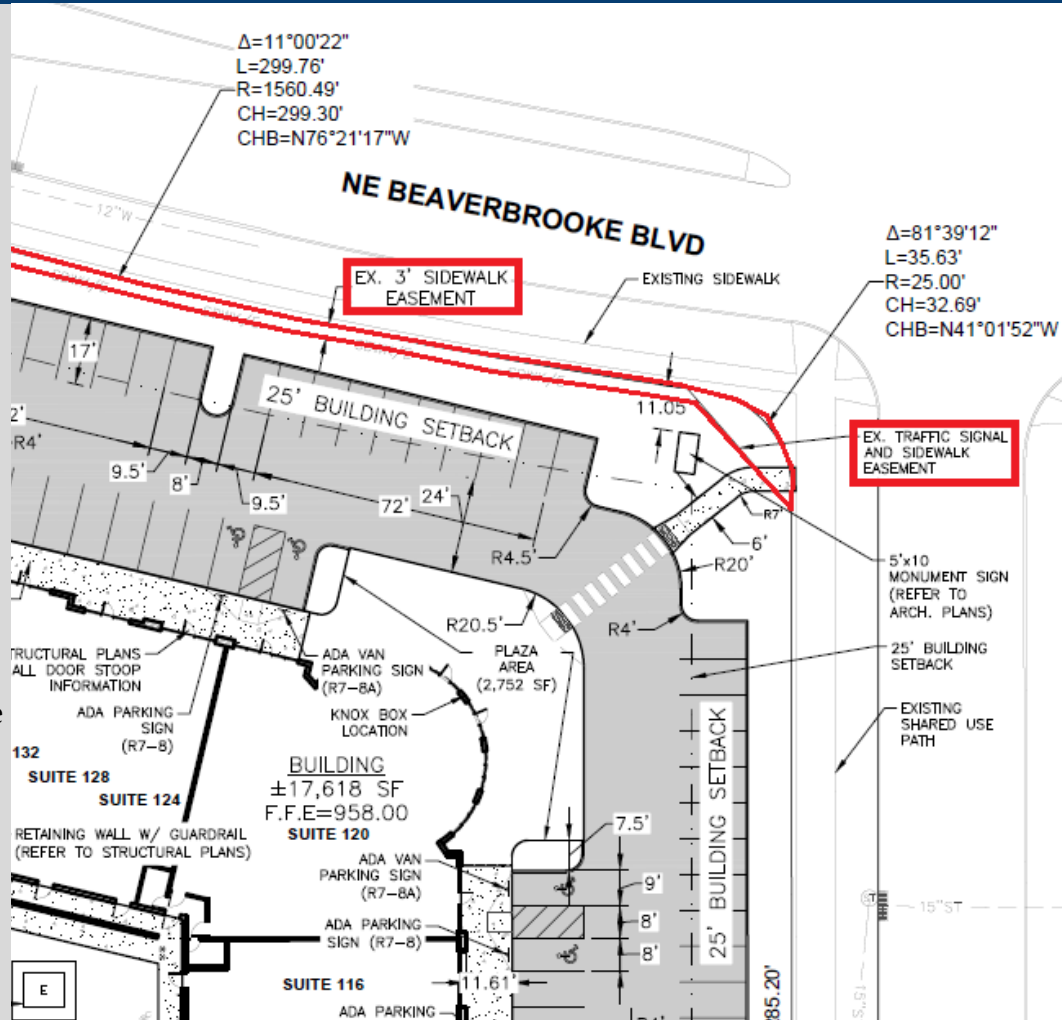
The proposed commercial retail building is compatible with the commercial land use designation.

Relation to Studies & Legal

RELATION TO STUDIES

The City hired Snyder & Associates to complete a traffic study of the Hope Commercial District which identified several roadway improvements throughout the development. The City was able to incorporate some of the improvements into the initial construction drawings including turn lanes on NE 10th Street and NE Heritage Drive and planning multiple access locations for the Grimes Plex. Staff has started the design process for improvements to the NE Gateway and E 1st Street intersection as identified in the traffic study, which includes widening Gateway at the intersection and providing additional turn lanes.

Staff has started working with Snyder & Associates regarding future improvements to the NE Gateway Drive and Beaverbrooke Blvd intersection, including a traffic signal, addition of turn lanes, and modified turning radii.



Legal

The site is part of the Hope Commercial PUD and is subject to the development agreement for the PUD.

Right-of-way for NE 12th Street will be dedicated with the final plat for Hope Commercial Plat 6.

To accommodate the future intersection improvements, a sidewalk and traffic signal easement will be reserved along NE Beaverbrooke Blvd to shift the sidewalk into the Hope Plaza 3 site and allow for more room to construct the future intersection improvements.

Site Layout

ACCESS

Full access will be provided via a private street connection to NE 12th Street. A right-in/ right-out access will be provided on NE Beaverbrook Blvd.

PATIO

A 2,752 square foot patio space will be provided in the front of the building which could be used for outdoor seating for potential restaurants or offices to use.

LIGHTING

Parking lot lighting will be provided throughout the site.

BUILDING SETBACKS

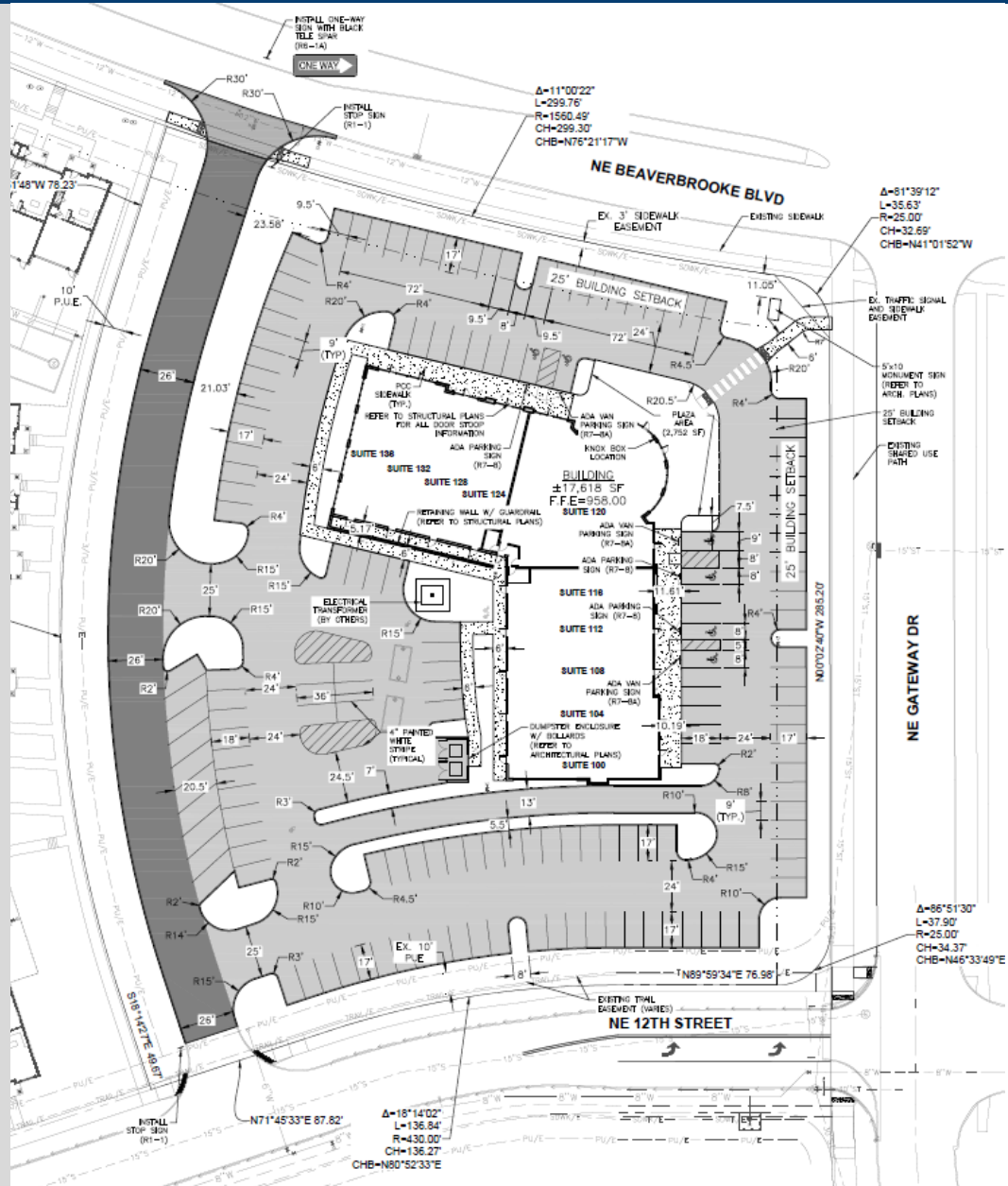
Front: 25'

Side: 10'

Rear: 25'

PARKING:

Parking is provided above the minimum requirement but less than the maximum parking requirements. No additional green space or market justification is required for the additional parking spaces.



Parking Calculation Table

Required	Proposed
131 spaces	156 spaces
Flex retail 6 spaces/1000 square feet	
Outdoor patio 10 spaces/1000 square feet	

Utilities & Landscaping

Utilities Map

Landscaping Plan

SANITARY

Sanitary service will connect to existing sanitary sewer on the west side of the private drive and connect down to NE 12th Street. A grease interceptor will be provided to accommodate potential restaurants.

WATER

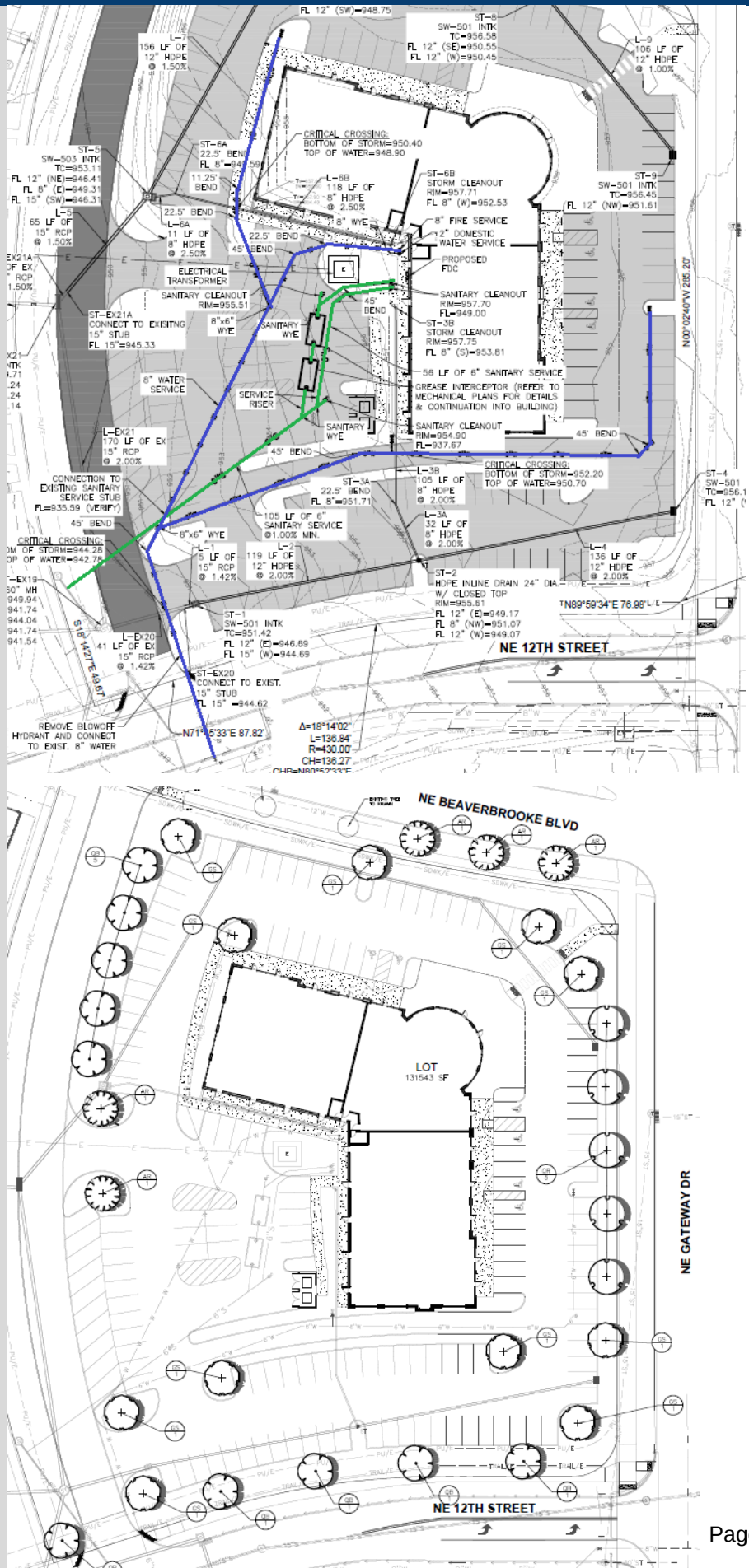
Water service will connect to NE 12th Street. Adequate fire hydrant coverage is provided and the building will be fitted with a fire suppression system.

STORM WATER

Internal storm sewer will carry storm-water to the regional basin to the west of the site along NE Heritage Drive.

LANDSCAPING

Trees will be planted along the perimeter of the site along the public and private streets.



Architecture

BUILDING & ELEVATIONS

The building will be constructed primarily with brick veneer and stone veneer, with metal and cement board siding accents. The building will have a round tower-like feature which will create a focal point at the intersection of NE Gateway Drive and Beaverbrooke Blvd and arched roof sections on the ends of the building. A metal signage canopy will be provided along the front of the building similar to the other Hope Plaza buildings.

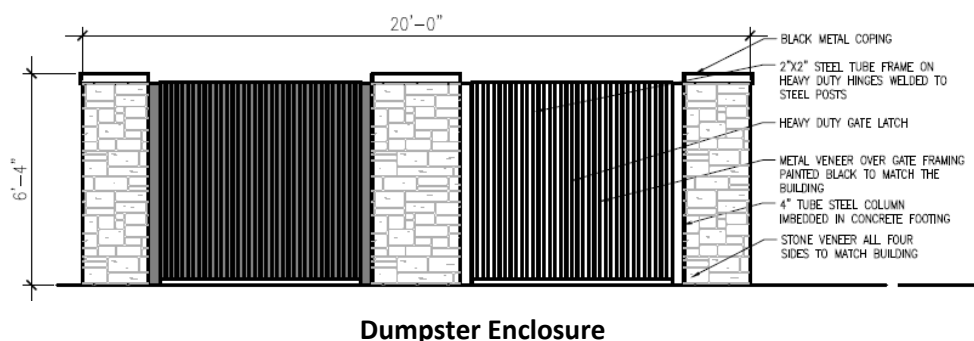
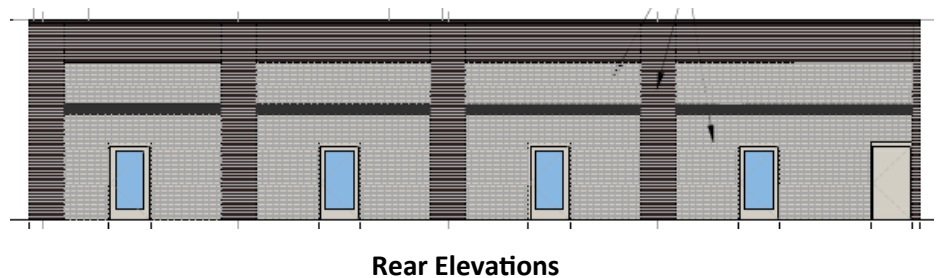
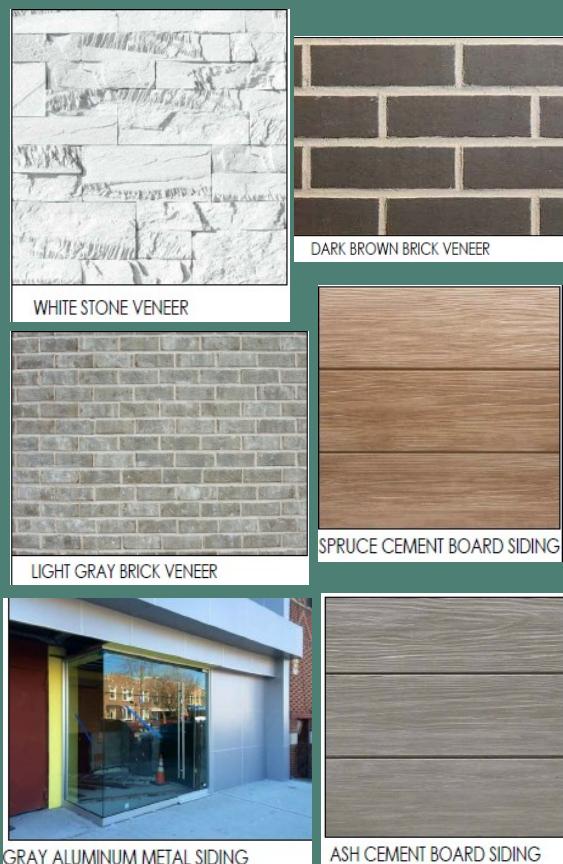
DUMPSTER ENCLOSURE

The enclosure will be constructed with stone veneer and metal gates to match the building.

LIGHTING

Up-down wall sconces will be provided on the building.

Material Board



Conclusion

STAFF RECOMMENDATION

Staff recommends approval of the Hope Plaza 3 Site Plan.

Conclusion

The applicant is requesting approval of a site plan for a 17,618 square foot multi-tenant retail building with outdoor patio space.

The building will feature arched roof lines and tower-like feature, and consist of brick and stone veneer.

A sidewalk and traffic signal easement will be reserved along NE Beaverbrooke Blvd to accommodate the future intersection improvements at NE Gateway Drive and Beaverbrooke Blvd.





Development Services

410 SE Main St, Suite 102

Grimes, IA 50111

(515)986-4050

www.grimesiowa.gov

~~October 18, 2023~~

~~November 7, 2023~~

~~November 21, 2023~~

~~December 20, 2023~~

Civil Design Advantage

Attn: Josh Trygstad

4121 NW Urbandale Dr

Urbandale, IA 50322

RE: Hope Plaza 3 Site Plan

Dear Mr. Trygstad:

The Development Services Department is in receipt of a proposed Site Plan for Hope Plaza 3. Based on the review of the provided submittal materials, staff have the following comments:

General Comments:

- ~~1. What is the proposed construction timeline for this project in relation to the apartments and NE 12th Street? NE 12th Street and the detention basin will need to be completed prior to construction of this project.~~
- ~~2. As built drawings to be provided to the city upon completion of the construction per the city Commercial As Built Policy.~~
- ~~3. Provide the grease interceptor specifications for review.~~
- ~~4. Please show turning movements through the site, especially for the driveway entrances. What type of trucks are proposed to enter the site? Please provide.~~
- ~~5. Please provide easement to accommodate future improvements to the intersection. See exhibit below.~~
 - ~~a. Provide minimum 3' easement along Beaverbrooke.~~
 - ~~b. Please provide an area of 5' x 5' outside of the sidewalks at the SW corner of the Beaverbrooke/Gateway intersection for future traffic signal. The easement at the corner should be expanded to accommodate a 5'x5' area for the traffic signal within the easement and a portion of the sidewalk.~~



6. ~~The building appears to be broken up into three sections. Is the middle section of the building planned to be single occupancy? This will affect how the suite numbers are assigned for the building.~~
7. ~~Provide lighting plan.~~

Coversheet

1. ~~Update legal description to Plat 6.~~
2. ~~Please add the suite number range per the notes below.~~
 - a. ~~If the center will be all one suite, then: Suites 100 to 136 counting by 4. Starting at the SE corner and counting to the NW corner.~~
 - b. ~~If they need to label each exterior door, on the frontage side: Suites 100 to 148 counting by 4. Starting at the SE corner counting to the NW corner.~~
3. ~~Update required open space to 25%.~~

C2.0

1. ~~Please add a note to the plan stating that a separate sign permit is required for review and approval.~~
2. ~~Based on the Geotech report, the private drive paving will need to be 7" thick with 8" thick approach. Please label pavement thickness.~~
3. ~~Label ADA sign locations for the spaces on the east side of the building.~~

- ~~4. Provide one way street signage in the median of Beaverbrooke Blvd to direct traffic to head east on NE Beaverbrooke Blvd. This sign will need to have a black tele spar since this will be a city sign. Please label.~~
- ~~5. Please label building setbacks.~~
- ~~6. Label stop sign locations at both connections to the public streets.~~

C3.0

- ~~1. The entire site is not shown. Please fix or add an additional sheet.~~
- ~~2. Provide elevations at all grade breaks, intakes, and low points, and ADA stalls.~~
- ~~3. Provide ADA parking spaces slope and cross slope details.~~
- ~~4. Provide ADA sidewalk ramps grading details.~~
- ~~5. A railing is required for the retaining wall. Please provide detail of railing and wall. Provide details with the site plan as this is site related. The detail refers to the arch plans for the railing and exterior side of the wall. Please update the detail to include the proposed materials or update the building elevations to include the wall and railing detail.~~

C3.1

- ~~1. Provide elevations at all grade breaks, intakes, and low points, and ADA stalls.~~

C3.2

- ~~1. Provide elevations and slopes.~~
- ~~2. Provide ADA ramps details.~~

C4.0

- ~~1. Do stabilization quantities account for temporary stabilization efforts?~~
- ~~2. Include temporary stockpile locations.~~
- ~~3. Any slopes 3:1 or steeper will need matted.~~

C5.0

- ~~1. Fire code requires an on-site fire hydrant within 100' of the FDC. Assuming the FDC is located on the west side of the building, the onsite fire hydrant will need to be located and accessible for fire apparatus. Label FDC location.~~
- ~~2. Provide hydrant coverage for the building every 150' along an accessible route for the fire truck.~~
- ~~3. Verify size and slope of sanitary sewer service to the lot. Hope Commercial Plat 6 CD's callout 4 inch services to the lots.~~
- ~~4. Relocate hydrant to the east side of the northern entrance along NE Beaverbrooke Blvd.~~
- ~~5. Provide quantities tab.~~
- ~~6. Call out critical crossing elevations.~~

C6.0

- ~~1. Detail 6 — Are pole signs proposed for the ADA parking signs? The site plan appears to show them mounted to the building. Please clarify.~~
- ~~2. Detail 5 — Where are the proposed bollards located?~~

C7.0

- ~~1. No more than 5 trees in a row can be the same species. Please revise.~~

SWPPP

- ~~1. Include a signed copy of the owner's certification.~~
2. Include site supervisor contact information once known.
3. Include SWPPP monitoring contact information once known.
- ~~4. Include City of Grimes in Spill Response Reporting~~
5. Include signed contractor certification statements for each contractor involved.

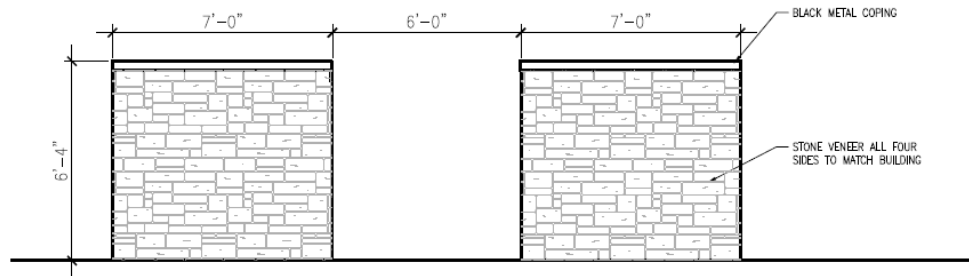
6. Include a completed projected construction schedule.
7. Include a completed operators log.
8. Include a completed copy of the inspector qualifications lot.
9. Include a completed copy of the stormwater pollution prevention training log.
10. Keep map up to date with each submittal.

SWMP

1. ~~Storm Sewer Spreadsheet: Update "Structure to ST#" on lines L-6 through L-9.~~

Architecture

1. ~~Provide elevations for the rear of the building.~~
2. ~~Label building materials on the elevation drawing.~~
3. ~~Provide building material percentages. A minimum 75% of all facades exclusive of doors and windows shall be brick/stone or similar concrete or masonry material. The front and sides do not meet the 75% masonry requirement. Please revise. In review of the PUD, this site is located within the Commercial Central area where the permitted primary building materials are brick, stone, or masonry. Nichiha and metal would not be considered primary material but can be used as part of the other 25% of the building materials.~~
4. Please list/label the 5 architectural elements that are demonstrated on the building as noted in 12-11-1.24.A.1.b for Zone 1 of the Highway 141 corridor district.
5. ~~Provide dumpster enclosure detail. Is the 6' measurement a walkway on the rear of the enclosure?~~



6. ~~Provide lighting cut sheet. Please provide building lighting cut sheets.~~
7. Update the building elevation to show the retaining wall at the rear of the building and label the proposed material and color of the exterior face of the wall and railing.

Please provide a letter addressing all comments on this comment letter and/or state what was modified on the site plan to address said comments.

SITE PLAN SUBMITTAL SCHEDULE:

SUBMITTAL DATE: ~~October 24, 2023~~
November 28, 2023
(1 PDF of Site plan with Elevation Plan included)

PLANNING & ZONING: January 2, 2024 at 5:30 We will need updated
architecture elevations to be on P&Z

COUNCIL MEETING: January 23, 2024 at 5:30

Please feel free to contact me at emartin@grimesiowa.gov or at (515) 986-4050 if you have any questions or need additional information.

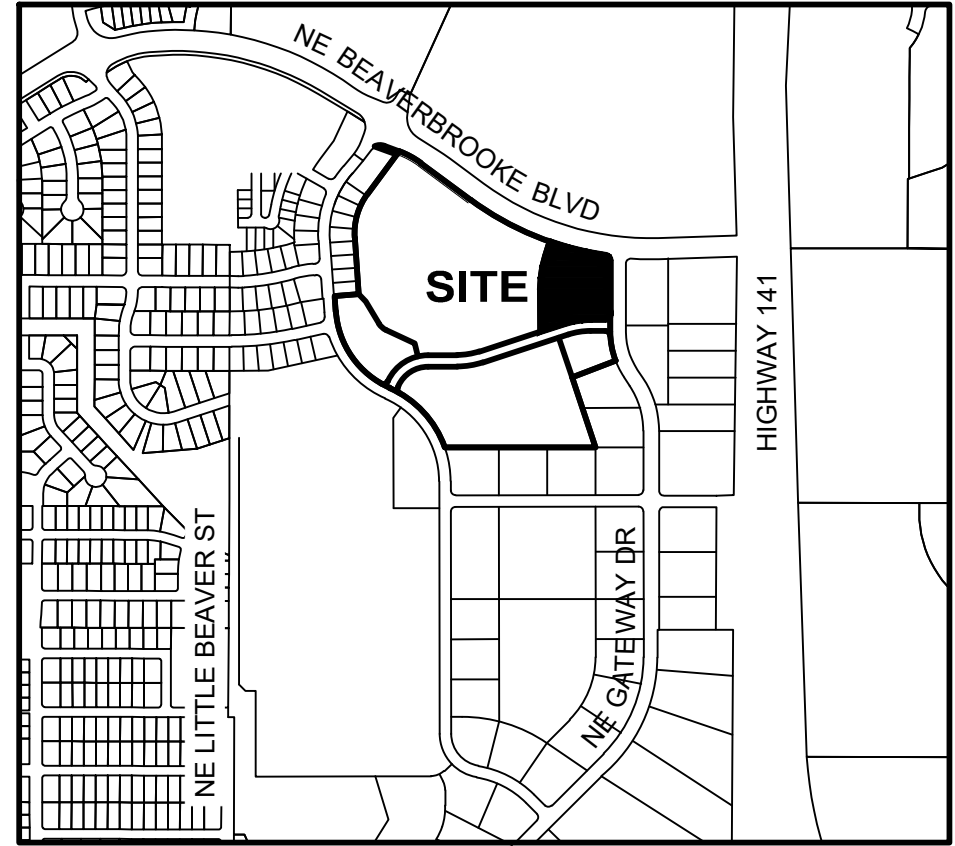
Sincerely,
Evann Martin
Assistant Planner

HOPE PLAZA III

GRIMES, IOWA

VICINITY MAP

NOT TO SCALE



PROPERTY DESCRIPTION

LOT 2, HOPE COMMERCIAL, PLAT 6

ZONING

ZONING: R-4 HOPE COMMERCIAL PUD
(PLANNED UNIT DEVELOPMENT)

PROJECT SITE ADDRESS

1601 NE 12TH STREET, SUITES 100-136
GRIMES, IA 50111

EXISTING/ PROPOSED USE

MIXED-USE

DEVELOPMENT SUMMARY

LOT AREA: 3.02 ACRES (131,543 SF)

SETBACKS:

FRONT YARD: 25' NE BEAVERBROOKE DRIVE
FRONT YARD: 25' NE GATEWAY DRIVE
FRONT YARD: 0' NE 12TH STREET
REAR YARD: 25'
SIDE YARD: 10' (EXTERNAL)
SIDE YARD: 0' (INTERNAL)

PARKING: 10' FROM ROW. 5' FROM INTERNAL LOT
LINE UNLESS A SHARED DRIVE IS PROVIDED

OPEN SPACE:

REQUIRED: 32,886 SF (25%)
PROVIDED: 34,230 SF (26%)

BUILDING = 17,618 SF
PARKING LOT = 71,403 SF
SIDEWALK = 5,540 SF
PLAZA = 2,752 SF

PARKING:

REQUIRED: = 131 SPACES
PATIO - 25 (10 SPACES/1,000 SF)
BUILDING - 106 (6 SPACES/1,000 SF)

PROVIDED: = 156 (6 ADA SPACES)

DATE OF SURVEY

02/14/2020

BENCHMARKS

BURY BOLT ON HYDRANT @ SE CORNER OF HWY 44 & SE
GATEWAY DRIVE
ELEVATION=940.44

CITY BENCHMARK G6J-012
CAP BOLT ON HYDRANT @ SW CORNER 5TH ST & NORTH
LITTLE BEAVER DR.
ELEVATION=926.02

CITY BENCHMARK G6N-004
CAP BOLT ON FIRE HYDRANT AT THE SOUTHWEST CORNER OF
NORTH 4TH STREET AND NORTH LITTLE BEAVER DRIVE
ELEVATION=927.36

CONSTRUCTION SCHEDULE

ANTICIPATED START DATE = SPRING 2024
ANTICIPATED FINISH DATE = FALL 2024

INDEX OF SHEETS

NO.	DESCRIPTION
C0.0	COVER SHEET
C1.0	DEMOLITION PLAN
C2.0	DIMENSION PLAN
C3.0-C3.2	GRADING PLAN
C4.0	EROSION & SEDIMENT CONTROL PLAN
C5.0	UTILITY PLAN
C6.0	DETAILS
C7.0	LANDSCAPE PLAN

FLOOD ZONE CLASSIFICATION

SUBJECT PROPERTY IS LOCATED IN ZONE 'A' AS SHOWN
ON THE FLOOD INSURANCE RATE MAPS FOR THE CITY OF
GRIMES, POLK COUNTY, IOWA. COMMUNITY PANEL 160 OF
555 MAP NUMBER 19153C0160F WITH A REVISION DATE OF
FEBRUARY 1, 2019.

