



101 NE Harvey Street, Grimes, Iowa 50111 | P: 515.986.3036 | F: 515.986.3846

This meeting of the Grimes Planning and Zoning Commission was called to order Tuesday May 5, 2020 at 5:30 P.M. and was held electronically due to the global health pandemic.

Roll Call: Present: Scott Almeida, Courtney Strutt-Todd, Craig Patterson, Danielle Smid, Council Liaison: Andrew Borcharding

Staff: Alex Pfaltzgraff, Evann Martin, Rachel Greving

Absent: Amy Montford

A. GENERAL AGENDA ITEMS

1. APPROVAL OF THE AGENDA

Motion by Smid, Second by Strutt-Todd, to approve the agenda

Roll Call: Ayes-All; Nays-0 Motion passes: 4-0

2. APPROVAL OF THE MINUTES

Motion by Patterson, Second by Smid, to approve the minutes from the April 7, 2020 meeting

Roll call: Ayes-All: Nays-0 Motion passes: 4-0

B. PUBLIC AGENDA ITEMS

Project # 20-1032: 1884 SE Destination – Site Plan Amendment

Staff commented on the change of this plan that was executed during construction. Minimum standards are still met, but staff addressed this change since it was made in the field and no submission to change it was made to the City.

Staff recommended approval.

Motion by Patterson, Second by Smid to approve 1884 SE Destination – Site Plan Amendment

Roll Call: Aye-All Nay-0 **Motion Passes 4-0**

Project # 20-1030: Destination Market Plat 4 – Final Plat

Staff commented that the preliminary plat has already been approved. It is C-2 and within the transportation overlay. The site plan is consistent with the preliminary plat.

Staff recommended approval.

Motion by Strutt-Todd, Second by Smid to approve Destination Market Plat 4 – Final Plat

Roll Call: Aye-All Nay-0 **Motion Passes 4-0**

Project # 20-1029: M-Keds Plat 2 Lot 9 – Site Plan

Staff provided details on the site plan including the elevations that were not shown to meet requirements. Staff stated and showed some examples of what applicants have done in the past to meet this same standard. The Commission members recommended to the applicant to continue working with staff to meet the requirements.

Motion by Strutt-Todd, Second by Smid to approve M-Keds Plat 2 Lot 9 – Site Plan

Roll Call: Aye-All Nay-0 **Motion Passes 4-0**

**Project #20-1027: Hope Commercial PUD – Rezoning from AG and PUD to PUD
Scheduled for Future Meeting**

No motion was made

C. PUBLIC FORUM – None

D. REPORTS

- 1. Department Update – Staff provided an update on development and capital projects around the City.**
- 2. Council Liaison Update – N/A**
- 3. Old Business – N/A**
- 4. New Business – N/A**
- 5. Next meeting June 2, 2020**

Meeting is adjourned at 6:25 p.m.

Signature

Planning & Zoning Staff Report



TO: Planning and Zoning Commission
FROM: Evann Martin, Assistant Planner
DATE: July 7, 2020
RE: Golden Rule Plat 1- Preliminary Plat

GENERAL INFORMATION:

Applicant:

Paup Properties, LLC

Requested Action

Preliminary Plat

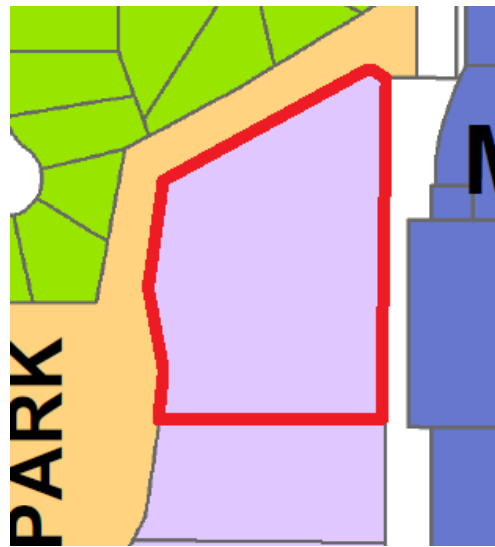
Location

904 NE Main Street

SUPPORTING INFORMATION:



Location Map



Zoning Map

LAND USES & ZONING:

Location	Existing Land Use	Land Use Plan Designation	Current Zoning
Subject Site	Vacant	Light Industrial	M-3
North	Single-Family	Parks and Rec/LDR	Park/R-2
South	Industrial	Light Industrial	M-3
East	Industrial	Light Industrial/Civic	M-2
West	Park/Single-Family	Parks and Rec/LDR	Park/R-2

BACKGROUND:

The applicant is requesting approval of a preliminary plat, which will allow for the future subdivision of the property. The proposed preliminary plat will provide for one development lot and one outlot. The outlot is intended to separate the existing trail from the proposed development lot and will be dedicated to the City.

ANALYSIS:

The site plan layout is shown on the preliminary plat. Access to the development will be from two driveways off of NE Main Street. Pedestrian access is provided around the building and will connect to the existing sidewalk along NE Main Street. Sanitary service will connect to the existing line that runs through the property and water will connect from the existing line along NE Main Street.

STAFF RECOMMENDATION:

Staff would recommend approval of the preliminary plat for Golden Rule Plat 1, subject to any remaining staff comments.

CITY OF GRIMES

Evann Martin
Assistant Planner



Development Services

410 SE Main St, Suite 102

Grimes, IA 50111

(515)986-4050

www.grimesiowa.gov

May 14, 2020

Abaci Consulting, Inc.

Attn: Brian Bussie

3000 SE Grimes Blvd, Ste. 800

Grimes, IA 50111

RE: Golden Rule Preliminary Plat

Dear Mr. Bussie:

The Development Services Department is in receipt of a proposed Preliminary Plat for Golden Rule. Based on the review of the provided submittal materials, staff have the following comments:

General Comments:

1. ~~Provide separate sheets for the lot dimension plan, utilities (existing and proposed lines), and grading.~~
2. ~~Please show the site plan layout on the plans.~~
3. ~~Provide easement for the trail where it crosses into Lot 1.~~
4. ~~Label the size of all underground utilities.~~

Please provide a letter addressing all comments on this comment letter and/or state what was modified on the site plan to address said comments.

PRELIMINARY PLAT SUBMITTAL SCHEDULE:

SUBMITTAL DATE: May 21, 2020
(1 PDF of Preliminary Plat)

PLANNING & ZONING: June 2, 2020 at 5:30 at the Grimes City Hall

COUNCIL MEETING: June 23, 2020 at 5:30 at the Grimes City Hall

Please feel free to contact me at emartin@grimesiowa.gov or at (515) 986-4050 if you have any questions or need additional information.

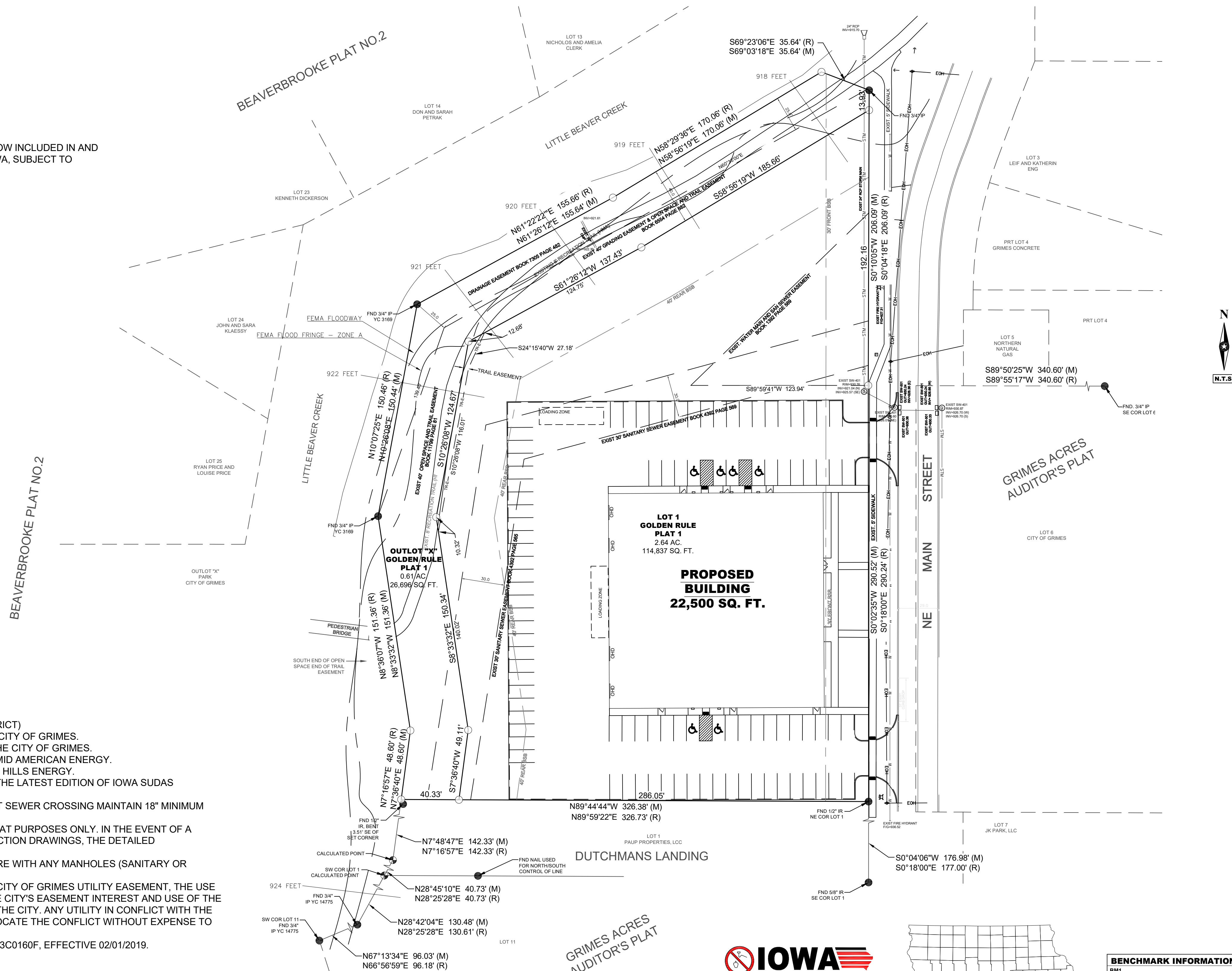
Sincerely,

Evann Martin
Assistant Planner

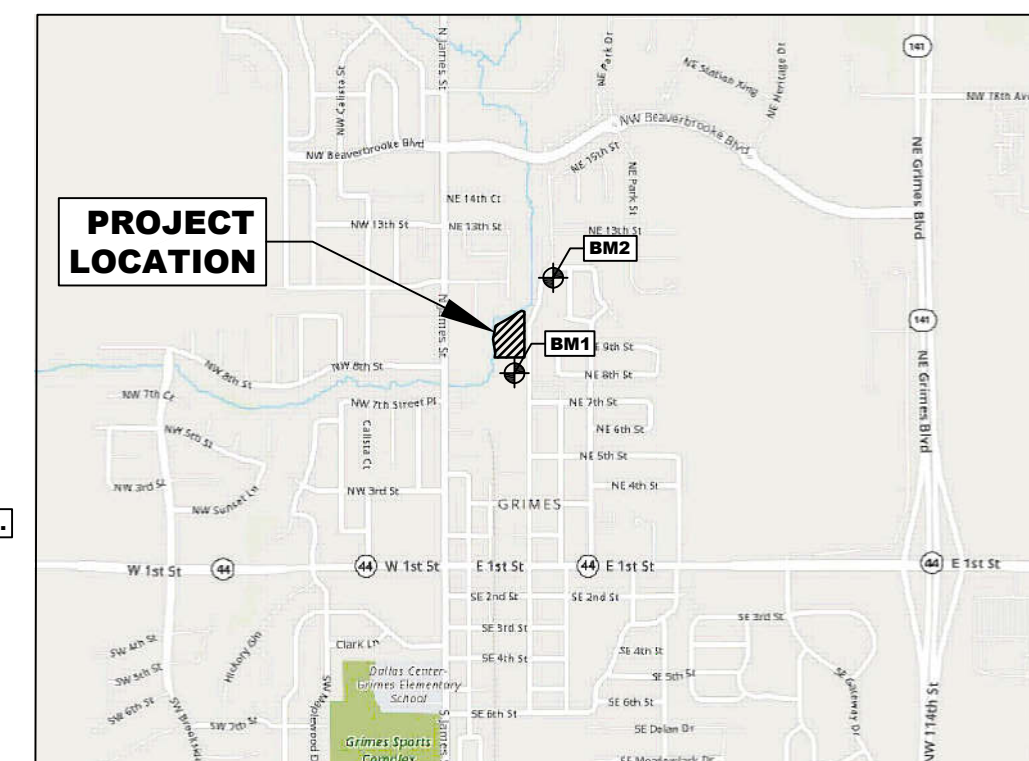
PRELIMINARY PLAT

GOLDEN RULE PLAT 1

LEGAL DESCRIPTION:
LOT TWO (2) IN DUTCHMAN'S LANDING, AN OFFICIAL PLAT, NOW INCLUDED IN AND
FORMING PART OF THE CITY OF GRIMES, POLK COUNTY, IOWA, SUBJECT TO
EASEMENTS AND RESTRICTIONS OF RECORD.



VICINITY MAP



NOTES:

1. THE EXISTING ZONING IS M-3 (HEAVY INDUSTRIAL DISTRICT).
2. THE PROPOSED WATER SERVICE IS PROVIDED BY THE CITY OF GRIMES.
3. THE PROPOSED SANITARY SERVICE IS PROVIDED BY THE CITY OF GRIMES.
4. THE PROPOSED ELECTRIC SERVICES IS PROVIDED BY MID AMERICAN ENERGY.
5. THE PROPOSED GAS SERVICES IS PROVIDED BY BLACK HILLS ENERGY.
6. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF IOWA SUDAS STANDARD SPECIFICATIONS.
7. MAINTAIN 5.5' MINIMUM COVER AT ALL WATER LINES. AT SEWER CROSSING MAINTAIN 18" MINIMUM CLEARANCE.
8. THE UTILITIES SHOWN HERE ARE FOR PRELIMINARY PLAT PURPOSES ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THIS AND THE DETAILED CONSTRUCTION DRAWINGS, THE DETAILED CONSTRUCTION DRAWINGS SHALL GOVERN.
9. DRIVEWAYS SHALL BE PLACED SO AS TO NOT INTERFERE WITH ANY MANHOLES (SANITARY OR STORM) OR INTAKES.
10. IN ANY AREA WHERE A PUE OVERLAPS A DESIGNATED CITY OF GRIMES UTILITY EASEMENT, THE USE OF THE PUE BY ANY PUBLIC UTILITY IS SUBORDINATE TO THE CITY'S EASEMENT INTEREST AND USE OF THE EASEMENT, INCLUDING FUTURE USE OF THE EASEMENT BY THE CITY, ANY UTILITY IN CONFLICT WITH THE CITY'S USE OF A DESIGNATED UTILITY EASEMENT MUST RELOCATE THE CONFLICT WITHOUT EXPENSE TO THE CITY.
11. FEMA FLOOD MAP INFORMATION FROM FEMA MAP 19153C0160F, EFFECTIVE 02/01/2019.

[illegible]

SURVEY LEGEND

●	CORNER MONUMENT FOUND
○	SET 1/2" IR YC 15982 UNLESS NOTED
▲	SECTION CORNER FOUND
△	SECTION CORNER SET 1/2" IR YC 15982 UNLESS NOTED
R	RECORDED DISTANCE
M	MEASURED DISTANCE
YC	YELLOW CAP
IR	IRON ROD
IP	IRON PIPE

PROJECT INFORMATION:
ENGINEER/SURVEYOR:
MANAGING OFFICE: GRIMES
OFFICE: (515) 986-5048
FAX: (515) 986-0588
PROJECT MANAGER: MARK McMURPHY
MOBILE: (515) 556-5480
EMAIL: mark@abaciconsulting.com
SURVEY COORDINATOR: VINCE PIAGENTINI
MOBILE: (515) 480-0472
EMAIL: vince@abaciconsulting.com
MINIMUM NOTICE OF THREE (3) BUSINESS
DAYS FOR ANY CONSTRUCTION STAKING.

BULK REGULATIONS	M-3
MIN. LOT AREA	N/A
MIN. LOT WIDTH	N/A
FRONT YARD BSL	30'
SIDE YARD BSL	N/A
REAR YARD BSL	40'

S: OWNER:
PAUP PROPERTIES, LLC
804 NE MAIN STREET
GRIMES, IA 50111
OFFICE: (515) 986-4452
MOBILE: (515) 202-1905
EMAIL:
mpaup@goldenrulephc.com

DEVELOPER: SAS AS OWNER	REFERENCE DOCUMENT: THIS SURVEYING ENGINEERING STATEMENT WAS PREPARED FOR USE ON THIS PROJECT IN ACCORDANCE WITH THE DESIGN REQUIREMENTS. ABACI CONSULTING, INC. ASSUMES NO RESPONSIBILITY OR LIABILITY (CONSEQUENTIAL, OR OTHERWISE) FOR ANY USE OF THIS DRAWING (OR ANY PART THEREOF) EXCEPT IN ACCORDANCE WITH THE TERMS OF SAID SCOPE OF WORK. NO OTHER WARRANTIES, UTILITIES SHOWN FOR REFERENCE ONLY. XOWA LAKE REQUIRES AT LEAST 100 FEET ADVANCE NOTICE BEFORE EXCAVATION BEGINS. NOTOWA ONE-CALL SERVICE PHONE: 1-800-262-8888. ADDITIONALLY, THE CONTRACTOR SHALL ALSO NOTIFY THE OWNER AT LEAST 48 HOURS PRIOR TO STARTING CONSTRUCTION AND HAVE ANY AND ALL PRIVATE UTILITIES RELOCATED.
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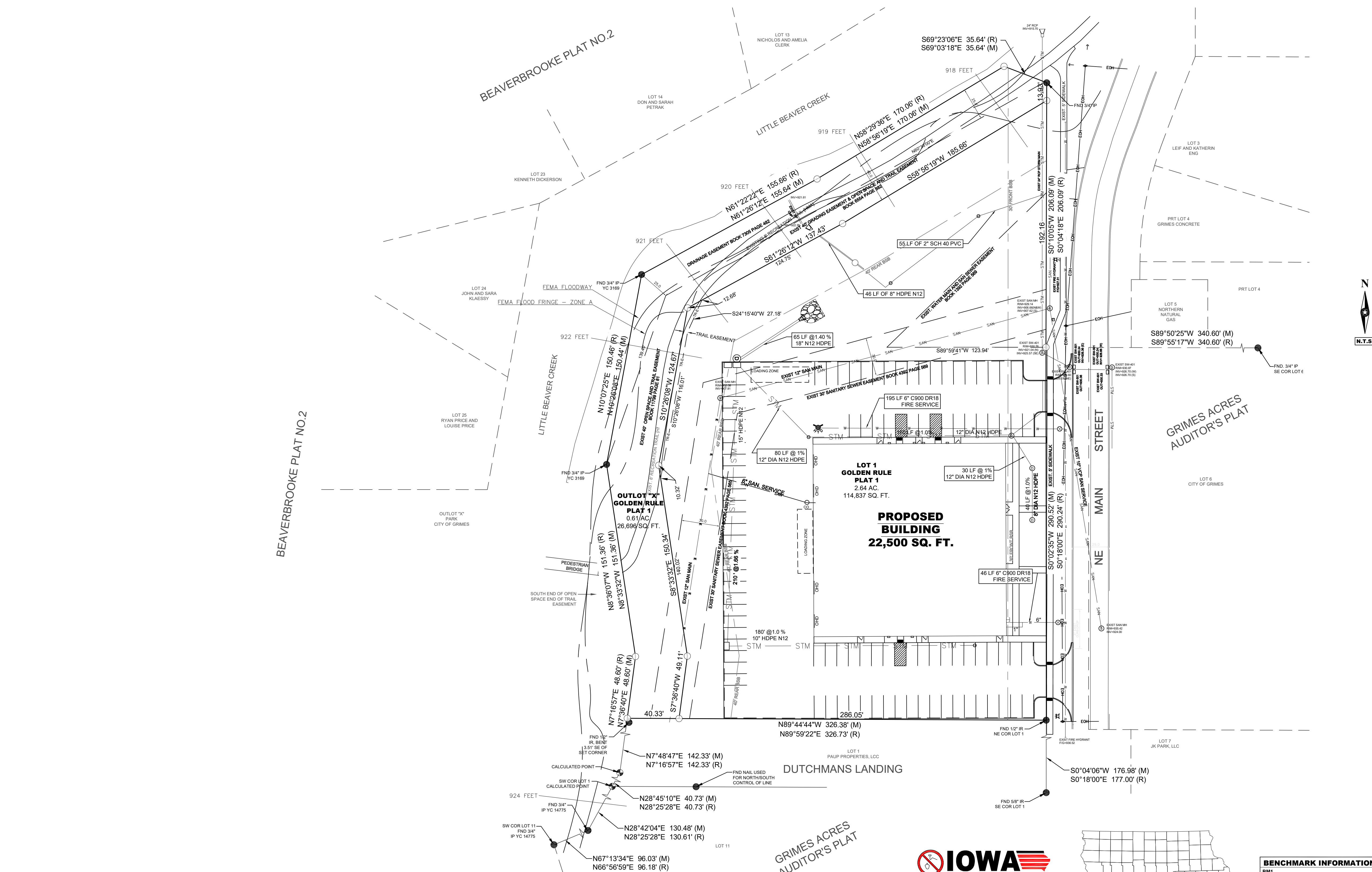
REVISIONS SCHEDULE:

[illegible]