NOTE:
FLOODPLAIN PERMIT IS REQUIRED.



UTILITY WARNING

ANY UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD
SURVEY, MAP LOCATIONS, FUTURE LOCATIONS AND
RECORDS OBTAINED BY THIS SURVEYOR. THE SURVEYOR
MAKES NO GUARANTEE THAT THE UTILITIES SHOWN
COMPRISE ALL THE UTILITIES IN THE AREA, EITHER IN
SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES
NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE
EXACT LOCATION SHOWN.

GENERAL LEGEND

PROPOSED

SECTION LINE
CENTER LINE
RIGHT OF WAY
PERMANENT EASEMENT
TEMPORARY EASEMENT

TYPE SW-501 STORM INTAKE

TYPE SW-502 STORM INTAKE

TYPE SW-503 STORM INTAKE

TYPE SW-505 STORM INTAKE

TYPE SW-506 STORM INTAKE

TYPE SW-512 STORM INTAKE

TYPE SW-513 STORM INTAKE

TYPE SW-401 STORM MANHOLE

TYPE SW-402 STORM MANHOLE

FLARED END SECTION

TYPE SW-301 SANITARY MANHOLE

STORM/SANITARY CLEANOUT

WATER VALVE

FIRE HYDRANT ASSEMBLY

SIGN

DETECTABLE WARNING PANEL

WATER CURB STOP

STORM SEWER STRUCTURE NO.

STORM SEWER PIPE NO.

SANITARY SEWER STRUCTURE NO.

SANITARY SEWER PIPE NO.

SANITARY SEWER

SANITARY SERVICE

STORM SEWER

STORM SERVICE

WATERMAIN WITH SIZE

WATER SERVICE

SAWCUT (FULL DEPTH)

SILT FENCE

USE AS CONSTRUCTED

MINIMUM PROTECTION ELEVATION

EXISTING

SANITARY MANHOLE

WATER VALVE BOX

FIRE HYDRANT

WATER CURB STOP

WELL

STORM SEWER MANHOLE

STORM SEWER SINGLE INTAKE

STORM SEWER DOUBLE INTAKE

FLARED END SECTION

DECIDUOUS TREE

CONIFEROUS TREE

DECIDUOUS SHRUB

CONIFEROUS SHRUB

ELECTRIC POWER POLE

GUY ANCHOR

STREET LIGHT

POWER POLE W/ TRANSFORMER

UTILITY POLE W/ LIGHT

ELECTRIC BOX

ELECTRIC TRANSFORMER

ELECTRIC MANHOLE OR VAULT

TRAFFIC SIGN

TELEPHONE JUNCTION BOX

TELEPHONE MANHOLE/VAULT

TELEPHONE POLE

GAS VALVE BOX

CABLE TV JUNCTION BOX

CABLE TV MANHOLE/VAULT

MAIL BOX

BENCHMARK

SOIL BORING

UNDERGROUND TV CABLE

GAS MAIN

FIBER OPTIC

UNDERGROUND TELEPHONE

OVERHEAD ELECTRIC

UNDERGROUND ELECTRIC

FIELD TILE

SANITARY SEWER WITH SIZE

STORM SEWER WITH SIZE

WATER MAIN WITH SIZE

OWNER/APPLICANT

HOPE K FARMS LLC
1548 S 45TH ST
WEST DES MOINES, IA 50265-5765
CONTACT: REZA KARGARZADEH
EMAIL: RKARGARZ@EPCMGF.COM

ENGINEER

CIVIL DESIGN ADVANTAGE
4121 NW URBANDALE DRIVE
URBANDALE, IOWA 50322
PH. (515) 369-4400
FX. (515) 369-4410
CONTACT: JOSH TRYGSTAD
EMAIL: JOSHT@CDA-ENG.COM

SURVEYOR

CIVIL DESIGN ADVANTAGE
4121 NW URBANDALE DRIVE
URBANDALE, IA 50322
CONTACT: CHARLIE MCGLATHLEN
EMAIL: CHARLIE@CDA-ENG.COM
PH. (515) 369-4400

ARCHITECT

ACCURATE COMMERCIAL
9500 UNIVERSITY AVENUE, SUITE 2112
WEST DES MOINES, IOWA 50266
CONTACT: MARTY BARKLEY
EMAIL: MBARKLEY@ACCURATE-COMMERCIAL.COM
PH. (515) 333-5160
FX. (515) 225-4864

SUBMITTAL DATES

FIRST SUBMITTAL: 10/09/2023
SECOND SUBMITTAL: 10/30/2023
THIRD SUBMITTAL: 11/13/2023
FORTH SUBMITTAL: 12/19/2023

THE CONTRACTOR IS REQUIRED TO COORDINATE ALL WORK WITH OTHER
CONSTRUCTION PROJECTS IN THE VICINITY. INCLUDING ADJACENT PROPERTY
OWNERS PRIVATE CONTRACTORS AND ADDITIONAL BID PACKAGES ASSOCIATED
WITH THE HOPE COMMERCIAL PLAT 6 PROJECT.

REFER TO TERRACON GEOTECHNICAL ENGINEERING REPORT NO. 08195021-03 FOR
GEOTECHNICAL REQUIREMENTS.

ALL CONSTRUCTION MATERIALS, DUMPSTERS, DETACHED TRAILERS OR SIMILAR
ITEMS ARE PROHIBITED ON PUBLIC STREETS OR WITHIN THE PUBLIC R.O.W.

19228

PROFESSIONAL ENGINEER

JOHN A. TRYGSTAD

REGISTERED

19228

PROFESSIONAL ENGINEER

JOHN A. TRYGSTAD

REGISTERED

I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS
PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION
AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER
UNDER THE LAWS OF THE STATE OF IOWA.

DATE _____
LICENSE NUMBER 19228
MY LICENSE RENEWAL DATE IS DECEMBER 31, 2024
PAGES OR SHEETS COVERED BY THIS SEAL:
SHEETS C0.0-C6.0

THE PROJECT REQUIRES AN IOWA NPDES PERMIT #2 AND CITY OF
GRIMES GRADING PERMIT. THE CONTRACTOR SHALL APPLY FOR
THE IOWA NPDES PERMIT #2. CIVIL DESIGN ADVANTAGE WILL
PROVIDE THE INITIAL STORM WATER POLLUTION PREVENTION PLAN
(SWPPP) FOR THE CONTRACTORS USE DURING CONSTRUCTION. THE
CONTRACTOR SHALL BE RESPONSIBLE FOR UPDATING THE SWPPP
THROUGHOUT CONSTRUCTION AND MEETING LOCAL, STATE AND
FEDERAL REQUIREMENTS.

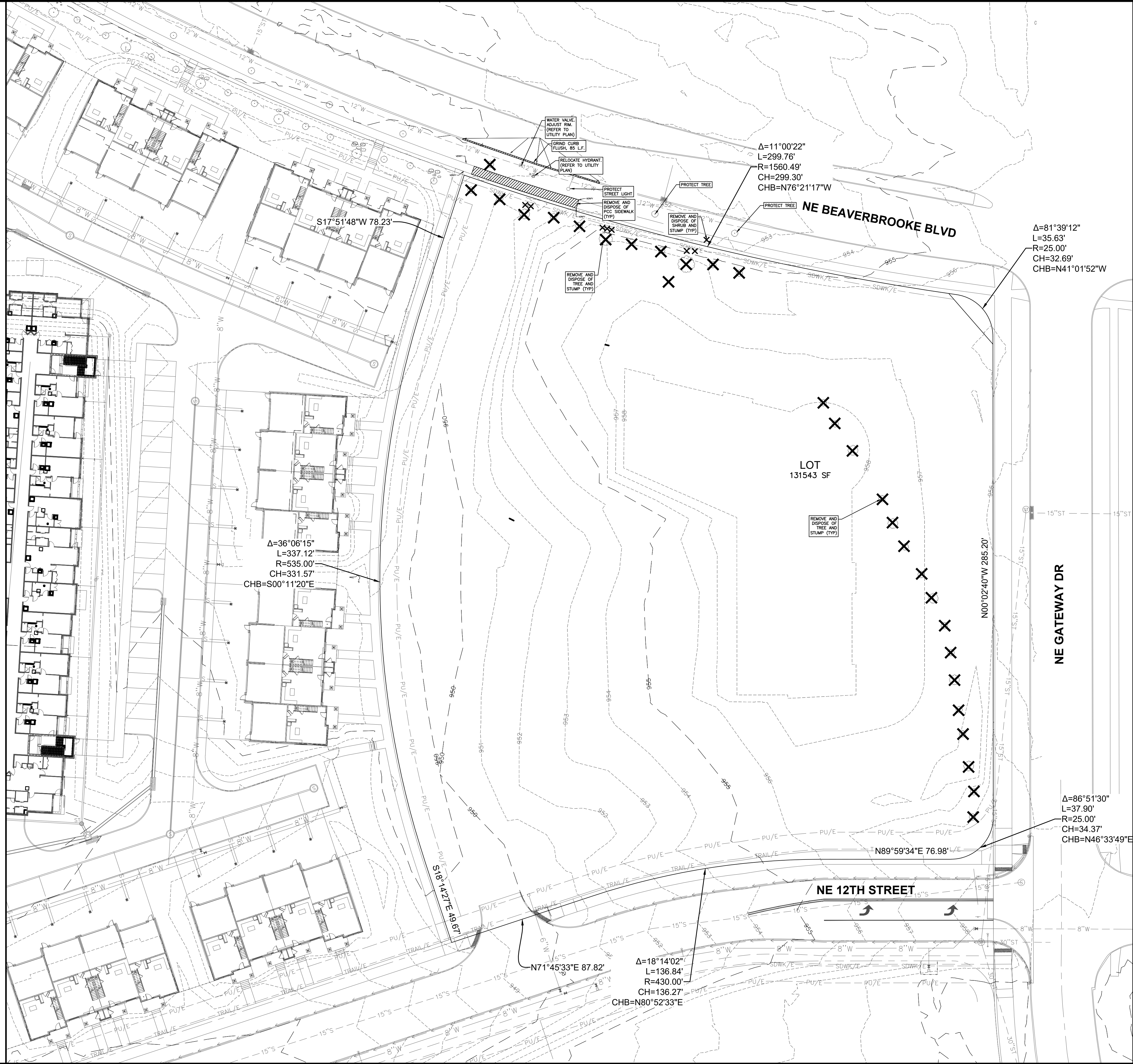
THE 2023 EDITION OF THE SUDAS STANDARD SPECIFICATIONS. THE
PUBLIC RIGHTS-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG) AND
ALL CITY SUPPLEMENTALS, IF APPLICABLE, SHALL APPLY TO ALL
WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.



4121 NW URBANDALE DRIVE, URBANDALE, IA 50322

PH: (515) 369-4400

PROJECT NO. 2307.481

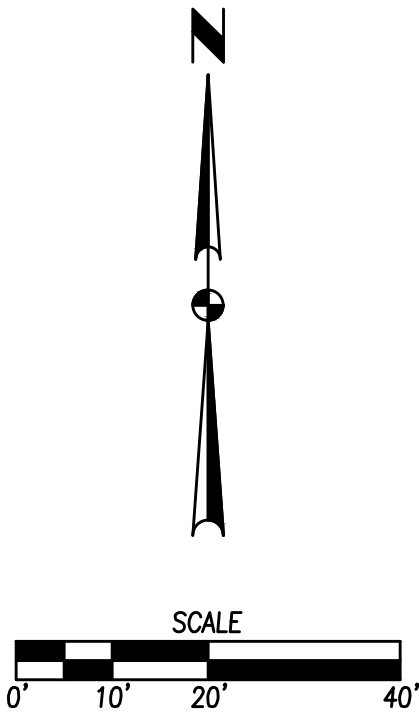


DEMOLITION NOTES

- PRIOR TO ANY WORK AT THE SITE, CONTRACTOR SHALL EXAMINE ANY APPLICABLE DRAWINGS AVAILABLE FROM THE OWNER OR ENGINEER AND CONSULT WITH OWNER'S PERSONNEL AND UTILITY COMPANY REPRESENTATIVES. NO COMPENSATION WILL BE ALLOWED FOR DAMAGE FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.
- PRIOR TO DEMOLITION, CONTRACTOR SHALL NOTIFY IN WRITING (48 HRS NOTICE) THE FOLLOWING:
 - CITY
 - APPROPRIATE UTILITY COMPANIES
 - OWNER
 - CIVIL DESIGN ADVANTAGE
 - ARCHITECT
- DO NOT DISTURB EXISTING UTILITIES UNLESS OTHERWISE NOTED. COORDINATE REMOVAL OR ABANDONMENT OF ALL UTILITIES WITH THE APPROPRIATE UTILITY SUPPLIER AND REGULATORY AGENCIES.
- PROTECT EXISTING UTILITIES THAT ARE TO REMAIN. THE LOCATIONS OF ALL UTILITIES INDICATED ON THE PLANS ARE TAKEN FROM EXISTING RECORDS. THE EXACT LOCATION AND ELEVATION OF ALL UTILITIES MUST BE DETERMINED BY THE CONTRACTOR. IT SHALL BE THE DUTY OF THE CONTRACTOR TO ASCERTAIN WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLAN MAY BE PRESENT.
- BACKFILL ALL EXCAVATIONS WITH COHESIVE MATERIAL COMPACTED TO 95% MAXIMUM STANDARD PROCTOR DRY DENSITY AND MOISTURE RANGE OF OPTIMUM MOISTURE TO 4% ABOVE OPTIMUM MOISTURE. TESTING OF BACKFILL TO BE BY A GEOTECHNICAL ENGINEER EMPLOYED BY THE OWNER. IN THE EVENT OF A TEST FAILURE, ANY RETESTING SHALL BE PAID FOR BY THE CONTRACTOR.
- FIELD VERIFY EXISTING GRADES AND LOCATION OF EXISTING UTILITIES, CONDUIT, LINES, POLES, TREES, PAVING, BUILDING AND OTHER SITE FEATURES PRIOR TO DEMOLITION AND IMMEDIATELY INFORM THE ENGINEER AND/OR OWNER OF ANY DISCREPANCIES.
- DEMOLITION NOTES AS SHOWN ON THE PLAN ARE NOT ALL INCLUSIVE. CONTRACTOR TO ABANDON IN PLACE OR REMOVE AND DISPOSE OF ALL EXISTING SITE IMPROVEMENTS ABOVE AND BELOW GROUND TO COMPLY WITH THE GENERAL INTENT OF THIS DOCUMENT.
- ALL CONSTRUCTION/DEMOLITION DEBRIS SHALL BE DISPOSED OF OFFSITE IN FULL COMPLIANCE WITH CURRENT ENVIRONMENTAL REGULATIONS.
- CONSTRUCTION LIMITS SHALL BE CONFINED TO THE SITE BOUNDARY AS NOTED. ANY DAMAGE TO PROPERTIES OUTSIDE THE SITE BOUNDARY SHALL BE AT THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- ALL WORK SHALL BE IN ACCORDANCE WITH OSHA STANDARDS. NOTHING INDICATED ON THE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.

TRAFFIC CONTROL NOTES

- ALL APPLICABLE CITY PERMITS, INCLUDING BUT NOT LIMITED TO CLOSURE PERMITS, SHALL BE OBTAINED PRIOR TO ANY CONSTRUCTION WITHIN CITY R.O.W. OR LANE CLOSURES.
- ALL TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- PERMANENT SIGNING THAT CONVEYS A MESSAGE CONTRARY TO THE MESSAGE OF TEMPORARY SIGNING AND NOT APPLICABLE TO THE WORKING CONDITIONS SHALL BE COVERED BY THE CONTRACTOR WHEN DIRECTED BY THE CITY.
- THE CONTRACTOR SHALL COORDINATE HIS TRAFFIC CONTROL WITH OTHER CONSTRUCTION PROJECTS IN THE AREA.
- SIDEWALK CLOSED SIGNS REQUIRED FOR ALL SIDEWALK CLOSURES.
- THE CONTRACTOR IS CAUTIONED NEITHER TO OBSTRUCT NOR REMOVE ANY EXISTING PAVEMENT, NOR TO DISTURB THE EXISTING TRAFFIC PATTERNS MORE THAN IS NECESSARY FOR THE PROPER EXECUTION OF THE WORK.
- ALL SIGNING AND LANE STRIPING WILL NEED TO COMPLY WITH MUTCD, MAINTENANCE AND REPLACEMENT OF THE SIGNING AND STRIPING WILL BE THE RESPONSIBILITY OF THE APPLICANT.



HOPE PLAZA III
DEMOLITION PLAN

C1.0

2307481

4121 NW URBANDALE DRIVE
URBANDALE, IOWA 50322
PHONE: (515) 369-4400



GRIMES, IOWA

ENGINEER:

TECH:

REVISIONS

DATE	DESCRIPTION
12/19/2023	FORTH SUBMITTAL
11/13/2023	THIRD SUBMITTAL
10/30/2023	SECOND SUBMITTAL
10/09/2023	FIRST SUBMITTAL



1. ALL PAVEMENT WORK, PUBLIC OR PRIVATE SHALL BE DONE IN ACCORDANCE WITH SUDAS STANDARDS SPECIFICATIONS.
2. SIDEWALKS, DRIVEWAYS, DRIVE LINES WITHIN PARKING AND PARKING SPACES SHALL BE CLASS C PORTLAND CEMENT CONCRETE (P.C.C.) COARSE AGGREGATE FOR P.C.C. CONSTRUCTION SHALL BE CLASS 3 DURABILITY.
3. PLACE 3/4 INCH EXPANSION JOINT BETWEEN ALL P.C.C. PAVEMENT/SIDEWALKS AND BUILDING. PLACE 1/2 INCH EXPANSION JOINT BETWEEN SIDEWALKS AND P.C.C. PAVEMENT.
4. PAVEMENT THICKNESS:

SIDEWALKS	4" P.C.C.	
SHARED USE PATH	5" P.C.C.	
TRAIL	6" P.C.C.	
SIDEWALK RAMPS	6" P.C.C.	
STANDARD DUTY PAVING	6" P.C.C.	
PRIVATE ROADWAY PAVING	7" P.C.C.	
PAVING WITHIN R.O.W./TRASH ENCLOSURE	8" P.C.C.	

1. THE 2023 EDITION OF THE SUDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.
2. ALL WORK SHALL COMPLY WITH ADA ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES.
3. ALL WORK SHALL BE IN ACCORDANCE WITH OSHA CONSTRUCTION STANDARDS. NOTHING INDICATED ON THE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.
4. PRIOR TO ANY WORK AT THE SITE, CONTRACTOR SHALL EXAMINE ANY APPLICABLE DRAWINGS AVAILABLE FROM THE OWNER, ENGINEER, AND/OR ARCHITECT, AND CONSULT WITH OWNER'S PERSONNEL AND UTILITY COMPANY REPRESENTATIVES. NO COMPENSATION WILL BE ALLOWED FOR DAMAGE FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.
5. ONE WEEK PRIOR TO CONSTRUCTION WITHIN CITY R.O.W. OR ANY CONNECTION TO PUBLIC SEWERS CONTRACTOR SHALL NOTIFY THE CITY'S CONSTRUCTION DIVISION.
6. ALL CONSTRUCTION WITHIN PUBLIC R.O.W. / EASEMENTS, AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, SHALL COMPLY WITH THE CITY'S STANDARDS.
7. ALL DIMENSIONS ARE TO BACK OF CURB, BUILDING FACE OR PROPERTY LINE UNLESS OTHERWISE NOTED.
8. CONTRACTOR SHALL VERIFY BUILDING DIMENSIONS WITH ARCHITECTURAL PLANS.
9. PLACE 3/4 INCH EXPANSION JOINT BETWEEN ALL P.C.C. PAVEMENT/SIDEWALKS AND BUILDING. PLACE 1/2 INCH EXPANSION JOINT BETWEEN SIDEWALKS AND P.C.C. PAVEMENT.
10. REMOVE ALL DEBRIS SPILLED INTO R.O.W. AT THE END OF EACH WORK DAY.
11. ALL PROPERTY SHALL BE PROTECTED FROM GRADING OR OTHER OPERATIONS. ANY PINS DISTURBED SHALL BE RESET AT THE CONTRACTOR'S EXPENSE.
12. DO NOT STORE CONSTRUCTION MATERIALS AND EQUIPMENT IN THE RIGHT OF WAY.
13. THE CONTRACTOR SHALL NOT DISTURB DESIRABLE GRASS AREAS AND DESIRABLE TREES OUTSIDE THE CONSTRUCTION LIMITS. THE CONTRACTOR WILL NOT BE PERMITTED TO PARK OR SERVICE VEHICLES AND EQUIPMENT OR USE THESE AREAS FOR STORAGE OF MATERIALS.
14. ALL PARKING AREAS WHERE AREAS WILL BE SUBJECT TO THE APPROVAL OF THE OWNER.
15. THE CONTRACTOR IS RESPONSIBLE FOR REPLACING ANY AREAS OF PAVEMENT OR SIDEWALK NOT TO BE REMOVED THAT IS DAMAGED DUE TO OPERATING EQUIPMENT ON THE PAVEMENT OR SIDEWALK.
16. THE CONTRACTOR MAY BE REQUIRED TO PLACE TEMPORARY WARNING DEVICES AND SAFETY FENCE AT CERTAIN LOCATIONS WHERE STORAGE OF MATERIALS ARE NOT PERMITTED BY THE CITY.
17. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF WORK BETWEEN SUPPLIERS AND SUBCONTRACTORS INVOLVED IN THE PROJECT, INCLUDING STAGING OF CONSTRUCTION DETAILS.
17. CONCRETE REMOVAL FOR DRIVEWAY APPROACHES SHALL BE REMOVED TO THE NEAREST TRANSVERSE JOINT. CONTRACTOR SHALL VERIFY REMOVAL LIMITS WITH CITY'S CONSTRUCTION INSPECTOR PRIOR TO ANY CONCRETE REMOVAL.
18. ALL PERMITS AND ADDITIONAL FEES REQUIRED TO COMPLETE THE WORK SHALL BE INCLUDED IN THE CONTRACTOR BID.
19. A SEPARATE SIGN PERMIT IS REQUIRED FOR REVIEW AND APPROVAL.

- A. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CURRENT VERSION OF THE IOWA STATEWIDE URBAN DESIGN AND SPECIFICATIONS (SUDAS) FOR PUBLIC IMPROVEMENTS ON THE DATE OF APPROVAL AND THE CITY OF GRIMES SUPPLEMENTAL SPECIFICATIONS.
- B. A PRECONSTRUCTION MEETING IS REQUIRED PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE THIS MEETING. CONTACT THE CITY OF GRIMES BUILDING DIVISION (515.986.4050).
- C. ALL PERMITS (WATER, EROSION CONTROL, ARMY, ETC.) SHALL BE OBTAINED PRIOR TO THE START OF CONSTRUCTION.
- D. PROVIDE THE CITY OF GRIMES WITH RECORD DRAWINGS (AS-BUILTS) OF ALL IMPROVEMENTS AND EASEMENTS AS PER CITY COMMERCIAL AS-BUILT POLICY.
- E. THE RECORD DRAWINGS SHOULD INCLUDE A CERTIFIED GRADING SHEET AND AS-BUILT PLANS OF ALL STORMWATER MANAGEMENT FACILITIES ON THE PROJECT WITH A CERTIFICATION STATEMENT SIGNED BY THE DESIGN ENGINEER INDICATING THAT THE FACILITIES WERE CONSTRUCTED AS DESIGNED.
- F. RECORD DRAWINGS TO INCLUDE ONE ELECTRONIC FILE IN .DWG AND .PDF FILE EXTENSIONS.
- G. TYPICAL BUILDING SERVICE LAYOUT TO REFLECT THE CITY'S SERVICE ORDER FROM LEFT TO RIGHT FACING THE LOT SANITARY, WATER, AND GAS. MARK THE ENDS OF SERVICES WITH A 2" X 4" POST. RED FOR WATER, BLUE FOR WATER, AND WHITE FOR GAS. MARK THE ENDS OF SANITARY AND SUMP WITH A 2 X 4 FROM END OF PIPE TO 2' ABOVE GRADE.
- H. A KNOX BOX IS REQUIRED BY THE FIRE DEPARTMENT.
- I. ALL SITE LIGHTING SHALL NOT SPILL ONTO ADJACENT PROPERTIES OR RIGHTS-OF-WAY.
- J. PROVIDE A ONE-YEAR MAINTENANCE BOND FOR ALL PUBLIC IMPROVEMENTS (UTILITY, PAVING, SUBGRADE) WITH AN ITEMIZED COST BREAKDOWN.

A. THE CONTRACTOR IS REQUIRED TO PLACE A TEMPORARY PLUG IN THE EXISTING DOWNSTREAM SANITARY SEWER MANHOLE PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL REMOVE THE PLUG FOLLOWING APPROVAL OF CONSTRUCTION BY THE CITY OF GRIMES.

B. SANITARY GRAVITY PIPE MATERIAL SHALL BE PVC SDR 26 OR TRUSS (8" TO 15").

C. SANITARY GRAVITY SERVICE PIPE MATERIAL SHALL BE PVC SDR 23.5 (4" TO 6").

D. ALL SANITARY SEWER MANHOLES SHALL HAVE STEPS.

E. ALL SANITARY SEWER MANHOLES CASTINGS SHALL BE SEALED WITH HEAT SHRINK SLEEVES.

F. ALL SANITARY SEWER MANHOLE CASTINGS SHALL BE TYPED AND PAINTED TO MATCH THE EXISTING PAVING WITH ADJUSTING MECHANISM.

G. SANITARY SEWER CLEANING & TELEVISION SHALL BE COMPLETED PRIOR TO PAVING. RUN SUFFICIENT DYED WATER THROUGH PIPE PRIOR TO TELEVISION. PROVIDE THE VIDEO AND INSPECTION REPORT TO THE CITY ENGINEERING DIVISION.

A. ALL FIRE HYDRANTS SHALL BE AMERICAN FLOW CONTROL-WATEROUS PACER WB-67-250, MUELLER SUPER CENTURION 250 (3-WAY, A-423), OR CLOVERLEAF 7F-245. ALL HYDRANTS HAVE THE FOLLOWING: 2" MJ SHOE, 2-1/2" HOSE NOZZLE, 4-1/2" STEAMER NOZZLE, NSF, 3" THREADS, PENTAGON OPERATING NUT, CHAIN ON CAP, OPEN LEFT, 5-1/2" BURY, AND FACTORY PAINTED RED. THE MINIMUM SPOOL PIPE LENGTH FROM AUXILIARY VALVE TO HYDRANT SHOE SHALL BE 2'0".

B. ALL HYDRANTS WILL IMMEDIATELY BE COVERED WITH A BLACK PLASTIC BAG (OR EQUIVALENT) ONCE THE HYDRANT IS INSTALLED. THE CITY OF GRIMES WILL NOTIFY THE CONTRACTOR WHEN THE BAGS CAN BE REMOVED.

C. A TRACER WIRE RECEPTACLE SHALL BE INSTALLED AT EACH HYDRANT, AA MANUFACTURING TRACER WIRE RECEPTACLE MODEL TW-18-2.

D. ALL VALVES SHALL BE RESILIENT WEDGE GATE VALVES.

E. WATER SERVICE SHALL BE 1-INCH MINIMUM TYPE K COPPER.

F. THE CITY OF GRIMES SHALL DO THE FILLING OF THE WATER MAIN.

G. NEW WATER MAIN SHALL BE PRESSURE TESTED AND CHLORINATED BY THE CONTRACTOR. THE BACTERIA TEST AND SUBMITTAL OF TEST TO LAB SHALL BE DONE BY THE CONTRACTOR AND RESULTS PROVIDED TO THE CITY OF GRIMES ENGINEERING DIVISION. ALL TESTS AND SAMPLING TO BE WITNESSED BY THE CITY ENGINEERING DIVISION. IF THE TEST DOES NOT PASS, THE CONTRACTOR WILL BE REQUIRED TO PAY FOR ALL THE WATER USED TO REPEAT THE TEST.