 ABACI CONSULTING, INC.	
CIVIL ENGINEERING - LAND SURVEYING	
3000 SE GRIMES BLVD. SUITE 200 GRIMES, IA 50111 PH: (515) 398-5043	
PROJECT NO:	19090
DRAWING FILE NO:	19090OPP
DRAWN BY:	BB
DESIGNED BY:	MM
REVIEWED BY:	MM/VP
ISSUE DATE:	6/10/2020
PRELIMINARY PLAT GOLDEN RULE PLAT 1 DIMENSION PLAN	
GRIMES, POLK COUNTY, IOWA	
SHEET NO:	1 OF 3

PRELIMINARY PLAT

GOLDEN RULE PLAT 1

[illegible]

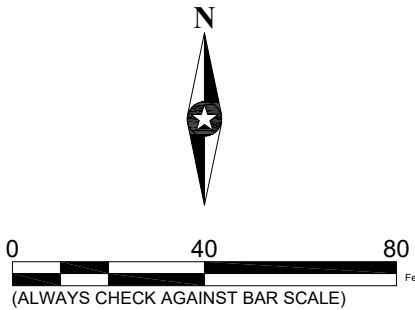
SURVEY LEGEND

●	CORNER MONUMENT FOUND
○	SET 1/2" IR YC 15982 UNLESS NOTED
▲	SECTION CORNER FOUND
△	SECTION CORNER SET 1/2" IR YC 15982 UNLESS NOTED
R	RECORDED DISTANCE
M	MEASURED DISTANCE
YC	YELLOW CAP
IR	IRON ROD
IP	IRON PIPE

PROJECT INFORMATION:		THIS DOCUMENT WAS ORIGINALLY SET UP FOR AND PRINTED ON 2/25/2016 FROM THE PROJECT'S ALWAYS CHECK AGAINST BASE FILE	
ENGINEER/SURVEYOR:	CITY/PROJECT BULK REGULATIONS:	OWNER:	DEVELOPER:
MANAGING OFFICE: GRIMES OFFICE: (515) 986-5448 FAX: (515) 986-5450	CURRENT ZONING: M-3 (HEAVY INDUSTRIAL) CITY OF MINNAPOLIS	PAUP PROPERTIES, LLC 806 N MARK STREET GRIMES, IA 50111 OFFICE: (515) 986-5442 FAX: (515) 986-5450 EMAIL: mpaup@paupproperties.com	SAME AS OWNER
PROJECT MANAGER: MARK MUMFORTH MOBILE: (515) 566-5460 EMAIL: markmumf@grimesbulb.com	BULK REGULATIONS: MIN. LOT AREA MIN. LOT WIDTH FRONT YARD RSL SIDE YARD RSL REAR YARD RSL	M-3 N/A N/A 30' N/A 35'	REFERENCE STATEMENT: THIS SURVEYING/ENGINEERING DOCUMENT WAS PREPARED FOR THE USER TO USE IN ACCORDANCE WITH THE CLIENT'S SPECIFICATIONS AND IN ACCORDANCE WITH THE MINNESOTA ENGINEERING COUNCIL'S STANDARDS AND PRACTICES. THE USER ASSUMES RESPONSIBILITY FOR OBTAINING ALL NECESSARY PERMITS AND FOR THE ACCURACY OF THIS DRAWING (OR ANY PART THEREOF) IN ACCORDANCE WITH THE MINNESOTA STATE BOARD OF WORKS REGULATIONS. THIS DRAWING FOR REFERENCE ONLY. NO LAW SUITS OR COURT CASES SHOULD BE NOTICE BEFORE EXCAVATION BEGINS. IF ADDITIONALLY, THE CONTRACTOR SHALL BE NOTICE OF THE OWNER'S INTENT TO STARTING CONSTRUCTION AND HAVE ANY AND ALL NECESSARY PERMITS OBTAINED

DRAWING SCALE:

1 PAGE(S) WORKED BY: THE SC



N

0 40 80 feet

(ALWAYS CHECK AGAINST BAR SCALE)

REVISIONS SCHEDULE:

NC

ISE

7

VA

7

MD

OR

THIS ENGINEERING DOCUMENT WAS PREPARED AND THE FORWARDED BY ME OR UNDER MY DIRECT PERSONAL I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER OF IOWA.		
MARK A. McMURPHY	DATE: _____	
DATE IS DECEMBER 31, 2020.		

ABACI CONSULTING, INC.
CIVIL ENGINEERING - LAND SURVEYING
3000 SE GRIMES BLVD. SUITE 800 GRIMES, IA 50111 PH: (515) 986-5048

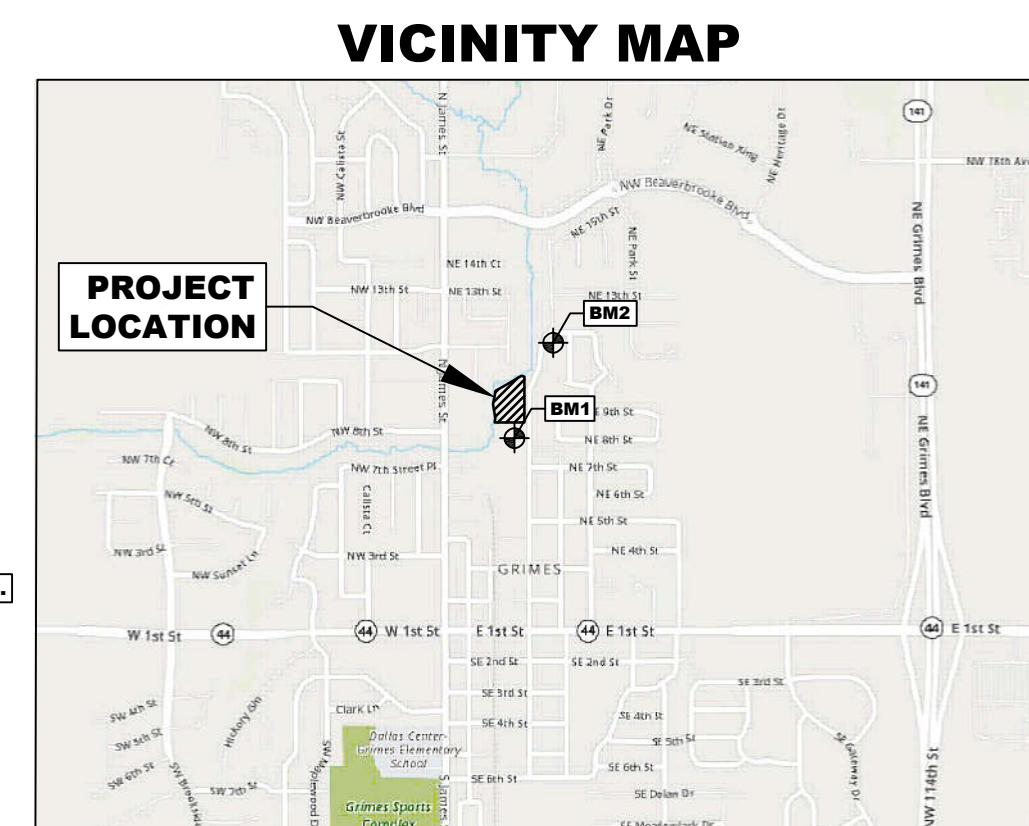
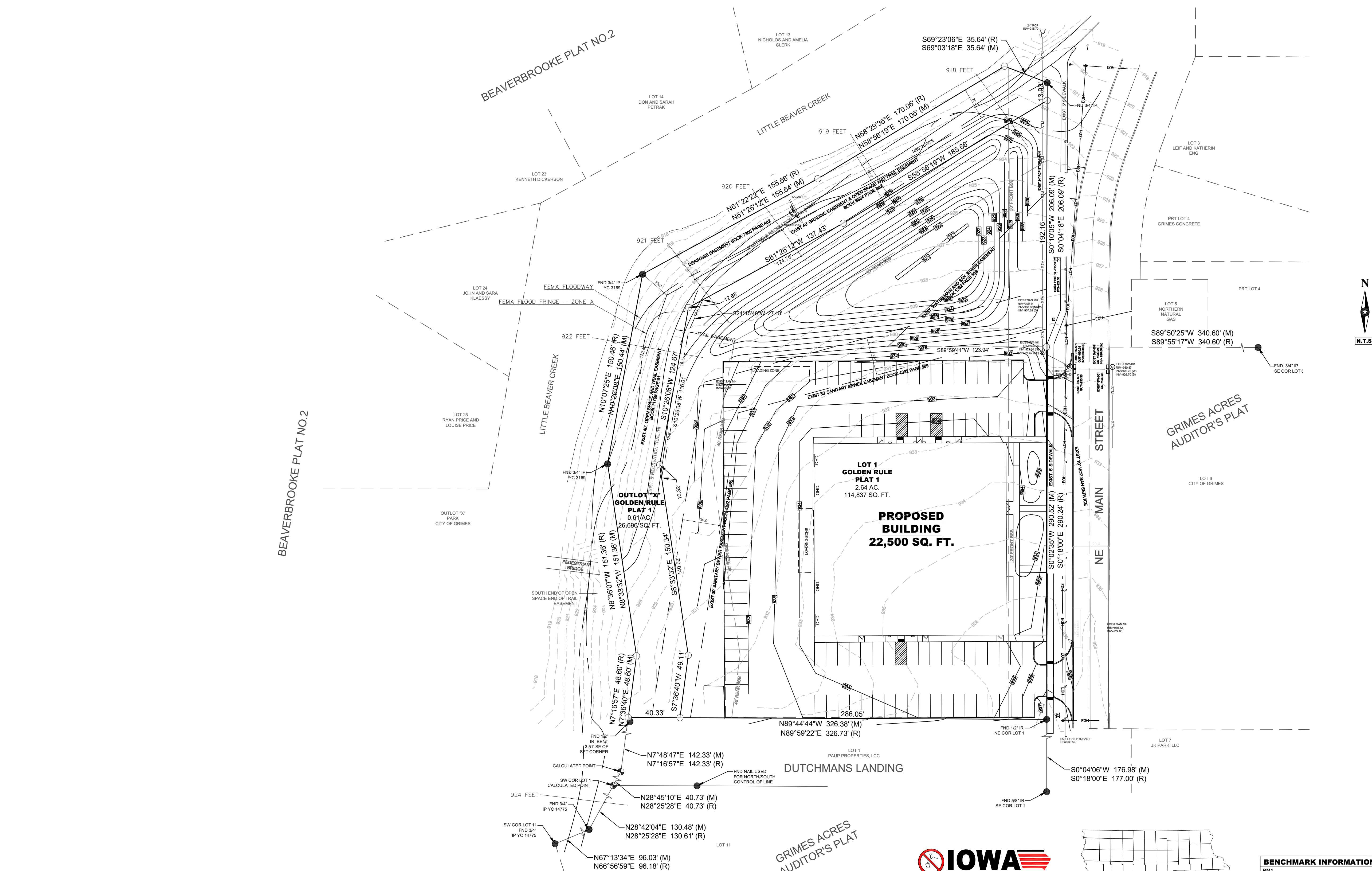
PROJECT NO:	19090
DRAWING FILE NO.:	19090PP
DRAWN BY:	BB
DESIGNED BY:	MM
REVIEWED BY:	MM/VP
ISSUE DATE:	6/10/2020

PRELIMINARY PLAT GOLDEN RULE PLAT 1 UTILITY PLAN GRIMES, POLK COUNTY, IOWA

SHEET NO:	2 OF 3
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PRELIMINARY PLAT

GOLDEN RULE PLAT 1

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SURVEY LEGEND

●	CORNER MONUMENT FOUND
○	SET 1/2" IR YC 15962 UNLESS NOTED
▲	SECTION CORNER FOUND
△	SECTION CORNER SET 1/2" IR YC 15982 UNLESS NOTED
R	RECORDED DISTANCE
M	MEASURED DISTANCE
YC	YELLOW CAP
IR	IRON ROD
IP	IRON PIPE

PROJECT INFORMATION: ENGINEER/SURVEYOR: MAINGOLD OFFICE: GRIMES (415) 986-5048 FAX: (415) 986-0588 PROJECT MANAGER: MARK MAINGOLD (415) 986-4492 EMAIL: mark@baccorconsulting.com		THIS DOCUMENT WAS ORIGINALLY SETUP FOR AND PRINTED ON 24x36 PAPER. ALWAYS CHECK AGAINST BAR SCALE.	
CITY/PROJECT BULK REGULATIONS: CURRENT ZONING: M-3 (NEIGH INDUSTRIAL DISTRICT)		OWNER: BACCOR INDUSTRIES, LLC 80 N MAIN STREET SUITE 100, BOX 10111 OAKLAND, CA 94616 (415) 986-4492 MOBILE: (510) 202-1905 EMAIL: mpaup@baccorindustriellp.com	
BULK REGULATIONS		DEVELOPER: SAME AS OWNER	
M-3 MIN. LOT AREA MIN. LOT WIDTH FRONT YARD BSL SIDE YARD BSL REAR YARD BSL		M-3 40' 30' 30' 40'	
SURVEY CORRELATION: VINCE PAGENTINI MOBILE: (916) 408-0472 EMAIL: vince@baccorconsulting.com MINIMUM NOTICE OF THREE (3) BUSINESS DAYS FOR ANY CONSTRUCTION STARTING		REFERENCE STATEMENT THIS SURVEY YOUNG AND RUBICAM HAS PREPARED FOR USE ON THIS PROJECT IN ACCORDANCE WITH THE CITY OF OAKLAND WORK REQUIREMENTS. AKAUS CONSULTING, INC. HAS NO RESPONSIBILITY FOR THE (CONSISTENT OR OTHERWISE) FOR ANY OF THE INFORMATION OR DOCUMENTS UTILIZED IN ACCORDANCE WITH THE TERMS AND SCOPE OF WORK REQUIREMENTS. EXCEPTS SHOWN FOR REFERENCE. ONLY AS LOW REQUIREMENTS AT LEAST 48 HOURS ADVANCE NOTICE BEFORE EXCAVATION BEGINS. NOTIFICATION SHALL BE GIVEN BY PHONE 480-868-8686. ADDITIONALLY, THE CONTRACTOR SHALL ALSO NOTIFY THE CITY OFFICE AT LEAST 48 HOURS PRIOR TO EXCAVATION.	

DRAWING SCALE:

0 40 80 feet

(ALWAYS CHECK AGAINST BAR SCALE)

N

S

ABACI CONSULTING, INC.	
CIVIL ENGINEERING - LAND SURVEYING	
3000 SE GRIMES BLVD. SUITE 800 GRIMES, IA 50111 PH: (515) 996-5048	
PROJECT NO:	19090
DRAWING FILE NO:	19090PP
DRAWN BY:	BB
DESIGNED BY:	MM
REVIEWED BY:	MM/VP
ISSUE DATE:	6/10/2020
PRELIMINARY PLAT GOLDEN RULE PLAT 1 GRADING PLAN GRIMES, POLK COUNTY, IOWA	
SHEET NO:	2 2

Planning & Zoning Staff Report



TO: Planning and Zoning Commission
FROM: Evann Martin, Assistant Planner
DATE: July 7, 2020
RE: Golden Rule Plat 1- Final Plat

GENERAL INFORMATION:

Applicant:

Paup Properties, LLC

Requested Action

Final Plat

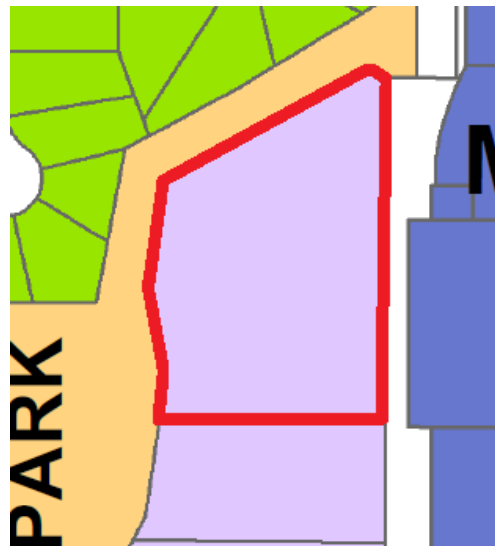
Location

904 NE Main Street

SUPPORTING INFORMATION:



Location Map



Zoning Map

LAND USES & ZONING:

Location	Existing Land Use	Land Use Plan Designation	Current Zoning
Subject Site	Vacant	Light Industrial	M-3
North	Single-Family	Parks and Rec/LDR	Park/R-2
South	Industrial	Light Industrial	M-3
East	Industrial	Light Industrial/Civic	M-2
West	Park/Single-Family	Parks and Rec/LDR	Park/R-2

BACKGROUND:

The applicant is requesting approval of a final plat, which will allow for the subdivision of the property. The proposed final plat will provide for one development lot and one outlot. The outlot is intended to separate the existing trail from the proposed development lot and will be dedicated to the City.

ANALYSIS:

The layout of the final plat is consistent with the final plat. Access to the development will be from two driveways off of NE Main Street. Pedestrian access is provided around the building and will connect to the existing sidewalk along NE Main Street. Sanitary service will connect to the existing line that runs through the property and water will connect from the existing line along NE Main Street.

STAFF RECOMMENDATION:

Staff would recommend approval of the final plat for Golden Rule Plat 1, subject to any remaining staff comments and legal review.

CITY OF GRIMES

Evann Martin
Assistant Planner



Development Services

410 SE Main St, Suite 102

Grimes, IA 50111

(515)986-4050

www.grimesiowa.gov

~~May 14, 2020~~

~~June 15, 2020~~

June 26, 2020

Abaci Consulting, Inc.

Attn: Brian Bussie

3000 SE Grimes Blvd, Ste. 800

Grimes, IA 50111

RE: Golden Rule Final Plat

Dear Mr. Bussie:

The Development Services Department is in receipt of a proposed Final Plat for Golden Rule. Based on the review of the provided submittal materials, staff have the following comments:

General Comments:

- ~~1. Provide easement for the trail where it crosses into Lot 1.~~
- ~~2. Note that the address will remain the same.~~
- ~~3. Provide a plat name (e.g Golden Rule Plat 1).~~
- ~~4. Please add the complete legal description for both lots.~~
- ~~5. Note that Outlot X will be dedicated to the City.~~

Legal Comments:

- ~~1. The following legal documents need to be provided for review:~~
 - ~~• Title Opinion~~
 - ~~• Consent(s) to Plat~~
 - ~~• Treasure's Certificate~~
 - ~~• County Subdivision Approval~~
 - ~~• Easement (documents and legals)~~
 - ~~• Legal Description (Word)~~
- ~~2. A copy of the Declaration of Covenants, Restrictions and Easements will need to be provided for review.~~

Please provide a letter addressing all comments on this comment letter and/or state what was modified on the site plan to address said comments.

FINAL PLAT SUBMITTAL SCHEDULE:

SUBMITTAL DATE: May 21, 2020
(1 PDF of Final Plat and Legals)

PLANNING & ZONING: July 7, 2020 at 5:30 at the Grimes City Hall

COUNCIL MEETING: July 21, 2020 at 5:30 at the Grimes City Hall

Please feel free to contact me at emartin@grimesiowa.gov or at (515) 986-4050 if you have any questions or need additional information.

Sincerely,

Evann Martin
Assistant Planner

Planning & Zoning Staff Report



TO: Planning and Zoning Commission
FROM: Evann Martin, Assistant Planner
DATE: July 7, 2020
RE: Prairie Business Park - Rezone

GENERAL INFORMATION:

Applicant:

Steve Gaer

Requested Action

Rezoning

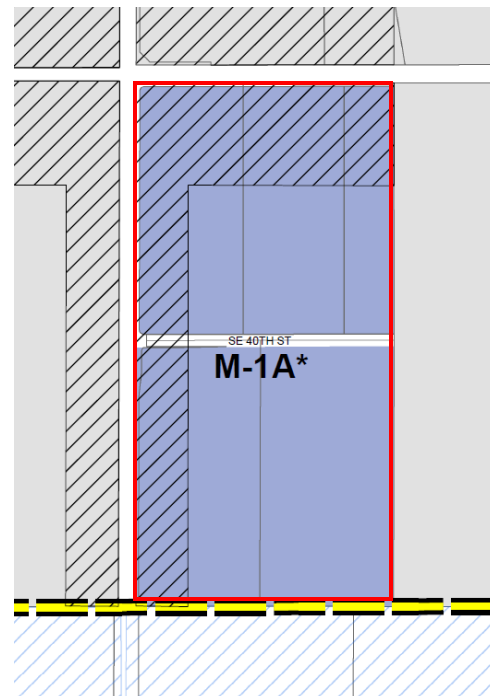
Location

200 SE 37th Street

SUPPORTING INFORMATION:



Location Map



Zoning Map

LAND USES & ZONING:

Location	Existing Land Use	Land Use Plan Designation	Current Zoning
Subject Site	Industrial	Business Park	M-1A
North	Vacant	Business Park	A-1
South	Vacant	(Urbandale)	PUD (Urbandale)
East	Vacant	Business Park	A-1
West	Vacant	Business Park	A-1

BACKGROUND:

The current zoning ordinance for Prairie Business Park was approved with a condition prohibiting outdoor storage onsite. However, outdoor storage is a permitted use for the subject property under Chapter 165 of the Grimes Zoning Regulations. Per the Grimes Zoning Regulations, outdoor storage is defined as “the placement of business inventory, equipment, logoed business vehicles and trailers, materials, containers, boxes, above ground liquid or gas storage tanks or supplies utilized by the business for sale, construction, manufacturing, product or material delivery, lease or rent in an area on the business property that is not protected by a building structure with a roof and walls.”

The applicant is requesting to amend the Prairie Business Park zoning ordinance to allow parking of logoed vehicles onsite for all buildings within Prairie Business Park. All other outdoor storage would remain prohibited for the two northern buildings in Prairie Business Park Plat 1. The amended ordinance will ensure that all forms of outdoor storage for the southern buildings in Prairie Business Park Plat 2 remain permitted.

ANALYSIS:*Zoning/Development Intent:*

The applicant is requesting the zoning amendment to accommodate a prospective tenant that would like to store logoed vehicles onsite in Prairie Business Park Plat 1. The concept plan demonstrates future site modifications to accommodate truck parking for the intended tenant.

Site Layout:

The existing parking lot is proposed to be expanded to the east to provide box truck and semi-trailer parking. Because the parking expansion encroaches on the property to the east, a lot tie agreement is required. A retaining wall is proposed to be constructed along the eastern edge of the parking expansion within the existing detention basin to support the parking expansion. The truck parking is proposed to be separated from the standard parking spaces to the north by a landscape island. Box truck staging is planned to occur within the existing parking spaces

on the south side of the eastern building. The staging will not affect the parking needs of the site as there are more than the minimum number of required parking spaces provided onsite.

Landscaping/Streetscape:

A 3' high berm with landscaping is proposed along SE 40th Street to screen the vehicles from the public right-of-way. Any existing landscaping removed during construction of the parking expansion will be replaced in close proximity to the improvements.

STAFF RECOMMENDATION:

Staff would recommend approval of the Prairie Business Park rezoning subject to any remaining staff comments.

CITY OF GRIMES

Evann Martin
Assistant Planner



Development Services

410 SE Main St, Suite 102

Grimes, IA 50111

(515)986-4050

www.grimesiowa.gov

~~June 18, 2020~~

June 25, 2020

R & R Realty Group

Attn: Steve Gaer

1080 Jordan Creek Parkway, Suite 200 North

West Des Moines, IA 50266

RE: Prairie Business Park Rezoning

Dear Mr. Gaer:

The Development Services Department is in receipt of a proposed Rezoning for the Prairie Business Park. Based on the review of the provided submittal materials, staff have the following comments:

Concept Plan:

- ~~1. Add the dimensions of the truck parking spaces.~~
- ~~2. Identify the distance between the parking and the retaining wall.~~
- ~~3. Identify the distance from the eastern property line to the eastern edge of the truck parking stalls.~~
- ~~4. The east curb of the driveway needs to align with the curb of the west side of the driveway. The truck parking will have to be shifted north.~~
- ~~5. Please add a berm and landscaping along the south to provide screening.~~
- ~~6. All removed landscaping will need to be replaced in close proximity to the improvements.~~
- ~~7. Demonstrate that the minimum open space requirement is still met.~~
- ~~8. It appears that the two parcels intended for construction upon are owned by different entities. Please advise how the Lot Tie agreement will be managed.~~

Please provide a letter addressing all comments on this comment letter and/or state what was modified on the site plan to address said comments.

SITE PLAN SUBMITTAL SCHEDULE:

SUBMITTAL DATE: June 25, 2020
(1 PDF of Rezoning Map and Concept Plan)

PLANNING & ZONING: July 7, 2020 at 5:30 at the Grimes City Hall

COUNCIL MEETING: July 22, 2020 at 5:30 at the Grimes City Hall

Please feel free to contact me at apfaltzgraff@grimesiowa.gov or at (515) 986-4050 if you have any questions or need additional information.

Sincerely,

A handwritten signature in black ink, appearing to read "Alex Pfaltzgraff". The signature is fluid and cursive, with the first name "Alex" written in a larger, more prominent script than the last name "Pfaltzgraff".

Alex Pfaltzgraff
Development Services Director



May 22, 2020

Mayor Mikkelsen and City Council
City of Grimes
140 SE Main Street
Grimes, Iowa 50111

Re: Prairie Business Park – Ordinance Modification Request

Dear Mayor Mikkelsen and City Council Members,

We respectfully submit our request for an ordinance modification for our Prairie Business Park property located at the southeast corner of South James Street and SE 37th Street.

Prior to our initial site development, the property was rezoned to M-1A (with restrictions) by City council in 2014. The restriction applied to the subject property excluded Outdoor Storage, which is allowed under the base zoning regulations of M-1A. Due to the project's location with a portion of the property lying within the James Street transportation overlay district, this limitation was accepted under the understanding of a traditional view of Outdoor Storage uses.

Per City code, the current definition for Outdoor Storage is:

58A. "Outdoor Storage" means the placement of business inventory, equipment, logoed business vehicles and trailers, materials, containers, boxes, above ground liquid or gas storage tanks or supplies utilized by the business for sale, construction, manufacturing, product or material delivery, lease or rent in an area on the business property that is not protected by a building structure with a roof and walls.

As is common with our multi-tenant industrial buildings, the parking of logoed vehicles and trailers is a very frequent request by our tenants (e.g. Hy-Vee), and generally acceptable in other city jurisdictions with similar industrial zoning. While we agree that the outdoor storage of equipment, supplies, containers, tanks, etc. can often become visually unappealing, we believe that the parking of standard vehicles, trucks, and trailers by existing tenants of our Prairie Business Park warehouses should be excluded from the definition of Outdoor Storage for the entire Prairie Business Park development for existing/future tenants.

In 2019, R&R did obtain a rezoning amendment by Council to allow full Outdoor Storage between the two buildings south of SE 40th Street, for a prospecting tenant. Although we currently request the removal of logoed business vehicles and trailers limitation for the entire development, we acknowledge that any traditional outdoor storage of equipment, supplies, containers, tanks, etc. meeting the remaining intent of the City's definition would need to be approved by the Council on a case-by-case basis.



This ordinance modification request also is necessary for a prospecting tenant to be located at the south end of Building 2. A parking expansion is necessary for the short term parking of semi-trucks, trailers, and box trucks. A site plan has also been included in this application for consideration.

We appreciate your consideration regarding this request. Please contact us if there are any questions at 515.223.4500 or shepherd.jeremy@rrrealty.com

Sincerely,

A handwritten signature in blue ink, appearing to read 'Steve Gaer'.

Steve Gaer
Executive Vice President
R&R Realty Group

A handwritten signature in black ink, appearing to read 'J Shepherd'.

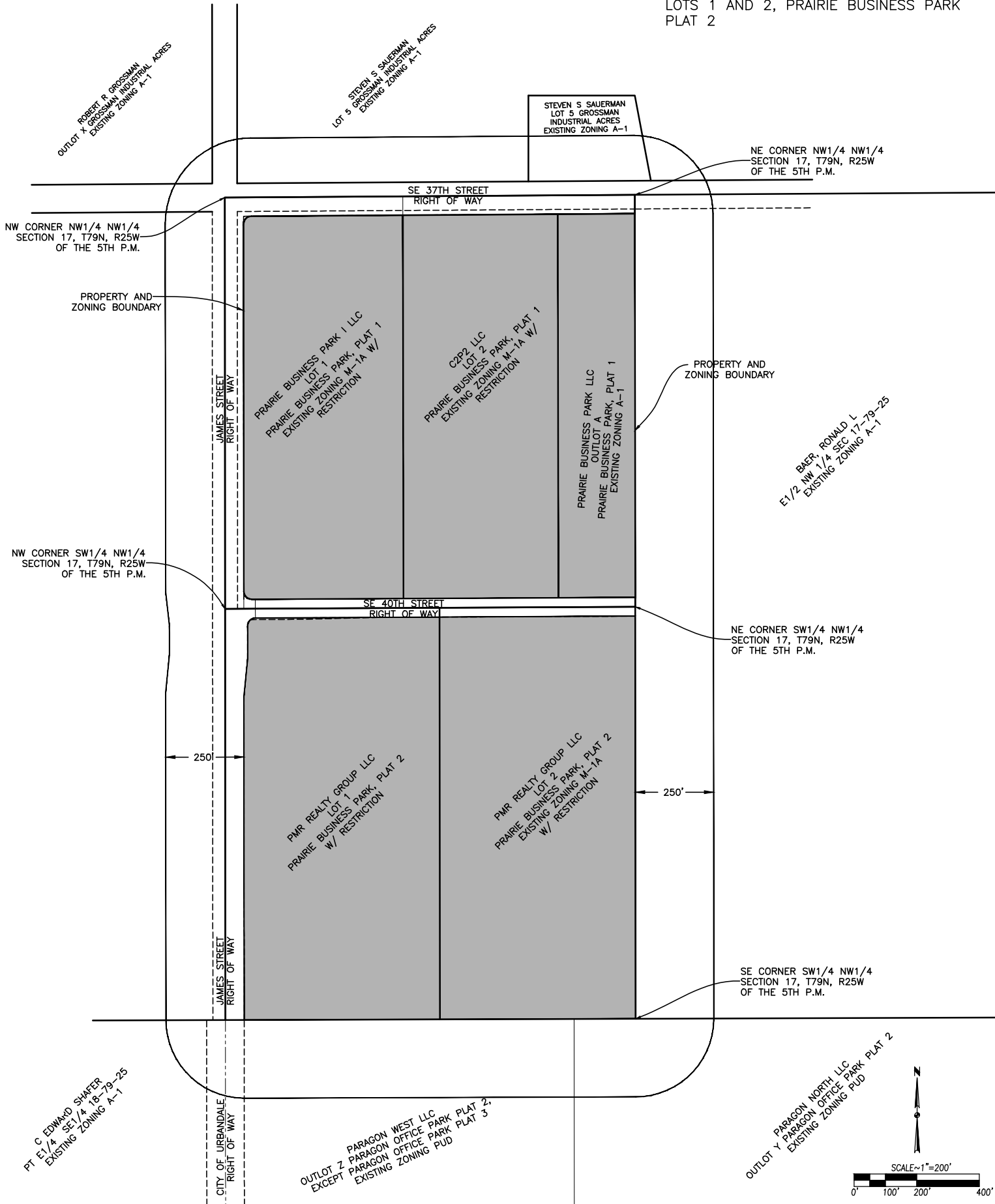
Jeremy Shepherd, PE
Vice President of Land Development
R&R Realty Group

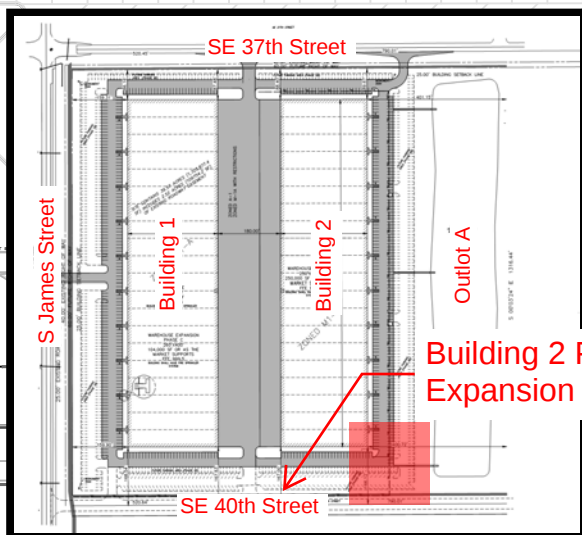
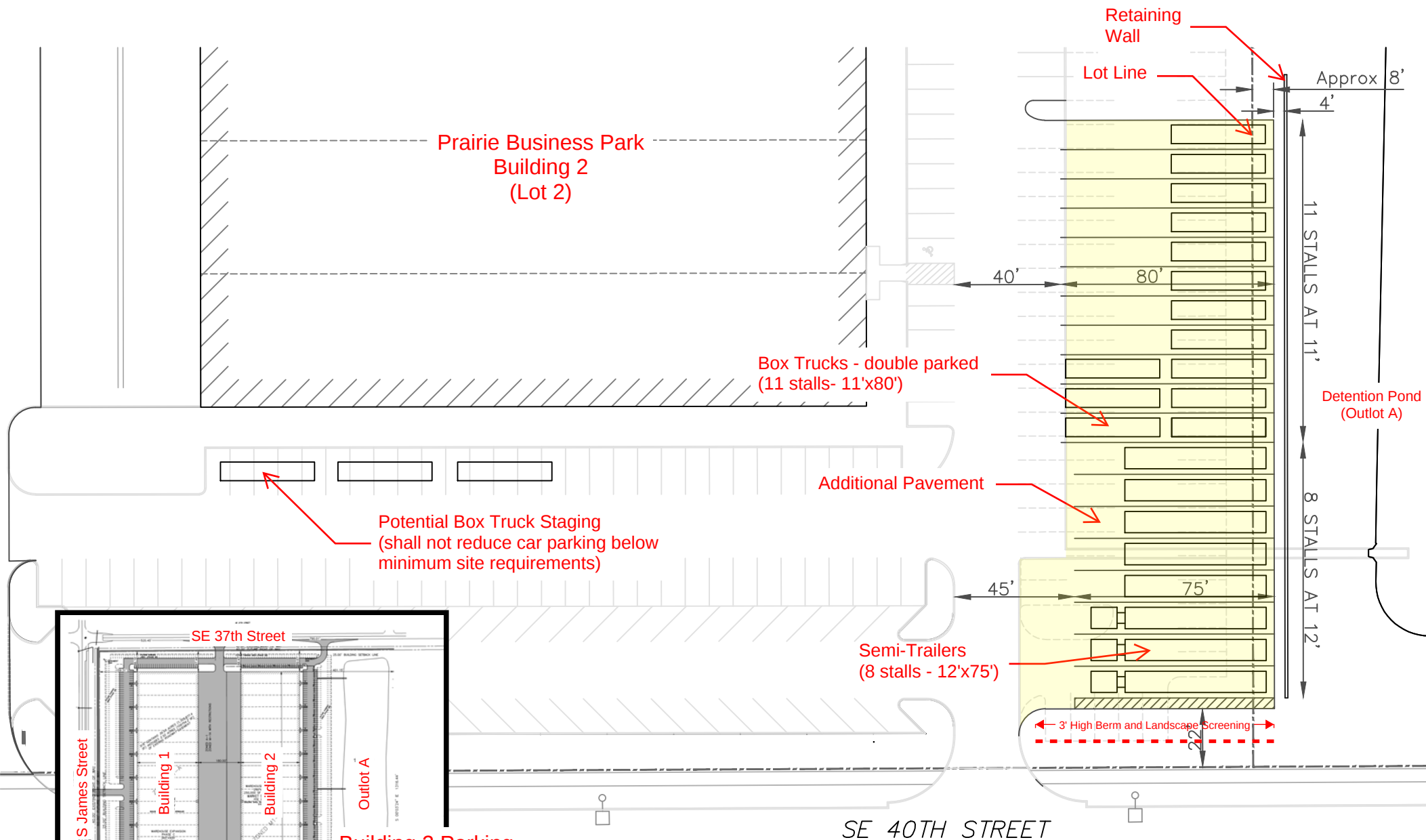
Attachments: Rezoning Application
Concept Site Plan – Parking Expansion

REZONING MAP EXHIBIT

REZONING AREA DESCRIPTION:

LOTS 1 AND 2, AND OUTLOT A PRAIRIE
BUSINESS PARK PLAT 1
LOTS 1 AND 2, PRAIRIE BUSINESS PARK
PLAT 2





Vicinity Map

Open Space Requirements (Lot 2)	
Per Approved Site Plan	Proposed Concept
Net Site Area = 1,532,458 SF	Net Site Area = 1,532,458 SF
Greenspace = 438,229 SF	Additional paved area on Lot 2 beyond Phase 2 parking = 3,244 SF
Greenspace = 28.60% (10% min)	Greenspace = 434,985 SF
	Greenspace = 28.38% (10% min)

Planning & Zoning Staff Report



TO: Planning and Zoning Commission
FROM: Evann Martin, Assistant Planner
DATE: July 7, 2020
RE: Sweet Honey – Site Plan

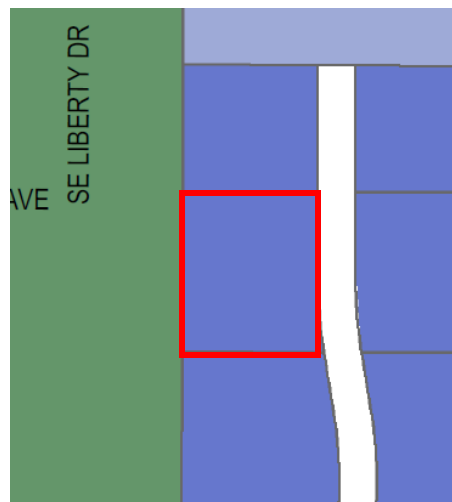
GENERAL INFORMATION:

Applicant:	Dean Cadwell
Requested Action	Site Plan
Location	2900 SE Destination Drive

SUPPORTING INFORMATION:



Location Map



Zoning Map

LAND USES & ZONING:

Location	Existing Land Use	Land Use Plan Designation	Current Zoning
Subject Site	Warehouse	Light Industrial	M-2
North	Warehouse	Light Industrial	M-2
South	Vacant	Light Industrial	M-2
East	Warehouse	Greenway	M-2
West	Mobile Home Park	Mobile Home Park	R-5

BACKGROUND:

The applicant is requesting approval of the site plan for a 10,000 square foot warehouse building to store trucks.

The property is located within the M-2 zoning district and is not within an overlay district.

ANALYSIS:*Building/Elevations:*

The façade is proposed to be principally constructed of metal with stone along the bottom of the building frontage. Six windows with awnings are proposed on the east, north, and south elevations.

Site Layout:

The site will be accessed from SE Destination Drive via two driveways which line up with the driveways for the property across the street. A future 5' sidewalk is proposed along the project frontage. Employee parking is provided on the north side of the building and the dumpster is located on the south side of the site. Wall pack lighting is proposed on the north and south sides of the building. The site is designed to reserve space for a potential future expansion on the west side of the building.

Parking:

The site provides more than the required number of parking spaces with 9 total parking spaces provided.

Landscaping/Streetscape:

The site provides landscaping to shield the overhead doors from the right-of-way and the adjacent residential property to the west. Foundation plantings are also provided along the building frontage. There are no minimum landscape standards for this property, therefore the site meets the minimum requirements.

Utilities:

The sanitary sewer will connect to the existing sanitary sewer located on the west side of SE Destination Drive and run west to the building.

Water is provided from an existing 8" main on the east side of SE Destination Drive. A new public 6" water main will be constructed from the existing line to the building. The building is proposed to be fitted with a fire suppression system, therefore the appropriate FDC and fire hydrant spacing is shown.

Storm water will be stored in the detention basin located along the project frontage on the east side of the building.

STAFF RECOMMENDATION:

Staff would recommend approval of the site plan for the Sweet Honey Site Plan, subject to any remaining staff comments.

CITY OF GRIMES

Evann Martin
Assistant Planner



Development Services

410 SE Main St, Suite 102

Grimes, IA 50111

(515)986-4050

www.grimesiowa.gov

~~June 2, 2020~~

~~June 16, 2020~~

June 30, 2020

Abaci Consulting, Inc.

Attn: Mark McMurphy

3000 SE Grimes Blvd, Suite 800

Grimes, IA 50111

RE: Sweet Honey Site Plan - 2900 SE Destination Drive

Dear Mr. McMurphy:

The Development Services Department is in receipt of a proposed Site Plan for Sweet Honey. Based on the review of the provided submittal materials, staff have the following comments:

General Comments/Sheet 1:

1. Update the construction schedule. The site plan isn't expected to be approved until July 21, 2020. **SWMP, SWPPP, and grading plan will have to be approved prior to grading onsite.**
2. ~~Please add setback and height requirements.~~
3. ~~Under General Notes, F. change to Lighting.~~
4. ~~Add Thorpe Water Development Thorpe, (515) 289-2345 to the Utility Ownership Contacts.~~
5. Change note U1) to Thorpe Water instead of City of Grimes.

Sheet 2-5:

1. ~~Update with Grimes Standard Notes.~~

Sheet 6:

1. ~~Show alignment of the driveways in relation to the driveways across the street. Please attempt to align both driveways as best as possible.~~

- ~~2. Will there be any light poles? If so, show the location.~~
3. Please provide lighting cut sheets (poles and wall pack). **Please provide**
- ~~4. Staff would like to see some landscaping added to the plan. Please note groundcover to be sod. **Staff would like to see the landscaping along the building rearranged so the plantings are more balanced/symmetrical and so the trees do not block the windows.**~~
- ~~5. Please add a minimum 5-foot shelf adjacent to the east building edge so that there is a maintenance area.~~
- ~~6. Show existing driveways on the east side of Destination to confirm the proposed line up with existing.~~
7. Show existing intakes on the north side of north drive to confirm if they will need to be modified for driveway construction.

Sheet 7:

- ~~1. Add handicap parking grading details and cross slope.~~
- ~~2. Staff is concerned with cover over the sanitary sewer and water service to the lot. Given the location of the detention basin, there may not be adequate cover.~~
- ~~3. Please identify the slope of the swale along the west edge. Note that a minimum 2% slope much be achieved.~~

Sheet 8:

- ~~1. Based upon the square footage and use, a fire suppression system may be required. As such, please split the service and add a 6" fire service line.~~
- ~~2. Please add valves on each service line.~~
- ~~3. Please provide an FDC. Note that the FDC must be within 100 feet of an approved hydrant and must not be obstructed by parking or landscaping.~~
- ~~4. Please provide a detail that demonstrates that there is 150 feet of hydrant coverage. Note that this must be demonstrated by a 150-foot route (not hydrant radii). All sides of the building must be covered by said 150-foot route. The route cannot cut through parking spaces. **Please demonstrate.**~~

5. ~~The hydrant coverage for the proposed building does not meet the requirements of Section 507.5.1 of the City of Grimes Fire Code, which requires hydrant coverage within 150 feet along an approved route around the building. The fire code does not allow for an allowance due to the presence of a fire suppression system.~~
6. ~~Note that the required Knox Box is to be purchased directly from the Knox Company at www.KnoxBox.com. The location of the Knox Box shall be discussed and approved at the pre-construction meeting.~~
7. ~~The building has a listed height of 20 feet which would allow for high piled combustible storage. The building is listed as a "Flex Space." Due to these conditions a fire sprinkler system is required per Section 903.2 and Chapter 32 of the City of Grimes Fire Code. Due to the possibility of high piled combustible storage a fire pump may be required. Note that the 6" main shown is not likely large enough to supply such a system.~~
8. ~~Number the storm structures for clarity.~~
9. ~~Label the 15" pipe inlets to the pond, material and grade.~~
10. ~~Add note to verify water elevation. Will the service need to be lowered under the proposed pond to provide freeze protection?~~
11. ~~Separate domestic and fire services approx. 5' outside of building and provide a valve/curb stop on each.~~
12. ~~Commercial water service to be 2".~~
13. ~~Verify hydrant will have an auxiliary valve per SUDAS Hydrant Assembly Detail (WM-201).~~
14. ~~Provide FL NE elevation at Area Intake pond outlet.~~
15. ~~Provide grade of proposed 3" pipe from Area Intake pond outlet.~~
16. ~~Provide detail of orifice plate installation in area intake (round) including proposed material.~~
17. ~~Please show missing hydrant on NE corner of building.~~
18. Label the size of the existing and proposed sanitary sewer.