H. ALL WATERMAIN FITTINGS TO BE RESTRAINED JOINT, MEGA-LUG OR APPROVED EQUAL.

I. ALL DEAD-END WATER MAINS TO HAVE TEMPORARY BLOWOFF HYDRANTS.

A. ALL STORM SEWER IN THE ROW SHALL BE RCP, UNLESS OTHERWISE APPROVED BY THE CITY.

B. ALL FLARED END SECTIONS SHALL HAVE FOOTINGS AND APRON GRATES. THE LAST 3 PIPE SECTIONS AND THE FLARED END SECTION ON ALL STORM SEWERS SHALL BE TIED. ALL STORM SEWER JOINTS SHALL BE WRAPPED WITH ENGINEERING FABRIC UNLESS OTHERWISE DIRECTED.

C. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY FIELD TILE DAMAGED DURING CONSTRUCTION. THE TILE SHOULD BE DIRECTED TO PUBLIC STORM SEWER IF POSSIBLE. THE CONTRACTOR SHALL RECORD THE ELEVATION AND LOCATION OF ALL TILES AND INCLUDE ON RECORD DRAWINGS.

D. PUBLIC STORM SEWER CLEANING & TELEVISION SHALL BE COMPLETED PRIOR TO PAVING. RUN SUFFICIENT DYED WATER THROUGH PIPE PRIOR TO PAVING. PROVIDE THE VIDEO AND INSPECTION REPORT TO THE CITY ENGINEERING DIVISION.

E. USE O RING GASKETS ON STORM SEWERS CROSSING OVER WATERMAIN PER INDR REQUIREMENT.

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GRIMES, IOWA

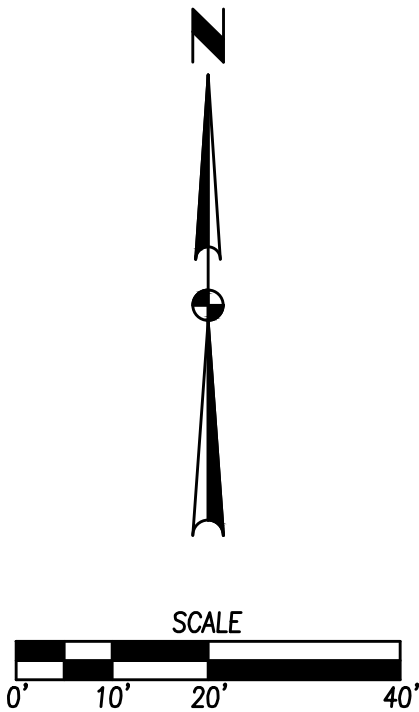
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GRADING NOTES

1. PRIOR TO ANY GRADING, A COPY OF THE NPDES PERMIT SHALL BE PROVIDED TO THE CITY OF GRIMES' BUILDING DIVISION.
2. THE PROJECT REQUIRES AN IOWA NPDES PERMIT #2 AND CITY OF GRIMES GRADING PERMIT. CIVIL DESIGN ADVANTAGE WILL PROVIDE THE PERMITS AND THE INITIAL STORM WATER POLLUTION PREVENTION PLAN (SWPPP) FOR THE CONTRACTOR'S USE DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR UPDATING THE SWPPP THROUGHOUT CONSTRUCTION AND MEETING LOCAL, STATE AND FEDERAL REQUIREMENTS.
3. CONTRACTOR SHALL STRIP ALL DELETERIOUS MATERIAL. THE TOP 6" OF TOPSOIL IS TO BE STOCKPILED AND RESPREAD AFTER GRADING IS COMPLETE. CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING A SUITABLE TOPSOIL STOCKPILE SITE.
4. EXCAVATION SHALL BE IN ACCORDANCE WITH THE 2023 EDITION OF THE SUDAS STANDARD SPECIFICATIONS AND ALL CITY OF GRIMES SUPPLEMENTALS, IF APPLICABLE.
5. MATCH EXISTING GRADES AT PROPERTY LINES AND/OR CONSTRUCTION LIMITS.
6. ALL SPOT ELEVATIONS ARE FORM GRADE (FG) OR TOP OF FINISHED SURFACES UNLESS OTHERWISE NOTED.
7. SITE SHALL BE GRADED TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS.
8. SLOPES IN PAVEMENT SHALL BE UNIFORM TO AVOID PONDING.
9. THE CONTRACTOR SHALL CONFINE HIS GRADING OPERATIONS TO WITHIN THE CONSTRUCTION LIMITS AND EASEMENTS SHOWN ON THE PLANS. ANY DAMAGE TO PROPERTIES OUTSIDE THE SITE BOUNDARY SHALL BE AT THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
10. THE CONTRACTOR SHALL APPLY NECESSARY MOISTURE CONTROL TO THE CONSTRUCTION AREA AND HAUL ROADS TO PREVENT THE SPREAD OF DUST.
11. REFER TO SEPARATE STORM WATER POLLUTION PREVENTION PLAN FOR DETAILS ON EROSION CONTROL.
12. FINAL FINISH GRADING TO BE APPROVED BY THE ARCHITECT AND CIVIL ENGINEER. MATCH EXISTING GRADES AT THE INTERFACE OF NEW AND EXISTING GRADES OR PAVING.
13. SIDEWALKS:
 - MAINTAIN 1% MINIMUM AND 5% MAXIMUM LONGITUDINAL SLOPES ON ALL PAVED WALKWAYS. ALL WALKS TO HAVE 2.0% MAXIMUM TRANSVERSE SLOPE IN THE DIRECTION OF NATURAL DRAINAGE. SAW CUT JOINTS AS SOON AS CONCRETE HAS SET. SAW CUTS TO BE 1/8" TO 1/4" WIDE; DEPTH: LONGITUDINAL 1/3, TRANSVERSE 1/4.
14. EXISTING TOPOGRAPHY FOR THIS AREA WAS TAKEN FROM PROPOSED CONTOURS FOR THE HOPE COMMERCIAL PLAT 1, HOPE COMMERCIAL PLAT 2 AND HOPE DISTRICT APARTMENTS. TIE-IN POINTS MAY VARY BASED ON CONSTRUCTED ELEVATIONS.



DATE

12/19/2023

11/13/2023

10/30/2023

10/09/2023

REVISIONS

FORTH SUBMITTAL

THIRD SUBMITTAL

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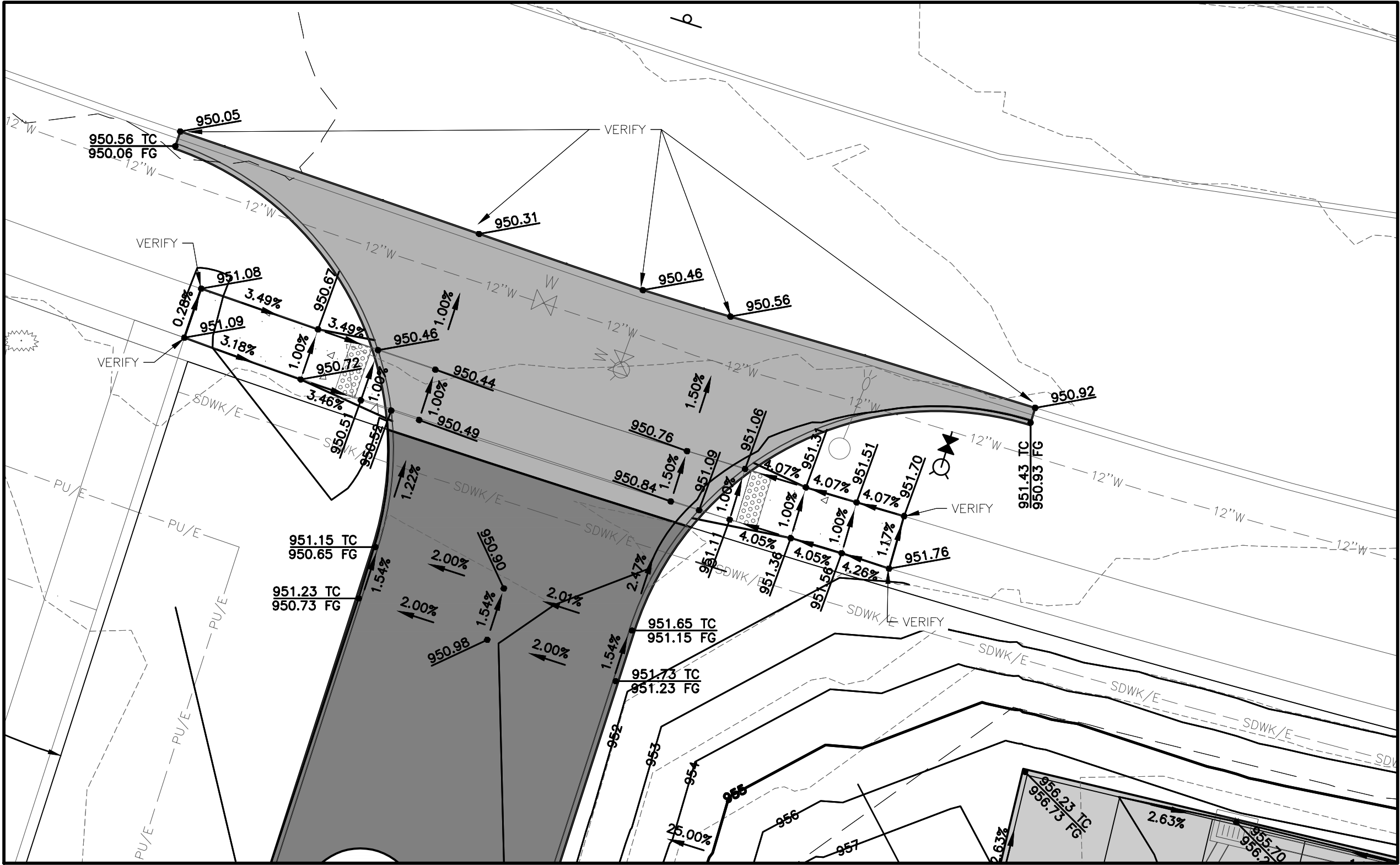
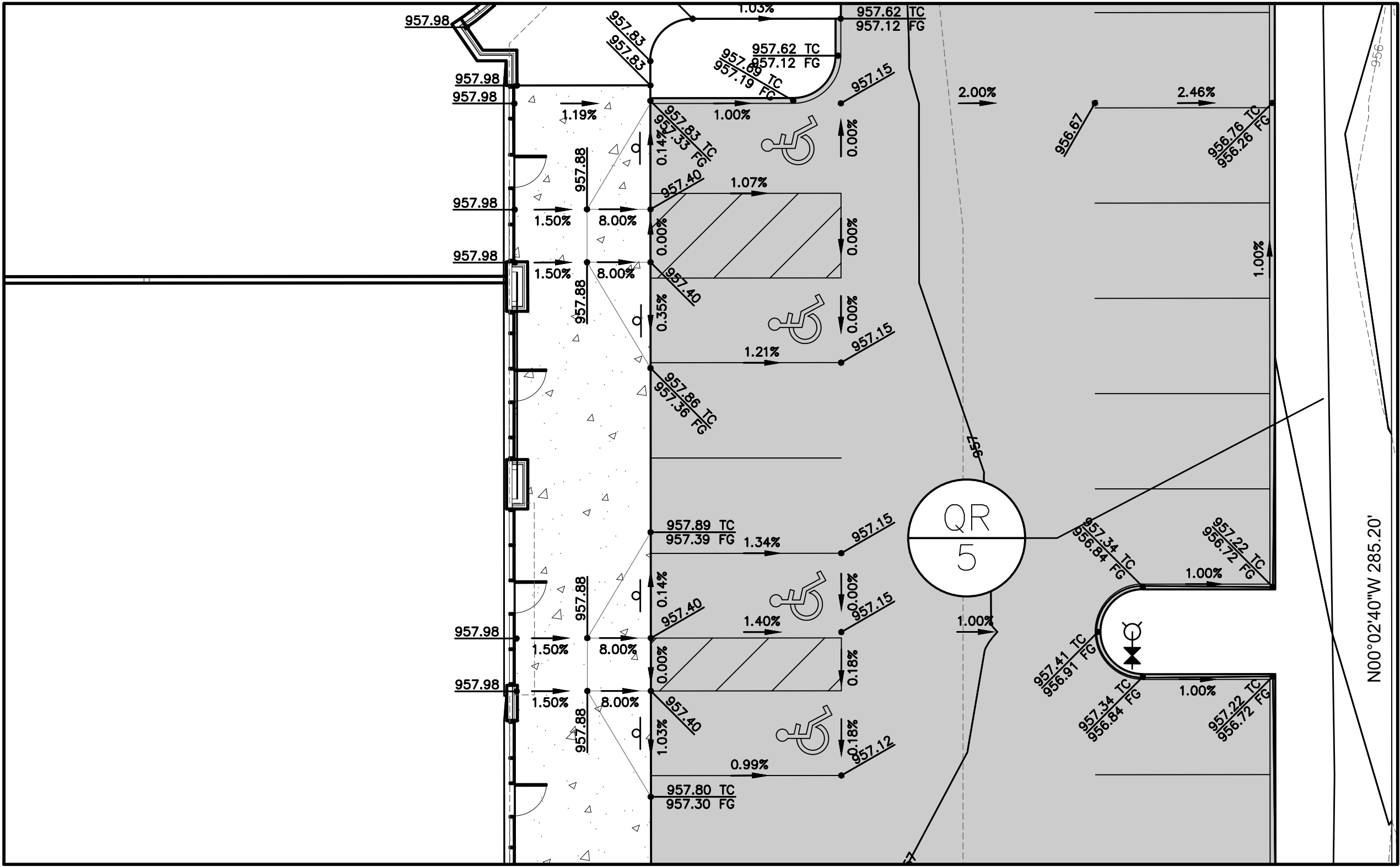
HOPE PLAZA III
GRADING PLAN

C3.0

2307481

GRIMES, IOWA

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HOPE PLAZA III

EROSION AND SEDIMENT CONTROL PLAN

VICINITY MAP

NOT TO SCALE



GRIMES, IOWA

STABILIZATION QUANTITIES

ITEM NO.	ITEM	UNIT	TOTAL
1	SILT FENCE	LF	1,624
2	FILTER SOCK	LF	75
3	PERMANENT SEEDING (TYPE 2)	AC	0.62
4	TEMPORARY SEEDING (TYPE 5)	AC	0.62
5	STRAW MATTING	SF	500
6	INLET PROTECTION DEVICES	EA	11
7	CONCRETE WASHOUT PIT	EA	1

NOTES:

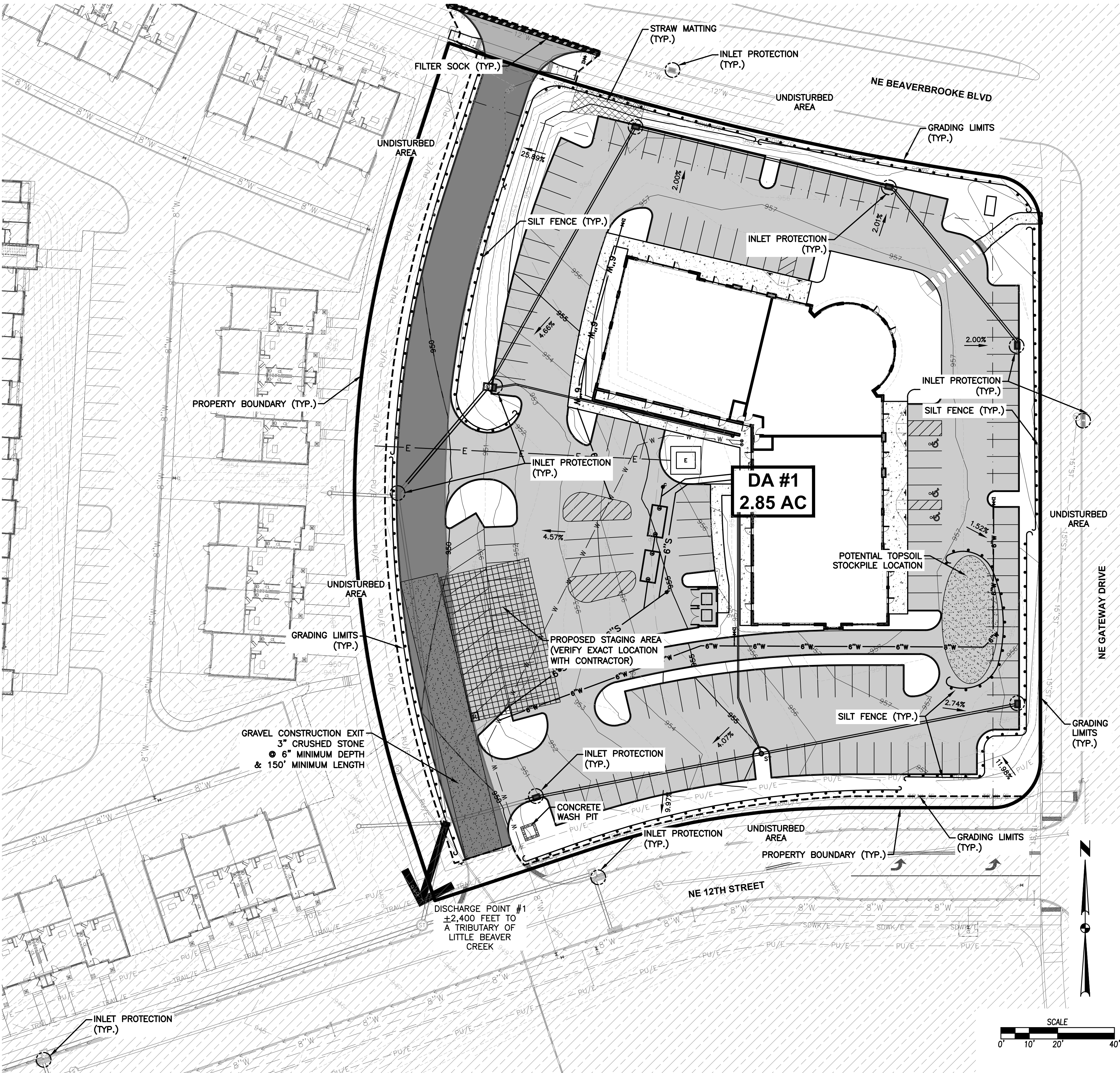
- IF DEWATERING IS NEEDED FOR ANY REASON, DISCHARGE OF WATER OFFSITE IS TO CONFORM WITH THE GENERAL PERMIT #2 REQUIREMENT.
- DISTURBED AREAS SHALL BE TEMPORARILY SEEDED OR MULCHED IMMEDIATELY WHENEVER CLEARING, GRADING, EXCAVATING, OR OTHER EARTH DISTURBING ACTIVITIES HAVE PERMANENTLY OR TEMPORARILY CEASED AND WILL NOT RESUME FOR A PERIOD EXCEEDING 14 CALENDAR DAYS.
- STORM SEWERS AND DRAINAGE WAYS SHALL BE PROTECTED FROM CONCRETE SLURRY PRODUCED BY SAWCUTTING AND CONCRETE GRINDING.

DISCHARGE POINT SUMMARY

DISCHARGE POINT #1 TO FOURMILE CREEK ±3000 FT	2.85 ACRES
TOTAL AREA DISTURBED TO DISCHARGE POINT	10,248 CU FT
STORAGE VOLUME REQUIRED (# OF ACRES*3600 CU FT)	
VOLUME PROVIDED IN FILTER SOCK (75 LF @ 2.0 CU FT/LF OF SOCK)	150 CU FT
VOLUME PROVIDED IN SILT FENCE @ SLOPES < 10:1 (500 LF @ 4.5 CU FT/LF OF FENCE)	2,250 CU FT
VOLUME PROVIDED IN SILT FENCE @ SLOPES > 10:1 (1,124 LF @ 10 CU FT/LF OF FENCE)	11,240 CU FT
TOTAL VOLUME PROVIDED	13,640 CU FT

SWPPP LEGEND

DRAINAGE ARROW	X.XX %	AREA TO BE SEEDED	
GRADING LIMITS		STRAW MAT	
FILTER SOCK		UNDISTURBED AREA	
SILT FENCE		RIP-RAP	
DITCH CHECK		GRAVEL ENTRANCE	
INLET PROTECTION		STAGING AREA	
PORTABLE RESTROOM	R		
CONCRETE WASHOUT PIT			



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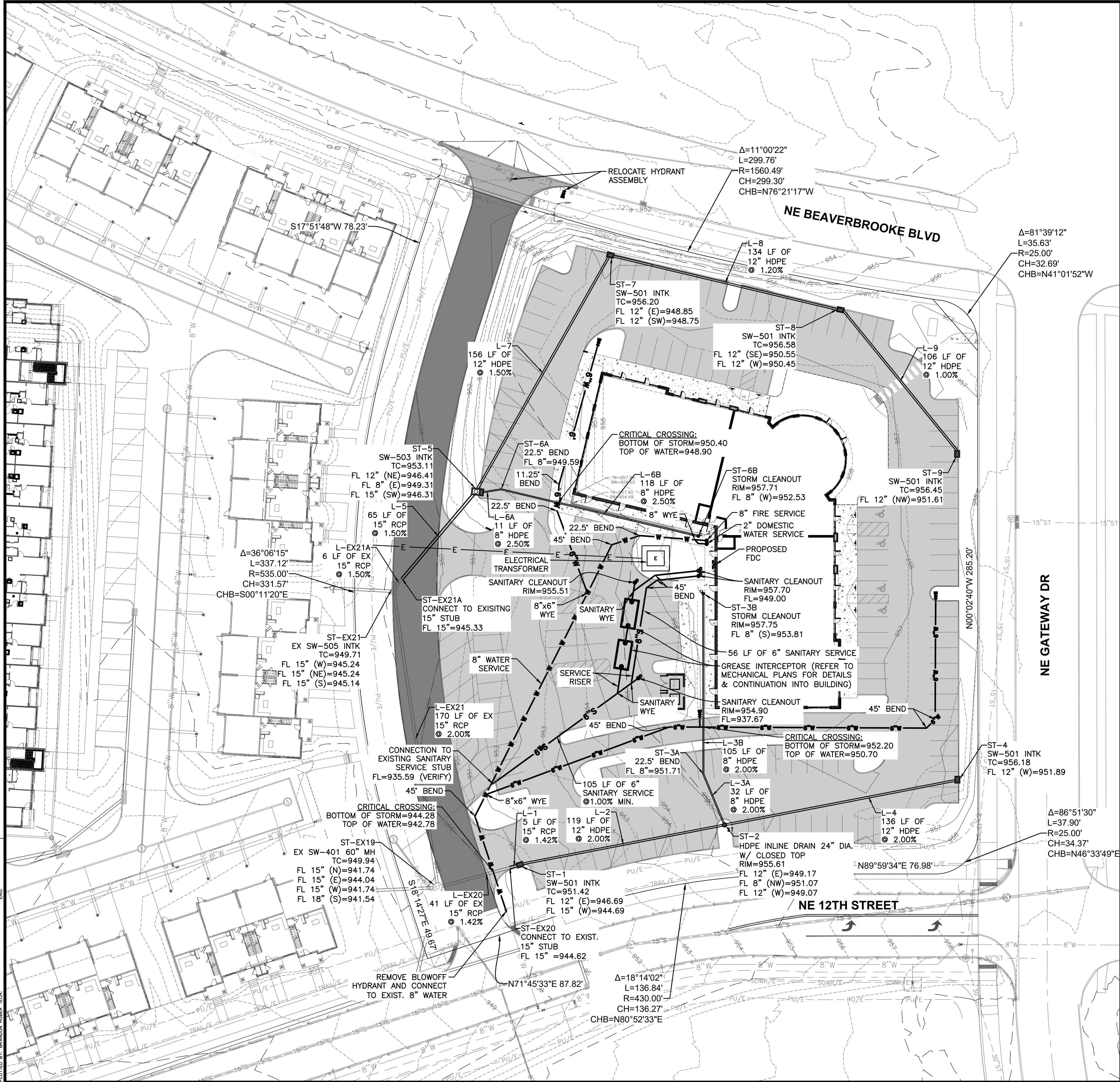
ENGINEER:

CIVIL DESIGN ADVANTAGE
GRIMES, IOWA

HOPE PLAZA III
EROSION AND SEDIMENT CONTROL PLAN

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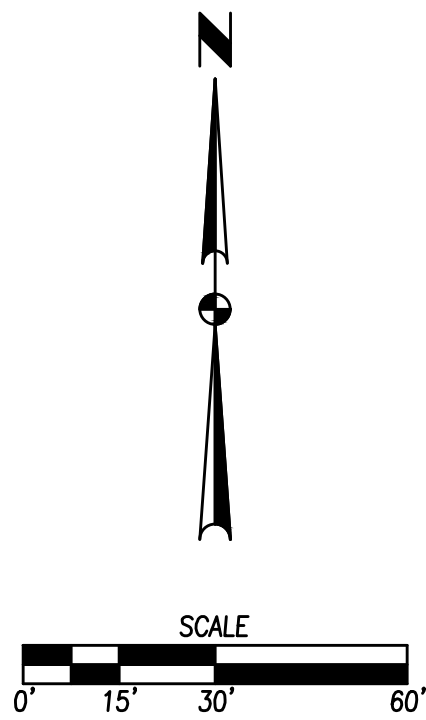


UTILITY NOTES

- REFER TO MECHANICAL, ELECTRICAL AND PLUMBING PLANS FOR UTILITY SERVICE SIZES AND EXACT LOCATIONS. REFER TO ELECTRICAL PLANS FOR ELECTRIC AND TELEPHONE SERVICE CONSTRUCTION DETAILS. REFER TO MECHANICAL PLANS FOR GAS SERVICE CONSTRUCTION DETAILS.
- FIELD VERIFY ELEVATIONS AND LOCATIONS OF ALL CONNECTIONS TO EXISTING UTILITIES PRIOR TO COMMENCING CONSTRUCTION.
- PROVIDE TEMPORARY SUPPORT FOR EXISTING UTILITY LINES THAT ARE ENCOUNTERED DURING CONSTRUCTION UNTIL BACKFILLING IS COMPLETE.
- BACKFILL ALL UTILITY TRENCHES ACCORDING TO THE 2023 EDITION OF THE SUDAS STANDARD SPECIFICATIONS AND ALL CITY OF GRIMES SUPPLEMENTALS. MAINTAIN A MINIMUM OF 5.5' COVER OVER ALL WATERMANS.
- ALL UTILITIES SHALL BE STUBBED TO 5 FEET FROM BUILDINGS. REFER TO MEP PLANS FOR DESIGN FROM 5' OUTSIDE OF BUILDING FACE.
- ADJUST ALL MANHOLES AND INTAKES TO FINISHED GRADES.
- ALL SANITARY SEWER AND WATER SERVICES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY'S PLUMBING CODE.
- 18" MINIMUM VERTICAL CLEARANCE BETWEEN STORM SEWER AND SANITARY SEWER PIPES. 18" MINIMUM VERTICAL CLEARANCE BETWEEN SANITARY SEWER AND WATER MAIN.
- MAINTAIN A MINIMUM OF 10' HORIZONTAL SEPARATION BETWEEN SANITARY SEWER LINES AND WATER MAINS.
- WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE, THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS. THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTORS RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATIONS AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK. THE CONTRACTOR IS REQUIRED TO UTILIZE THE UTILITY ONE-CALL SERVICE AT 800-292-8989 AT LEAST 48 HOURS PRIOR TO EXCAVATING ANYWHERE ON THE PROJECT.
- ALL WATERMAIN WORK, PUBLIC OR PRIVATE SHALL BE DONE IN ACCORDANCE WITH THE 2023 EDITION OF THE SUDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF WORK OF ALL SUBCONTRACTOR(S) INVOLVED IN THE PROJECT.
- OWNER IS RESPONSIBLE FOR MAINTENANCE OF PRIVATE RETENTION FACILITIES AND PRIVATE UTILITIES. PERIODIC MAINTENANCE AND CLEANING OF STORM AND SANITARY SEWER MAY BE NECESSARY.
- CONTRACTOR SHALL PREVENT ENTRY OF MUD, DIRT, DEBRIS AND OTHER MATERIAL INTO NEW AND EXISTING SEWER SYSTEMS. SHOULD ANY CONTAMINATION OCCUR DURING CONSTRUCTION, THE CONTRACTOR SHALL CLEAN AT NO COST TO THE OWNER. INSTALL SILT FENCE AT ALL PERMANENT STORM SEWER INTAKES.
- ALL MANHOLE CASTINGS IN 5" P.C.C. PAVEMENT SHALL BE BOXED OUT PER FIGURE 7010.103.
- ALL SANITARY SEWER, STORM SEWER, AND WATER IMPROVEMENTS ARE PRIVATE UNLESS OTHERWISE NOTED.

ESTIMATED UTILITY QUANTITIES

ITEM NO.	ITEM DESCRIPTION	UNIT	QUANTITY
1	SANITARY SEWER GRAVITY SERVICE, TRENCHED, PVC, 6 IN. DIA.	LF	267
2	SANITARY GREASE INTERCEPTOR	EA	2
3	SANITARY SEWER CLEAN OUT	EA	4
4	STORM SEWER, TRENCHED, HDPE, 8 IN. DIA.	LF	266
5	STORM SEWER, TRENCHED, HDPE, 12 IN. DIA.	LF	551
6	STORM SEWER, TRENCHED, RCP, 15 IN. DIA.	LF	70
7	STORM CLEANOUT, TYPE A-1, 8 IN. DIA.	EA	2
8	WATER SERVICE, TRENCHED, PVC, 2 IN. DIA.	LF	8
9	WATER SERVICE, TRENCHED, PVC, 6 IN. DIA.	LF	495
10	WATER SERVICE, TRENCHED, PVC, 8 IN. DIA.	LF	292
11	FIRE HYDRANT ASSEMBLY	EA	3
12	INTAKE TYPE SW-501	EA	5
13	INTAKE TYPE SW-503	EA	1
14	HDPE INLINE DRAIN, 24 IN. DIA. W/ CLOSED TOP	EA	1



DATE

12/19/2023

REVISIONS

FORTH SUBMITTAL

THIRD SUBMITTAL

SECOND SUBMITTAL

FIRST SUBMITTAL

4121 NW URBANDALE DRIVE
URBANDALE, IOWA 50322
PHONE: (515) 369-4400

TECH:

ENGINEER:

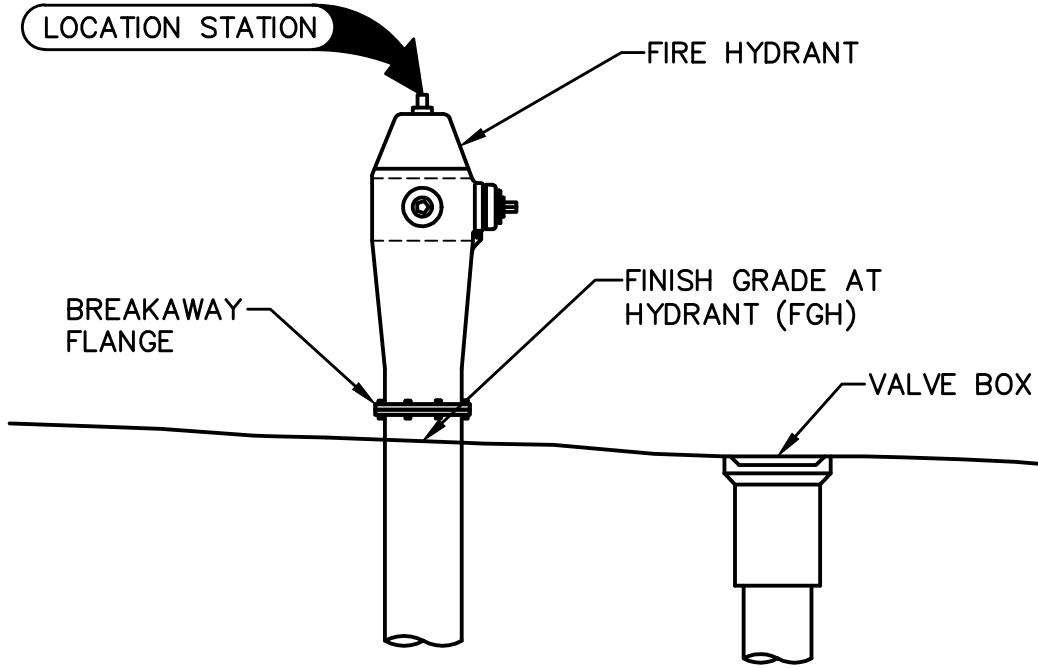
GRIMES, IOWA

HOPE PLAZA III
UTILITY PLAN

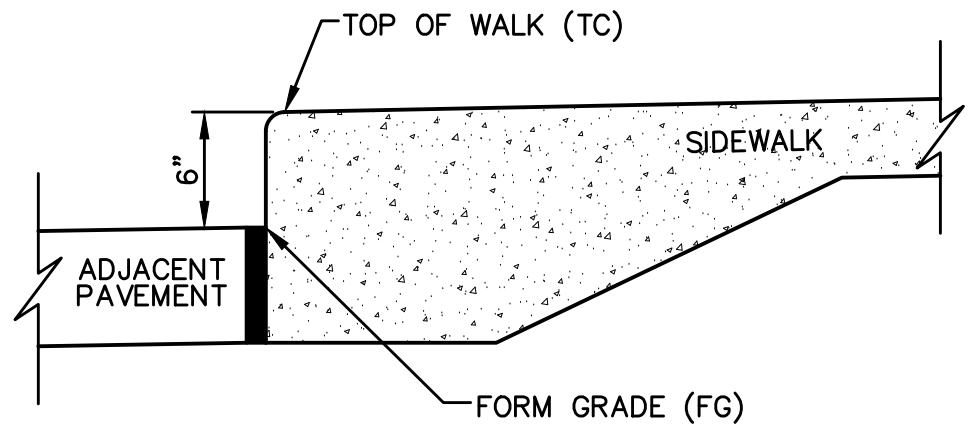
C5.0

2307481

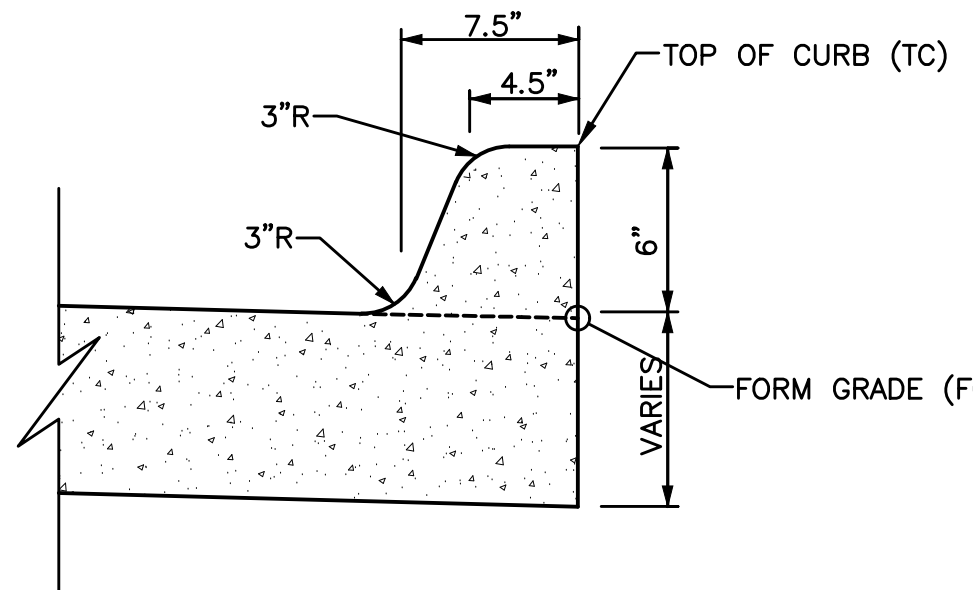
FILE: H:\2023\2307481\UNC\2307481-SITE.DWG
PLOT DATE: 12/19/2023 4:09 PM
COMMENT: ERM
DRAWN BY: BRADON HUBER TECH



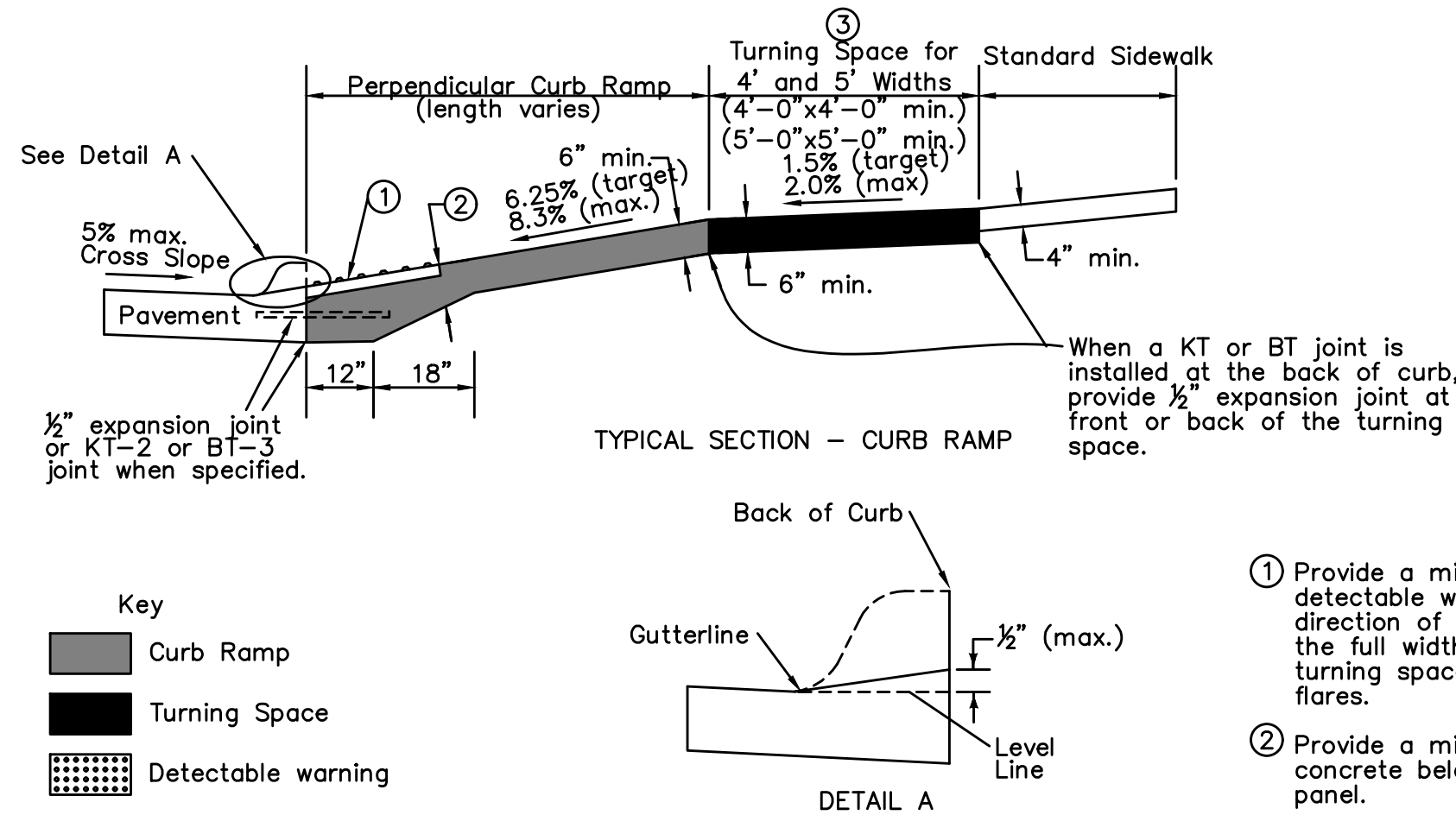
**FIRE HYDRANT ASSEMBLY
SPOT ELEVATION REFERENCE DETAIL**
1 NOT TO SCALE



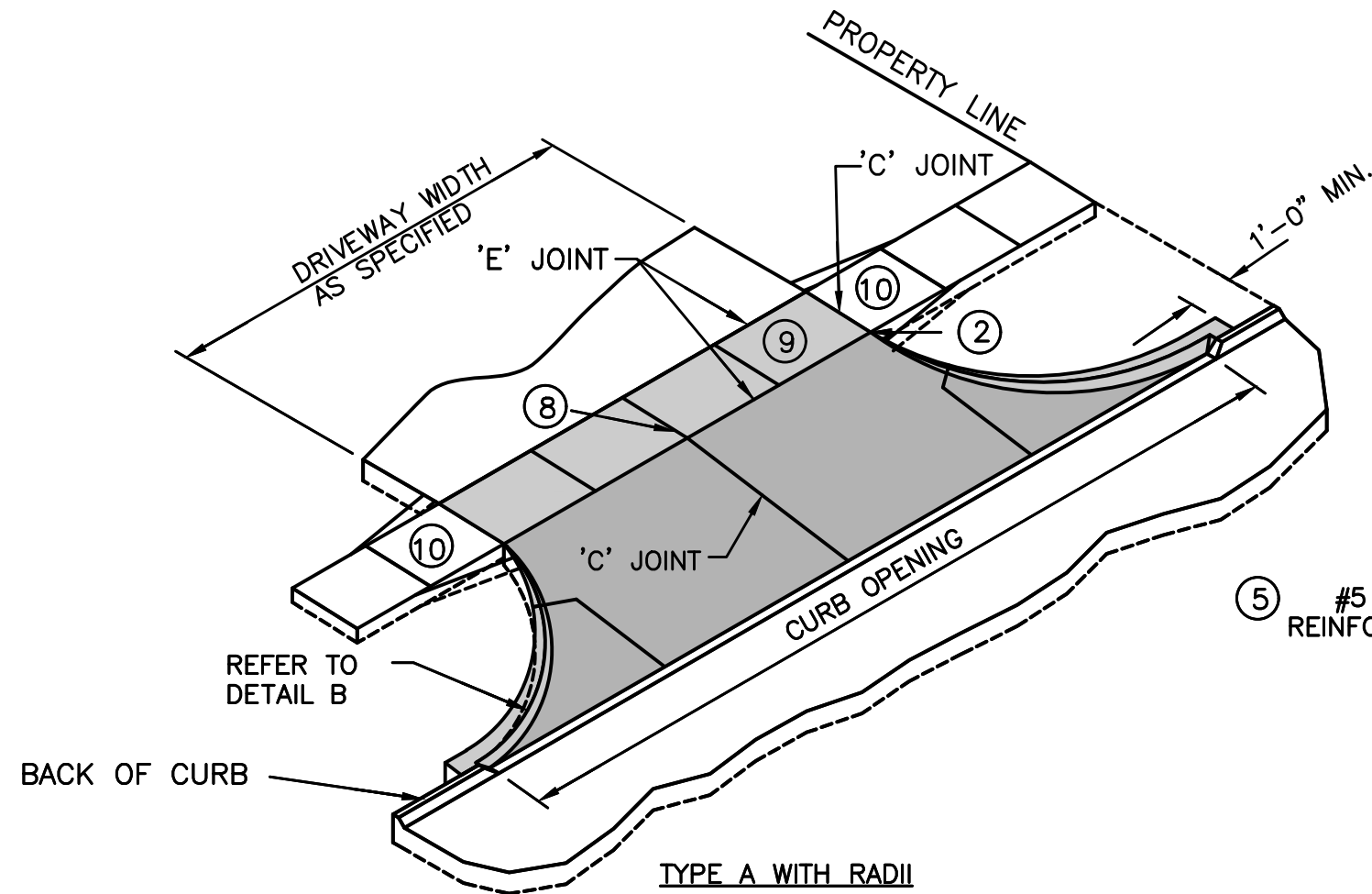
**CLASS "A" INTEGRAL CURB AND SIDEWALK
SPOT ELEVATION REFERENCE DETAIL**
2 NOT TO SCALE



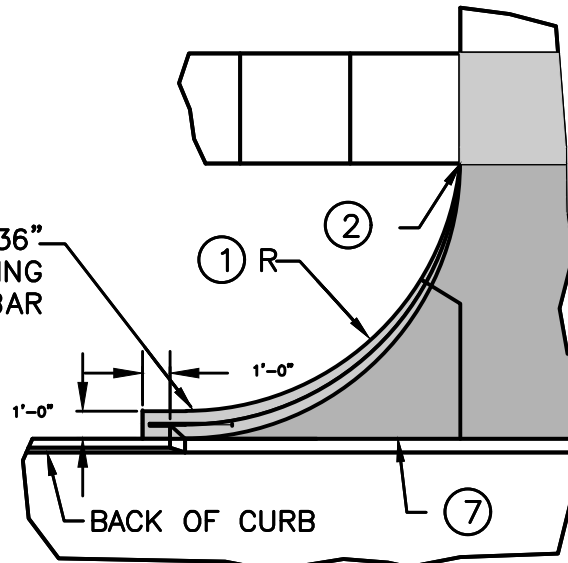
**INTEGRAL 6" STANDARD CURB AND
SPOT ELEVATION REFERENCE DETAIL**
3 NOT TO SCALE



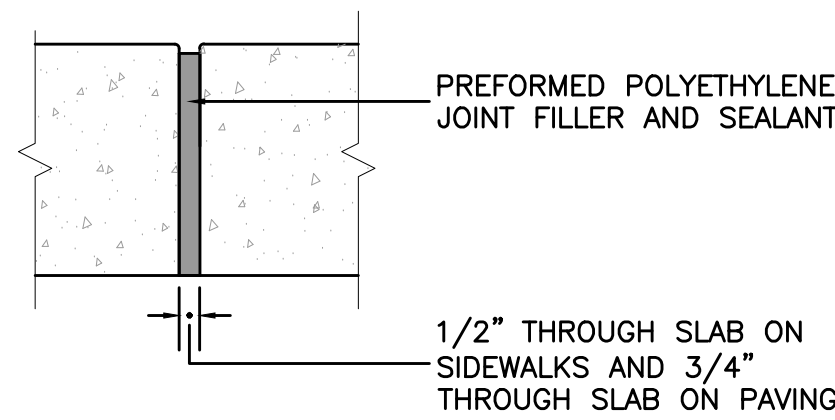
GENERAL SIDEWALK AND CURB RAMP DETAILS
4 NOT TO SCALE



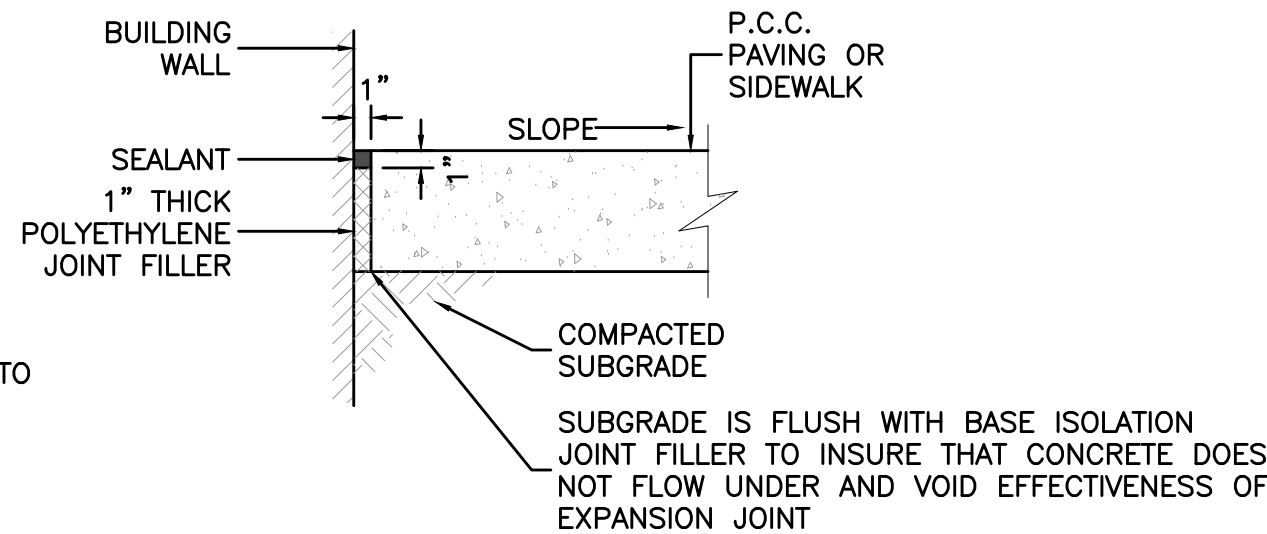
CONCRETE DRIVEWAY TYPE A
5 NOT TO SCALE



DETAIL B



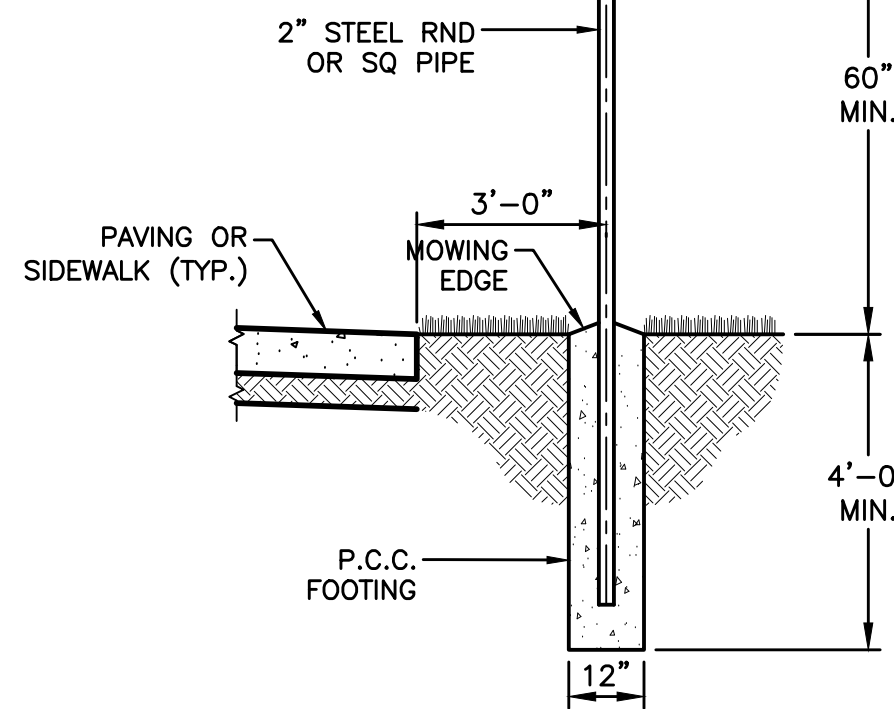
NOTE:
ALL PREFORMED JOINT MATERIAL SHALL BE INSTALLED PERPENDICULAR TO THE PAVEMENT SURFACE AND CARE SHALL BE EXERCISED THROUGHOUT THE CONSTRUCTION OF THE PAVEMENT TO ENSURE THAT SUCH JOINT MATERIAL REMAINS IN PROPER POSITION UPON COMPLETION OF PAVING OPERATION.



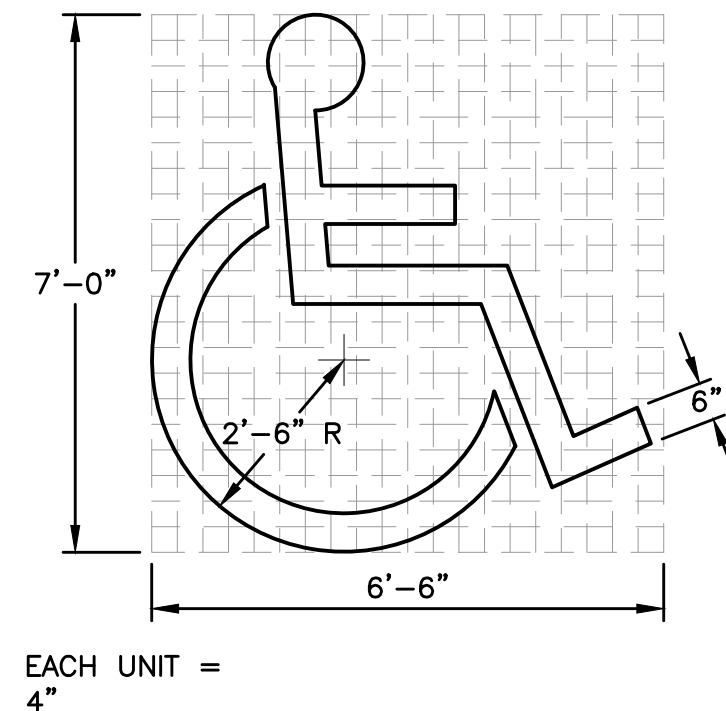
ISOLATION JOINTS
6 NOT TO SCALE

SIGN SHALL INCLUDE THE INTERNATIONAL SYMBOL OF ACCESSIBILITY COMPLYING WITH 703.7.2.1. ALL SIGNS SHALL BE 60 INCHES (1525 MM) MINIMUM ABOVE THE FINISH FLOOR OR GROUND SURFACE MEASURED TO THE BOTTOM OF THE SIGN.

'VAN ACCESSIBLE' TAG FOR VAN ACCESSIBLE SPACE (SEE PLAN FOR LOCATION)

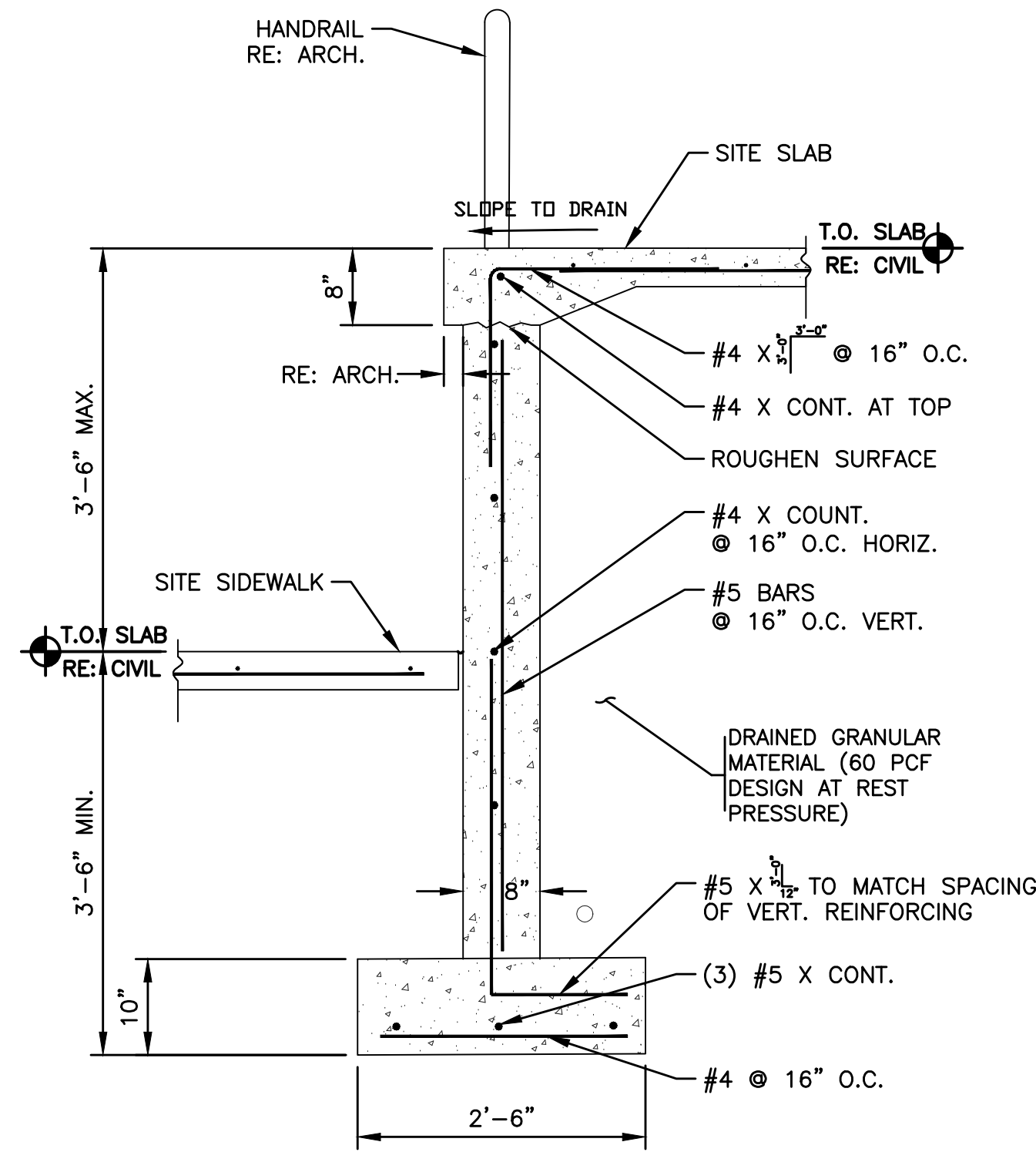


ADA SIGNAGE DETAILS
7 NOT TO SCALE



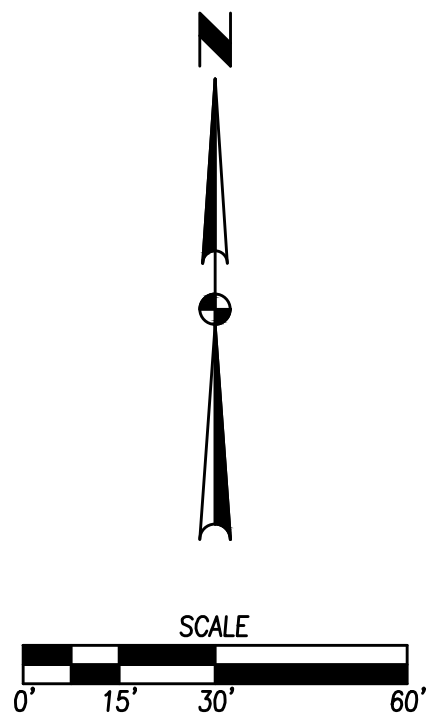
EACH UNIT = 4"

- 1 DRIVEWAY RADIUS (R).
- 2 PAVEMENT THICKNESS. RESIDENTIAL: 6 INCHES MINIMUM. COMMERCIAL AND INDUSTRIAL: 7 INCHES MINIMUM.
- 3 SIDEWALK THICKNESS THROUGH DRIVEWAY TO MATCH THICKNESS OF DRIVEWAY.
- 4 CENTER REINFORCING BAR VERTICALLY IN THE PAVEMENT.
- 5 MATCH THICKNESS OF ADJACENT ROADWAY, 8 INCHES MINIMUM.
- 6 PROVIDE 'E' JOINT AT BACK OF CURB UNLESS 'B' JOINT IS SPECIFIED.
- 7 FOR ALLEYS, INVERT THE PAVEMENT CROWN 2% TOWARD CENTER OF ALLEY.
- 8 TARGET CROSS SLOPE OF 1.5% WITH A MAXIMUM CROSS SLOPE OF 2.0%. IF SPECIFIED IN THE CONTRACT DOCUMENTS, CONSTRUCT THE SIDEWALK THROUGH THE DRIVEWAY 5 FEET WIDE TO SERVE AS A PASSING SPACE.
- 9 IF CROSS SLOPE OF ADJACENT SIDEWALK PANEL EXCEEDS 2.0%, REMOVE AND REPLACE TO TRANSITION FROM EXISTING SIDEWALK TO SIDEWALK THROUGH DRIVEWAY. IF ELEVATION CHANGE REQUIRES A CURB RAMP, COMPLY WITH FIGURE 7030.205; VERIFY NEED FOR DETECTABLE WARNING PANEL WITH ENGINEER.