Architecture:

- ~~1. Please add landscape buffering on the north, south, and west sides of the property to mitigate the view of the overhead doors from the public ROW.~~
- ~~2. Staff would suggest adding additional windows and awnings to the front façade. As presented staff does not feel it meets the intent of the ordinance, and will be challenged at P&Z/Council.~~
- ~~3. Commercial buildings shall incorporate architectural design elements, materials, and colors into the side and rear building elevations similar to those used in the front building elevation.~~
- ~~4. Commercial buildings shall incorporate façade modulation in all building elevations, either by physical offsets or by the use of color, pattern, or texture in order to preserve building scale and reduce the negative aesthetic impact of long, large, expansive wall surfaces. Please add additional features to the east elevation. Staff would like to see two additional windows on the front elevation.~~
- ~~5. Any roof-mounted mechanical, communications, or other similar equipment shall be screened from public view with similar design features to the building, including material, shape, and color. Show screening details on elevations.~~
- ~~6. Add wall pack lighting to the elevations.~~

SWPPP

- ~~1. Submit a complete SWPPP for review in accordance with NPDES GP#2, Part IV, D.~~
- ~~2. Site Plan Sheet 9:~~
 - ~~a. Place inlet protection around all intakes — two are missing.~~
 - ~~b. Place inlet protection around outlet structure.~~
 - ~~c. Include quantities of silt fence, scour stop, inlet protection, temporary and permanent mulching and seeding, wattles, and filter socks.~~
 - ~~d. Include location of portable toilet at least 50 ft. from the nearest intake.~~
 - ~~e. Label the site discharge point.~~
- ~~3. Site Plan Sheet 9: list quantity of scour stop.~~
4. SWPPP Site Description: Correct project name.

5. SWPPP Page 69 and Site Plan Page 9 should match. Please rectify.

SWMP

1. ~~General: Submit maps showing contours and drainage paths to establish times of concentration. Maps should show vertical fall, horizontal distance, and type of flow (overland, shallow concentrated, or channel). Include for both pre- and post-development.~~
2. ~~General—storm sewer conveyance:~~
 - a. ~~Submit storm sewer conveyance data (pipe and structure) in tabular form for the 10-year and 100-year storm events. Form should include pipe & structure sizes, types, lengths, invert elevations, slopes, discharge (Q) calculations (design & maximum capacities), street spread, and pipe velocities.~~
 - b. ~~Document height on curb and street spread at two (2) SW-501 curb intakes during the 10- and 100-year storm event.~~
 - c. ~~Include scour stop calculations corresponding to discharge and exit velocities.~~
3. ~~Page 2 Cover Page: Change “May” to “June”.~~
4. ~~Page 3 TOC: Pre-development hydrographs should be included for the 1.25-inch event, 1-year event (2.67-inch), and 5-year event. Post-development hydrographs should be included for 1.25-inch event, 1-year event (2.67-inch), and 100-year event. The 1.25-inch and 1-year (2.67” channel protection volume, or CPv) events should be stored as demonstrated by hydrographs.~~
5. ~~Page 4 Narrative:~~
 - a. ~~Verify 1.75 acres as shown on a pre-development area map.~~
 - b. ~~Show delineated areas of off-site pass-through on area map.~~
 - c. ~~Add FFE=936.75’ to narrative.~~
 - d. ~~Developed condition and elsewhere: verify 1.504 acres post-development area, 0.088 acres undetained, 1.416 acres to drainage basin, the difference (0.246 acres) between pre- and post-development.~~
6. ~~Page 5 Narrative:~~
 - a. ~~Provide infiltration calculations and design guidance as outlined per the ISWMM.~~
 - b. ~~Provide a cross-section of the infiltration cell below contour 930.~~

- ~~e. Verify the controlling overflow elevation. Is it the stated elevation=933.6' (narrative) or 934.6' (Detention Analysis Summary based on 1.08' of freeboard with high water = 933.52')?~~
- ~~7. Page 6 Detention Analysis Summary: Verify pond release of 1.40 cfs. Appears to be $(2.3 \pm 0.17 - 0.9) = 1.57$ cfs.~~
- ~~8. Page 7: Calculations appear to be in error by a factor of 10. Appears there should be 0.10 acre-feet or 4,356 cubic feet of storage.~~
- ~~9. Page 16+ Proposed Hydrographs:
 - a. Show outlet structure details on hydrographs that tie performance to outlet structure orifice, weir, and elevations as shown on SP Sheet 8.
 - b. Show storage and peak discharge characteristics for the 1.25" and 1-year (2.67") rainfall events.
 - c. Show stage-storage data in tabular form.~~
- ~~10. Page 22 Schematic: Provide post-development map that displays sub-catchment areas in acres with associated curve numbers.~~
- ~~11. General: Please do not include hydrographs for 2, 10, 25, and 50-year storm events. The City is OK with the custom "2-inch" hydrograph and calculations if necessary to store the WQv.~~
- ~~12. Page 4: Swap "C" and "B" soil types in narrative associated with 1.2 acres and 0.55 acres.~~
- ~~13. Page 6: Update summary not including 2-year storm event.~~
- ~~14. Page 8: Show simple calculation for I = percent impervious based on site square footage or acreage. Include on a map of future pervious and impervious areas.~~
- ~~15. Page 31: Show time of concentration (Tc) input for detention basin (4P) calculations.~~
- ~~16. Page 64: Verify composite TC including future pervious and impervious areas.~~
- ~~17. Page 67: Verify pipe data. It appears lines #3-#7 have errors.~~
- ~~18. Page 91: HydroCAD outputs for storm events are based on basin outlet structure characteristics:
 - a. 3" pipe inlet at elevation = 931.15'
 - b. Beehive overflow = 932.00'~~

~~c. 3.75" orifice plate on 8" outlet pipe @ invert = 930.00'~~

- ~~19. Include a page demonstrating said inputs are being use in the HydroCAD calculations.~~
- ~~20. Pages 92, 100: Consult ISWMM for infiltration practices. The divide between the use of trenches and basins is 5 acres. ISWMM provides guidance for soil borings down to 12-15' to assess existing soils' permeability and density. Designs should be made like those examples shown in ISWMM Chapter 5 (trench: section 2 pages 14-21, or basin: section 3 pages 14-16).~~
21. General: In similar fashion to the 1.25" worksheet (Page 8/170), submit a manual worksheet to calculate the CPv per ISWMM Chapter 3 pages 54-56.
22. Page 5/170: Update 3.75-inch diameter orifice and 3-inch diameter inlet pipe as the site plan now shows a 4-inch underdrain and 4.375-inch orifice plat and other associated physical data.
23. Page 5/170: Update WQv in narrative (4,256 cf) vs. the calculated volume (3,084 cf on page 8).
24. Page 6-7/170: Update Detention Analysis Summary & Stormwater Data Table after other revisions are made.
25. Page 8/170: Verify proposed impervious area. Page 8 states 37.6% while Pond 4P Summaries state 40.56% (agrees with page 22/170). Update WQv and CPv volumes associated with any revisions.
26. Page 44/170: Confirm location of Device #3 (Device 2) on the site plan and its use in hydrographs.
27. Page 75/170: 100-year DHWL = 933.88' which is higher than surface at driveway trench drains ~ 933.00'. It appears these will act as overflows and the pond will not safely detain the 100-year storm. Please rectify.
28. Page 146/170: Provide design calculations for sand filter per Iowa Storm Water Management Manual (ISWMM) Chapter 6. Include supporting documentation for infiltration rate of sand and rock (1.75 inch/hour), and storage abilities related to 40% void space.

Storm Water Site Plan Comments

1. ~~Page 2: #3 verify the use of a typical swale cross section.~~
2. ~~Page 2: Include notes like #11, 12, and 38 in the final SWPPP.~~
3. ~~Page 3: Rectify #10—GP#2 states: “If there is a construction trailer, shed or other covered structure located on the property the permittee shall retain a copy of the storm water pollution prevention plan required by this permit at the construction site from the date of project initiation to the date of final stabilization. If there is no construction trailer, shed or other covered structure located on the property, the permittee shall retain a copy of the plan from the date of project initiation to the date of final stabilization at a readily available alternative site approved by the Department and provide it for inspection upon request. If the plan is maintained at an off-site location such as a corporate office, it shall be provided for inspection no later than three hours after being requested.”~~
4. ~~Page 3: Rectify #17.3—GP#2 states: “Stabilization of disturbed areas must, at a minimum, be initiated immediately whenever any clearing, grading, excavating or other earth disturbing activities have permanently ceased on any portion of the site or temporarily ceased on any portion of the site and will not resume for a period exceeding 14 calendar days. In drought stricken areas and areas that have recently received such high amounts of rain that seeding with field equipment is impossible and initiating vegetative stabilization immediately is infeasible, alternative stabilization measures must be employed as specified by the Department. In limited circumstances, stabilization may not be required if the intended function of a specific area of the site.”~~
5. ~~Page 7:~~
 - a. ~~Rectify grassy area on south side to have a slope of $\geq 2.0\%$~~
 - b. ~~Rectify small swales on west side to have slopes $\geq 2.0\%$~~
6. ~~Page 8:~~
 - a. ~~Provide data (length, slope, type) for the two (2) pipes from SW 501 curb intakes to FES's in the basins.~~
 - b. ~~Provide an outlet structure detail.~~
7. ~~Sheet 7: NW swale between 936.50' and 936.23' is flat. Please rectify.~~
8. ~~Sheet 8:~~
 - a. ~~Specify type of material for 18" standpipe structure~~
 - b. ~~Show design high water level = 933.42'~~

Please provide a letter addressing all comments on this comment letter and/or state what was modified on the site plan to address said comments.

SITE PLAN SUBMITTAL SCHEDULE:

SUBMITTAL DATE: ~~June 8, 2020~~
 ~~June 22, 2020~~
 July 6, 2020
 (1 PDF of Site plan with Elevation Plan included)

PLANNING & ZONING: July 7, 2020 at 5:30 at the Grimes City Hall

COUNCIL MEETING: July 21, 2020 at 5:30 at the Grimes City Hall

Please feel free to contact me at emartin@grimesiowa.gov or at (515) 986-4050 if you have any questions or need additional information.

Sincerely,

Evann Martin
Assistant Planner

PROPOSED CONSTRUCTION PLANS

2900 SE DESTINATION DRIVE

GRIMES, POLK COUNTY, IOWA

STANDARD LEGEND

FOUND/ EXISTING	SET/ PROPOSED	
---	---	CENTERLINE OF ROADWAY
---	---	SECTION LINE
---	---	PLAT BOUNDARY LINE
---	---	PLAT LOT LINE
---	---	PROPERTY LINE
---	---	RIGHT-OF-WAY (ROW)
---	---	BUILDING SETBACK LINE (BSL)
---	---	PUE PUBLIC UTILITY EASEMENT (PUE)
---	---	GE GAS EASEMENT
---	---	EASEMENT LINE
---	---	X EXISTING FENCE LINE
X" W	---	WATERMAIN
---	---	SANITARY SEWER PIPE
---	---	STORM SEWER PIPE
---	---	SD SUBDRAIN
---	---	UE EXISTING UNDERGROUND ELECTRIC
---	---	UFO EXISTING UNDERGROUND FIBER OPTICS
---	---	UT EXISTING UNDERGROUND TELEPHONE
---	---	UTV EXISTING UNDERGROUND TELEVISION
---	---	G EXISTING UNDERGROUND GAS MAIN
---	---	OE EXISTING OVERHEAD ELECTRIC
---	---	MAJOR CONTOUR W/ ELEVATION
---	---	MINOR CONTOUR W/ ELEVATION
---	---	STORM SEWER MANHOLE
---	---	FLARED END SECTION (FES)
---	---	CLEANOUT
---	---	SANITARY SEWER MANHOLE
---	---	WATERMAIN GATE VALVE
---	---	WATER SERVICE SHUTOFF
---	---	FIRE HYDRANT (ASSEMBLY)
---	---	SIGN
---	---	GAS VALVE
---	---	POWER POLE W/ LIGHT
---	---	POWER POLE
---	---	FLAG POLE
---	---	ELECTRICAL PEDESTAL/BOX
---	---	TELEPHONE PEDESTAL
---	---	TELEVISION PEDESTAL
---	---	BOLLARD
---	---	BENCHMARK
---	---	PROPOSED GRADE SPOT ELEVATION

NOTE:
NOT ALL SYMBOLS AND LINES SHOWN IN THIS LEGEND ARE SHOWN WITHIN
THIS CONSTRUCTION PLAN SET.

SITE ADDRESS/NEAREST MAJOR INTERSECTION:

2900 SE DESTINATION DRIVE, GRIMES, IOWA 50111

FEMA FIRM PANEL(S):

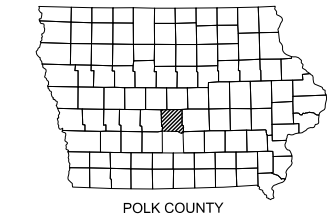
NUMBER = 19153C0167F; EFFECTIVE DATE = FEB 1, 2019

THIS SITE IN ZONE X "AREAS OF MINIMAL FLOOD HAZARD"

REFERENCE STATEMENT:

THIS SURVEY/ENGINEERING DOCUMENT WAS PREPARED FOR USE ON THIS PROJECT IN ACCORDANCE WITH THE CLIENT'S SCOPE OF WORK REQUIREMENTS. ABACI CONSULTING, INC. ASSUMES NO RESPONSIBILITY OR LIABILITY (CONSEQUENTIAL OR OTHERWISE) FOR ANY USE OF THIS DRAWING (OR ANY PART THEREOF) EXCEPT IN ACCORDANCE WITH THE TERMS OF SAID SCOPE OF WORK REQUIREMENTS.

UTILITIES SHOWN FOR REFERENCE ONLY. IOWA LAW REQUIRES AT LEAST 48 HOURS ADVANCE NOTICE BEFORE EXCAVATION BEGINS. NOTIFY IOWA ONE-CALL SERVICE PHONE 1-800-292-8989. ADDITIONALLY, THE CONTRACTOR SHALL ALSO NOTIFY THE OWNER AT LEAST 48 HOURS PRIOR TO STARTING CONSTRUCTION AND HAVE ANY AND ALL PRIVATE UTILITIES LOCATED.



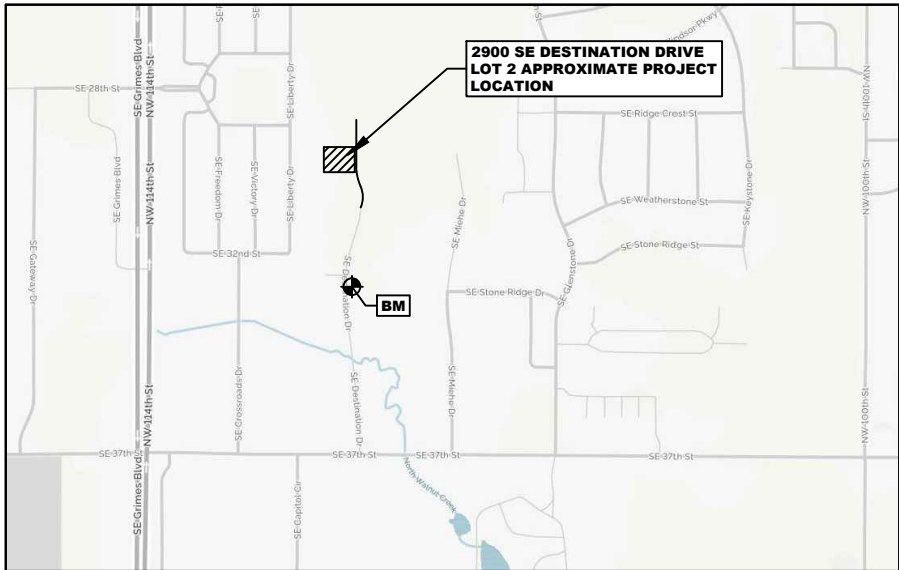
INDEX OF SHEETS

- 1 - TITLE SHEET
- 2 - GENERAL NOTES AND INFORMATION 1
- 3 - GENERAL NOTES AND INFORMATION 2
- 4 - GENERAL NOTES AND INFORMATION 3
- 5 - GENERAL NOTES AND INFORMATION 4
- 6 - GEOMETRIC PLAN
- 7 - GRADING PLAN
- 8 - UTILITY PLAN
- 9 - INITIAL SWPPP (EROSION CONTROL)

ZONING NOTES:

- Z1) THE ZONING IS LIGHT INDUSTRIAL DISTRICT (M2)
Z2)SEE THE ZONING ORDINANCE FOR ADDITIONAL REQUIREMENT/RESTRICTIONS.
Z3)NO VARIANCES ARE PROPOSED FOR THIS DEVELOPMENT.
Z4)THIS SITE IS OUTSIDE OF THE TRANSPORTATION CORRIDOR MIXED USE DEVELOPMENT OVERLAY DISTRICT.

VICINITY MAP



CONSTRUCTION SCHEDULE

ITEM	START	END
EROSION CONTROL	JULY 22, 2020	JUNE 1, 2021
GRADING	JULY 22, 2020	NOV 30, 2020
BUILDING	JULY 22, 2020	NOV 30, 2020
UTILITIES	JULY 22, 2020	AUG 1, 2020
PAVEMENT	AUG 15, 2020	SEPT 15, 2020

JURISDICTIONAL SPECIFIC NOTES:

J1) ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE IOWA STATEWIDE URBAN STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS (SUDAS) AND ANY CITY OF GRIMES SUPPLEMENTAL SPECIFICATIONS EXCEPT WHERE EXPLICITLY INDICATED OTHERWISE.

LANDSCAPE NOTES:

L1) OPEN SPACE REQUIREMENT =10% OF 1.75 ACRES=0.175 ACRES
OPEN SPACE PROVIDED =0.808 ACRES=46% AS PROPOSED

GENERAL NOTES:

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CURRENT VERSION OF THE URBAN STANDARDS SPECIFICATIONS FOR PUBLIC IMPROVEMENT ON THE DATE OF APPROVAL AND THE CITY OF GRIMES SUPPLEMENTAL SPECIFICATIONS.
- PRECONSTRUCTION MEETING IS REQUIRED PRIOR TO THE START OF CONSTRUCTION THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE THIS MEETING.
- ALL PERMITS (IDNR, IDOT, ARMY CORP, ETC.) SHALL BE OBTAINED PRIOR TO THE START OF CONSTRUCTION.
- THE DEVELOPER AND/OR CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE THE CITY OF GRIMES WITH RECORD DRAWINGS OF ALL IMPROVEMENTS AS PER CITY STANDARD PROCEDURES.
- A KNOX BOX IS REQUIRED BY THE FIRE DEPARTMENT.
- ALL SITE LIGHTING SHALL NOT SPILL ONTO ADJACENT PROPERTIES OR RIGHT-OF-WAY.

BUILDING NOTES:

- THE PROPOSED BUILDING WILL BE USED AS A WAREHOUSE.
- THE BUILDING WILL BE STEEL FRAME METAL SIDING.
- THE BUILDING WILL BE 20 FEET TALL. SEE DETAILED ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION.
- THE BUILDING WILL HAVE FIRE PROTECTION SPRINKLERS.
- THE BUILDING WILL HAVE APPROXIMATELY 10,000 SQ.FT.
- WALL PACK EXTERIOR LIGHTING IS PROPOSED. CUTOFF WILL BE INSTALLED SO THAT ADJACENT PROPERTIES OR RIGHT-OF-WAY SHALL NOT BE DIRECTLY ILLUMINATED. PHOTOMETRIC VERIFYING THIS SHALL BE PROVIDED AT TIME OF BUILDING PERMIT APPLICATION.
- A KNOX BOX IS REQUIRED. SEE ARCHITECTURAL PLAN.
- THE PROPOSED BUILDING COMPRISES 13% OF THE TOTAL SITE.
- NO TRASH WILL BE STORED OUTSIDE OF THE BUILDING. NO TRASH ENCLOSURE IS PROVIDED.

USE:

WAREHOUSE - COMMERCIAL VEHICLE STORAGE FACILITY

UTILITY OWNERSHIP AND CONTACTS:

WATER:	THORPE WATER DEVELOPMENT	515-289-2345
SANITARY SEWER:	US WATER CORP - ANDREW WOOD	515-822-2320
GAS LINES	BLACK HILLS ENERGY - JOE McAREAVY	515-343-2031
ELECTRICAL:	MIDAMERICAN ENERGY - DUSTIN WEDLUND	515-522-6565
TELEPHONE:	CENTURYLINK - JAKOB LINDKE	319-310-0254
CABLE:	MEDIACOM - PAUL KENDRICK	515-246-1890

UTILITY NOTES:

- THE WATER SUPPLY IS BY THORPE WATER DEVELOPMENT.
- SANITARY SEWER SERVICE IS BY THE CITY OF GRIMES.
- ANY DISTURBED TILE LINES OR SUBSURFACE DRAINS MUST BE RESTORED /REROUTED.
- THE ELECTRIC SERVICE IS BY MID-AMERICAN ENERGY.
- THE NATURAL GAS SERVICE IS BY BLACK HILLS ENERGY.
- THE TELEPHONE SERVICE IS BY CENTURY LINK.
- THE EXISTING WATER SERVICE SIZE & LOCATION ARE BASED ON BEST AVAILABLE INFORMATION. CONTRACTOR SHALL UTILIZE WATER FITTING AS NECESSARY, BASED ON FIELD LOCATE OF EXISTING SERVICE, TO EXTEND THE SERVICE TO THE BUILDING.
- MAINTAIN MINIMUM OF 1% SLOPE ON SANITARY SEWER SERVICE.