NOTE:
THIS DETAIL IS FOR INFORTMATIONAL PURPOSES ONLY. REFER TO ARCHITECTURAL AND STRUCTURAL PLANS FOR CONSTRUCTION DETAILS.

RETAINING WALL
7 NOT TO SCALE - DETAIL FOR INFORMATIONAL PURPOSES ONLY



1. LOCATE ALL UTILITIES BEFORE ANY PLANTING BEGINS.
2. THE 2022 EDITION OF THE SUDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.
3. TYPE, SIZE AND QUALITY OF PLANT MATERIALS SHALL CONFORM TO THE MOST CURRENT EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1.
4. ALL PLANT MATERIAL SHALL BE HEALTHY SPECIMENS WITHOUT DEFORMITIES, VOIDS AND OPEN SPACES, WITH WELL DEVELOPED BRANCH AND ROOT SYSTEMS; TREES TO HEIGHT, SHAPE AND CHARACTER OF GROWTH OF THE SPECIES OR VARIETY.
5. SOD ALL DISTURBED AREAS.
6. BACKFILL TO TOP OF CURB. (MINUS 1 1/2" FOR SOD, IF REQ.)
7. WEED PREVENTER (PRE-EMERGENT) SHALL BE SPREAD OVER SOIL AFTER PLANTING AND BEFORE MULCHING IN ALL PLANTING BEDS PER MANUFACTURER'S RECOMMENDATIONS.
8. SHREDDED HARDWOOD MULCH SHALL BE PLACED AROUND ALL TREES, SHRUBS AND IN ALL PLANTING BEDS TO A (MIN) DEPTH OF 3".
9. ALL EDGING SHALL BE SPADE CUT EDGE.
10. PLANT QUANTITIES ARE SHOWN FOR INFORMATION ONLY, THE DRAWING SHALL PREVAIL IF ANY CONFLICTS ARISE.
11. ALL DEBRIS SPILLED IN THE PUBLIC R.O.W. SHALL BE PICKED UP BY THE CONTRACTOR AT THE END OF EACH WORK DAY.
12. CONTRACTOR SHALL WARRANTY ALL PLANT MATERIALS FOR A PERIOD OF ONE YEAR FROM DATE OF INSTALLATION.
13. CONTRACTOR SHALL PROVIDE IRRIGATION DESIGN TO OWNER, IF REQUESTED, FOR APPROVAL.

AREAS

LOT = 131,543 SF (3.02 ACRES)

OPEN SPACE

OPEN SPACE REQUIRED: = 32,886 SF (25%)

OPEN SPACE LANDSCAPE REQUIREMENT

1 TREE PER 1,000 SF OF REQUIRED OPEN SPACE

REQUIRED:	33 TREES
PROPOSED:	33 TREES

STREET FRONTAGE NE BEAVERBROOKE BLVD (287 LF)
1 TREE REQUIRED FOR EVERY 50 FEET OF LOT FRONTAGE

REQUIRED: 6 TREES
PROVIDED: 6 TREES (2 EXISTING)

STREET FRONTAGE NE GATEWAY DRIVE (322 LF)
1 TREE REQUIRED FOR EVERY 50 FEET OF LOT FRONTAGE

REQUIRED:	7 TREES
PROVIDED:	7 TREES

STREET FRONTAGE NE 12TH STREET (286 LF)
1 TREE REQUIRED FOR EVERY 50 FEET OF LOT FRONTAGE

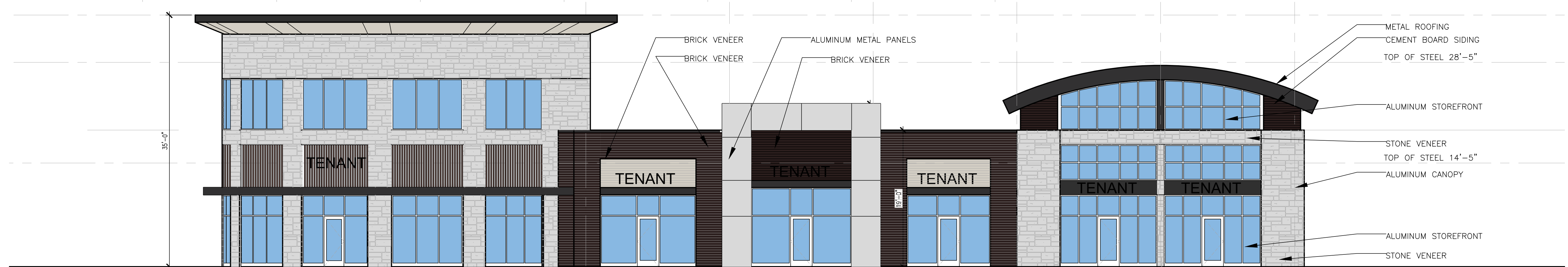
REQUIRED:	6 TREES
PROVIDED:	6 TREES

*NOTE
REQUIRED STREET TREES AND BUFFER TREES COUNT TOWARDS
REQUIRED OPEN SPACE TREES

PLANT SCHEDULE				
CODE	QTY	COMMON NAME	BOTANICAL NAME	CONDITION AND SIZE
OVERSTORY TREES				
AS	5	Red Maple	Acer rubrum	B&B, 8' HEIGHT
GS	11	Skyline Honey Locust	Gleditsia triacanthos 'Skyline'	B&B, 8' HEIGHT
QB	10	Swamp White Oak	Quercus bicolor	B&B, 8' HEIGHT
QR	5	Red Oak	Quercus rubra	B&B, 8' HEIGHT



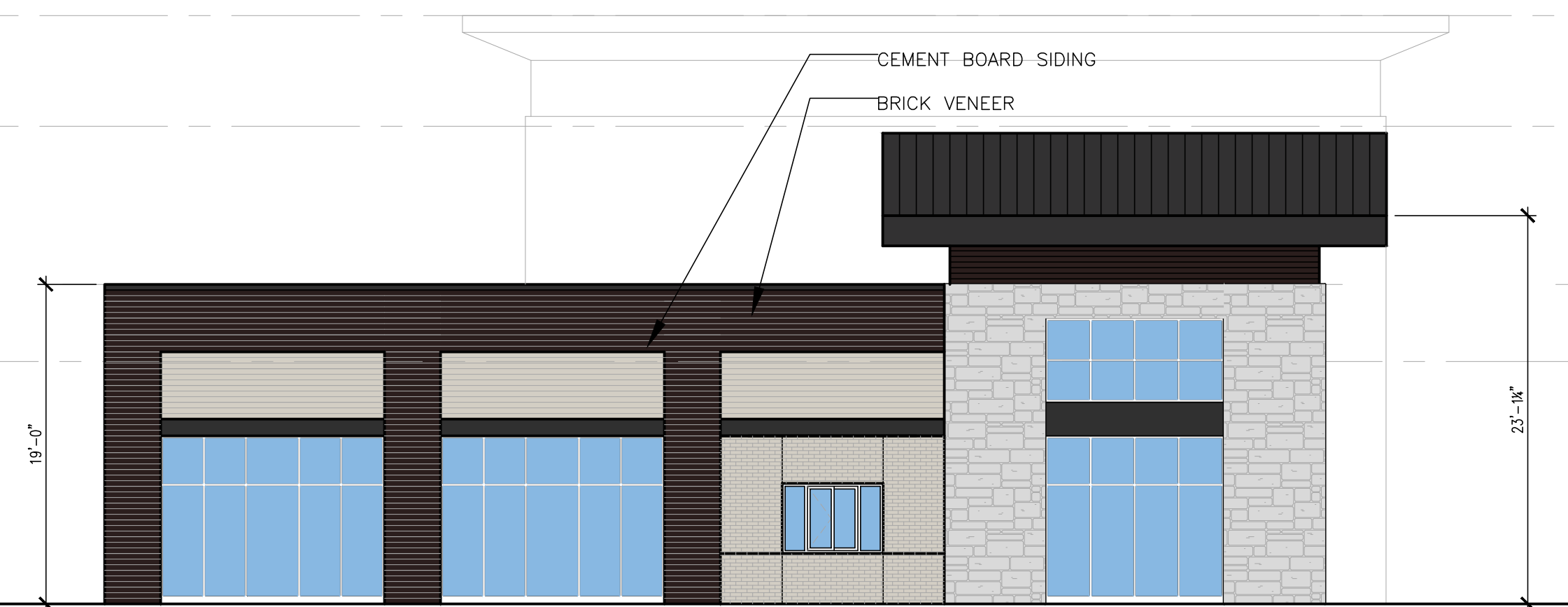
1 EAST ELEVATION
A2.2 SCALE: 1/8" = 1'-0" @ 36x24



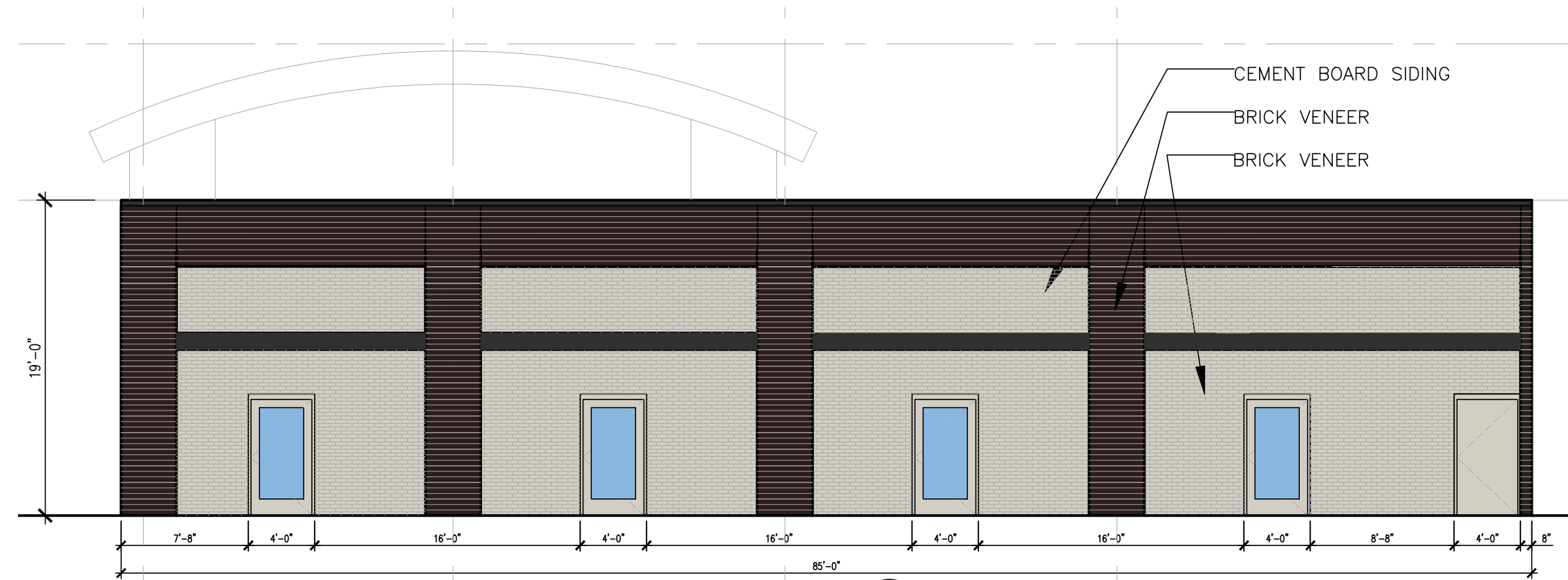
2 NORTH ELEVATION
A2.2 SCALE: 1/8" = 1'-0" @ 36x24



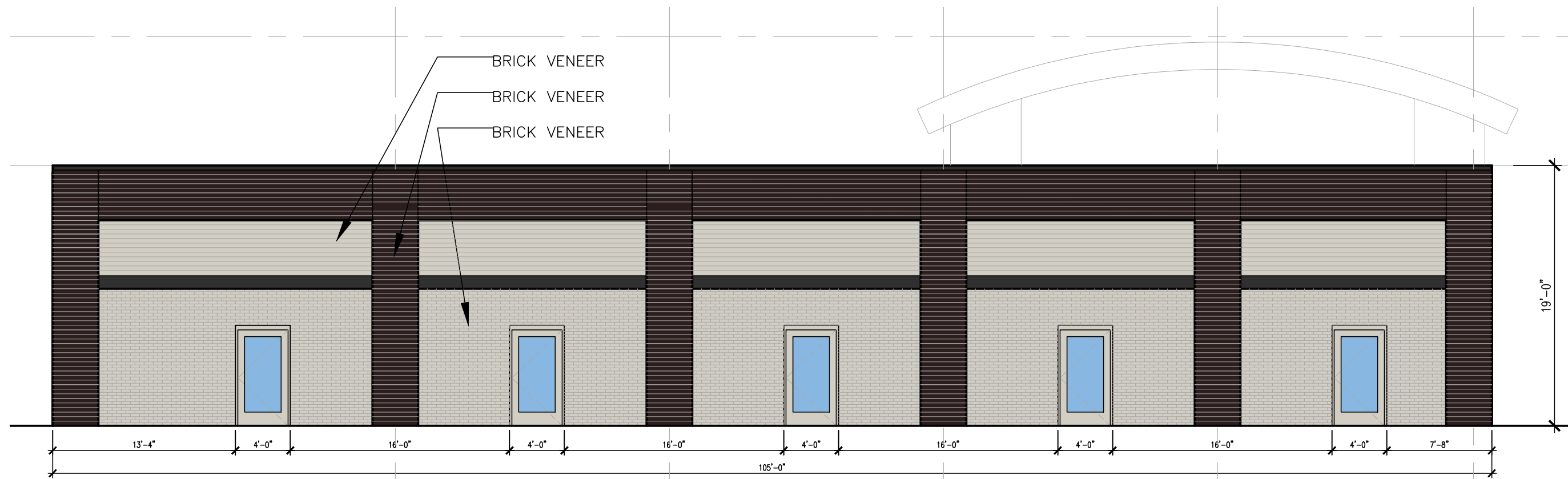
3 WEST ELEVATION
A2.2 SCALE: 1/8" = 1'-0" @ 36x24



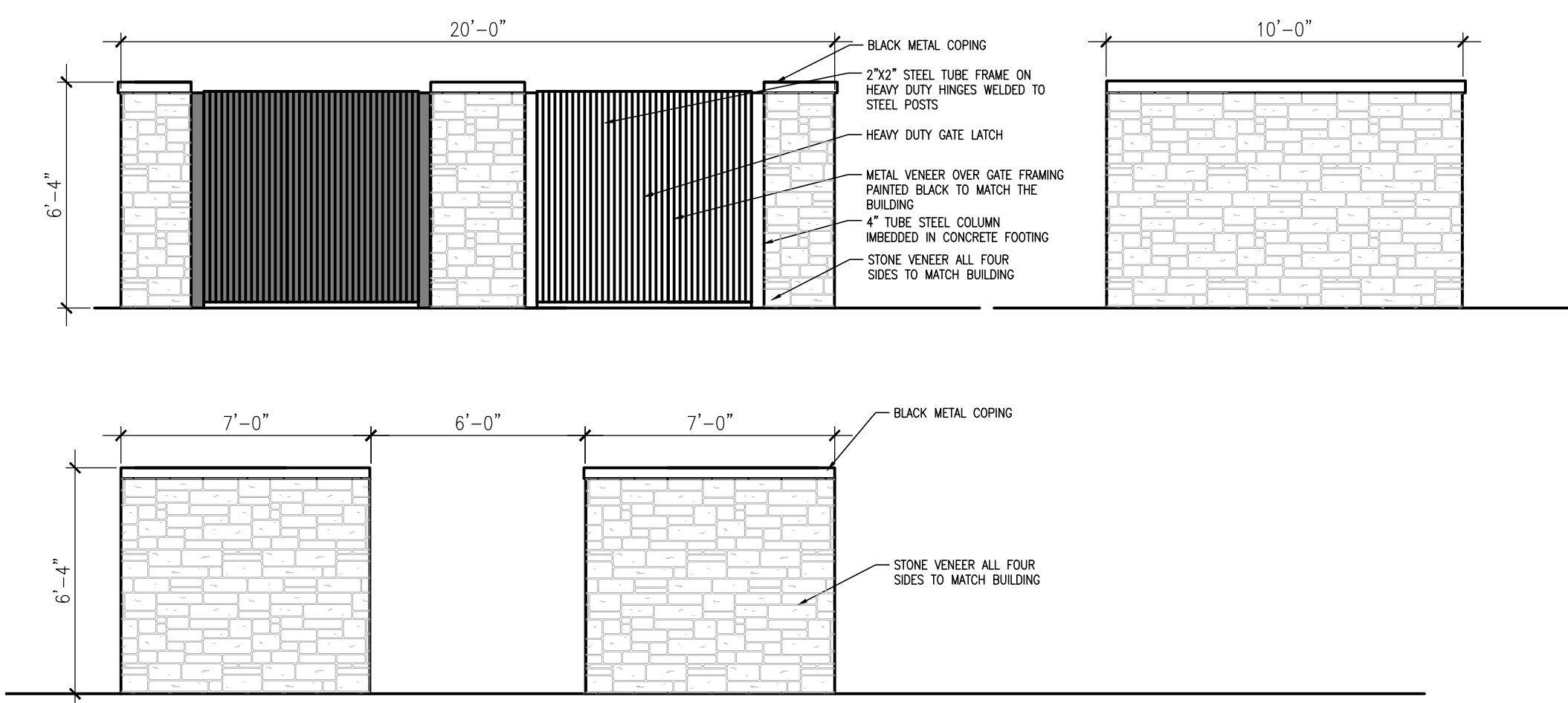
4 SOUTH ELEVATION
A2.2 SCALE: 1/8" = 1'-0" @ 36x24