ABACI CONSULTING, INC.
CIVIL ENGINEERING - LAND SURVEYING

3000 SE GRIMES BLVD. STE 800
GRIMES, IOWA 50111
(515) 986-5048

BENCHMARK(S) INFORMATION:

H9E-011: BURY BOLT ON EAST SIDE OF SE DESTINATION DRIVE BEING 80 FEET +/- SOUTH OF INTERSECTION OF SE DESTINATION DRIVE AND 33RD STREET. ELEVATION = 933.19.

PROJECT INFORMATION:

THIS CONSTRUCTION DRAWING PLAN SET WAS ORIGINALLY SETUP FOR AND PRINTED ON 11x17 PAPER.
BAR SCALES ARE PROVIDED ON PLAN SHEETS FOR VERIFICATION.

ABACI PROJECT NO.: 20193 ABACI FILE NO: 20193SP

ENGINEER/SURVEYOR:

MANAGING OFFICE: GRIMES
OFFICE: (515) 986-5048
FAX: (515) 986-0588

PROJECT MANAGER: MARK McMURPHY
MOBILE: (515) 986 5048
EMAIL: Mark@abaciconsulting.com

SURVEY COORDINATOR: MERLIN DAVIS
MOBILE: (515) 447-5755
EMAIL: MerlinD@abaciconsulting.com
MINIMUM NOTICE OF THREE (3) BUSINESS DAYS FOR ANY CONSTRUCTION STAKING.

CITY/PROJECT BULK REGULATIONS:

CURRENT ZONING: M-2 (LIGHT INDUSTRIAL DISTRICT)

BULK REGULATIONS	M-2
MIN. LOT AREA	N/A
MIN. LOT WIDTH	N/A
FRONT YARD BSL	25'
SIDE YARD BSL	0' (ZERO)
REAR YARD BSL	10' (BY RULE)
MAX. BLDG HT.	75'

OWNER:

SWEET HONEY, INC.
14402 ALPINE DR.
PO BOX 7512
URBANDALE, IA 50323
ATTN: DEAN CADWELL
cadwelldv@gmail.com

DEVELOPER:
SAME AS OWNER

PROJECT LEGAL DESCRIPTION:

LOT 2, CROSSROADS BUSINESS PARK OF GRIMES
PLAT 6, CITY OF GRIMES, POLK COUNTY, IOWA.

CONTAINING 1.75 ACRES.

I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED AND THE RELATED WORK WAS PERFORMED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

PRELIMINARY

SIGNATURE	DATE
MARK A. McMURPHY	
PRINTED OR TYPED NAME: IOWA LIC. NO. 14674 MY LICENSE RENEWAL DATE IS DECEMBER 31, 2020.	
SHEETS 1 THROUGH 9, INCLUSIVE; PAGES COVERED BY THIS SEAL:	

CITY OF GRIMES NOTES:

1. SEE THE 'CITY OF GRIMES NOTES' ON THIS SHEET FOR ADDITIONAL INFORMATION.
2. ANY CITY (GENERAL/STANDARD) NOTES SHALL GOVERN IF DISCREPANCIES OCCUR WITHIN THESE (GENERAL) PROJECT NOTES.

GENERAL NOTES:

1. THIS ENGINEERING/SURVEY DOCUMENT WAS PREPARED FOR USE ON THIS PROJECT IN ACCORDANCE WITH THE CLIENT'S SCOPE OF WORK REQUIREMENTS. ABACI CONSULTING, INC. ASSUMES NO RESPONSIBILITY OR LIABILITY (CONSEQUENTIAL OR OTHERWISE) FOR ANY USE OF THIS DRAWING (OR ANY PART THEREOF) EXCEPT IN ACCORDANCE WITH THE TERMS OF SAID SCOPE OF WORK REQUIREMENTS.
2. THESE DRAWINGS ARE BEING MADE AVAILABLE BY ABACI CONSULTING, INC FOR USE ON THIS PROJECT IN ACCORDANCE WITH ABACI'S AGREEMENT FOR PROFESSIONAL SERVICES. ABACI ASSUMES NO RESPONSIBILITY OR LIABILITY FOR ANY USE OF THESE DRAWINGS (OR ANY PART THEREOF) EXCEPT IN ACCORDANCE WITH THE TERMS OF SAID AGREEMENT.
3. SEE THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) FOR THE INITIAL EROSION CONTROL MEASURES ON THE "INITIAL SWPPP (EROSION CONTROL)" SHEETS.
4. SEE ALL OTHER PLAN SHEETS FOR ADDITIONAL NOTES AND INFORMATION.
5. ALL CONSTRUCTION SHALL CONFORM TO THE MOST RECENT EDITION OF THE CITY STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS, WITH APPLICABLE SUPPLEMENTAL SPECIFICATIONS; AND THE LATEST EDITION OF IOWA SUDAS STANDARDS AND SPECIFICATIONS - EXCEPT AS MODIFIED HEREIN.
- 5.1. THE CITY STANDARD SPECIFICATIONS SHALL GOVERN IF ANY DISCREPANCIES ARE FOUND IN CONSTRUCTION DRAWING NOTES AND ANY SEPARATE CONSTRUCTION SPECIFICATIONS.
- 5.2. IN THE EVENT OF A DISCREPANCY BETWEEN THE CITY STANDARD DETAILS AND THE DETAILED CONSTRUCTION DRAWINGS, THE DETAILED CONSTRUCTION DRAWINGS SHALL GOVERN.
6. ALL WORK SHALL BE DONE IN ACCORDANCE WITH APPLICABLE CITY, COUNTY, AND STATE CODES, ORDINANCES, REGULATIONS, AND RULES, INCLUDING THE CITY STANDARD/SUPPLEMENTAL SPECIFICATIONS FOR PUBLIC IMPROVEMENTS. WHERE NOT OTHERWISE COVERED BY THE ABOVE, IN THE NOTES BELOW, OR WITHIN THIS PLAN SET, AND THE LATEST EDITION OF THE IOWA SUDAS STANDARDS AND SPECIFICATIONS SHALL GOVERN.
7. THE CONTRACTOR(S) SHALL BE FAMILIAR WITH AND COMPLY ALL STANDARDS, DETAILS, SPECIFICATIONS, CODES, ORDINANCES, REGULATIONS, AND RULES, ETC. NOTHING IN THESE DOCUMENTS SHALL RELIEVE THE CONTRACTOR(S) OF THIS REQUIREMENT.
8. ALL CONSTRUCTION PROCEDURES AND MATERIALS SHALL MEET OR EXCEED MINIMUM REQUIREMENTS OF THE CITY.
- 8.1. THE CONTRACTOR(S) SHALL SUBMIT SHOP DRAWINGS, CUT SHEETS, OR MATERIAL SPECIFICATIONS TO CITY PUBLIC WORKS ON ALL CONSTRUCTION MATERIALS USED PRIOR TO CONSTRUCTION.
- 8.2. PRIOR TO CONSTRUCTION, THE CONTRACTOR(S) SHALL PROVIDE SUBMITTAL(S) OF ALL CONSTRUCTION MATERIALS BEING USED.
9. ALL REFERENCES TO SECTIONS AND/OR FIGURES ARE TO THE SUDAS STANDARD SPECIFICATIONS WITH FIGURES, UNLESS OTHERWISE NOTED. CITY STANDARD SPECIFICATIONS AND/OR DETAILS SHALL GOVERN IF ANY DISCREPANCIES.
10. THIS PROJECT IS COVERED BY THE IOWA DEPARTMENT OF NATURAL RESOURCES NPDES GENERAL PERMIT NO. 2; WITH ALL TERMS AND CONDITIONS.
- 10.1. ALL CONTRACTOR(S) SHALL MAINTAIN PROPER EROSION CONTROL THROUGHOUT THE ENTIRE PROJECT. SEE 'SWPPP/EROSION CONTROL' AND 'GRADING' NOTES.
- 10.2. NPDES NOI GENERAL PERMIT HOLDER IDENTIFIED IN CURRENT SWPPP SHALL PROVIDE WRITTEN VERIFICATION TO THE CITY ON COMPLIANCE WITH THE GENERAL PERMIT #2 TOPSOIL REQUIREMENTS UPON COMPLETION OF THE PROJECT.
11. ALL MUD, SOIL, AND/OR DEBRIS SPILLED ON THE STREETS OR ADJACENT PROPERTY SHALL BE PROMPTLY REMOVED BY THE CONTRACTOR(S) - AT LEAST AT THE END OF EACH WORK DAY; PRIOR TO ANY RAIN EVENT; AND AS DIRECTED. OR, THE OWNER/DEVELOPER SHALL REMOVE THE ITEMS AND DEDUCT THE COST FROM THE AMOUNT DUE TO THE CONTRACTOR(S).
12. THE LOCATION OF ALL UTILITIES INDICATED ON THE PLANS ARE TAKEN FROM EXISTING PUBLIC RECORDS AND SURVEYS. THE EXACT LOCATION AND ELEVATION OF ALL PUBLIC UTILITIES MUST BE DETERMINED BY THE CONTRACTOR(S). IT SHALL BE THE DUTY OF THE CONTRACTOR(S) TO ASCERTAIN WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT; AND TO NOTIFY THE OWNER(S) OF THE UTILITIES. THE CONTRACTOR(S) SHALL AFFORD ACCESS TO THESE FACILITIES BY THE OWNERS FOR NECESSARY MODIFICATION OF SERVICES. PRIOR TO ANY WORK AT THE SITE, THE CONTRACTOR(S) SHALL EXAMINE ANY APPLICABLE DRAWINGS AVAILABLE FROM THE OWNER, ENGINEER, AND/OR ARCHITECT; AND SHALL CONSULT WITH OWNER'S PERSONNEL AND UTILITY COMPANY REPRESENTATIVES. NO COMPENSATION WILL BE ALLOWED FOR DAMAGE FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.
14. THE CONTRACTOR(S) SHALL NOTIFY THE CITY AND THE ENGINEER IF ANY FIELD TILES ARE ENCOUNTERED OR INTERCEPTED. THE CONTRACTOR(S) SHALL EITHER RECONNECT THE FIELD TILE OR CONNECT IT TO THE STORM SEWER SYSTEM. THE CONTRACTOR(S) SHALL KEEP A RECORD OF ALL FIELD TILE(S) ENCOUNTERED AND/OR INTERCEPTED; AND THE ACTION PERFORMED. THIS INFORMATION WILL BE GIVEN DIRECTLY TO THE CITY PUBLIC WORKS/ENGINEERING DEPARTMENT, AND ALSO INCORPORATED INTO ANY NOTED RECORD/AS-BUILT DRAWINGS.
15. THE CONTRACTOR(S) SHALL CONTACT IOWA ONE CALL AT 800-292-9899 OR AT 811 A MINIMUM OF 24 HOURS PRIOR TO BEGINNING WORK OR ANY WORK

STAGE.

- 15.1. THE CONTRACTOR(S) SHALL ALSO NOTIFY THE OWNER/DEVELOPER AT LEAST 48 HOURS PRIOR TO STARTING CONSTRUCTION AND HAVE ANY AND ALL PRIVATE UTILITIES LOCATED.
- 15.2. THE CONTRACTOR(S) SHALL NOTIFY ABACI CONSULTING, INC. AT LEAST ONE (1) WEEK PRIOR TO STARTING ANY SUBSTANTIAL CONSTRUCTION ACTIVITIES.
16. ALL TESTING SHALL BE TO CITY STANDARDS AND CITY STAFF SHALL BE PRESENT DURING AND WITNESS ALL TESTING.
17. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR GIVING THE CITY AND OTHER INSPECTION AGENCIES PROPER NOTICE FOR THEIR REQUIRED INSPECTIONS.
18. THE CONTRACTOR(S) SHALL NOTIFY THE CITY PUBLIC WORKS/ENGINEERING DEPARTMENT AT LEAST 48 HOURS PRIOR TO THE BEGINNING OF CONSTRUCTION, WEEKEND WORK, AND/OR HOLIDAY WORK.
19. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR APPLYING FOR AND OBTAINING ANY AND ALL REQUIRED PERMITS FOR PERFORMING THE WORK, EXCEPT THAT THE OWNER/DEVELOPER SHALL APPLY FOR AND OBTAIN THE FOLLOWING:
- 19.1. ANY STORMWATER DISCHARGE PERMITS FROM THE IDNR AND/OR THE CITY.
- 19.2. ANY GRADING/COSESCO PERMITS FROM THE IDNR AND/OR THE CITY.
- 19.3. ANY SANITARY SEWER AND WATERMAIN PERMITS FROM THE IDNR AND/OR THE CITY.
- 19.4. ANY DOT (FEDERAL, STATE, AND COUNTY) AND/OR RAILROAD PERMITS WITH THE ASSISTANCE OF THE CITY.
20. ALL PERMITS FROM IDNR, IDOT, COUNTY, CITY, AND/OR OTHER PERMITTING AGENCIES SHALL BE OBTAINED PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR(S) SHALL HAVE PAPER A COPY OF EACH ONSITE BEFORE COMMENCING CONSTRUCTION.
21. ALL CONSTRUCTION STAKING SHALL BE DONE UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER AND/OR LAND SURVEYOR INCLUDING, BUT NOT LIMITED TO: ROADWAYS/STREETS, ALLEYS, PEDESTRIAN FACILITIES (INCLUDING ALL CURB DROPS AND SIDEWALK/SHARED USE PATH LOCATIONS), AND UTILITIES.
- 21.1. ALL CONSTRUCTION STAKING SHALL BE PROVIDED BY THE OWNER/DEVELOPER THROUGH A CONTRACT WITH ABACI CONSULTING, INC.
- 21.2. ALL CONSTRUCTION STAKING, PROPERTY PINS, ETC. SHALL BE PROTECTED FROM GRADING AND/OR OTHER OPERATIONS. ANY DISTURBED SHALL BE RESET AT THE CONTRACTOR'S EXPENSE.
- 21.3. RESET ALL PROPERTY PINS DISTURBED BY CONSTRUCTION ACTIVITIES. PROPERTY PINS SHALL BE RESET BY A REGISTERED LAND SURVEYOR AND SHALL BY INCIDENTAL TO CONSTRUCTION.
22. THE CONTRACTOR(S) SHALL CONFINE HIS/HER OPERATIONS WITHIN THE PROJECT LIMITS AND ANY RELATIVE EASEMENTS. THE CONTRACTOR(S) SHALL BE SOLELY RESPONSIBLE FOR ANY DAMAGE TO OTHER PROPERTY.
23. THE CONTRACTOR SHALL PROTECT EXISTING (SHOWN AND NOT SHOWN) FACILITIES THAT ARE TO REMAIN AT THE SITE (ON AND/OR SURROUNDING) AGAINST DAMAGE. ANY DAMAGES TO EXISTING UTILITIES NOT SCHEDULED FOR REMOVAL SHALL BE REPAIRED TO THE UTILITY OWNER'S SPECIFICATIONS AND AT THE CONTRACTOR'S EXPENSE.
24. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR ANY AND ALL CLAIMS OF ANY TYPE WHATSOEVER RESULTING FROM DAMAGE(S) TO ADJOINING PROPERTIES.
25. THE CONTRACTOR(S) SHALL REPAIR, REPLACE, AND/OR RETURN ANY DAMAGED ITEM TO AT LEAST THE ORIGINAL CONDITION, WITHOUT ADDITIONAL COMPENSATION.
26. ANY DAMAGE DONE TO THE EXISTING AND/OR PROPOSED FENCES, YARDS, OR OTHER IMPROVEMENTS SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
27. THE CONTRACTOR(S) IS RESPONSIBLE FOR REPLACING ANY AREAS OF PAVEMENT OR SIDEWALK NOT TO BE REMOVED THAT IS DAMAGED, AND/OR REMOVED BEYOND THE LIMITS SHOWN, DUE TO OPERATING HIS/HER EQUIPMENT OR ACTIONS ON THE PAVEMENT OR SIDEWALK. PAVEMENT REPLACEMENT SHALL COMPLY WITH THE CITY STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS.
28. THE CONTRACTOR(S) MAY BE REQUIRED, AS DIRECTED BY THE ENGINEER OR THE CITY, TO PLACE TEMPORARY WARNING DEVICES AND/OR SAFETY FENCE AT CERTAIN LOCATIONS WHERE REPLACEMENT FEATURES ARE NOT FULLY INSTALLED THE SAME DAY. THIS WILL BE INCIDENTAL TO TRAFFIC CONTROL.
29. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR ALL REQUIRED WORK ZONE TRAFFIC CONTROL (VEHICULAR, BICYCLE, AND/OR PEDESTRIAN) REQUIRED DURING ANY AND ALL OPERATIONS - AT LEAST APPROVAL, PERMITTING, INSTALLING, MAINTAINING, AND REMOVAL. THESE SHALL BE INSTALLED PRIOR TO BEGINNING WORK ON THE SITE.
- 29.1. AS REQUIRED AND PRIOR TO PROCEEDING WITH THE WORK, THE CONTRACTOR(S) SHALL PROVIDE THE CITY, COUNTY, AND/OR STATE AGENCIES A TRAFFIC CONTROL PLAN FOR ANY SIDEWALK, LANE, AND/OR ROADWAY CLOSURES.
- 29.2. DURATION OF ANY CLOSURE SHALL BE LIMITED TO FIVE (5) BUSINESS DAYS, UNLESS OTHERWISE NOTED.
- 29.3. AS REQUIRED AND PRIOR TO PROCEEDING WITH THE WORK, THE CONTRACTOR(S) SHALL COORDINATE HIS/HER TRAFFIC CONTROL WITH OTHER PUBLIC AND/OR PRIVATE CONSTRUCTION PROJECT(S) IN THE SURROUNDING AREA.
30. THE CONTRACTOR(S) SHALL FURNISH AND PLACE ALL NECESSARY TEMPORARY SIGNS, BARRICADES, STRIPING, ETC. DURING CONSTRUCTION IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) FOR STREETS AND HIGHWAYS. ALL ROADS AND/OR FEATURES SHALL BE BARRICADED AND MAINTAINED UNTIL ACCEPTANCE BY CITY. COORDINATE WITH CITY ON REMOVAL OF ANY CONFLICTING SIGNAGE. THE OWNER/DEVEPOPER SHALL INSTALL ONE-WAY SIGNAGE IN COMPLIANCE

WITH MUTCD FOR ANY 12 FOOT WIDE DRIVES.

31. ALL DISTURBED AREAS SHOULD BE RESTORED BY SEEDING OR SODDING. ANY EXISTING ESTABLISHED LAWNS SHALL BE REPLACED WITH SOD. ALL DISTURBED AREAS SHALL BE WATERED UNTIL ESTABLISHED AND SHALL BE INCIDENTAL TO CONSTRUCTION. SOD MAINTENANCE PERIOD SHALL BE WHEN SOD IS DEEMED ESTABLISHED BY THE CITY, BUT SHALL NOT EXTEND BEYOND ONE (1) YEAR.
32. REMOVE, PROTECT, AND REPLACE ALL STREET SIGNS AS DIRECTED BY THE ENGINEER, INCIDENTAL TO CONSTRUCTION.
33. THE CITY SHALL FURNISH AND PLACE ALL NECESSARY STREET SIGNS AT ALL STREET CORNERS; AND OTHER SIGNAGE AS DEEMED OR WARRANTED.
34. MAINTENANCE/PERFORMANCE BONDS SHALL BE PROVIDED AS REQUIRED BY CITY ORDINANCE OR CODE.
35. ANY CHANGES TO THE PROPOSED PLAN AND/OR APPROVED CONSTRUCTION DRAWINGS SHALL BE SUBMITTED TO THE PROJECT ENGINEER AND TO THE CITY PUBLIC WORKS/ENGINEERING DEPARTMENT IN WRITING PRIOR TO IMPLEMENTATION. ALL PROPOSED CHANGES SHALL BE PERFORMED BY THE PROJECT ENGINEER. CONTRACTOR(S) SHALL BE RESPONSIBLE FOR COSTS ASSOCIATED WITH CHANGES MADE WITHOUT WRITTEN CITY APPROVAL.
36. ACCESS SHALL BE MAINTAINED TO ALL EXISTING ENTRANCES AND/OR DRIVEWAYS AT ALL TIMES AND SHALL BE INCIDENTAL TO CONSTRUCTION AND SHALL BE THE CONTRACTORS' RESPONSIBILITY.
37. THE CONTRACTOR SHALL APPLY NECESSARY MOISTURE TO THE CONSTRUCTION AREA AND HAUL ROADS TO PREVENT THE SPREAD OF DUST.
38. DO NOT STORE AND/OR STOCKPILE CONSTRUCTION MATERIALS AND/OR EQUIPMENT WITHIN THE RIGHT-OF-WAY (PROPOSED OR EXISTING) OR IN THE FRONT YARD SETBACK.
39. THE OWNER/DEVELOPER SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ANY AND ALL PRIVATE DETENTION AND/OR RETENTION FACILITIES.
40. "APPROVED EQUAL" SHALL MEAN: APPROVED IN WRITING BY BOTH THE CITY AND THE PROJECT DESIGN ENGINEER (ABACI CONSULTING, INC.).
41. THE CONTRACTOR(S) SHALL VERIFY ALL BUILDING AND/OR TRASH ENCLOSURE DIMENSIONS WITH THE ARCHITECTURAL PLANS.

GENERAL SURVEYING NOTES:

1. GENERAL INFORMATION - MEASUREMENT UNITS FOR THIS PROJECT ARE IN US SURVEY FEET. PROJECT DATUM AND CONTROL POINT INFORMATION WAS ESTABLISHED USING IOWA RTN (REAL-TIME NETWORK) REFERENCE STATIONS.
2. VERTICAL CONTROL - VERTICAL DATUM FOR THIS PROJECT BASED ON A NAVD'88 AND/OR CITY ESTABLISHED BENCHMARK(S) AND IS THEN TIED TO AT LEAST ONE (1) BENCHMARK (AS SHOWN AND NOTED) ESTABLISHED SPECIFICALLY FOR THIS PROJECT.
3. HORIZONTAL CONTROL - THE PROJECT COORDINATE SYSTEM IS THE MODIFIED IOWA STATE PLANE SOUTH (U.S. SURVEY FEET). COORDINATES WERE DETERMINED BE AVERAGING AT LEAST THREE (3) IARTN OBSERVATIONS WITH APPROPRIATE TIME SPANS BETWEEN.
4. ADDITIONAL CONTROL POINTS WERE THEN ESTABLISHED THROUGHOUT THE PROJECT LOCATION USING GNSS (GLOBAL NAVIGATION SATELLITE SYSTEM) ROVER SETUP RELATIVE TO SAID BENCHMARK(S).

CITY OF GRIMES GENERAL NOTES:

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CURRENT VERSION OF THE URBAN STANDARDS SPECIFICATIONS FOR PUBLIC IMPROVEMENTS ON THE DATE OF APPROVAL AND THE CITY OF GRIMES SUPPLEMENTAL SPECIFICATIONS.
2. A PRECONSTRUCTION MEETING IS REQUIRED PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE THIS MEETING.
3. ALL PERMITS (IDNR, IDOT, ARMY CORP., ETC.) SHALL BE OBTAINED PRIOR TO THE START OF CONSTRUCTION.
4. THE DEVELOPER AND/OR CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE THE CITY OF GRIMES WITH RECORD DRAWINGS OF ALL IMPROVEMENTS AS PER CITY STANDARD PROCEDURES.
5. A KNOX BOX IS REQUIRED BY THE FIRE DEPARTMENT AND SHALL BE OBTAINED AT WWW. KNOX BOX.COM.
6. ALL SITE LIGHTING SHALL NOT SPILL ONTO ADJACENT PROPERTIES OR RIGHT-OF-WAYS.
7. PROVIDE A 4-YEAR MAINTENANCE BOND FOR ALL PUBLIC IMPROVEMENTS.

CITY OF GRIMES SANITARY SEWER NOTES:

1. THE CONTRACTOR IS REQUIRED TO PLACE A TEMPORARY PLUG IN THE EXISTING DOWNSTREAM SANITARY SEWER MANHOLE PRIOR TO THE START OF CONSTRUCTION. THE PLUG SHALL BE REMOVED FOLLOWING APPROVAL OF CONSTRUCTION BY THE CITY OF GRIMES.
2. SANITARY GRAVITY PIPE MATERIAL SHALL BE PVC SDR 26 OR TRUSS (8" TO 15").
3. SANITARY GRAVITY SERVICE PIPE MATERIAL SHALL BE PVC SDR 23.5 (4" TO 6").
4. ALL SANITARY SEWER MANHOLES SHALL HAVE STEPS.
5. ALL SANITARY SEWER MANHOLE CASTINGS SHALL BE SEALED WITH HEAT SHRINK SLEEVES.
6. ALL SANITARY SEWER MANHOLE CASTINGS LOCATED WITHIN PAVEMENT SHALL BE TYPE B: PCC W/ADJUSTING MECHANISM.
7. SANITARY SEWER TESTING & TELEVISION (8" TO 15") SHALL BE COMPLETED PRIOR TO PAVING. THE SEWER SYSTEM SHALL BE FLUSHED WITH WATER PRIOR TO TELEVISIONG.

CITY OF GRIMES WATER MAIN NOTES:

1. ALL FIRE HYDRANTS SHALL BE AMERICAN FLOW CONTROL-WATEROUS PACER WB-67-250, MUELLER SUPER CENTURION 250 (3-WAY A-423), OR CLOW MEDALLION F-2545. ALL HYDRANTS SHALL HAVE THE FOLLOWING: 6" MJ SHOE,

- 2-1/2" HOSE NOZZLE, 4-1/2" STEAMER NOZZLE, NST THREADS, PENTAGON OPERATING NUT, CHAIN ON CAP, OPEN LEFT, 5-1/2' BURY, AND FACTORY PAINTED RED. THE MINIMUM SPOOL PIPE LENGTH FROM AUXILIARY VALVE TO HYDRANT SHOE SHALL BE 2.0'.
2. ALL HYDRANTS WILL IMMEDIATELY BE COVERED WITH A BLACK PLASTIC BAG (OR EQUIVALENT) ONCE THE HYDRANT IS INSTALLED. THE CITY OF GRIMES WILL NOTIFY THE CONTRACTOR WHEN THE BAGS CAN BE REMOVED.
3. A TRACER WIRE RECEPTACLE SHALL BE INSTALLED AT EACH HYDRANT.
4. ALL VALVES SHALL BE RESILIENT WEDGE GATE VALVES.
5. WATER SERVICE SHALL BE 1-INCH MINIMUM TYPE K COPPER.
6. IF THERE ARE MULTIPLE METERS REQUESTED FOR A MULTI-TENANT BUILDING, EACH UNIT SHALL HAVE ITS OWN SERVICE.
7. PRESSURE TEST AND DISINFECTION OF THE WATER SERVICE/MAIN IS REQUIRED. THE FILLING OF THE WATER MAIN SHALL BE DONE BY THORPE WATER DEVELOPMENT COMPANY. THE BACTERIA TEST AND SUBMITTAL OF TEST TO LAB SHALL BE DONE BY THE DEVELOPER AND RESULTS PROVIDED BY FAX TO US WATER AT 515-986-7300. IF THE TEST DOES NOT PASS, THE CONTRACTOR WILL BE REQUIRED TO PAY FOR ALL THE WATER USED TO REPEAT THE TEST. A COPY OF THE BACTERIA RESULTS SHALL BE SENT TO THORPE WATER DEVELOPMENT COMPANY.

CITY OF GRIMES STORM SEWER NOTES:

1. ALL STORM SEWER IN THE ROW SHALL BE RCP, UNLESS OTHERWISE APPROVED BY THE CITY.
2. ALL FLARED END SECTIONS SHALL HAVE FOOTINGS AND APRON GRATES. THE LAST 3 PIPE SECTIONS AND THE FLARED END SECTION ON ALL CULVERTS SHALL BE TIED. ALL STORM SEWER JOINTS SHALL BE WRAPPED WITH ENGINEERING FABRIC.
3. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY FIELD TILE DAMAGED DURING CONSTRUCTION. THE TILE SHOULD BE DIRECTED TO PUBLIC STORM SEWER IF POSSIBLE. THE CONTRACTOR SHALL RECORD THE ELEVATION AND LOCATION OF ALL TILES.
4. STORM SEWER CLEANING AND TELEVISION SHALL BE COMPLETED PRIOR TO PAVING, THE SEWER SYSTEM SHALL BE FLUSHED WITH WATER PRIOR TO TELEVISIONG.
5. USE O RING GASKETS ON STORM SEWERS CROSSING OVER WATER MAIN PER IDNR REQUIREMENTS.

ABBREVIATIONS:

ALL MAY BE WITH OR WITHOUT PERIODS.

¢ = CENTERLINE

ƒ = FLOWLINE

ℓ = PROPERTY LINE

B/WALL = BOTTOM OF WALL (AT GROUND/FACE)

BOC = BACK OF CURB

CIP = CAST-IN-PLACE (CONCRETE)

CISP OR CIP = CAST-IRON (SOIL) PIPE

DHWL = DESIGN HIGH WATER LEVEL

DIP = DUCTILE IRON PIPE

DWY = DRIVEWAY

ESMT OR EASE = EASEMENT

ELEV OR EL = ELEVATION

ENT = ENTRANCE

EOP = EDGE OF PAVEMENT

ESMT OR EASE = EASEMENT

EXIST OR EX = EXISTING

FES = FLARED END SECTION

F/G = FINISHED GRADE

FOC = FACE OF CURB

G = GUTTER

GND = GROUND

HORIZ OR HOR = HORIZONTAL

HWL = HIGH WATER LEVEL

INV = INVERT/FLOWLINE

P = PAVEMENT

PE OR PEP = POLYETHYLENE (PIPE)

PROP OR PR = PROPOSED

PVC = POLYVINYL CHLORIDE (PIPE)

PKWY = PARKWAY

RCB = REINFORCED CONCRETE BOX

RCP = REINFORCED CONCRETE PIPE

ROW OR R/W = RIGHT-OF-WAY

S/W = SIDEWALK

SAN = SANITARY SEWER OR SERVICE

SMF = STORMWATER MANAGEMENT FACILITY

SWFE = STORMWATER FLOWAGE EASEMENT

SWPPP = STORMWATER POLLUTION PREVENTION PLAN

STM = STORM SEWER OR SERVICE

T/C = TOP OF CURB

T/W = TOP OF WALK

T/WALL = TOP OF WALL

TYP = TYPICAL

VCP = VITRIFIED CLAY PIPE

VERT OR VER = VERTICAL

WTR = WATERMAIN OR WATER SERVICE

2900 SE DESTINATION DRIVE GRIMES, POLK COUNTY, IOWA										GENERAL NOTES AND INFORMATION 1									
SHEET: 2																			
ABACI CONSULTING, INC.										PROJECT NO: 20193									
CIVIL ENGINEERING - LAND SURVEYING										DATE: 06-08-20									
3000 SE GRIMES BLVD, STE 800 GRIMES, IOWA 50111 OFFICE (515) 986-5048										REVISION DESCRIPTION:									
										NO:									
										1 CITY COMMENTS OF 06-02-20									
										2 CITY COMMENTS OF 06-16-20									
										3									
										4									
										DRAWING FILE NO: 20193SP									
										DESIGNED/REVIEWED BY: M.M.									
										DRAWN BY: M.M.									
										DATE: 05/20/2020									

SWPPP/EROSION CONTROL GENERAL NOTES:

1. SEE THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) FOR THE INITIAL EROSION CONTROL MEASURES ON THE "INITIAL EROSION CONTROL (SWPPP) PLAN" SHEETS.
2. SEE THE 'GRADING NOTES' ON THIS SHEET FOR ADDITIONAL INFORMATION.
3. SEE THE "INITIAL SWPPP (EROSION CONTROL)" SHEET(S) FOR ADDITIONAL GROUND COVER INFORMATION; SEDIMENTATION BASIN LOCATIONS; AND ANY RELATED QUANTITIES.
4. SEE ALL RELATED NOTES FOR THESE CONSTRUCTION DRAWINGS FOR THIS PHASE/DEVELOPMENT PLAN FOR ADDITIONAL INFORMATION.
5. REFER TO THE STORMWATER POLLUTION PREVENTION PLAN NARRATIVE FOR ALL EROSION CONTROL MEASURES AND ADDITIONAL NOTES AND DETAILS. ADDITIONAL NOTES AND MEASURES IN THE NARRATIVE SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION AND SHALL BE INCLUDED IN THE ORIGINAL BID.
6. THE STORMWATER POLLUTION PREVENTION PLAN AND RELATED NARRATIVE ARE CONSIDERED LIVING DOCUMENTS, AND SHALL REQUIRE PERIODIC UPDATES, MODIFICATIONS, AND/OR ADJUSTMENTS DEPENDING ON SITE CONDITIONS AND CONSTRUCTION PROGRESS TO ASSURE COMPLIANCE WITH THE NPDES GENERAL PERMIT NO. 2. IT SHALL BE THE RESPONSIBILITY OF ALL CONTRACTORS TO UPDATE THE SWPPP AND IMPLEMENT ANY AND ALL MEASURES TO COMPLY WITH SAID PERMIT.
7. THIS PROJECT IS COVERED BY THE IOWA DEPARTMENT OF NATURAL RESOURCES NPDES GENERAL PERMIT NO. 2, WITH ALL TERMS AND CONDITIONS, AND INITIALLY DESIGNED AND PROVIDED BY ABACI CONSULTING, INC.
8. THE CONTRACTOR SHALL COMPLY WITH ALL EROSION CONTROL REQUIREMENTS OF THE IOWA CODE, THE IOWA DEPARTMENT OF NATURAL RESOURCES NPDES PERMIT, THE ENVIRONMENTAL PROTECTION AGENCY, AND LOCAL ORDINANCES.
9. ALL CONTRACTOR(S) SHALL UTILIZE THE APPROVED CIVIL SITE PLANS, PROJECT SWPPP SHEET(S), AND NPDES NOI PERMIT CONDITIONS FOR ADDITIONAL DETAILS, NOTES, AND/OR DIRECTIONS.
10. IF THERE IS A CONSTRUCTION TRAILER, SHED OR OTHER COVERED STRUCTURE LOCATED ON THE PROPERTY THE PERMITTEE SHALL RETAIN A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN REQUIRED BY THIS PERMIT AT THE CONSTRUCTION SITE FROM THE DATE OF PROJECT INITIATION TO THE DATE OF FINAL STABILIZATION. IF THERE IS NO CONSTRUCTION TRAILER, SHED OR OTHER COVERED STRUCTURE LOCATED ON THE PROPERTY, THE PERMITTEE SHALL RETAIN A COPY OF THE PLAN FROM THE DATE OF PROJECT INITIATION TO THE DATE OF FINAL STABILIZATION AT A READILY AVAILABLE ALTERNATIVE SITE APPROVED BY THE DEPARTMENT AND PROVIDE IT FOR INSPECTION UPON REQUEST. IF THE PLAN IS MAINTAINED AT AN OFF-SITE LOCATION SUCH AS A CORPORATE OFFICE, IT SHALL BE PROVIDED FOR INSPECTION NO LATER THAN THREE HOURS AFTER BEING REQUESTED.
11. ALL MUD, SOIL, AND/OR DEBRIS SPILLED ON THE STREETS OR ADJACENT PROPERTY SHALL BE PROMPTLY REMOVED BY THE CONTRACTOR(S) - AT LEAST AT THE END OF EACH WORK DAY; PRIOR TO ANY RAIN EVENT; AND AS DIRECTED. OR, THE OWNER/DEVELOPER SHALL REMOVE THE ITEMS AND DEDUCT THE COST FROM THE AMOUNT DUE TO THE CONTRACTOR(S).
12. THE CONTRACTOR(S) SHALL INSTALL EROSION AND SEDIMENTATION CONTROL INFRASTRUCTURE PRIOR TO INITIATING WORK ON THE SITE.
13. EROSION/SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED AS SHOWN ON THIS EXHIBIT AND ARE FOR INITIAL (START-UP) PURPOSES ONLY. THE CONTRACTOR(S) SHALL MODIFY, CHANGE, AND/OR ADD EROSION/SEDIMENTATION CONTROL MEASURES DURING THE COURSE OF CONSTRUCTION TO ACCOMMODATE FIELD CONDITIONS AND METHODS OF CONSTRUCTION.

13.1. PRESERVE ANY EXISTING VEGETATION UNTIL CONSTRUCTION IS NECESSARY IN THAT AREA.

13.2. MODIFY AND UPDATE THIS EXHIBIT AS REQUIRED DURING THE COURSE OF CONSTRUCTION TO REFLECT FIELD MODIFICATIONS, INCLUDING 'REVISION' BOX; AND TO MEET LOCAL, STATE, AND FEDERAL REQUIREMENTS.
14. IT IS THE RESPONSIBILITY OF ALL CONTRACTORS TO TAKE ALL THE NECESSARY MEASURES TO ELIMINATE EROSION FROM AND TO THE PROJECT SITE, ADJACENT PROPERTIES, AND/OR ANY BORROW OR FILL AREAS INCLUDING, BUT NOT LIMIT TO, THE CONTROLS SHOWN ON THIS PLAN. THIS INCLUDES SOIL EXCAVATIONS FOR FOUNDATIONS ON EACH RESPECTIVE BUILDING AND/OR RESIDENTIAL LOT. ALL CONTRACTOR(S) SHALL MAINTAIN PROPER EROSION CONTROL THROUGHOUT THE ENTIRE PROJECT.
15. ALL CONTRACTORS SHALL UTILIZE PROJECT SWPPP AND NPDES NOI PERMIT CONDITIONS FOR ADDITIONAL DETAILS AND DIRECTIONS. EROSION/SEDIMENTATION CONTROL MEASURES MAY BE REMOVED AS ALLOWED BY PERMIT CONDITIONS AND AT THE TERMINATION OF THE NPDES STORMWATER PERMIT AT THE COMPLETION OF THE PROJECT.
16. ALL CONTRACTORS SHALL BE REQUIRED TO MAINTAIN ALL EROSION CONTROL MEASURES (TEMPORARY AND PERMANENT) AND KEEP THEM IN WORKING ORDER.
17. CITY STANDARD SPECIFICATIONS SHALL APPLY TO GRADING, EROSION CONTROL, AND ALL ASSOCIATED WORK FOR THE PROJECT. THE CONTRACTOR(S) SHALL ESPECIALLY OBSERVE THE REQUIREMENTS OF THE SPECIFICATIONS (ALONG WITH THE EROSION CONTROL PLAN PREPARED FOR THE PROJECT) IN CONDUCTING GRADING AND SURFACE RESTORATION WORK.

17.1. THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) IS THE RESPONSIBILITY OF THE OWNER/DEVELOPER AND THE SWPPP MANAGER WHOM SHALL MAKE ALL CONTRACTORS AND CONSTRUCTION WORKERS AWARE OF THE MAJOR PROVISIONS OF SAID PLAN.

17.2. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE

- 17.3. STABILIZATION OF DISTURBED AREAS MUST, AT A MINIMUM, BE INITIATED IMMEDIATELY WHENEVER ANY CLEARING, GRADING, EXCAVATING OR OTHER EARTH DISTURBING ACTIVITIES HAVE PERMANENTLY CEASED ON ANY PORTION OF THE SITE OR TEMPORARILY CEASED ON ANY PORTION OF THE SITE AND WILL NOT RESUME FOR A PERIOD EXCEEDING 14 CALENDAR DAYS. IN DROUGHT-STRICKEN AREAS AND AREAS THAT HAVE RECENTLY RECEIVED SUCH HIGH AMOUNTS OF RAIN THAT SEEDING WITH FIELD EQUIPMENT IS IMPOSSIBLE AND INITIATING VEGETATIVE STABILIZATION IMMEDIATELY IS INFEASIBLE, ALTERNATIVE STABILIZATION MEASURES MUST BE EMPLOYED AS SPECIFIED BY THE DEPARTMENT. IN LIMITED CIRCUMSTANCES, STABILIZATION MAY NOT BE REQUIRED IF THE INTENDED FUNCTION OF A SPECIFIC AREA OF THE SITE.
- 17.4. INSTALL SILT FENCE/WATTLE PRIOR TO BEGINNING CONSTRUCTION AROUND NOTED STRUCTURES AND ON STEEP SLOPES. ADDITIONAL LINES OF SILT FENCE/WATTLE WILL BE REQUIRED AS PROGRESS, OR AS DIRECTED.
18. REMOVE SILT ACCUMULATED ALONG SILT FENCE/WATTLE WHEN REACHES MAXIMUM OF 50 PERCENT OF EXPOSED HEIGHT, OR AS DIRECTED.
19. CONTRACTOR(S) SHALL CONSTRUCT AND STABILIZE PROPOSED NOTED SEDIMENTATION BASIN, BASIN OUTLET STRUCTURE, AND OUTLET PRIOR TO CONSTRUCTING THE REST OF THE SUBDIVISION INFRASTRUCTURE IMPROVEMENTS. PROPOSED SEDIMENTATION BASIN(S) SHALL BE LOCATED WITHIN THE EXISTING/PROPOSED STORMWATER MANAGEMENT FACILITIES (SMF). SEE ADDITIONAL NOTES AND DETAILS FOR ADDITIONAL INFORMATION.
20. INSTALL TEMPORARY SEDIMENT BASIN OUTLET STRUCTURE SURROUNDED BY SILT FENCE PRIOR TO THE CONSTRUCTION OF SUBDIVISION INFRASTRUCTURE (DEMOLITION, PIPING, MASS GRADING, AND PAVEMENT).
21. PROVIDE POSITIVE DRAINAGE AROUND ALL STOCKPILES AND OTHER IMPROVEMENTS DURING AND AT THE COMPLETION OF OF ALL PHASES OF CONSTRUCTION INCLUDING, BUT NOT LIMITED TO, INFRASTRUCTURE AND BUILDING. DRAIN ANY ONSITE AREAS WITH PONDING WATER TO THE SEDIMENTATION BASIN.
22. PLACE SILT FENCE, FILTER SOCK, AND/OR OTHER APPROVED SEDIMENTATION CONTROL/SILT CONTAINMENT DEVICE AROUND EXISTING STORM INTAKES AND/OR STRUCTURES, AND/OR PROPOSED STORM INTAKES AND/OR STRUCTURES AFTER CONSTRUCTED AND BEFORE PAVING, AS NOTED.
23. PROVIDE/VERIFY BELOW GRADE INLET PROTECTION FOR ALL STORM STRUCTURES WITHIN PUBLIC STREETS OR RIGHT-OF-WAY (ROW) ONCE PAVING IS COMPLETED.
24. ALL AREAS OF THE EXISTING/PROPOSED DITCH BOTTOM AROUND END SECTIONS, AND EXISTING/PROPOSED END SECTIONS DISCHARGING INTO A DITCH, SWALE, AND/OR SMF SHALL BE COVERED WITH RIPRAP, OR OTHER APPROVED AND NOTED PROTECTION/ENERGY DISSIPATION.