5 REAR ELEVATION
A2.2 SCALE: 1/8" = 1'-0" @ 36x24



6 REAR ELEVATION
A2.2 SCALE: 1/8" = 1'-0" @ 36x24



1 TRASH ENCLOSURE ELEVATIONS
A2.3 SCALE: 1/4" = 1'-0" @ 36x24

The Design Partnership, LLP
Architects + Planners

ACCURATE COMMERCIAL

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ISSUED / REVISION	DATE

Hope Plaza III
Speculative Retail Building
Grimes, Iowa

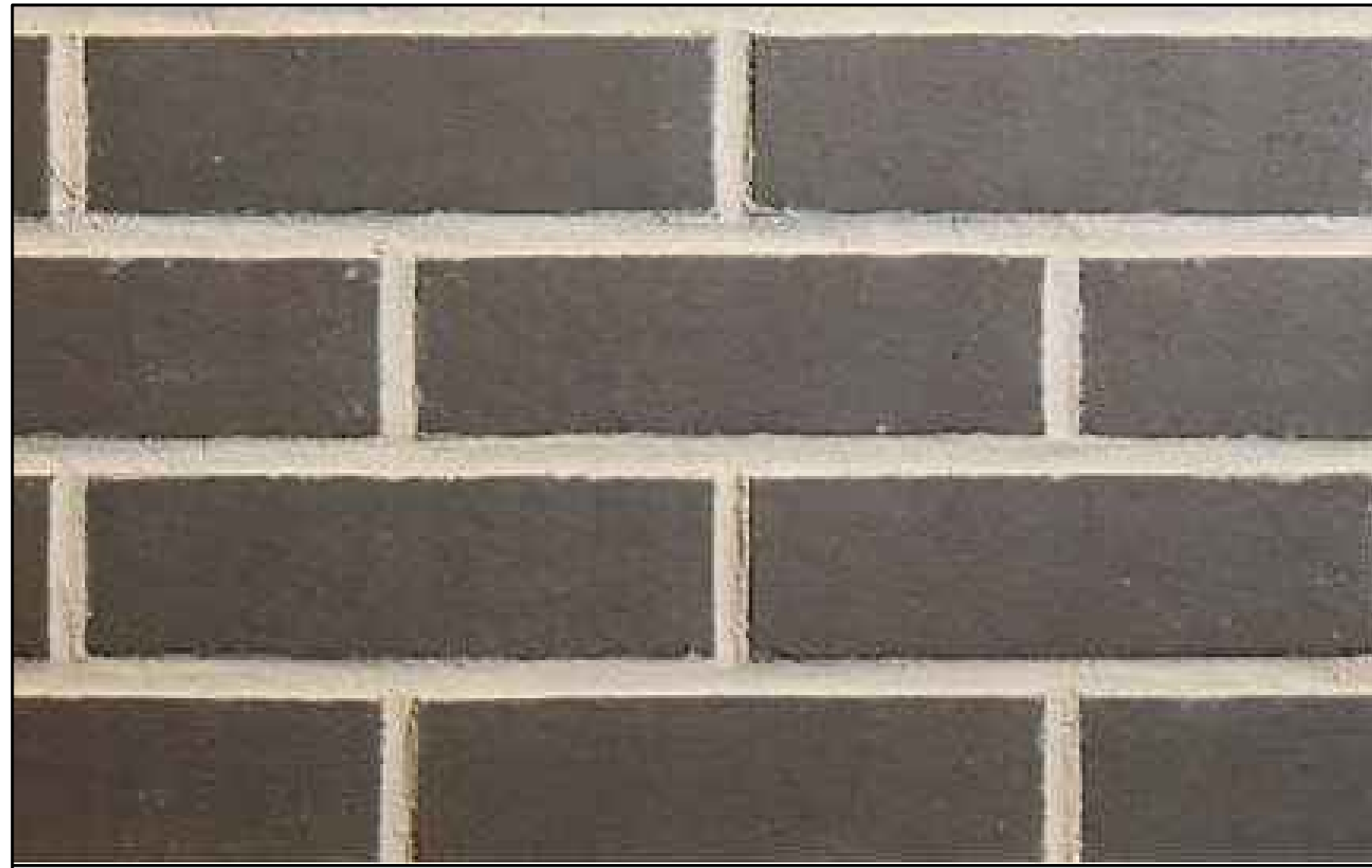


HOPE DEVELOPMENT & REALTY

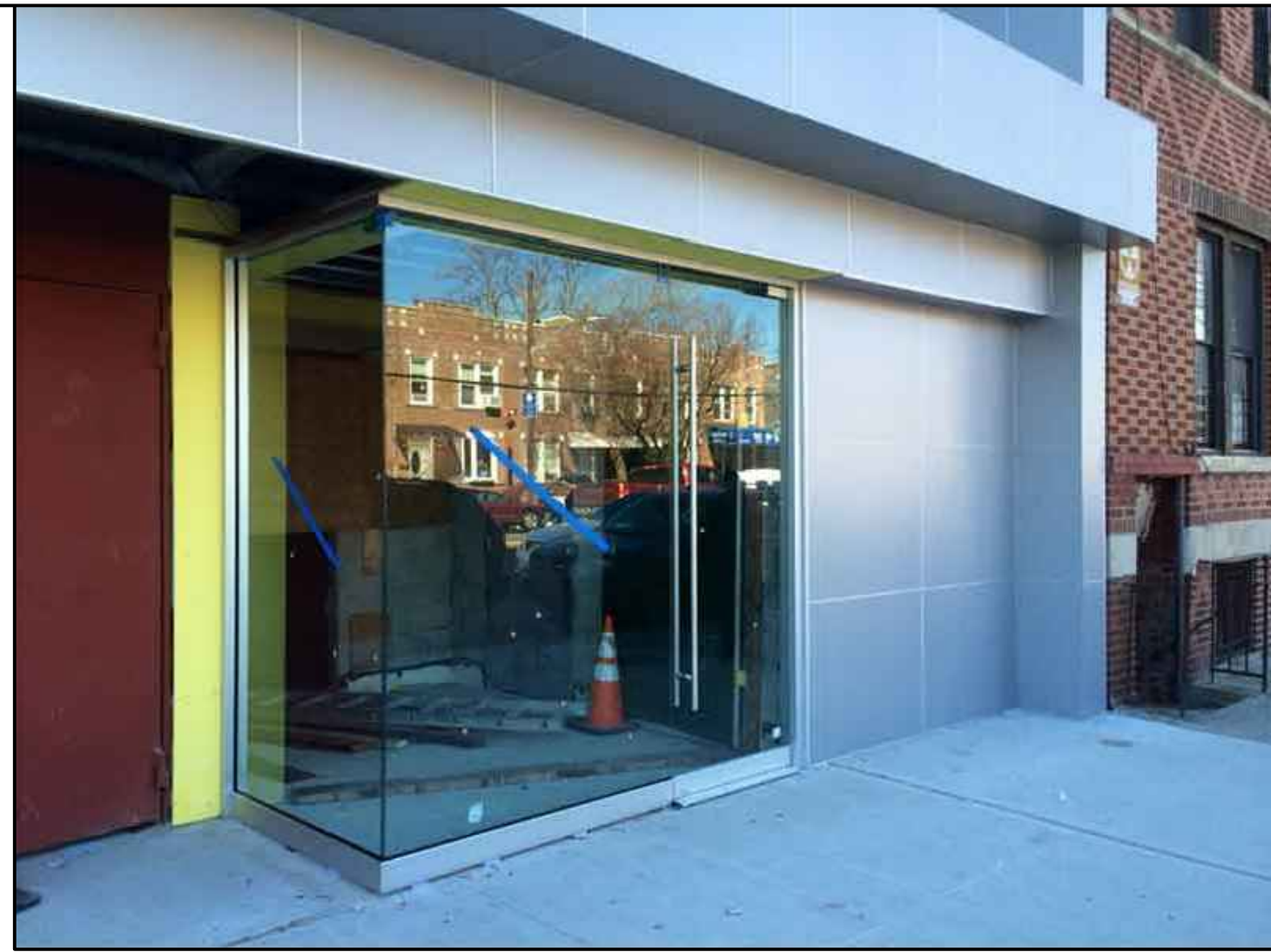
JOB NO. 2300585

TITLE

SHEET
A2.3



DARK BROWN BRICK VENEER



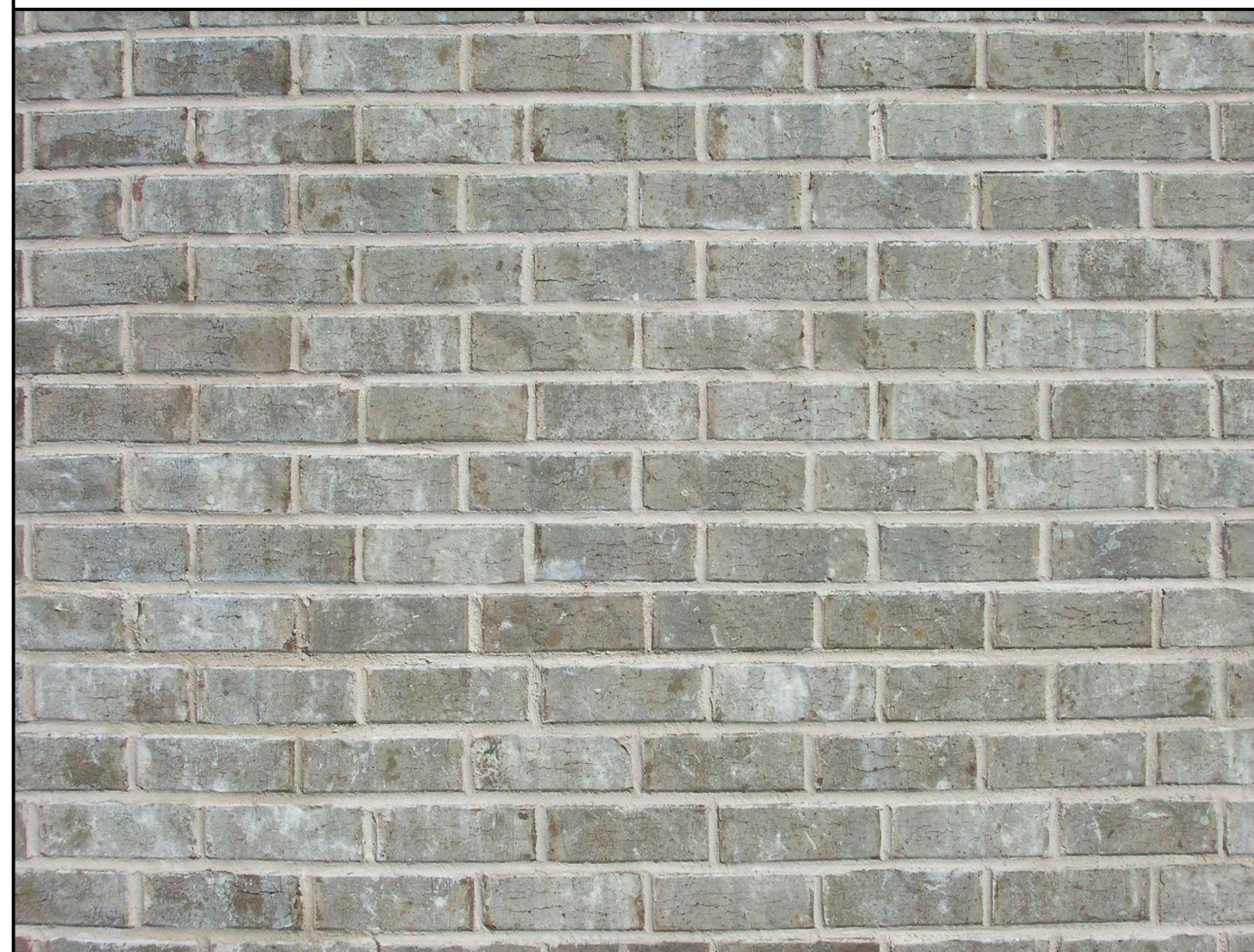
GRAY ALUMINUM METAL SIDING



GRAY ALUMINUM CANOPY



BLACK STEEL SIGN PANELS -GRAY GLASS



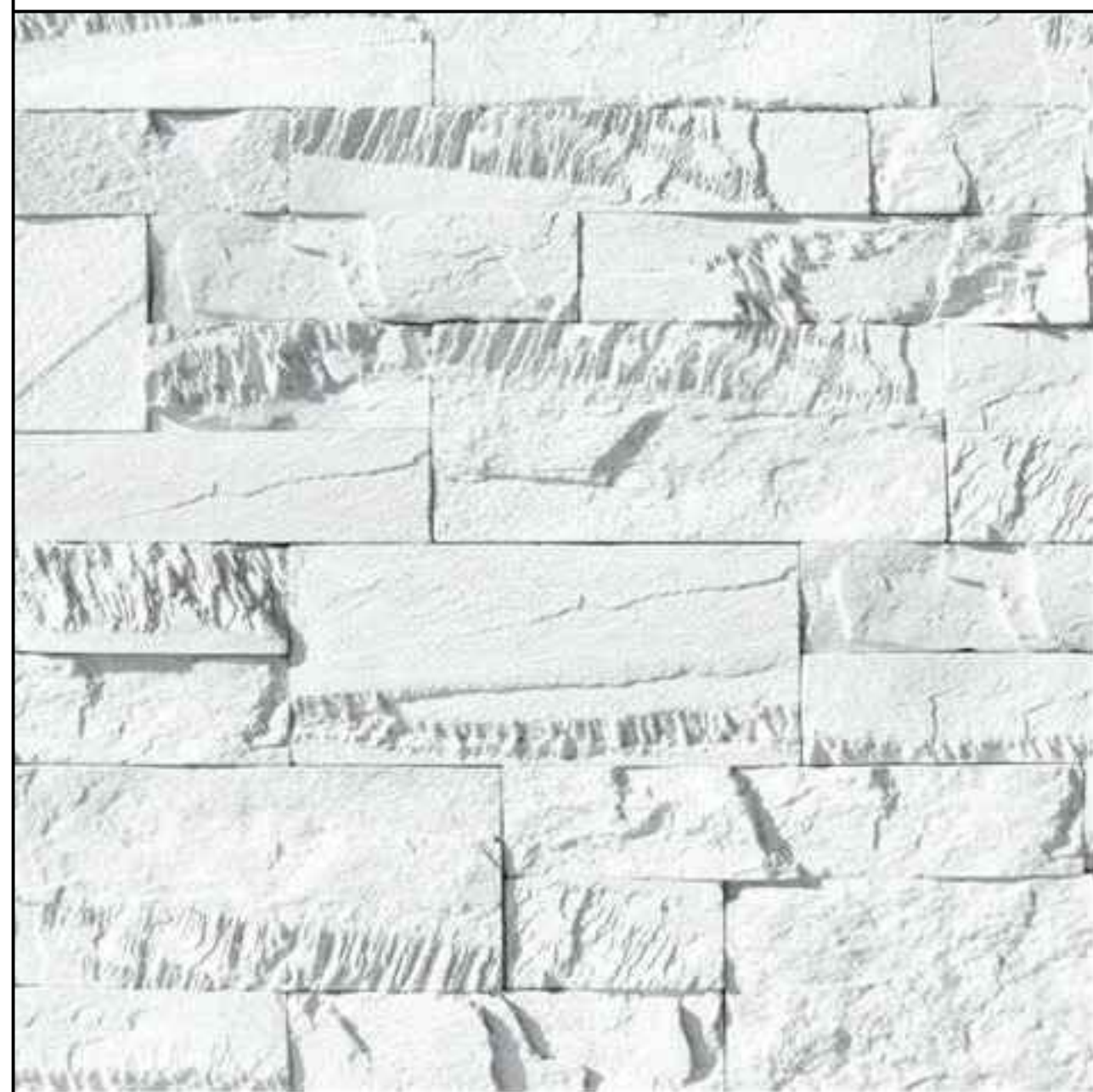
LIGHT GRAY BRICK VENEER



ASH CEMENT BOARD SIDING



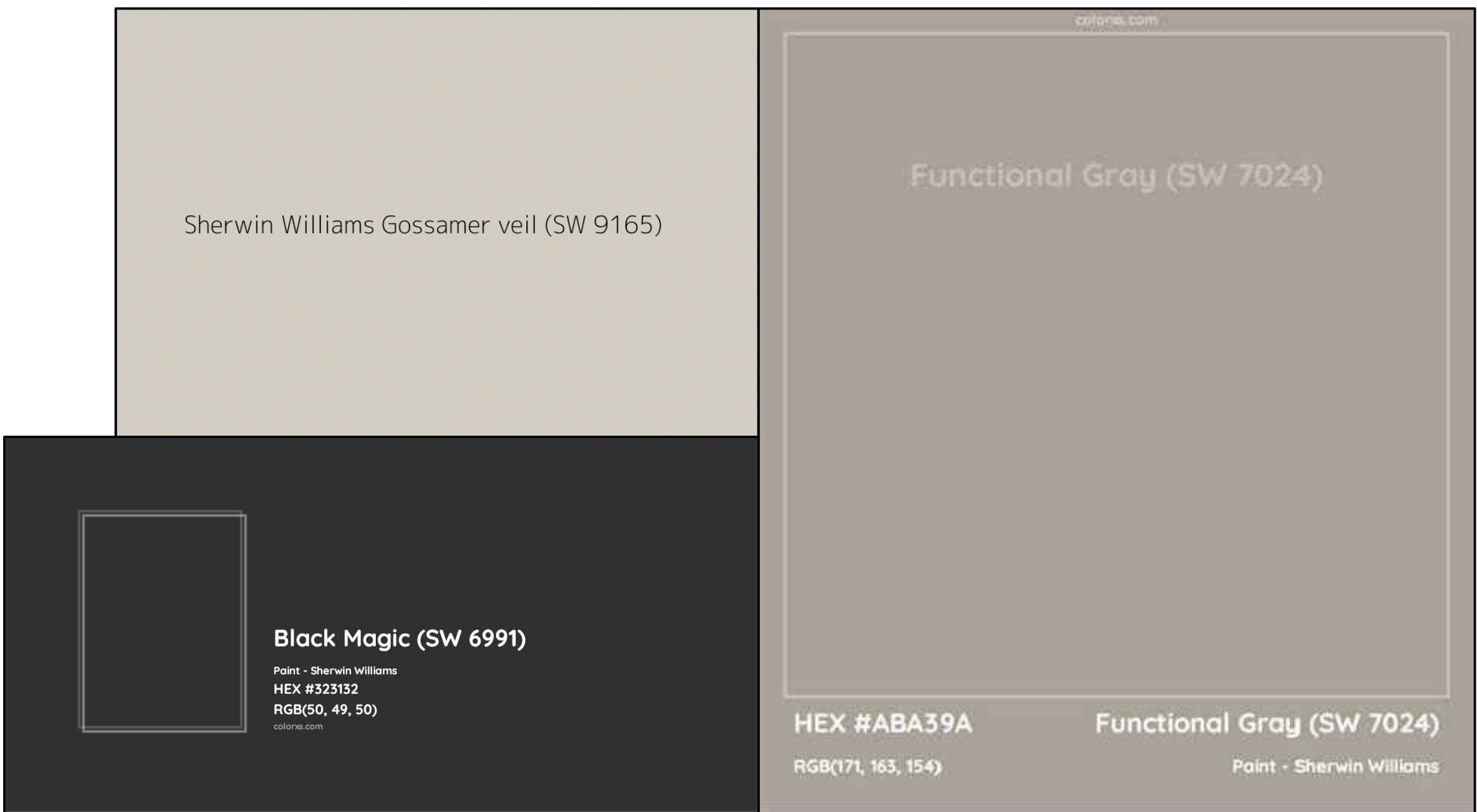
SPRUCE CEMENT BOARD SIDING



WHITE STONE VENEER



BLACK ALUMINUM STOREFRONT



EXTERIOR PAINT COLORS

The Design Partnership, LLP
Architects + Planners

ACCURATE COMMERCIAL

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DATE	ISSUED / REVISION

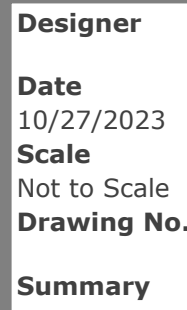
Hope Plaza III
Speculative Retail Building
Grimes, Iowa

HOPE DEVELOPMENT & REALTY

JOB NO. 2300585

TITLE COVER SHEET

SHEET MATS



See Our **Deals** Page [Here!](#)

[HOME](#) > [OUTDOOR LIGHTING](#) > [PROGRESS LIGHTING](#) > 5IN CYL RND S OUTDOOR WALL SCNCE



[Help](#)

Share This Product

Progress Lighting P560290-031 Outdoor Wall Sconce Cylinder, 2-Light 150 Total Watts, Black

SKU: P560290-031

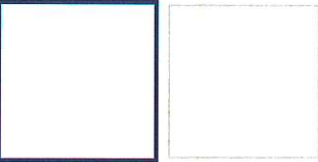
Be the first to review this product

- 14" Height x 7" Width x 5" Length
- 2-75W PAR30-Type Bulbs
- CSA Listed for Wet Locations

Our Price: **\$139.16**

List: **\$208.74**

Selected Finish : **Black**



Quantity:

ADD TO CART

Pay in 4 interest-free payments of \$34.79 with **PayPal**. [Learn more](#)

Free Shipping

Ships in 1 to 2 days

99+ In Stock

as of Nov 10, 08:02 PM

FEATURES ^

- [Description](#) [Lighting Dimensions](#) [Mounting Details](#) [Light Type](#) [Shipping Dimensions](#)
[Material and Finish](#) [Certifications](#)

DESCRIPTION

Progress Lighting P560290-031 Outdoor Wall Sconce Cylinder, 2-Light 150 Total Watts, Black

- 5IN CYL RNDS OUTDOOR WALL LIGHT DIMENSIONS: 14" Height x 7" Width x 5" Length (Backplate: 4.45"W x 4.45"H x 0.65"D)
- LIGHT: 2-75 Watt E26 Medium Base PAR30-Type Bulbs, Bulbs Not Included, 150 Total Watts
- Install Position: As Shown in Image; Hardware to Mount Fixture to an Existing Junction Box Included (Junction Box Not Included)
- CSA Listed for Wet Locations
- FINISH: Black, MATERIAL: Aluminum
- 100% SATISFACTION GUARANTEED: Manufacturer's 1 Year Limited Warranty. 365 Day Returns or Exchanges to Del Mar Fans & Lighting.

UPC: 785247261840

This stylish, sleek 5 in. round cylinder provides an elegant and versatile solution for your outdoor lighting needs. A wet-location rated lens is included, making the fixture ready for wet-location use right out of the box. Uses two medium base bulbs (sold separately). The light sources direct light up and down and offer beautiful, glare-free illumination.

LIGHTING DIMENSIONS

Height 14"

Width 7"

MOUNTING DETAILS

Canopy Dimensions 4.45"w x 4.45"h x 0.65"d

Junction Box

Mounting System Wall Mount

LIGHT TYPE

Bulb 2 Included No

Bulb Base Type E26 Medium

Bulb Quantity 2

Bulb Technology

Bulb Watts	75
Bulb1 Included	No
Total Watts	150
Voltage	120

SHIPPING DIMENSIONS

Carton Height	15.625
Carton Length	9
Carton Width	6.25

MATERIAL AND FINISH

Finish	Black
Material	Aluminum
Shade	

CERTIFICATIONS

Certification	CSA Approved for Wet Locations in US and Canada
----------------------	---

REVIEWS ▾

SHIPPING ▾

RETURN POLICY ▾

DATE

January 2, 2024

PROJECT NAME

Grimes Public Works

APPLICANT

City of Grimes

REQUESTED ACTION

Approval of a site plan amendment to make changes to the parking lot, fencing, main entrance, and add another driveway.

LOCATION

1700 SE Destination Drive

ZONING

M-1A

Zone 2 Highway 141

PLANNER

Evann Martin
emartin@grimesiowa.gov
515-986-4050



Location Map



Zoning Map

Relation to Comprehensive & Neighborhood Plans

LAND USES & ZONING

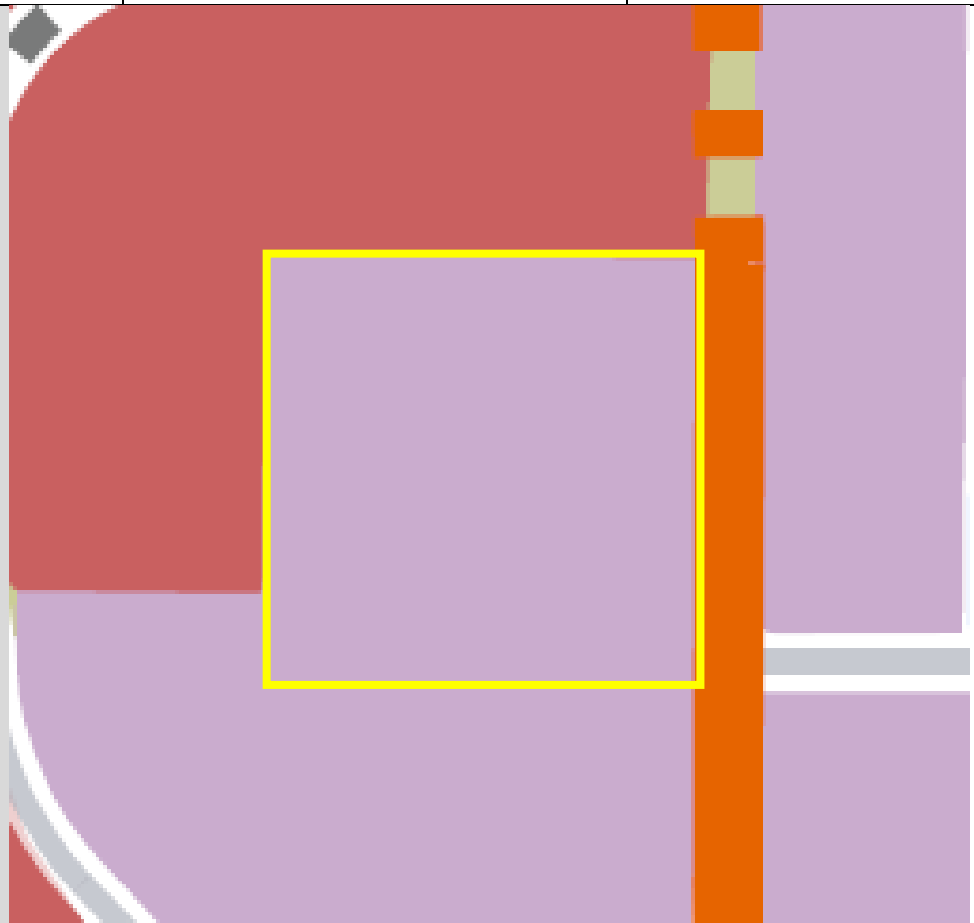
Location	Existing Land Use	Land Use Plan Designation	Current Zoning
Subject Site	Grimes Public Works	Light Industrial	M-1A
North	Vacant	Mixed Use 2	M-1A
South	Industrial	Light Industrial	M-1A
East	Industrial	Light Industrial	M-1A
West	Vacant	Mixed Use 2	M-1A

PARKS

The site is commercial, therefore no parkland dedication is required.

LEGAL

A sidewalk agreement will be required for ensure future construction of the 5' sidewalk along SE Destination Drive. Because there are no existing sidewalks on this portion of Destination, it would not make sense to construct the sidewalk at this time.



Future Land Use Map

Site Layout

ACCESS

A new driveway will be constructed on the south side of the site to provide a second access.

BUILDING ENTRANCE

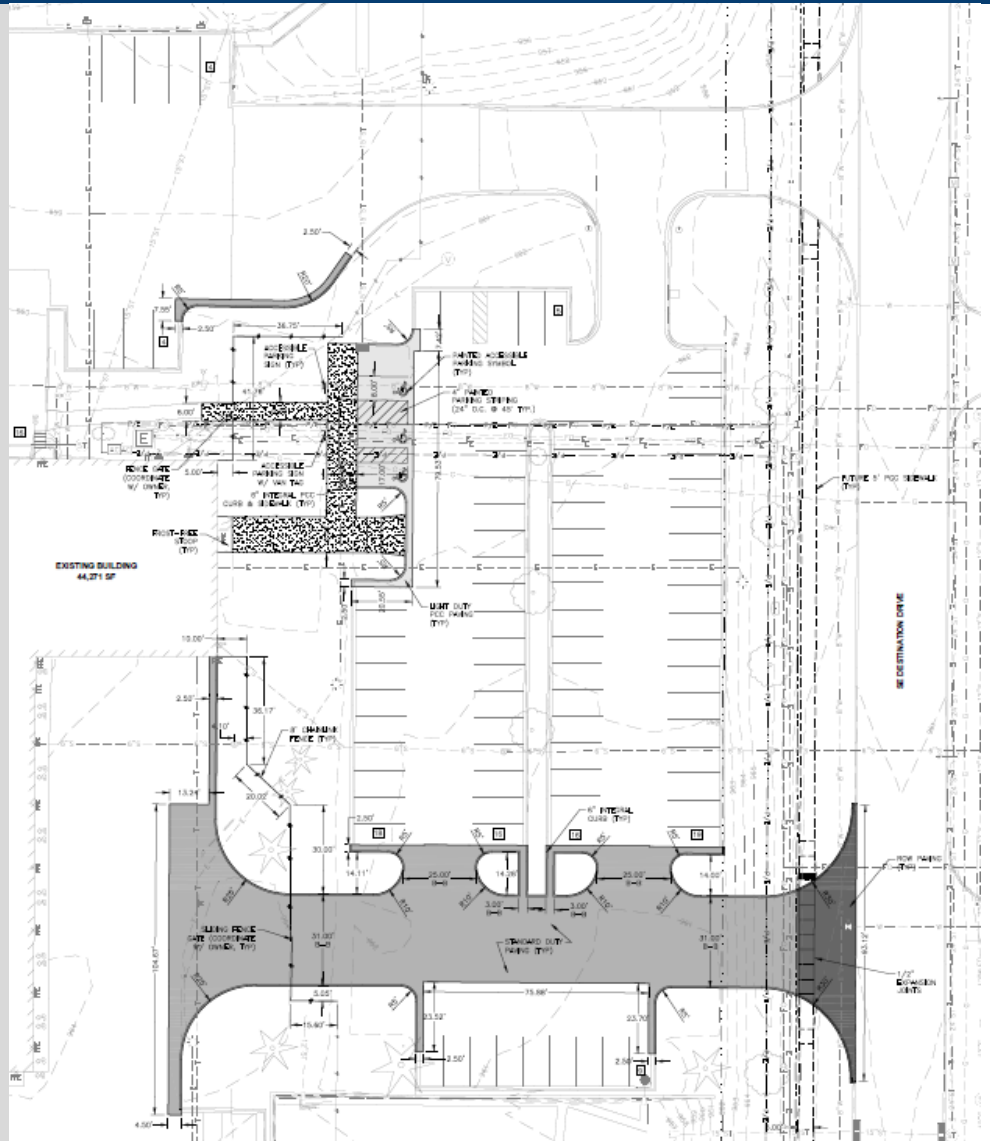
The entrance to the building will be reconstructed to provide a sidewalk connection from the parking lot to the building. The existing fence will be reconfigured and turnstile removed to provide a more inviting entrance while separating the public from the maintenance facilities.

LANDSCAPING

Additional landscaping will be provided along SE Destination Drive and around the perimeter of the site meet the Highway 141 landscaping requirements.

PARKING

The parking was originally constructed for the previous FedEx facility. No additional parking is proposed. With the new improvements, the number of parking spaces will be reduced but will still meet the minimum requirements.



Parking Calculation Table

Required	Proposed
33 spaces	65 parking spaces
Office —3 spaces/1000 sf	
Warehouse —1 space/2000 sf	

Conclusion

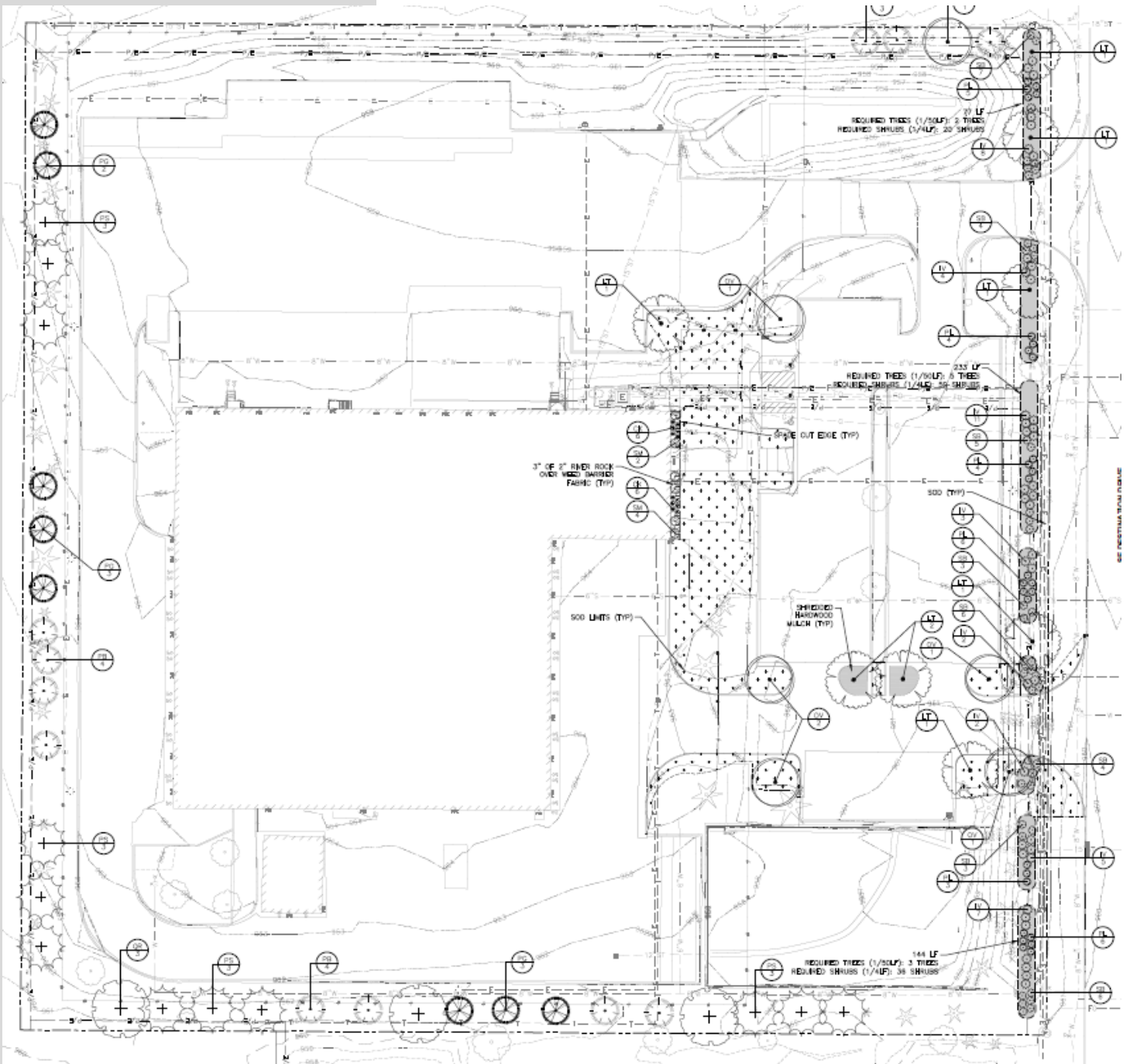
STAFF RECOMMENDATION

Staff recommends approval of the site plan amendment.

Conclusion

Public Works is making improvements to the entrance and parking lot to make the facility more inviting to the public and add another driveway for increased functionality for City staff.

A sidewalk agreement will be approved with the site plan to ensure the sidewalk along SE Destination Drive is constructed in the future at such a time the sidewalk network is established.



November 16, 2023

November 29, 2023

Civil Design Advantage

Attn: Nikki Neal

4121 NW Urbandale Drive

Urbandale, IA 50322

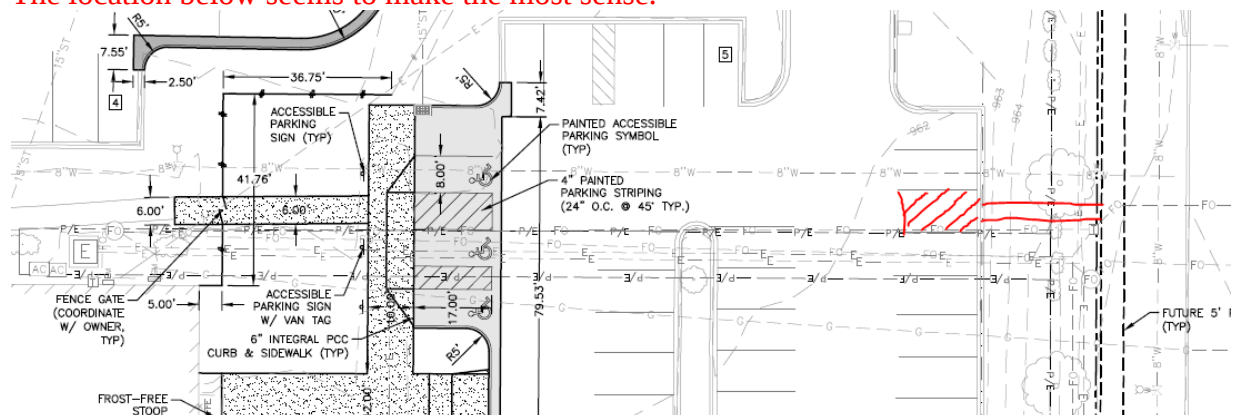
RE: Grimes Public Works Site Plan Amendment

Ms. Neal:

The Development Services Department is in receipt of a proposed Site Plan Amendment for the Grimes Public Works. Based on the review of the provided submittal materials, staff have the following comments:

General Comments:

1. The sidewalk can be shown as future. Staff will draft a sidewalk agreement to ensure future construction in the event the City sells the property. Usually, we offer two different options for property owners (see below). However since the City is the current applicant, option B may make the most sense. **Attached is the draft agreement for reference.**
 - a. Provide the City with the cost of the sidewalk for the City to construct with the SE Destination Dr improvements.
 - b. Property owner can construct the sidewalk after the SE Destination Dr improvements are completed upon notice from the City.
2. **Please show a future sidewalk connection from the public sidewalk to the building. The location below seems to make the most sense.**



Cover Sheet:

1. ~~Provide estimated construction schedule.~~
2. ~~Update required open space to 15%.~~
3. ~~Update warehouse required parking to 20 spaces (39,964/2000).~~
4. ~~Update maximum parking open space calc based on the 23 extra space provided.~~

C1.1

1. ~~Callout removal of bollards by east entrance.~~
2. Remove callouts to adjust fixtures to grade and grinding curb on the north entrance since grading for sidewalk is removed.

C2.1

1. ~~Update City of Grimes Standard Notes. Notes are provided.~~

C2.2

1. ~~Please show ADA parking spaces and signage.~~
2. ~~Paving within the ROW needs to be 8" thick PCC.~~
3. ~~Delineate sidewalk path through the driveway with ½" expansion jointing.~~
4. ~~Provide masonry enclosures for the cardboard dumpsters per 12-5-11.2.B.3.a. To be provided with future phases.~~

C3.1

1. ~~Please make sure the sewer clean out has at least 2-3 ft of clearance from the fence.~~
2. ~~Please make sure the sewer clean out is inside the fence.~~
3. ~~Is the purpose of the 2" conduit located next to the fence to power the gates?~~

C4.1

1. Provide fence and gate detail.

L1.1:

- ~~1. Provide additional shrubs along SE Destination Dr to meet the 1 shrub per 4' requirement.~~
- ~~2. Provide additional trees to meet tree count requirements (2 trees per 1000 sf of required open space).~~
- ~~3. Provide shrub count across the site (2 shrubs per 1000 sf of required open space).~~

Please provide a letter addressing all comments on this comment letter and/or state what was modified on the site plan to address said comments.

SITE PLAN SUBMITTAL SCHEDULE:

SUBMITTAL DATE: November 20, 2023
(1 PDF of Site plan with Elevation Plan included)

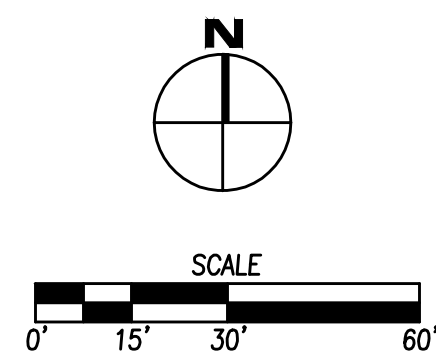
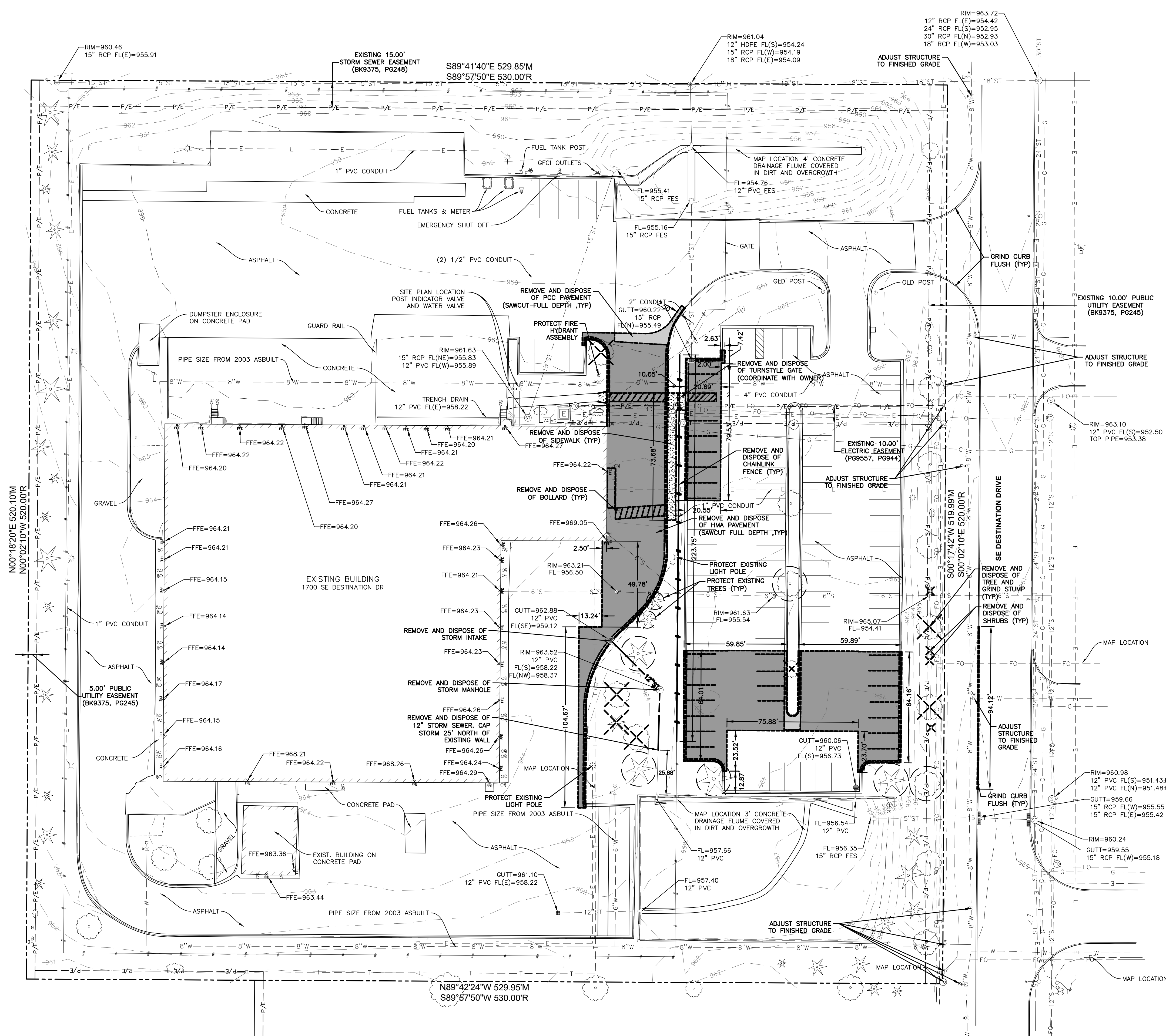
PLANNING & ZONING: January 2, 2024 at 5:30

COUNCIL MEETING: January 23, 2024 at 5:30

Please feel free to contact me at emartin@grimesiowa.gov or at (515) 986-4050 if you have any questions or need additional information.

Sincerely,

Evann Martin
Assistant Planner



DEMOLITION NOTES

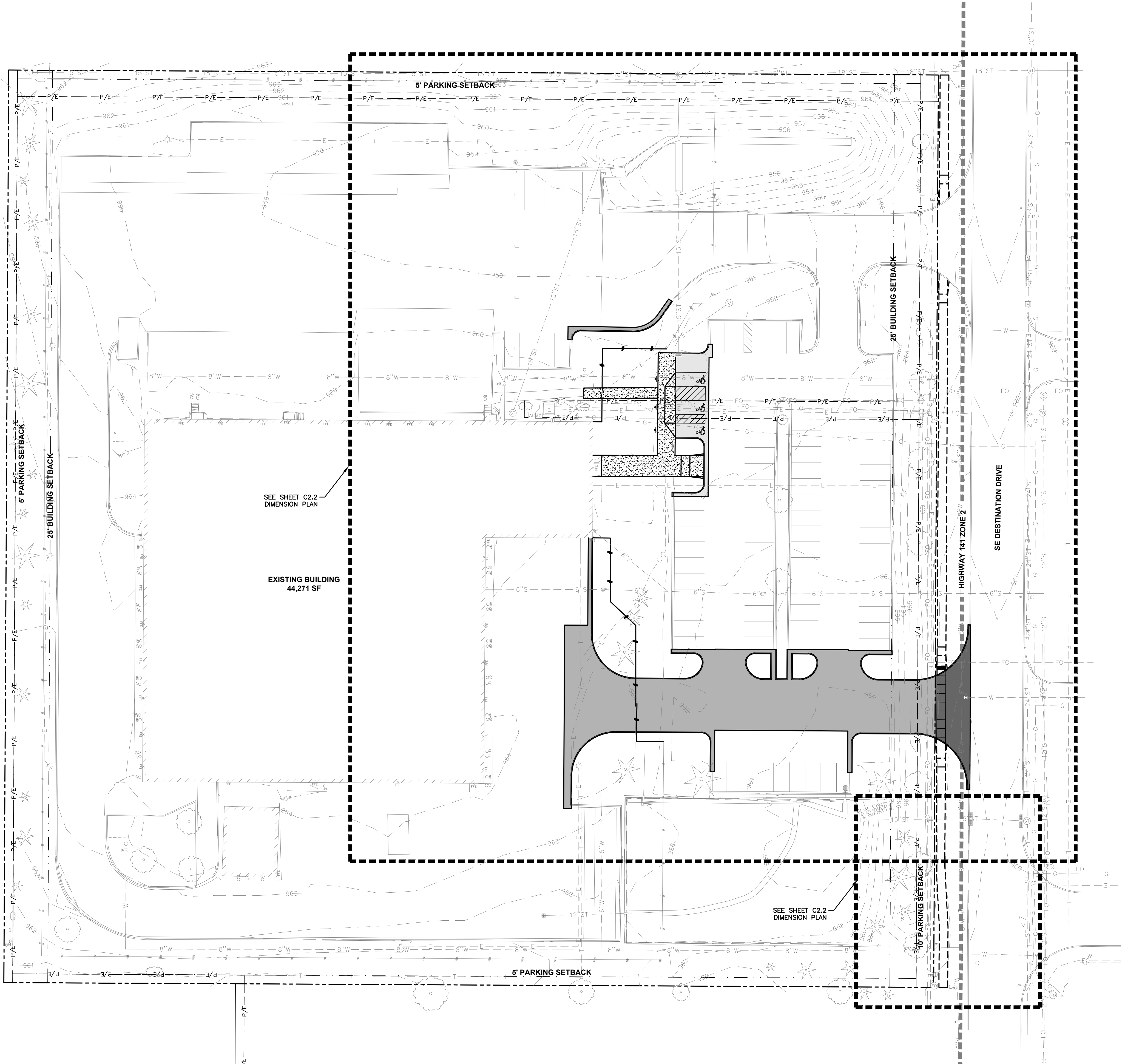
1. PRIOR TO ANY WORK AT THE SITE, CONTRACTOR SHALL EXAMINE ANY APPLICABLE DRAWINGS AVAILABLE FROM THE OWNER OR ENGINEER AND CONSULT WITH OWNER'S PERSONNEL AND UTILITY COMPANY REPRESENTATIVES. NO COMPENSATION WILL BE ALLOWED FOR DAMAGE TO THE FACILITY WITH THIS REQUIREMENT.
2. PRIOR TO DEMOLITION CONTRACTOR SHALL NOTIFY IN WRITING (48 HRS NOTICE) THE FOLLOWING:
 - A. CITY
 - B. APPLICABLE UTILITY COMPANIES
 - C. OWNER
 - D. CIVIL DESIGN ADVANTAGE ARCHITECT
3. DO NOT DISTURB EXISTING UTILITIES UNLESS OTHERWISE NOTED. COORDINATE REMOVAL OR ABANDONMENT OF ALL UTILITIES WITH THE APPROPRIATE UTILITY SUPPLIER AND REGULATORY AGENCIES.
4. PRIOR TO EXISTING UTILITIES THAT ARE TO REMAIN, THE LOCATIONS OF ALL UTILITIES INDICATED ON THE PLANS ARE TAKEN FROM EXISTING RECORDS. THE EXACT LOCATION AND ELEVATION OF ALL UTILITIES MUST BE DETERMINED BY THE CONTRACTOR. IT SHALL BE THE DUTY OF THE CONTRACTOR TO ASCERTAIN WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT.
5. BACKFILL ALL EXCAVATIONS WITH COHESIVE MATERIAL COMPACTED TO 95% MAXIMUM STANDARD PROCTOR DRY DENSITY AND MOISTURE RANGE OF OPTIMUM MOISTURE TO 4% BELOW OPTIMUM MOISTURE. BACKFILL TO BE BY A GEOTECHNICAL ENGINEER EMPLOYED BY THE OWNER. IN THE EVENT OF A TEST FAILURE, ANY RETESTING SHALL BE PAID FOR BY THE CONTRACTOR.
6. FIELD VERIFY EXISTING GRADES AND LOCATION OF EXISTING UTILITIES, CONDUIT, LINES, FOLD, TREES, PAVING, BURNING AND OTHER SITE FEATURES PRIOR TO DEMOLITION AND IMMEDIATELY INFORM THE ENGINEER AND/OR OWNER OF ANY DISCREPANCIES.
7. DEMOLITION NOTES AS SHOWN ON THE PLAN ARE NOT ALL INCLUSIVE. CONTRACTOR TO BE RESPONSIBLE IN PLACING THE EXISTING UTILITIES, CONDUIT, LINES, FOLD, TREES, PAVING, BURNING AND OTHER SITE FEATURES AS SHOWN ON THE PLANS ABOVE AND BELOW GROUND TO COMPLY WITH THE GENERAL INTENT OF THIS DOCUMENT.
8. ALL CONSTRUCTION/DEMOLITION DEBRIS SHALL BE DISPOSED OF OFFSITE IN FULL COMPLIANCE WITH CURRENT ENVIRONMENTAL REGULATIONS.
9. CONSTRUCTION LIMITS SHALL BE CONFINED TO THE SITE BOUNDARY AS NOTED. ANY DAMAGE TO PROPERTIES OUTSIDE THE SITE BOUNDARY SHALL BE AT THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
10. ALL WORK SHALL BE IN ACCORDANCE WITH OSHA STANDARDS. NOTHING INDICATED ON THE DRAWING SHALL EXEMPT THE CONTRACTOR FROM COMPLYING WITH ANY OF THE APPROPRIATE SAFETY REGULATIONS.

TRAFFIC CONTROL NOTES

1. ALL APPLICABLE CITY PERMITS, INCLUDING BUT NOT LIMITED TO CLOSURE PERMITS, SHALL BE OBTAINED PRIOR TO ANY CONSTRUCTION WITHIN CITY R.O.W. OR LANE CLOSURES.
2. ALL TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
3. PERMITS SIGNING THAT CONVEYS A MESSAGE CONTRARY TO THE MESSAGE OF TEMPORARY SIGNING AND NOT APPLICABLE TO THE WORKING CONDITIONS SHALL BE COVERED BY THE CONTRACTOR WHEN DIRECTED BY THE CITY.
4. THE CONTRACTOR SHALL COORDINATE HIS TRAFFIC CONTROL WITH OTHER CONSTRUCTION PROJECTS IN THE AREA.
5. SIDEWALK CLOSED SIGNS REQUIRED FOR ALL SIDEWALK CLOSURES.
6. THE CONTRACTOR SHALL REMOVE NEITHER EXISTING OR OBSOLETE ANY EXISTING PAVEMENT, NOR TO DISTURB THE EXISTING TRAFFIC PATTERNS MORE THAN IS NECESSARY FOR THE PROPER EXECUTION OF THE WORK.
7. ALL SIGNING AND LANE STRIPING WILL NEED TO COMPLY WITH MUTCD. MAINTENANCE AND REPLACEMENT OF THE SIGNING AND STRIPING WILL BE THE RESPONSIBILITY OF THE APPLICANT.

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COMMENTS: ENG.



GENERAL NOTES

1. THE MOST RECENT EDITION OF THE SUDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.
2. ALL WORK SHALL COMPLY WITH ADA ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES.
3. ALL WORK SHALL BE IN ACCORDANCE WITH OSHA CODES AND STANDARDS. NOTHING INDICATED ON THE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.
4. PRIOR TO ANY WORK AT THE SITE, CONTRACTOR SHALL EXAMINE ANY APPLICABLE DRAWINGS AVAILABLE FROM THE OWNER, ENGINEER, AND/OR ARCHITECT, AND CONSULT WITH OWNER'S PERSONNEL AND UTILITY COMPANY REPRESENTATIVES. NO COMPENSATION WILL BE ALLOWED FOR DAMAGE FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.
5. ONE WEEK PRIOR TO CONSTRUCTION WITHIN CITY R.O.W. OR ANY CONNECTION TO PUBLIC SEWERS CONTRACTOR SHALL NOTIFY THE CITY'S CONSTRUCTION DIVISION.
6. ALL CONSTRUCTION WITHIN PUBLIC R.O.W./ EASEMENTS, AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, SHALL COMPLY WITH THE CITY'S STANDARDS.
7. ALL DIMENSIONS ARE TO BACK OF CURB, BUILDING FACE OR PROPERTY LINE UNLESS OTHERWISE NOTED.
8. CONTRACTOR TO VERIFY BUILDING DIMENSIONS WITH ARCHITECTURAL PLANS.
9. PLACE 3/4" INCH EXPANSION JOINT BETWEEN ALL P.C.C. PAVEMENT/SIDEWALKS AND BUILDING. PLACE 1/2" INCH EXPANSION JOINT BETWEEN SIDEWALKS AND P.C.C. PAVEMENT.
10. REMOVE ALL DEBRIS SPILLED INTO R.O.W. AT THE END OF EACH WORK DAY.
11. ALL PROPERTY PINS SHALL BE PROTECTED FROM GRADING OR OTHER OPERATIONS. ANY PINS DISTURBED SHALL BE RESET AT THE CONTRACTOR'S EXPENSE.
12. DO NOT STORE CONSTRUCTION MATERIALS AND EQUIPMENT IN THE RIGHT OF WAY.
13. THE CONTRACTOR SHALL NOT DISTURB DESIRABLE GRASS AREAS AND DESIRABLE TREES OUTSIDE THE CONSTRUCTION LIMITS. THE CONTRACTOR WILL NOT BE PERMITTED TO PARK OR SERVICE VEHICLES AND EQUIPMENT OR USE THESE AREAS FOR STORAGE OF MATERIALS. STORAGE, PARKING AND SERVICE AREAS WILL BE SUBJECT TO THE APPROVAL OF THE OWNER.
14. THE CONTRACTOR IS RESPONSIBLE FOR REPLACING ANY AREAS OF PAVEMENT OR SIDEWALK NOT TO BE REMOVED THAT IS DAMAGED DUE TO OPERATING EQUIPMENT ON THE PAVEMENT OR SIDEWALK.
15. THE CONTRACTOR MAY BE REQUIRED TO PLACE TEMPORARY WARNING DEVICES AND SAFETY FENCE AT CERTAIN LOCATIONS WHERE REPLACEMENT FEATURES ARE NOT INSTALLED THE SAME DAY, AS DIRECTED BY THE ENGINEER OR THE CITY.
16. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF WORK BETWEEN SUPPLIERS AND SUBCONTRACTORS INVOLVED IN THE PROJECT, INCLUDING STAGING OF CONSTRUCTION DETAILS.
17. CONCRETE REMOVAL FOR DRIVEWAY APPROACHES SHALL BE REMOVED TO THE NEAREST TRANSVERSE JOINT. CONTRACTOR SHALL VERIFY REMOVAL LIMITS WITH CITY'S CONSTRUCTION INSPECTOR PRIOR TO ANY CONCRETE REMOVAL.
18. ALL PERMITS AND ADDITIONAL FEES REQUIRED TO COMPLETE THE WORK SHALL BE INCLUDED IN THE CONTRACTOR BID.

PAVEMENT THICKNESS

1. SIDEWALKS	6" P.C.C.
2. LIGHT DUTY PAVING	6" P.C.C.
3. STANDARD DUTY PAVING	7" P.C.C.
4. ROW PAVING	8" P.C.C.

CITY OF GRIMES STANDARD NOTES FOR SITE PLANS

GENERAL NOTES:

- A. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CURRENT VERSION OF THE IOWA STATEWIDE URBAN DESIGN AND SPECIFICATIONS (SUDAS) FOR PUBLIC IMPROVEMENTS ON THE DATE OF APPROVAL AND THE CITY OF GRIMES SUPPLEMENTAL SPECIFICATIONS.
- B. A PRECONSTRUCTION MEETING IS REQUIRED PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE THIS MEETING. CONTACT THE CITY OF GRIMES BUILDING DIVISION (515.988.4050).
- C. ALL PERMITS (IDNR, NPDES, IDOT, ARMY CORP., ETC.) SHALL BE OBTAINED PRIOR TO THE START OF CONSTRUCTION.
- D. PROVIDE THE CITY OF GRIMES WITH RECORD DRAWINGS (AS-BUILTS) OF ALL IMPROVEMENTS AND EASEMENTS AS PER CITY COMMERCIAL AS-BUILT POLICY.
- E. THE RECORD DRAWINGS SHOULD INCLUDE A CERTIFIED GRADING SHEET AND AS-BUILT PLANS OF ALL STORMWATER MANAGEMENT FACILITIES ON SITE WITH A CERTIFICATION STATEMENT SIGNED BY THE DESIGN ENGINEER INDICATING THAT THE FACILITIES WERE CONSTRUCTED AS DESIGNED.
- F. RECORD DRAWINGS TO INCLUDE ONE ELECTRONIC FILE IN .DWG AND .PDF FILE EXTENSIONS.
- G. TYPICAL BUILDING SERVICE LAYOUT TO REFLECT THE CITY'S SERVICE ORDER FROM LEFT TO RIGHT FACING THE LOT: SANITARY, WATER, SUMP. MARK THE ENDS OF SERVICES WITH A STEEL FENCE POST AND PAINT GREEN FOR SANITARY, BLUE FOR WATER, AND WHITE FOR STORM. MARK THE ENDS OF SANITARY AND SUMP WITH A 2" X 4" FROM END OF PIPE TO 2' ABOVE GRADE.
- H. A KNOX BOX IS REQUIRED BY THE FIRE DEPARTMENT.
- I. ALL SITE LIGHTING SHALL NOT SPILL ONTO ADJACENT PROPERTIES OR RIGHTS-OF-WAY.
- J. PROVIDE A 4-YEAR MAINTENANCE BOND FOR ALL PUBLIC IMPROVEMENTS (UTILITY, PAVING, SUBGRADE) WITH AN ITEMIZED COST BREAKDOWN.

SANITARY SEWER NOTES:

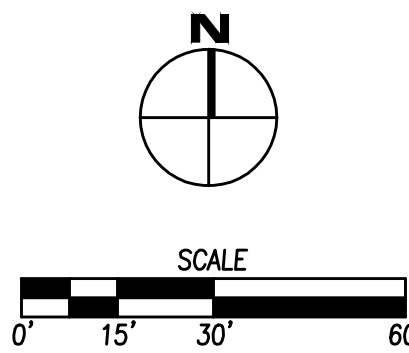
- A. THE CONTRACTOR IS REQUIRED TO PLACE A TEMPORARY PLUG IN THE EXISTING DOWNSTREAM SANITARY SEWER MANHOLE PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL REMOVE THE PLUG FOLLOWING APPROVAL OF CONSTRUCTION BY THE CITY OF GRIMES.
- B. SANITARY GRAVITY PIPE MATERIAL SHALL BE PVC SDR 26 OR TRUSS (8" TO 15").
- C. SANITARY GRAVITY SERVICE MATERIAL SHALL BE PVC SDR 23.5 (4" TO 6").
- D. ALL SANITARY SEWER MANHOLES SHALL HAVE STEPS.
- E. ALL SANITARY SEWER MANHOLES CASTINGS SHALL BE SEALED WITH HEAT SHRINK SLEEVES.
- F. ALL SANITARY SEWER MANHOLE CASTINGS LOCATED WITHIN PAVEMENT SHALL BE TYPE B/PCC W/ADJUSTING MECHANISM.
- G. SANITARY SEWER CLEANING & TELEVISION SHALL BE COMPLETED PRIOR TO PAVING. RUN SUFFICIENT DYED WATER THROUGH PIPE PRIOR TO TELEVISION. PROVIDE THE VIDEO AND INSPECTION REPORT TO THE CITY ENGINEERING DIVISION.

WATER MAIN NOTES:

- A. ALL FIRE HYDRANTS SHALL BE AMERICAN FLOW CONTROL-WATEROUS PACER WB-67-250, MUELLER SUPER CENTURION 250 (3-WAY A-423), OR CLOW MEDALLION F-2545. ALL HYDRANTS SHALL HAVE THE FOLLOWING: 6" MJ SHOE, 2-1/2" HOSE NOZZLE, 4-1/2" STEAMER NOZZLE, NST THREADS, PENTAGON OPERATING NUT, CHAIN ON CAP, OPEN LEFT, 5-1/2" BURY, AND FACTORY PAINTED RED. THE MINIMUM SPOOL PIPE LENGTH FROM AUXILIARY VALVE TO HYDRANT SHOE SHALL BE 2.0'.
- B. ALL HYDRANTS WILL IMMEDIATELY BE COVERED WITH A BLACK PLASTIC BAG (OR EQUIVALENT) ONCE THE HYDRANT IS INSTALLED. THE CITY OF GRIMES WILL NOTIFY THE CONTRACTOR WHEN THE BAGS CAN BE REMOVED.
- C. A TRACER WIRE RECEPTACLE SHALL BE INSTALLED AT EACH HYDRANT, AA MANUFACTURING TRACER WIRE RECEPTACLE MODEL TW-18-2.
- D. ALL VALVES SHALL BE RESILIENT WEDGE GATE VALVES.
- E. WATER SERVICE SHALL BE 1-INCH MINIMUM TYPE K COPPER.
- F. THE CITY OF GRIMES SHALL DO THE FILLING OF THE WATER MAIN.
- G. NEW WATER MAIN SHALL BE PRESSURE TESTED AND CHLORINATED BY THE CONTRACTOR. THE BACTERIA TEST AND SUBMITTAL OF TEST TO LAB SHALL BE DONE BY THE CONTRACTOR AND RESULTS PROVIDED TO THE CITY OF GRIMES ENGINEERING DIVISION. ALL TESTS AND SAMPLING TO BE WITNESSED BY THE CITY ENGINEERING DIVISION. IF THE TEST DOES NOT PASS, THE CONTRACTOR WILL BE REQUIRED TO PAY FOR ALL THE WATER USED TO REPEAT THE TEST.
- H. ALL WATERMAIN FITTINGS TO BE RESTRAINED JOINT, MEGA-LUG OR APPROVED EQUAL.
- I. ALL DEAD-END WATER MAINS TO HAVE TEMPORARY BLOWOFF HYDRANTS.

STORM SEWER NOTES:

- A. ALL STORM SEWER IN THE ROW SHALL BE RCP, UNLESS OTHERWISE APPROVED BY THE CITY.
- B. ALL FLARED END SECTIONS SHALL HAVE FOOTINGS AND APRON GRATES. THE LAST 3 PIPE SECTIONS AND THE FLARED END SECTION ON ALL STORM SEWERS SHALL BE TIED. ALL STORM SEWER JOINTS SHALL BE WRAPPED WITH ENGINEERING FABRIC UNLESS OTHERWISE DIRECTED.
- C. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY FIELD TILE DAMAGED DURING CONSTRUCTION. THE TILE SHOULD BE DIRECTED TO PUBLIC STORM SEWER IF POSSIBLE. THE CONTRACTOR SHALL RECORD THE ELEVATION AND LOCATION OF ALL TILES AND INCLUDE ON RECORD DRAWINGS.
- D. PUBLIC STORM SEWER CLEANING & TELEVISION SHALL BE COMPLETED PRIOR TO PAVING. RUN SUFFICIENT DYED WATER THROUGH PIPE PRIOR TO TELEVISION. PROVIDE THE VIDEO AND INSPECTION REPORT TO THE CITY ENGINEERING DIVISION.
- E. USE O RING GASKETS ON STORM SEWERS CROSSING OVER WATERMAIN PER IDNR REQUIREMENT.



DATE

REVISIONS

4121 NW URBANDALE DRIVE
URBANDALE, IA 50322
PHONE: (515) 369-4400 FAX: (515) 369-4410

ENGINEER:
CIVIL DESIGN ADVANTAGE

DRAFTED:
CIVIL DESIGN ADVANTAGE

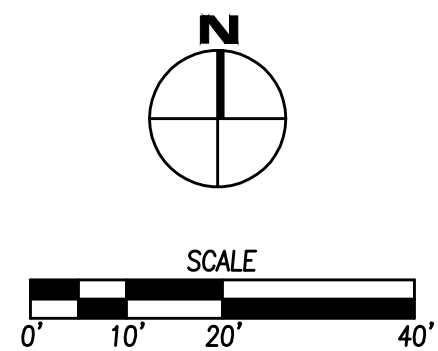
GRIMES, IOWA

1700 SE DESTINATION DRIVE

11/20/2023

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GRIMES PW - PHASE 1 REFERENCE PLAN



REVISIONS	DATE

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CIVIL DESIGN ADVANTAGE

GRIMES, IOWA

GRIMES PW - PHASE 1 DIMENSION PLAN

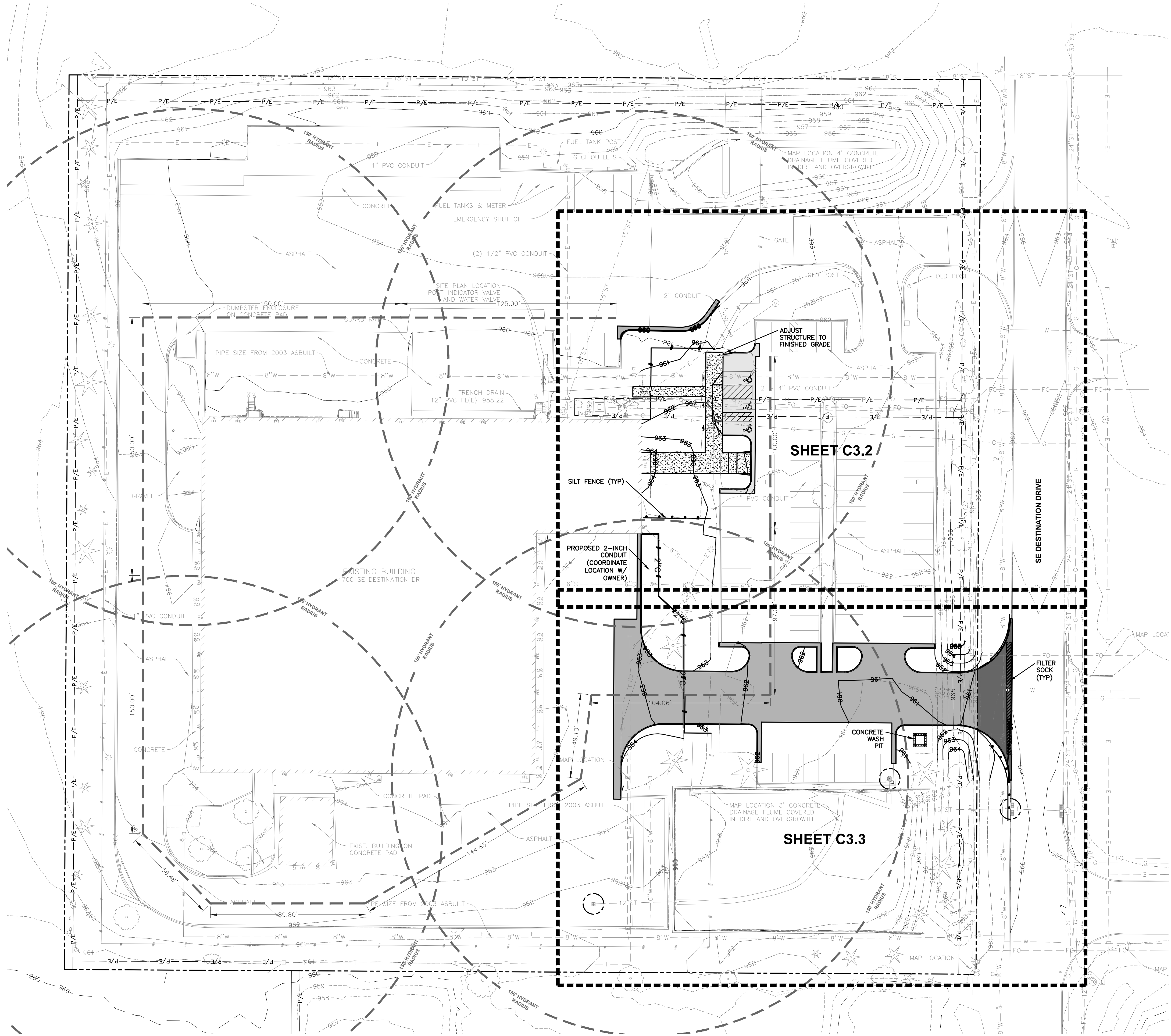
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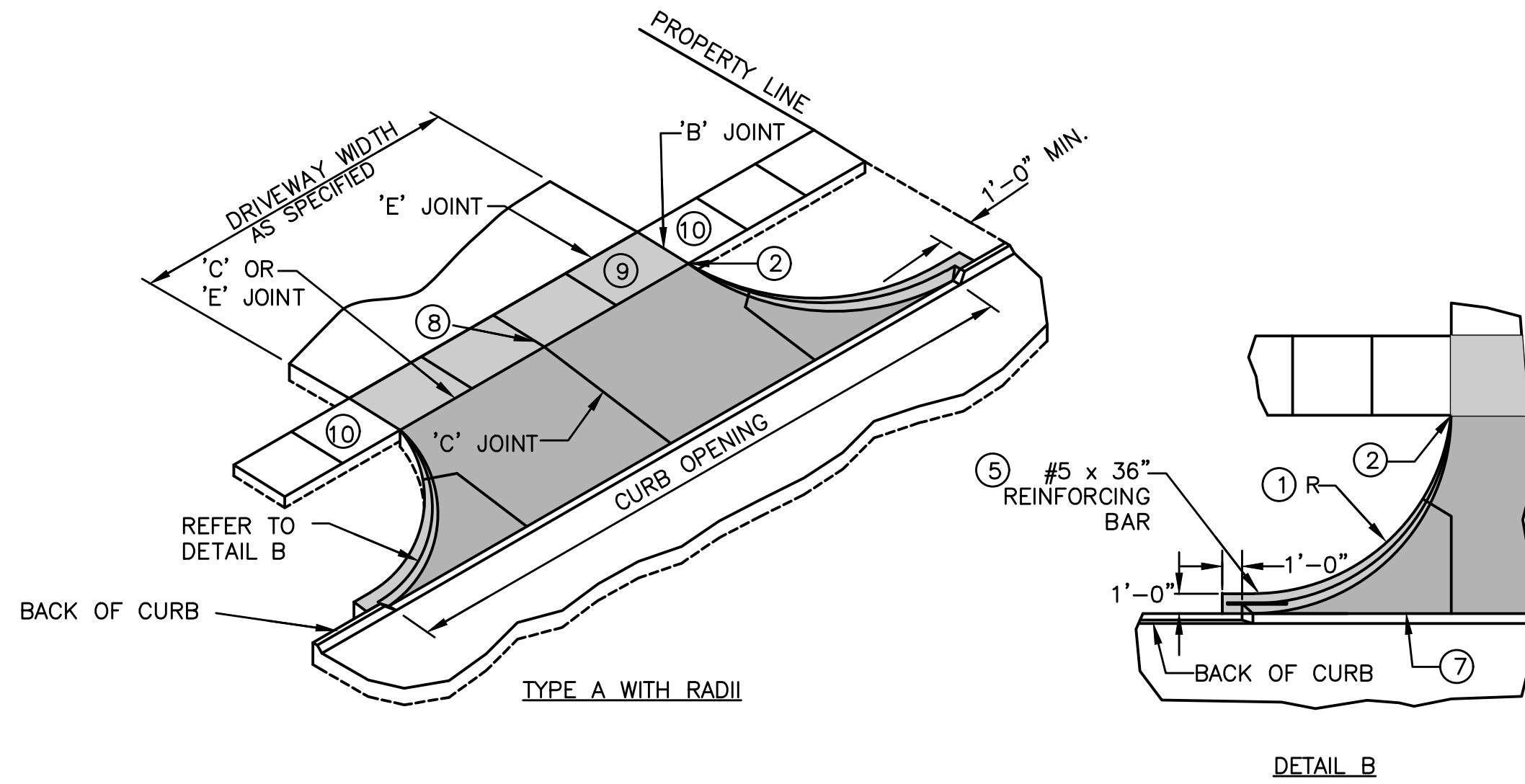