24.1. ALL RIPRAP SHALL BE PLACED OVER ENGINEERING FABRIC AS NOTED AND HATCHED IN THE CONSTRUCTION PLANS.

24.2. SEE 'DETAILS' SHEETS FOR ADDITIONAL SCOURSTOP INFORMATION. ALTHOUGH SCOURSTOP IS LABELED AND SHOWN, ALTERNATE EQUIVALENT PRODUCTS (I.E., SHOREMAX, ETC.) MAY BE USED WHEN APPROVED BY THE CITY AND INSTALLED BY A CERTIFIED INSTALLER ON THIS PROJECT. ALL PRODUCTS SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND INSTALLATION INSTRUCTIONS.
25. AT COMPLETION OF SITE GRADING AND ROADWAY PAVING, CLEAN UP SITE AND INSTALL (PERMANENT AND/OR TEMPORARY) STABILIZATION UNTIL PHASE RESIDENTIAL DEVELOPMENT BEGINS.
26. ALL SEEDED/SODDED SURFACES SHALL BE COVERED WITH AT LEAST SIX (6") INCHES TOPSOIL IN PLACE BEFORE PERMANENT (FINAL) SEEDING/SODDING OPERATIONS COMMENCE AND AT FINAL STABILIZATION.
27. ALL AREAS NOT COVERED BY PAVEMENT AND/OR BUILDINGS SHALL BE GRASS. SEEDED/SODDED AREAS SHALL BE PREPARED AS SPECIFIED IN SUDAS.

27.1. ONLY AREAS DESIGNATED ON PLANS AS PRAIRIE GRASS SHALL BE SUDAS NATIVE GRASS AND FORBS/WILDFLOWER MIX (AKA PRAIRIE MIX); AND SHALL BE INSTALLED BY THE DEVELOPER'S CONTRACTOR.

27.2. ONLY AREAS DESIGNATED ON PLANS AS URBAN LAWN MIX SHALL BE SUDAS URBAN LAWN MIX AND/OR SOD; AND SHALL BE INSTALLED BY THE DEVELOPER'S CONTRACTOR WITH THE SPECIFIED TYPE.

27.3. ALL OTHER AREAS SHALL BE DESIGNATED AS AREAS TO RECEIVE LAWN SEED MIX AND/OR SODDED. THESE AREAS SHALL FIRST BE SEEDED AND MULCHED BY THE DEVELOPER'S CONTRACTOR WITH SUDAS TYPE 4 EROSION CONTROL MIX. THE PERMANENT COVER SHALL BE BY THE OWNER/DEVELOPER'S CONTRACTOR WITH WITH SUDAS TYPE 1 AND/OR TYPE 6 (URBAN LAWN) MIX AND/OR SODDED.
28. TREE/BUSH PROTECTION (FENCING) SHALL CONSIST OF MINIMUM 48 INCHES HIGH ORANGE CONSTRUCTION INSTALLED AND SECURED ON METAL T-POSTS AND BEING NO CLOSER THAN THE DRIP LINE, OR AS DIRECTED.
29. 'TEMPORARY' BMPs SHALL BE REMOVED AT THE END OF SITE DEVELOPMENT AND AT FINAL STABILIZATION. ADDITIONAL BMPs SHALL BE INSTALLED BY THE INDIVIDUAL LOT CONTRACTOR(S).
30. AT THE COMPLETION OF THE SUBDIVISION INFRASTRUCTURE, CLEAN BASIN(S), INSTALL PERMANENT STABILIZATION, AND INSTALL NOTED GRANULAR BACKFILL TRENCH IN BOTTOM OF SMF BASIN. SURROUND GRANULAR TRENCH AND OUTLET STRUCTURE WITH SILT FENCE DURING RESIDENTIAL HOME CONSTRUCTION. SMF CONTROL MEASURES IN BASIN SHALL REMAIN IN PLACE UNTIL FULL BUILDOUT OF RESIDENTIAL LOT BUILDINGS IN SUBDIVISION.

31. AT THE COMPLETION OF THE SUBDIVISION INFRASTRUCTURE AND AT FINAL STABILIZATION, THE SWPPP MANAGER SHALL PROVIDE AS-BUILT PLANS AND A CERTIFICATION STATEMENT INDICATING THAT ALL BMP's AND SMF's WERE CONSTRUCTED TO AT LEAST THE DESIGNED.
32. AT THE COMPLETION OF THE SUBDIVISION INFRASTRUCTURE AND AT FINAL STABILIZATION, THE SWPPP MANAGER SHALL PROVIDE AS-BUILT PLANS AND A CERTIFICATION STATEMENT INDICATING THAT THE DETENTION BASIN(S), OR ANY OTHER STORMWATER MANAGEMENT FACILITY, AT LEAST MEETS THE REQUIRED DESIGN VOLUME(S).

32.1. THE SWPPP MANAGER SHALL CONTACT ABACI CONSULTING. INC. TO PERFORM SAID SURVEY PRIOR TO SEEDING/SODDING.

32.2. IF THE DETENTION BASIN(S), OR ANY OTHER STORMWATER MANAGEMENT FACILITY, HAVE BEEN CONSTRUCTED INCORRECTLY, THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR ALL SUBSEQUENT WORK AND AS-BUILT SURVEY(S) UNTIL ALL ISSUES HAVE BEEN CORRECTED.
33. AT THE COMPLETION OF THE SUBDIVISION INFRASTRUCTURE AND AT FINAL STABILIZATION, A NOTICE OF DISCONTINUATION MUST BE FILED BY THE SWPPP MANAGER AND THE OWNER. THE OWNER/DEVELOPER MUST RETAIN ALL DOCUMENTS ASSOCIATED WITH THE PERMIT AND SWPPP FOR THREE (3) YEARS.
34. THE SWPPP MANAGER SHALL PROVIDE ALL DOCUMENTS INCLUDING THE ORIGINALS AND INSPECTION RECORDS TO THE OWNER/DEVELOPER UPON ISSUANCE OF THE NOTICE OF DISCONTINUATION.
35. "FINAL STABILIZATION" SHALL MEAN: THE POINT IN CONSTRUCTION AT WHICH ALL SOIL DISTURBING ACTIVITIES IN AN AREA AND/OR OVER THE PROJECT SITE HAVE BEEN COMPLETED, AND A UNIFORM PERENNIAL VEGETATIVE COVER WITH A DENSITY OF AT LEAST 70 PERCENT OF THE COVER FOR UNPAVED AREAS AND AREAS NOT COVERED BY PERMANENT STRUCTURES HAS BEEN ESTABLISHED OR EQUIVALENT PERMANENT STABILIZATION MEASURES (SUCH AS THE USE OF RIPRAP, GABIONS, OR GEOTEXTILES) HAVE BEEN EMPLOYED.

GRADING GENERAL NOTES:

1. SEE THE 'SWPPP/EROSION CONTROL' NOTES' ON THIS SHEET FOR ADDITIONAL INFORMATION.
2. SEE THE "GRADING PLAN" SHEETS FOR ADDITIONAL GRADING INFORMATION.
3. SEE ALL OTHER NOTE AND PLAN AND/OR PLAN AND PROFILE SHEETS FOR ADDITIONAL UTILITY INFORMATION.
4. CITY STANDARD SPECIFICATIONS SHALL GOVERN IF DISCREPANCIES OCCUR WITH THESE GRADING NOTES.
5. THE CONTRACTOR(S) SHALL CARRY OUT ALL OF THE TERMS AND CONDITIONS OF NPDES GENERAL PERMIT NO. 2; AND THE SWPPP WHICH IS PART OF THESE CONTRACT DOCUMENTS.
6. CITY STANDARD SPECIFICATIONS SHALL APPLY TO GRADING, EROSION CONTROL, AND ALL ASSOCIATED WORK FOR THE PROJECT. THE CONTRACTOR(S) SHALL ESPECIALLY OBSERVE THE REQUIREMENTS OF THE SPECIFICATIONS (ALONG WITH THE EROSION CONTROL PLAN PREPARED FOR THE PROJECT) IN CONDUCTING GRADING AND SURFACE RESTORATION WORK.
7. ALL CONTRACTORS SHALL ADHERE TO ALL RECOMMENDATIONS FROM THE GEOTECHNICAL ENGINEERING REPORT AS NOTED IN THE 'GENERAL NOTES'; AND INCLUDED THE THE STORMWATER CALCULATIONS, AND IN THE SWPPP PACKET.

7.1. ALL GRADING WORK SHALL BE DONE IN ACCORDANCE WITH THIS PROJECT GEOTECHNICAL REPORT.
8. DURING STRIPPING AND GRADING PROCEDURES MINIMIZE THE AREA DISTURBED TO AS NEEDED.
9. REMOVE AN ADEQUATE AMOUNT OF TOPSOIL FROM THE UPPER 12 INCHES OF THE EXISTING ONSITE ORGANIC MATERIAL TO ALLOW FOR A FINISHED GRADE OF A MINIMUM TOPSOIL DEPTH OF SIX (6") INCHES THROUGHOUT.
10. STRIP AND STOCKPILE ALL TOPSOIL FOR REUSE ON SITE. ALL AREAS NOT COVERED BY POND, PAVEMENT, AND/OR BUILDINGS SHALL BE GRASS. SEEDED/SODDED AREAS SHALL BE PREPARED AS SPECIFIED IN SUDAS, AND NO LESS THAN SIX (6") INCHES OF TOPSOIL SHALL BE IN PLACE BEFORE PERMANENT (FINAL STABILIZATION) SEEDING/SODDING OPERATIONS COMMENCE.

10.1. AS DOCUMENTED BY THE SOILS REPORT, IF LESS THAN SIX (6") INCHES OF TOPSOIL IS LOCATED ON SITE, THE CONTRACTOR SHALL RETAIN AND RESPREAD ALL AVAILABLE MATERIAL AT SIX (6") INCHES OF TOPSOIL WITHIN PUBLIC ROW; AND THEN AT AN EQUAL DEPTH AS EACH LOT IS DEVELOPED.

10.2. WRITTEN VERIFICATION SHALL BE SUPPLIED AT LEAST TO THE CITY, THE OWNER/DEVELOPER, AND THE ENGINEER BY THE GRADING CONTRACTOR(S) DOCUMENTING THE LOCATIONS AND MINIMUM DEPTHS OF TOPSOIL RESPREAD PER THE NPDES GENERAL PERMIT.
11. STOCKPILE SEPARATELY ALL STRIPPED TOPSOIL AND ALL EXCESS CUT IN THE AREA(S) SHOWN ON THIS PLAN, OR IN A SUITABLE LOCATION(S).
12. PROOF ROLL THE EXPOSED SUBGRADE AND REPLACE WITH COMPACTED FILL TO MINIMUM DEPTH OF TWO (2) FEET TO BOTTOM OF PAVEMENT, CONCRETE DRIVES, CURBS, WALKS, AND BUILDING FLOOR ELEVATIONS.
13. ANY SOFT SPOTS DISCOVERED DURING PROOF ROLLING SHALL BE UNDERCUT AND RECOMPACTED TO MINIMUM DEPTH OF TWO (2) FEET.
14. NATIVE OR EXISTING ONSITE SOILS MAY BE REUSED FOR COMMON FILL AFTER THEY ARE SORTED TO REMOVE ALL DELETERIOUS MATERIALS SUCH AS CONCRETE, BRICKS, ORGANICS, AND OTHER RUBBLE. DELETERIOUS MATERIALS SHALL BE REMOVED FROM THE PROJECT SITE. ALL EXCESS MATERIALS SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR(S). SEE 'DEMOLITION NOTES' FOR DETAILS ON REMOVAL AND LEGAL DISPOSAL OF MATERIALS.
15. ANY COHESIONLESS SOILS ENCOUNTERED SHALL BE COMPACTED TO 98 PERCENT OF STANDARD PROCTOR BENEATH PAVEMENTS AND CRITICAL

- BACKFILL AREAS.
16. ALL PAVEMENTS SHALL HAVE A MINIMUM OF 12 INCHES OF MOISTURE-CONTROLLED, SELECT, AND COMPACTED MATERIAL OF CL OR ML ON THE UNIFIED SOIL CLASSIFICATION SYSTEM DIRECTLY BELOW THE BOTTOM OF SLAB, AND IN AT LEAST TWO (2) SIX (6") INCH LIFTS COMPACTED TO AT LEAST 95 PERCENT OF STANDARD PROCTOR (ASTM D-698) MAXIMUM DRY DENSITY; OR OTHER ACCEPTED MATERIAL BY THE ENGINEER. PROOF ROLL PRIOR TO PLACEMENT.
17. FILL SHALL BE PLACED IN UNIFORM LIFTS HAVING A MAXIMUM LOOSE THICKNESS OF NINE (9") INCHES. COMPACTION BELOW SLABS AND PAVING AND WALKS SHALL BE AT LEAST 95 PERCENT OF STANDARD PROCTOR (ASTM D-698) MAXIMUM DRY DENSITY. COMPACT TO AT LEAST 90 PERCENT AT ALL OTHER LOCATIONS. MAINTAIN MOISTURE CONTENT RANGE OF CONTROLLED FILL DURING ALL PLACEMENT AND COMPACTION.
18. MAINTAIN MOISTURE CONTENT OF PAVEMENT SUBGRADE SOILS CONSISTING OF CLAYS/SILTS BETWEEN ZERO (0) AND FOUR (4) PERCENTAGE POINTS ABOVE OPTIMUM UNTIL THE ROADWAY/BUILDING PAVEMENT IS PLACED AND/OR PLACEMENT OF TOPSOIL.
19. THE ENTIRE SITE SHALL BE FINE GRADED WITH ELEVATION TOLERANCE OF ONE-TENTH (0.10) FOOT; OR FIVE-HUNDREDTHS (0.05) FEET UNDER PAVED AREAS.
20. NO PAYMENT FOR OVERHAUL SHALL BE ALLOWED.
21. OBSERVATION AND TESTING OF FILL AND OVER-EXCAVATION OPERATIONS SHALL BE BY THE SOILS ENGINEER HIRED BY THE OWNER.
22. EXISTING ONSITE FILL SHALL BE FREE OF CONCRETE, GRAVEL, BRICK, CINDERS, GLASS, ORGANICS, AND OTHER LOW DENSITY/DEGRADABLE OR FROZEN MATERIAL.
23. ANY TOP OF WALL (T/WALL) AND BOTTOM OF WALL (B/WALL) LABELS ONLY REFERENCE EXPOSED FACE. RETAINING WALL SHALL BE DESIGNED BY A IOWA LICENSED PROFESSIONAL STRUCTURAL ENGINEER WHEN WALL HEIGHTS EXCEED 48 INCHES.
24. ANY RETAINING WALL DETAILS AND/OR ELEVATIONS HAVE BEEN INCLUDED OR SHOWN FOR REFERENCE INFORMATION ONLY. CONSULT WITH THE MANUFACTURER; AND/OR WITH A STRUCTURAL ENGINEER FOR FINAL DESIGN WHEN WALL HEIGHTS EXCEED 48 INCHES. THE CONTRACTOR(S) SHALL PROVIDE A COPY OF THE PLANS AND/OR CALCULATIONS FROM THE MANUFACTURER AND/OR THE STRUCTURAL ENGINEER TO THE CITY AND TO ABACI CONSULTING, INC.
25. ALL SPOT ELEVATIONS ARE TO THE TOP OF THE FINISHED SURFACE, UNLESS OTHERWISE SPECIFIED.

25.1. SPOT ELEVATIONS SHOWN IN THE PAVED AREAS ARE AT THE BOTTOM OF THE CURB. ADD SIX (6") INCHES TO COMPUTE THE TOP OF CURB ELEVATIONS.

25.2. SPOT ELEVATIONS ARE TO TOP OF PAVEMENT OR TOP OF GROUND (INCLUDING SOD) UNLESS OTHERWISE NOTED.

25.3. SPOT ELEVATIONS GOVERN OVER CONTOURS.
26. CURB BACKFILL SHALL BE COMPACTED AND SLOPED TO PROVIDE ADEQUATE AND POSITIVE DRAINAGE TO AT LEAST PREVENT STORMWATER RUNOFF FROM PONDING AND INFILTRATING BENEATH THE PAVEMENT.
27. PROVIDE AND/OR MAINTAIN POSITIVE DRAINAGE FOR ALL LOCATIONS. DRAIN ANY ONSITE AREAS WITH PONDING WATER TO THE SEDIMENTATION BASIN.
28. OVERLAND STORM FLOWAGE SHALL BE ROUTED ALONG THE LOT LINES TO THE ROADWAY PAVEMENT, TO THE SMF(S), AND/OR TO THE OVERLAND FLOWAGE EASEMENT(S).
29. ADJUST TRAIL, SIDEWALK, AND SHARED USE PATH ELEVATIONS TO PROVIDE LABELED STORMWATER BASIN EMERGENCY OVERFLOW ROUTE AND WEIR ELEVATIONS.
30. PERMANENT SMF'S SHALL BE USED AS TEMPORARY SILTATION BASINS. SEE SWPPP AND DETAIL SHEETS FOR MORE INFORMATION.
31. TYPICALLY, RESIDENTIAL LOTS SHALL BE GRADED WITH THE RESPECTIVE HOUSE CONSTRUCTION TO DRAIN INTO THE SURROUNDING SWALE(S) AND/OR DETENTION BASIN(S).
32. AN OVER-EXCAVATION AREA IN THE BOTTOM OF THE DETENTION BASIN(S) FOR 'TEMPORARY' SEDIMENT STORAGE UNTIL FINAL STABILIZATION IS NOT SHOWN ON THESE "GRADING PLAN" SHEETS - SEE THE "DETAIL" SHEETS FOR ADDITIONAL INFORMATION. THE CONTRACTOR(S) SHALL CLEAN THE OVER-EXCAVATION AREA AS SEDIMENT BUILDS-UP DURING CONSTRUCTION ACTIVITIES; AND THEN SHALL GRADE PRIOR TO FINAL STABILIZATION TO THE SHOWN "GRADING PLAN" ELEVATIONS IF EXCESS SEDIMENT. THIS CLEANING AND FINAL GRADING SHALL BE INCIDENTAL TO CONSTRUCTION.
33. PROVIDE A CERTIFIED GRADING PLAN TO THE CITY PRIOR TO PLAT/PHASE OR OVERALL FINAL ACCEPTANCE.
34. INSTALL AND MAINTAIN TREE/BUSH PROTECTION (FENCING) ALONG THE EASTERLY PROPERTY LINE TO PREVENT CROSSING INTO ADJACENT PROPERTIES - AS SHOWN ON THE SWPPP SHEETS. ANY TEMPORARY EASEMENTS WILL NEED TO BE OBTAINED BY THE CONTRACTOR AND/OR OWNER/DEVELOPER IF ANY OFF-SITE WORK IS REQUIRED.
35. "TOPSOIL" SHALL MEAN: FERTILE, FRIABLE LOAM, AND CAPABLE OF SUSTAINING VIGOROUS PLANT GROWTH; FROM A WELL-DRAINED SITE FREE FROM FLOODING, NOT IN FROZEN OR MUDDY CONDITIONS; REASONABLE FREE FROM SUBSOIL, CLAY LUMPS, ROOTS, GRASS, WEEDS, STONES, AND OTHER FOREIGN MATTER GREATER THAN THREE-QUARTERS (3/4") INCH DIAMETER; ACIDITY RANGE (pH) OF 5.5 TO 7.5; AND CONTAINING A MINIMUM OF FOUR (4) PERCENT AND A MAXIMUM OF 20 PERCENT OF ORGANIC MATTER. THE CONTRACTOR(S) SHALL MODIFY AND ADJUST AS NECESSARY, WHICH SHALL BE INCIDENTAL.

SITE DEMOLITION:

EXTENT OF WORK

THE EXTENT OF WORK INCLUDES, BUT NOT LIMITED TO: THE REMOVAL OF EXISTING PAVEMENTS, LANDSCAPING, RETAINING WALLS, LIGHTING, AND APPURTENANCES. THIS SECTION ALSO COVERS THE REMOVAL, SALVAGE, AND STORAGE OF EXISTING ITEMS ON SITE.

GENERAL

- THE CONTRACTOR(S) SHALL FIELD VERIFY STATUS AND CONDITION OF ALL REMOVALS PRIOR TO BIDDING AND/OR BEGINNING CONSTRUCTION. DOCUMENT STATUS AND CONDITIONS PRIOR TO BEGINNING CONSTRUCTION AS NECESSARY.
- THE CONTRACTOR(S) SHALL VERIFY THE NEED FOR A DEMOLITION PERMIT WITH THE CITY AND/OR OTHER RELATED PERMITTING, AND AS NECESSARY OBTAIN THE PERMIT(S). THE CONTRACTOR(S) SHALL HAVE A PAPER COPY OF EACH ONSITE BEFORE COMMENCING DEMOLITION.
- THE CONTRACTOR(S) WILL BE RESPONSIBLE FOR CLEARING AND GRUBBING THE SITE; AND THE REMOVAL AND DISPOSAL OF ANY DELETERIOUS AND EXCESS MATERIALS LEGALLY FROM THE SITE. ALL MATERIAL THAT IS REMOVED, NOTED OR OTHERWISE, SHALL BECOME THE PROPERTY OF THE CONTRACTOR(S).
- PROVIDE TEMPORARY BARRICADES AND OTHER FORMS OF PROTECTION AS REQUIRED TO PROTECT PERSONNEL AND PUBLIC FROM INJURY DUE TO DEMOLITION WORK, AND PRECLUDE ACCESS TO THE AREAS OF CONSTRUCTION. PROVIDE TEMPORARY BARRICADES AND OTHER FORMS OF PROTECTION FOR TREES AND OTHER LANDSCAPING TO BE SAVED FROM REMOVAL AND DEMOLITION.
- REMOVE ALL VEGETATION, IMPROVEMENTS, OR OBSTRUCTIONS WITHIN THE LIMITS OF THE CONSTRUCTION AS NOTED ON THE PLAN. NOTE THAT ADJACENT PROPERTIES DISTURBED BY THIS ACTION SHALL BE REPAIRED UPON DAMAGE AND BARRICADED TO PREVENT FUTURE OCCURRENCES.
- COMPLY WITH THE ENVIRONMENTAL PROTECTION AND SAFETY REQUIREMENTS OF THE OWNER/DEVELOPER AND ALL GOVERNMENTAL AUTHORITIES HAVING JURISDICTION. KEEP DUST TO A MINIMUM. MAINTAIN STREETS AND WALKS FREE OF MUD, DIRT, AND DEBRIS.
- THE CONTRACTOR SHALL SUPPLY HIS/HER OWN PORTABLE TOILETS.