GRADING NOTES

1. PRIOR TO ANY GRADING, A COPY OF THE NPDES PERMIT SHALL BE PROVIDED TO THE CITY'S BUILDING DIVISION.
2. CONTRACTOR SHALL STRIP ALL DELETERIOUS MATERIAL. THE TOP 6" OF TOPSOIL IS TO BE STOCKPILED AND RESPREAD AFTER GRADING IS COMPLETE. CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING A SUITABLE TOPSOIL STOCKPILE SITE.
3. EXCAVATION SHALL BE IN ACCORDANCE WITH THE MOST RECENT EDITION OF THE SUDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS, IF APPLICABLE.
4. MATCH EXISTING GRADES AT PROPERTY LINES AND/OR CONSTRUCTION LIMITS.
5. ALL SPOT ELEVATIONS ARE FORM GRADE (FG) OR TOP OF FINISHED SURFACES UNLESS OTHERWISE NOTED.
6. SITE SHALL BE GRADED TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS.
7. SLOPES IN PAVEMENT SHALL BE UNIFORM TO AVOID PONDING.
8. THE CONTRACTOR SHALL CONFINE HIS GRADING OPERATIONS TO WITHIN THE CONSTRUCTION LIMITS AND EASEMENTS SHOWN ON THE PLANS. ANY DAMAGE TO PROPERTIES OUTSIDE THE SITE BOUNDARY SHALL BE AT THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
9. THE CONTRACTOR SHALL APPLY NECESSARY MOISTURE CONTROL TO THE CONSTRUCTION AREA AND HAUL ROADS TO PREVENT THE SPREAD OF DUST.
10. REFER TO SEPARATE STORM WATER POLLUTION PREVENTION PLAN FOR DETAILS ON EROSION CONTROL.
11. FINAL FINISH GRADING TO BE APPROVED BY THE ARCHITECT AND CIVIL ENGINEER. MATCH EXISTING GRADES AT THE INTERFACE OF NEW AND EXISTING GRADES OR PAVING.
12. SIDEWALKS: MAINTAIN 1% MINIMUM AND 5% MAXIMUM LONGITUDINAL SLOPES ON ALL PAVED WALKWAYS. ALL WALKS TO HAVE 2.0% MAXIMUM TRANSVERSE SLOPE IN THE DIRECTION OF NATURAL DRAINAGE. SAW CUT JOINTS AS SOON AS CONCRETE HAS SET. SAW CUTS TO BE 1/8" TO 1/4" WIDE. DEPTH: LONGITUDINAL 1/3, TRANSVERSE 1/4.
13. THE GRADING OF THE DETENTION FACILITY, INSTALLATION OF THE STORM SEWER SYSTEM (IF APPLICABLE), AND THE INSTALLATION OF THE ORIFICE PLATE (IF APPLICABLE) SHALL BE COMPLETED AND FUNCTIONAL PRIOR TO ANY INCREASE IN IMPERVIOUS SURFACES WITHIN THE SITE OR THE PREVIOUSLY MENTIONED ITEMS SHALL BE GRADED/ INSTALLED AS SOON AS PRACTICAL.

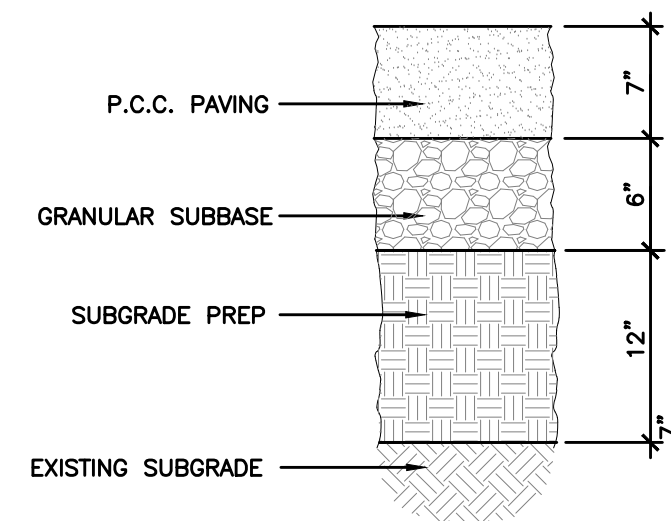


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|--|--|
| ① DRIVEWAY RADIUS (R). | ⑦ PROVIDE 'E' JOINT AT BACK OF CURB UNLESS 'B' JOINT IS SPECIFIED. |
| ② TRANSITION THE CURB HEIGHT TO 0 INCHES AT END OF TAPER/RADIUS OR AT THE FRONT EDGE OF SIDEWALK. DO NOT EXTEND RAISED CURB ACROSS SIDEWALK. | ⑧ FOR ALLEYS, INVERT THE PAVEMENT CROWN 2% TOWARD CENTER OF ALLEY. |
| ③ PAVEMENT THICKNESS.
RESIDENTIAL: 6 INCHES MINIMUM.
COMMERCIAL AND INDUSTRIAL: 7 INCHES MINIMUM. | ⑨ TARGET CROSS SLOPE OF 1.5% WITH A MAXIMUM CROSS SLOPE OF 2.0%. IF SPECIFIED IN THE CONTRACT DOCUMENTS, CONSTRUCT THE SIDEWALK THROUGH THE DRIVEWAY 5 FEET WIDE TO SERVE AS A PASSING SPACE. |
| ④ SIDEWALK THICKNESS THROUGH DRIVEWAY TO MATCH THICKNESS OF DRIVEWAY. | ⑩ IF CROSS SLOPE OF ADJACENT SIDEWALK PANEL EXCEEDS 2.0%, REMOVE AND REPLACE TO TRANSITION FROM EXISTING SIDEWALK TO SIDEWALK THROUGH DRIVEWAY. IF ELEVATION CHANGE REQUIRES A CURB RAMP, COMPLY WITH FIGURE 7030.205; VERIFY NEED FOR DETECTABLE WARNING PANEL WITH ENGINEER. |
| ⑤ CENTER REINFORCING BAR VERTICALLY IN THE PAVEMENT. | |
| ⑥ MATCH THICKNESS OF ADJACENT ROADWAY, 8 INCHES MINIMUM. | |



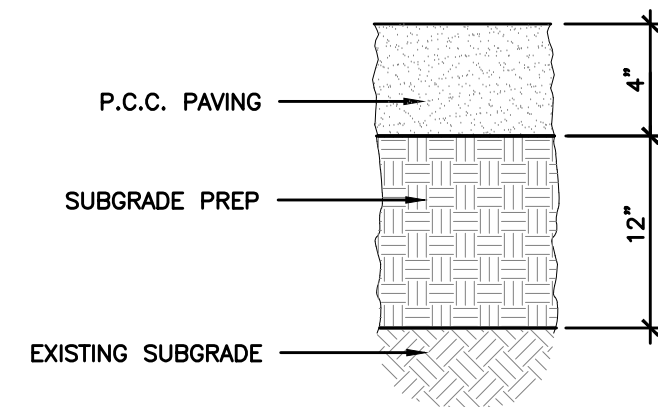
CONCRETE DRIVEWAY TYPE A

- 4 CONCRETE DRIVEWAY TYPE A**
NOT TO SCALE



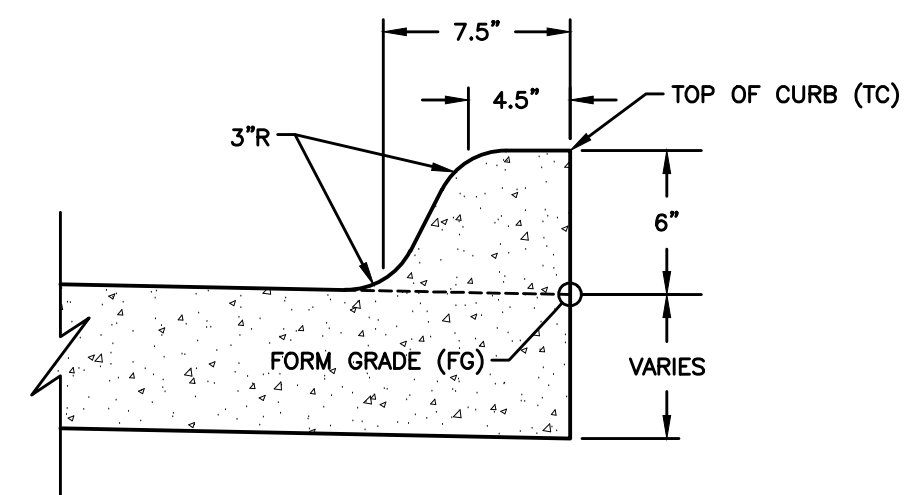
- NOTE:
1. SUBGRADE PREPARATION SHALL EXTEND 24" BEYOND EDGE OF PAVING OR BACK OF CURB.
 2. SUBGRADE PREPARATION SHALL BE COMPLETED IN 2 - 6" LIFTS.

- 3 STANDARD DUTY PCC PAVING**
NOT TO SCALE



- NOTE:
1. SUBGRADE PREPARATION SHALL EXTEND 24" BEYOND EDGE OF PAVING OR BACK OF CURB.
 2. SUBGRADE PREPARATION SHALL BE COMPLETED IN 2 - 6" LIFTS.

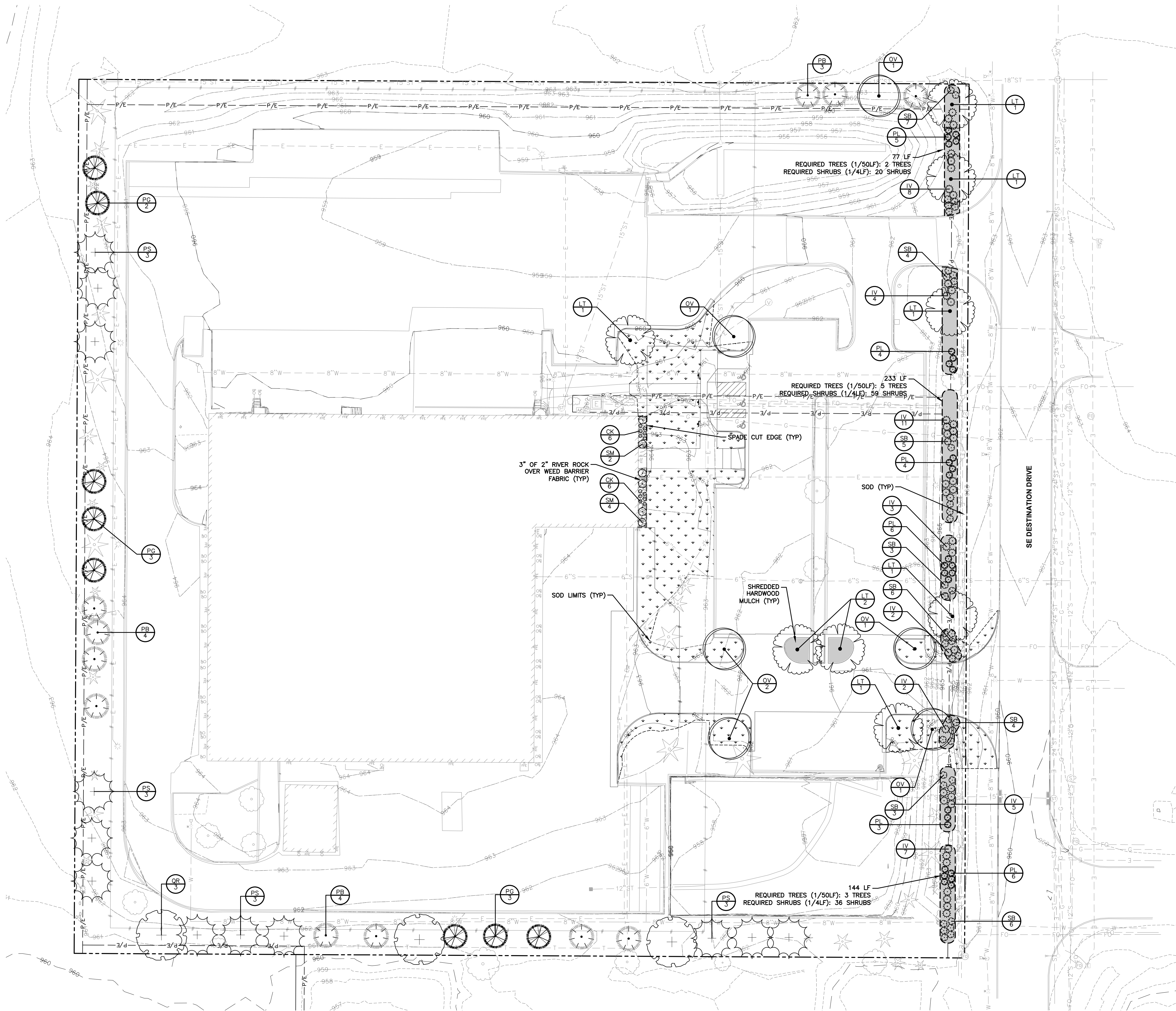
- 2 PCC SIDEWALK**
NOT TO SCALE



- 1** **INTEGRAL 6" STANDARD CURB**
NOT TO SCALE

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PLOT BY: KAYLEE WENIGS

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LANDSCAPE NOTES

1. LOCATE ALL UTILITIES BEFORE ANY PLANTING BEGINS.
2. THE MOST RECENT EDITION OF THE SUDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.
3. TYPE, SIZE, AND QUALITY OF PLANT MATERIAL SHALL CONFORM TO THE MOST CURRENT EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1.
4. ALL PLANT MATERIAL SHALL BE HEALTHY SPECIMENS WITHOUT DEFORMITIES, VOIDS AND OPEN SPACES, WITH WELL DEVELOPED BRANCH AND ROOT SYSTEMS; TRUE TO HEIGHT, SHAPE AND CHARACTER OF GROWTH OF THE SPECIES OR VARIETY.
5. SOD ALL DISTURBED AREAS AS DIRECTED BY OWNER.
6. BACKFILL TO TOP OF CURB. (MINUS 1 1/2" FOR SOD, IF REQ.)
7. WEED PREVENTER (PRE-EMERGENT) SHALL BE SPREAD OVER SOIL AFTER PLANTING AND BEFORE MULCHING IN ALL PLANTING BEDS PER MANUFACTURER'S RECOMMENDATIONS.
8. SHREDDED HARDWOOD MULCH SHALL BE PLACED AROUND ALL TREES, SHRUBS AND IN ALL PLANTING BEDS TO A (MIN) DEPTH OF 3".
9. ALL EDGING SHALL BE SPADE CUT EDGE.
10. PLANT QUANTITIES ARE SHOWN FOR INFORMATION ONLY, THE DRAWING SHALL PREVAIL IF ANY CONFLICTS ARISE.
11. ALL DEBRIS SPILLED IN THE PUBLIC R.O.W. SHALL BE PICKED UP BY THE CONTRACTOR AT THE END OF EACH WORK DAY.
12. CONTRACTOR SHALL WARRANTY ALL PLANT MATERIALS FOR A PERIOD OF ONE YEAR FROM DATE OF INSTALLATION.

LANDSCAPE CALCULATIONS

SITE AREA	PHASE 1	TOTAL
	24,944 SF (0.57 AC)	275,570 SF (6.33 ACRES)
OPEN SPACE	TOTAL	
REQUIRED:	41,336 SF (15%)	
REQUIRED FOR EXCESS PARKING:	3,726 SF (23 SPACES @ 9X18)	
	45,062 SF	
PROVIDED:	113,314 SF (41%)	
OPEN SPACE PLANTINGS		
TWO (2) TREES OR TWO (2) TREES PER ONE THOUSAND (1,000) SQUARE FEET OF REQUIRED OPEN SPACE, FIFTY PERCENT (50%) TWO (2) INCH CALIPER AND THE REMAINING EIGHT (8) FEET TO TEN (10) FEET IN HEIGHT AND ONE AND ONE-HALF (1 1/2) INCH CALIPER.		
ONE (1) SHRUB SHALL BE PLANTED FOR EVERY FIVE HUNDRED (500) SQUARE FEET OF OPEN SPACE, BUT NO LESS THAN THREE (3) SHRUBS PER LOT.		
REQUIRED TREES (2 x (45,062 / 1,000) SF)	90 TREES	
SHRUBS (1 x (45,062 / 500) SF)	90 SHRUBS	
EXISTING TREES	42 TREES	
SHRUBS	15 SHRUBS	
PROPOSED TREES	48 TREES	
SHRUBS	126 SHRUBS	

CODE	QTY	COMMON NAME	BOTANICAL NAME	CONDITION AND SIZE
OVERSTORY TREES				
LT	8	Tulip Poplar	Liriodendron tulipifera	1.5" CALIPER 8' (MIN. HEIGHT)
OV	8	American Hornbeam	Ostrya virginiana	1.5" CALIPER 8' (MIN. HEIGHT)
QR	3	Red Oak	Quercus rubra	1.5" CALIPER 8' (MIN. HEIGHT)
CONIFEROUS TREES				
PB	11	Black Hills Spruce	Picea glauca densata	B&B, 2" CALIPER, 6' (MIN. HEIGHT)
PG	8	Colorado Blue Spruce	Picea pungens 'Glaucous'	B&B, 2" CALIPER
PS	12	White Pine	Pinus strobus	B&B, 2" CALIPER
SHRUBS				
IV	42	Henry's Garnet Sweetspine	Itea virginica 'Henry's Garnet'	CONT, 3 GAL
PL	28	Little Devil™ Dwarf Ninebark	Physocarpus opulifolius 'Little Devil'	CONT, 3 GAL
SB	38	Gold Mound Spirea	Spiraea x bumalda 'Goldmound'	CONT, 3 GAL
SM	6	Dwarf Korean Lilac	Syringa meyeri 'Palibin'	CONT, 3 GAL
GRASSES				
CK	12	Karl Foerster Feather Reed Grass	Calamagrostis x acutiflora 'Karl Foerster'	CONT, 1 GAL

GRIMES PW - PHASE 1 LANDSCAPE PLAN

DATE: 11/20/2023
SHEET NUMBER: 11.1
2304.234

4121 NW URBANDALE DRIVE
URBANDALE, IA 50322
PHONE: (515) 369-4400 FAX: (515) 369-4410

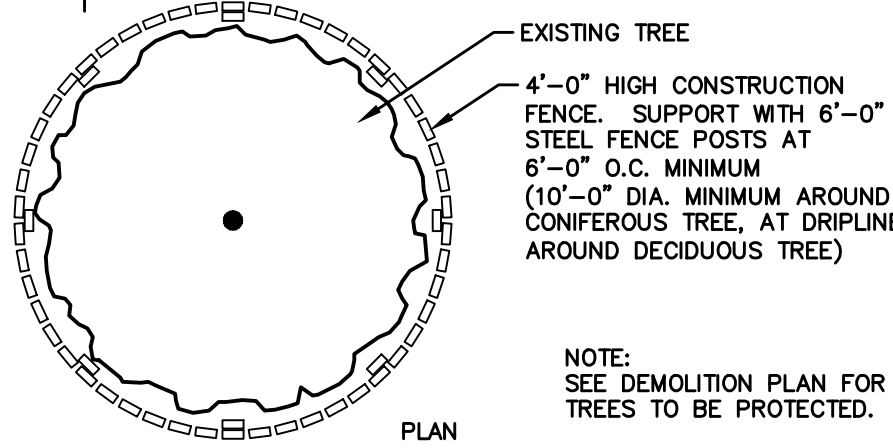
CIVIL DESIGN ADVANTAGE
ENGINEER: DRAFTED:

GRIMES, IOWA

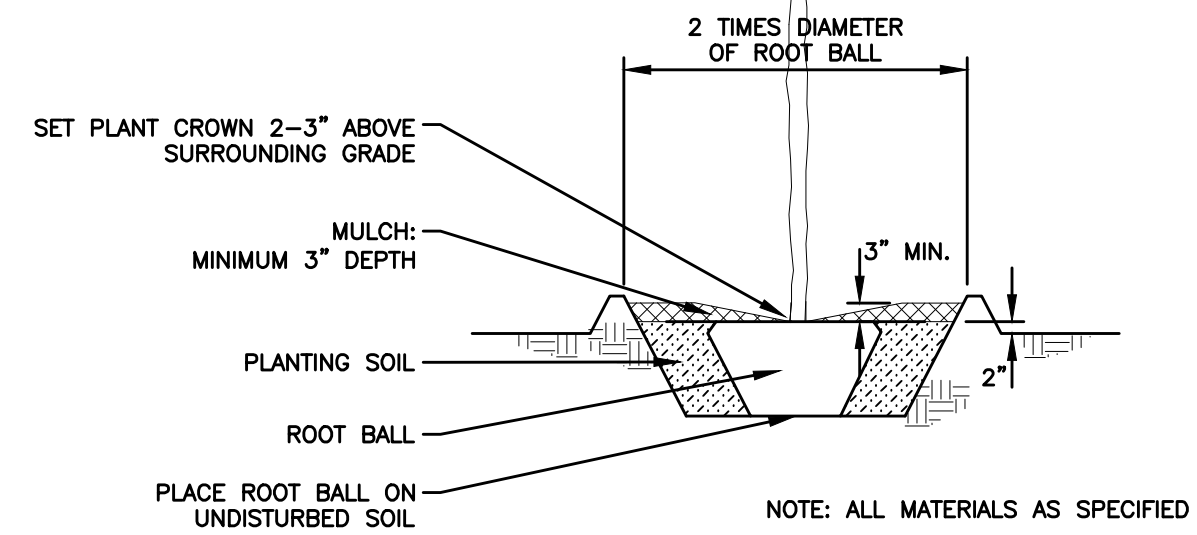
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GRIMES PW - PHASE 1
LANDSCAPE PLAN

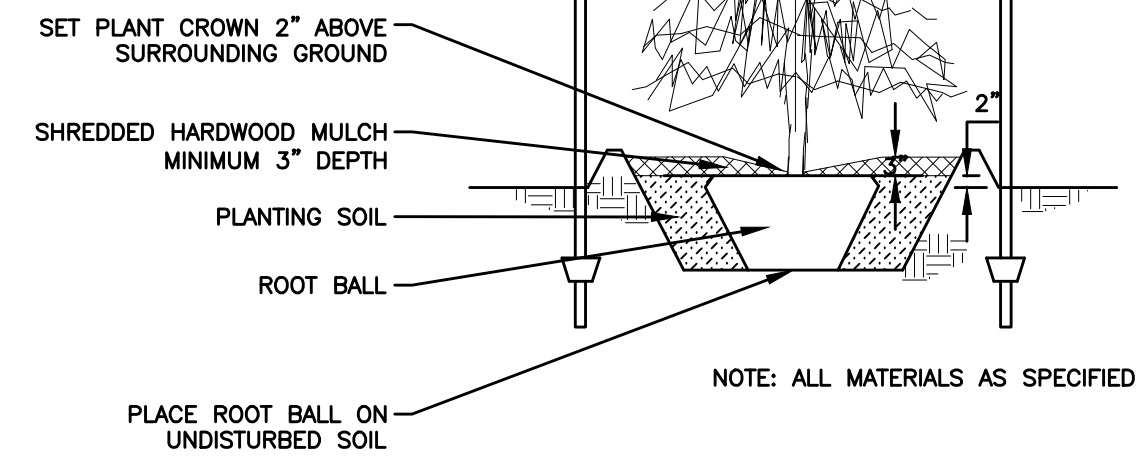
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2304.234



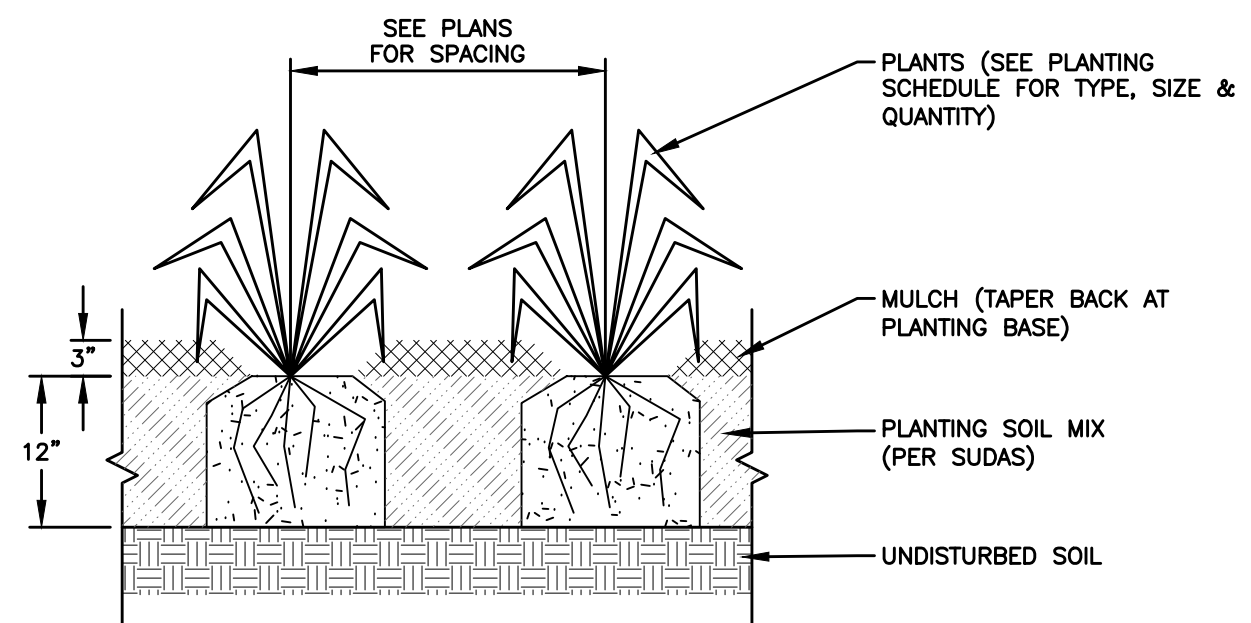
4 TREE PROTECTION



3 DECIDUOUS TREE PLANTING



2 CONIFEROUS TREE PLANTING



1 SHRUB PLANTING
NOT TO SCALE