REMOVAL OF ABOVE-GRADE IMPROVEMENTS

- REMOVE ALL IMPROVEMENTS SHOWN ON THE DRAWINGS. ALL EXISTING BUILDINGS, FENCES, AND RELATED FEATURES WITHIN THE LIMITS OF THE BOUNDARY FOR THE DEVELOPMENT SHALL BE REMOVED AS PART OF THE (PHASED) PLAT IMPROVEMENTS.
- REMOVE ALL PAVEMENT AND BASE COURSE MATERIALS TO PROVIDE CLEAN AREA(S) FOR PROPOSED CONSTRUCTION. TRANSPORT MATERIALS LEGALLY FROM SITE AS THEY ARE REMOVED.
- FULL-DEPTH SAWCUT EXISTING PAVEMENTS TO NEAREST JOINT LINE(S) PRIOR TO REMOVAL OF PAVEMENT, DRIVEWAYS, AND SIDEWALKS TO PROVIDE CLEAN, STRAIGHT EDGES FOR PROPOSED CONSTRUCTION. DO NOT TRY TO JACK HAMMER OR ATTEMPT TO BREAK OFF EXISTING PAVEMENT, DRIVEWAYS, AND SIDEWALKS TO PROVIDE CLEAN EDGES.
- SAWCUTTING SLURRY SHALL BE CONTAINED TO AVOID DISCHARGE INTO THE STORM SEWER SYSTEM AND/OR WATERWAYS.
- REMOVALS OF SIGNS, BIKE RACKS, AND OTHER SMALL ITEMS SHALL BE INCIDENTAL TO PAVEMENT REMOVAL.
- AT THE COMPLETION OF THIS WORK, THE CONTRACTOR SHALL REPLACE ANY ROCK REMOVED FROM EXISTING ROADWAY(S) AND/OR DRIVE(S) DURING CONSTRUCTION. AT LEAST MATCH THE EXISTING MATERIAL, THICKNESS, AND HORIZONTAL EXTENTS OF THE EXISTING SURFACE. THE CONTRACTOR(S) MAY REMOVE AND STOCKPILE EXISTING ROCK AND RE-SPREAD AT THE END OF CONSTRUCTION.
- THE CONTRACTOR(S) SHOULD ALSO IDENTIFY NOTIFICATION AND COORDINATION OF ANY FENCE REMOVALS WITH THE CITY AND AFFECTED LANDOWNERS.
- THE CONTRACTOR(S) SHALL IDENTIFY AND COORDINATE REMOVAL AND/OR TRIMMING OF TREES ALONG THE PROJECT BOUNDARY WITH CITY STAFF.

REMOVAL OF BELOW-GRADE IMPROVEMENTS

- REMOVE ALL SUBSTRUCTURES INCLUDING BUT NOT LIMITED TO FOOTINGS AND FOUNDATION WALLS, POLE BASES, AS WELL AS LOOSE, SOFT, OR OTHERWISE UNSUITABLE BACKFILL MATERIALS ADJACENT TO THESE STRUCTURES. ALL BACKFILL SHALL BE COMPACTED TO AT LEAST 95 PERCENT STANDARD PROCTOR.
- OBSERVATION AND TESTING OF FILL OPERATION SHALL BE BY THE SOILS ENGINEER HIRED BY THE OWNER/DEVELOPER.
- REMOVE ANY CONDUITS, CABLES, PIPE, OR OTHER MATERIALS ASSOCIATED WITH THE UNDERGROUND STRUCTURES, UNLESS DIRECTED OTHERWISE BY THE OWNER/DEVELOPER'S REPRESENTATIVE.

DISPOSAL OF WASTE MATERIALS

- REMOVAL FROM PROPERTY: REMOVE ALL WASTE MATERIALS AND UNSUITABLE SOIL FROM THE OWNER/DEVELOPER'S PROPERTY AND LEGALLY DISPOSE OF IT. DISPOSAL METHODS AND LOCATIONS ARE AT THE CONTRACTOR'S OPTION, BUT IN NO CASE SHALL THE CONTRACTOR(S) ENGAGE IN ILLEGAL DUMPING, DISPOSING ON THE OWNER/DEVELOPER'S PROPERTY, OR OTHER ACTS IN CONFLICT WITH LOCAL AND STATE ORDINANCES AND LAWS. ALL COSTS ASSOCIATED WITH TRANSPORTING AND DISPOSAL OF MATERIALS SHALL BE BORN BY THE CONTRACTOR(S).
- ALL MATERIALS SHALL BE LEGALLY DISPOSED OF AT A CONTRACTOR'S SUPPLIED DISPOSAL SITE THAT IS APPROVED TO ACCEPT REMOVED MATERIALS.

- THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR ALL FEES, CHARGES, TESTING, AND TRANSPORTATION ASSOCIATED WITH THE REMOVED MATERIALS. ALL LOADS SHALL BE COVERED.
- DISPOSAL OF ALL WOOD MATERIAL GENERATED AS A RESULT OF CLEARING AND GRUBBING, REMOVALS, TRIMMING, AND/OR OTHER RELATED ACTIVITIES SHALL BE ACCORDING TO IOWA DEPARTMENT OF AGRICULTURE AND LAND STEWARDSHIP'S EMERALD ASH BORER (EAB) QUARANTINE ORDER; AND LEGALLY DISPOSED OF OFF-SITE. FOR MORE INFORMATION REFER TO WWW.IOWATREEPESTS.COM/EAB_REGULATIONS.HTML.
- BURNING ON PROPERTY: BURNING OF COMBUSTIBLE CLEARED AND GRUBBED MATERIALS IS NOT PERMITTED ON THE OWNER/DEVELOPER'S PROPERTY. ALL PLANT MATERIAL DENOTED FOR DEMOLITION SHALL BE REMOVED FROM SITE.

EXISTING UTILITIES

- THE LOCATION OF ALL UTILITIES INDICATED ON THE PLANS ARE TAKEN FROM EXISTING PUBLIC RECORDS AND SURVEYS. THE EXACT LOCATION AND ELEVATION OF ALL PUBLIC UTILITIES MUST BE DETERMINED BY THE CONTRACTOR(S). IT SHALL BE THE DUTY OF THE CONTRACTOR(S) TO ASCERTAIN WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT; AND TO NOTIFY THE OWNER(S) OF THE UTILITIES. THE CONTRACTOR(S) SHALL AFFORD ACCESS TO THESE FACILITIES BY THE OWNERS OF THE UTILITIES FOR ANY NECESSARY MODIFICATION OF SERVICES.
- THE CONTRACTOR(S) SHALL LOCATE EXISTING UNDERGROUND UTILITIES IN THE AREAS OF WORK BEFORE STARTING DEMOLITION OPERATIONS. IF UTILITIES ARE TO REMAIN IN PLACE, PROVIDE ADEQUATE MEANS OF PROTECTION DURING DEMOLITION OPERATIONS.
- SHOULD UNCHARTED OR INCORRECTLY CHARTED PIPING OR OTHER UTILITIES BE ENCOUNTERED DURING EXCAVATION, CONSULT THE OWNER/DEVELOPER'S REPRESENTATIVE IMMEDIATELY FOR DIRECTIONS AS TO PROCEDURE. COOPERATE WITH THE OWNER/DEVELOPER AND PUBLIC AND PRIVATE UTILITY COMPANIES IN KEEPING THEIR RESPECTIVE SERVICES AND FACILITIES IN OPERATION.
- THE CONTRACTOR(S) SHALL COORDINATE THE WORK WITH ALL UTILITY OWNERS INCLUDING, BUT NOT LIMITED TO: ELECTRICITY, GAS, INTERNET, SEWER, TELEPHONE, TELEVISION, AND WATER. THE CONTRACTOR(S) SHALL REMOVE ANY ABANDONED MAINS, POLES, PEDESTALS, SERVICES, AND/OR OTHER STRUCTURES PER THE RESPECTIVE UTILITY OWNER'S REQUIREMENTS.
- ANY AND ALL EXISTING UTILITY SERVICES SHOWN AND/OR ENCOUNTERED SHALL BE CAPPED AT THE MAIN; AND AS NECESSARY, REMOVE AND REPLACE ANY PAVEMENT AND/OR SIDEWALK/TRAIL.

TEMPORARY PROTECTION

- BARRICADE OPEN EXCAVATIONS MADE AS A PART OF EARTHWORK OPERATIONS AND POST WITH WARNING LIGHTS. OPERATE WARNING LIGHTS DURING HOURS FROM DUSK TO DAWN EACH DAY AND AS OTHERWISE REQUIRED AND MAY BE REQUIRED BY LOCAL CODES.
- PROTECT STRUCTURES, UTILITIES, SIDEWALKS, PAVEMENTS, AND OTHER FACILITIES ON AND OFF THE SITE FROM DAMAGES CAUSED BY SETTLEMENT, LATERAL MOVEMENT, UNDERMINING, WASHOUT, AND OTHER HAZARDS CREATED BY EARTHWORK OPERATIONS.
- UNLESS OTHERWISE NOTED, THE CONTRACTOR(S) SHALL PROTECT AND MAINTAIN ALL STREET SIGNS, ROADWAY SIGNS, AND/OR OTHER SIGNAGE NOT SPECIFICALLY NOTED FOR RELOCATION AND/OR REMOVAL.
- UNLESS OTHERWISE NOTED, THE CONTRACTOR(S) SHALL PROTECT AND MAINTAIN ALL UTILITY STRUCTURES, LINES, MAINS, AND/OR SERVICES NOT SPECIFICALLY NOTED FOR RELOCATION, REPLACEMENT, REMOVAL, AND/OR ABANDONMENT.

PCC PAVING NOTES:

- ALL WORK TO COMPLY WITH CURRENT ACI STANDARDS.
- FULL DEPTH SAW CUT (TO SQUARE ENDS AND/OR TO REMOVE DAMAGED ENDS) AND TIE INTO EXISTING PAVEMENT, AS REQUIRED.
- SAWCUTTING SLURRY SHALL BE CONTAINED TO AVOID DISCHARGE INTO THE STORM SEWER SYSTEM AND/OR WATERWAYS.
- ALL PAVEMENT REPLACEMENT AND PATCHING SHALL COMPLY WITH CITY STANDARD SPECIFICATIONS; AND MATCH EXISTING PAVEMENT AND SUBGRADE/SUBBASE.
- ALL MUD, SOIL, AND/OR DEBRIS SPILLED ON THE CITY STREETS OR ADJACENT PROPERTY SHALL BE PROMPTLY REMOVED BY THE CONTRACTOR. NOTIFY CITY OF PROPOSED HAUL ROUTES.
- THE CONTRACTOR(S) SHALL SUBMIT DESIGN MIX AS DESIGNED BY INDEPENDENT TESTING LABORATORY PRIOR TO PLACING ANY CONCRETE.
- ALL SUBGRADE UNDER SLAB TO BE COMPACTED TO AT LEAST 95 PERCENT STANDARD PROCTOR DENSITY FOR A MINIMUM OF 12 INCHES - INSTALLED IN AT LEAST TWO (2) SIX (6") INCH COMPACTED LIFTS. RECOMMENDED MOISTURE CONTENT RANGE ZERO (0%) PERCENT TO FOUR (+4%) PERCENT ABOVE OPTIMUM.
- KEEP HEAVY CONSTRUCTION VEHICLE LOADS OFF OF THE PREPARED PAVEMENT SUBGRADE TO PREVENT DAMAGE AND/OR RUTTING. WHERE THIS IS NOT POSSIBLE, ADDITIONAL STABILIZATION MEASURES MAY BE REQUIRED TO SUPPORT THE PAVING OPERATIONS, e.g. COMPACTED SUBGRADES, CHEMICAL STABILIZATION, CRUSHED ROCK BASES, AND/OR GEOSYNTHETICS. THESE MAY BE REQUIRED IF PAVING DELIVERY VEHICLES CANNOT STAY OFF THE PREPARED SUBGRADE OR PUMPING THE CONCRETE IS NOT VIABLE.
- MOISTEN SUBGRADE PRIOR TO PLACING CONCRETE.
- ALL CONCRETE SHALL HAVE MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 4,000 PSI.
- AGGREGATE SHALL BE CLASS 4.
- CONCRETE SURFACES SHALL BE BURLAP FINISH. CHECK SURFACE WITH TEMPLATE. NO DEVIATION OVER 1/8" IN TEN (10') FEET IS PERMITTED. ALL CONCRETE SHALL SLOPE TO DRAIN.
- ALL CONCRETE SHALL BE CURED WITH AN ASTM C309 TYPE 2, WATER BASED WHITE PIGMENTED CURING COMPOUND PER IDOT SEC. 4105.
- THE CONTRACTOR SHALL BARRICADE SLAB(S) FOR AT LEAST 14 DAYS AFTER PLACING CONCRETE.
- SAW CUT JOINTS AS SOON AS CONCRETE HAS SET ENOUGH TO PREVENT RAVELING AND PRIOR TO ANY CRACKING.
- SAW CUTS TO BE 1/8" TO 1/4" WIDE; AND DEPTH: LONGITUDINAL T/3, TRANSVERSE T/4.
- LONGITUDINAL JOINT SPACING SHALL NOT BE GREATER THAN 12 FEET. JOINT LAYOUT SHALL BE PER SUDAS, OR AS APPROVED BY THE ENGINEER AND CITY. ADDITIONALLY, TRANSVERSE SPACING SHALL NOT BE GREATER THAN 15 FEET.
- BARS AT LONGITUDINAL JOINTS WILL BE MINIMUM OF 5/8" (#5) X 30" DEFORMED AT 30 INCHES O.C.
- ALL REINFORCING STEEL RODS, DOWELS OR TIE BARS USED IN THE PCC PAVING SHALL BE EPOXY COATED, UNLESS NOTED OTHERWISE.
- ALL LOAD TRANSFER DEVICES AND TIE BARS SHALL BE POSITIONED ON CHAIRS AND SECURED AGAINST MOVEMENT WITH METAL STAKES DURING PLACING AND FINISHING OF CONCRETE.
- ALL JOINTS SHALL BE FILLED WITH W-R MEADOWS D-164 HOT POUR RUBBER BASE JOINT SEALER OR APPROVED EQUAL.
- BACKER ROD IS OPTIONAL OUTSIDE OF RIGHT-OF-WAY; CANNOT BE USED WITHIN LIMITS OF RIGHT-OF-WAY.
- SPECIAL CARE SHALL BE TAKEN WHEN FORMING AT INTERSECTIONS AND SIDEWALK RAMPS SO THE PROFILES SHOWN THE PLANS AND THE ELEVATIONS SHOWN ON THE INTERSECTION AND SIDEWALK DETAILS ARE OBTAINED. SHORT LENGTHS OF FORMS OR FLEXIBLE FORMS MAY BE NECESSARY AT THESE LOCATIONS.
- TO OBTAIN THE CORRECT FORM GRADES AT LOW POINTS WHERE INTAKES ARE LOCATED, THE CONTRACTOR(S) MUST EXERCISE ADDITIONAL CARE WHEN PAVING FULL WIDTH PAVEMENTS. THIS MAY REQUIRE POURING PORTIONS OF THE PAVEMENT AT SEPARATE TIMES ALONG JOINT LINES, OR OTHER METHODS APPROVED BY THE ENGINEER.
- THE CONTRACTOR(S) SHALL LOCATE AND/OR DETERMINE ALL STRUCTURE, ENTRANCE, INTERSECTION, AND CUL-DE-SAC BOXOUTS AS NEEDED FOR HIS/HER OPERATIONS.
- ALL SLOPES IN PAVEMENT SHALL BE UNIFORM TO AVOID PONDING.
- ALL SHOWN DIMENSIONS, RADII, ETC. ARE AT BACK OF CURB.
- TYPICAL PAVEMENT (INTERSECTION AND COMMERCIAL ENTRANCE) RETURN RADIUS IS 25-FOOT AT THE BACK OF CURB.
- AT OPEN ENDS OF CURB AND GUTTER, TAPER THE CURB AND GUTTER FROM FULL HEIGHT TO ZERO HEIGHT IN THE LAST FIVE (5) FEET.
- ALL ROADWAY PAVEMENT IN SHALL BE 26 FEET BOC-BOC WITH INTEGRAL AND STANDARD CURB AND GUTTER, UNLESS OTHERWISE NOTED.
- PAVING THICKNESS SHALL BE PER THE TYPICAL SECTIONS, OR AS NOTED.
 - ALL ROADWAYS SHALL INCLUDE 12 INCHES OF SUBGRADE PREPARATION - INSTALLED IN AT LEAST TWO (2) SIX (6") INCH COMPACTED LIFTS, AS NOTED HEREIN.
 - OPTIONAL - A MINIMUM SIX (6") INCH COMPACTED LIFT OF GRANULAR MATERIAL FOR SUBBASE MAY BE SUBSTITUTED FOR 12 INCHES OF SUBGRADE PREPARATION.
 - ANY AND ALL PATCHES SHALL MATCH THE EXISTING PAVEMENT SECTION.
 - ALL STREET PAVEMENTS SHALL BE SEVEN (7") INCHES NON-REINFORCED PCC PAVEMENT, UNLESS OTHERWISE NOTED.
 - INSTALL TYPE 'L' JOINTS ALONG CURBING AND AT SHOWN LOCATIONS.
 - INSTALL TYPE 'BT', 'KT', OR 'L' JOINTS ALONG CENTERLINE AND AT SHOWN LOCATIONS DEPENDING ON PAVEMENT THICKNESS AND CONSTRUCTION STAGING.
 - SIDEWALKS SHALL BE FOUR (4") INCHES PCC AND FIVE (5) FEET WIDE,

- UNLESS OTHERWISE NOTED; AND WHERE NOT THROUGH ENTRANCE/DRIVE.
- ANY TRAILS SHALL BE PAVED WITH SIX (6") INCHES PCC AND SHALL BE EIGHT (8) FEET WIDE, UNLESS OTHERWISE NOTED.
- OTHERWISE, MINIMUM DEPTHS:
 - ANY AND ALL SIDEWALKS AND/OR TRAILS SHALL AT LEAST MATCH THE DEPTH OF AN ENTRANCE/DRIVE WHEN SHOWN IN A ENTRANCE/DRIVE.
 - ENTRANCES/DRIVES AT SEVEN (7") INCHES NON-REINFORCED PCC PAVEMENT (INCLUDING SIDEWALK IN ENTRANCE/DRIVE).
 - PARKING AREAS AT FIVE (5") INCHES NON-REINFORCED PCC PAVEMENT.
 - DRIVE AISLES AT SIX (6") INCHES NON-REINFORCED PCC PAVEMENT.
 - PLACE A ONE-HALF (1/2") INCH EXPANSION JOINT BETWEEN ALL SIDEWALKS AND P.C.C. PAVEMENT; AND SEAL THE JOINT.
 - PLACE A THREE-QUARTER (3/4") INCH EXPANSION JOINT BETWEEN ALL P.C.C. PAVEMENT/SIDEWALK AND THE BUILDING FACE/EXTERIOR; AND SEAL THE JOINT.
 - THE CONTRACTOR SHALL PAINT PARKING STALLS AND PROVIDE AND INSTALL H.C. PARKING SIGNS, RAMPS, AND DETECTIBLE WARNING SURFACES, AS NOTED OR SHOWN.

HANDICAPPED STALLS, RAMPS, AND SIDEWALK NOTES:

- ALL INTERSECTION SIDEWALK AND/OR TRAIL RAMPS AND RELATED TURNING SPACE/CONNECTIONS SHALL BE MINIMALLY INSTALLED AS PART OF THE PLAT/ROADWAY IMPROVEMENTS; AND AT THE LOCATIONS AND/OR TO LIMITS AS NOTED.
- ANY SIDEWALKS AND/OR TRAIL FRONTING OPEN AND/OR PUBLIC SPACES WHICH WILL NOT BE DEVELOPED INTO BUILDABLE LOTS IN THE FUTURE WILL HAVE SIDEWALK AND/OR TRAIL INSTALLED BY THE OWNER/DEVELOPER WITH THE PUBLIC IMPROVEMENTS. SEE 'PCC PAVING NOTES' FOR DEPTHS.
- OVERALL GENERAL SIDEWALK AND/OR TRAIL CONSTRUCTION WILL BE THE RESPONSIBILITY OF THE RESPECTIVE AND INDIVIDUAL LOT OWNERS. SEE 'PCC PAVING NOTES' ON THIS SHEET FOR DEPTHS.
- ANY TRAIL/PATH INSTALLATION IS REQUIRED THROUGH THE ADJOINING OPEN SPACE AS IDENTIFIED BY THE PLANS, AND SIDEWALK AND/OR TRAIL SHALL BE INSTALLED ADJACENT TO ANY OUTLOTS.
- ALL PROPOSED PEDESTRIAN CROSSINGS AND NOTED TRANSITIONS SHALL BE INSTALLED AS PART OF THE PLAT IMPROVEMENTS.
- REFER TO THE "INTERSECTION INFORMATION" AND/OR "CUL-DE-SAC INFORMATION" SHEETS AND TO THE "SIDEWALK COMPLIANCE AND GEOMETRICS" SHEETS FOR EXTENTS OF SIDEWALK AND/OR TRAIL TO BE CONSTRUCTED AS PART OF THIS PROJECT.
- SIDEWALK CURB RAMPS SHALL COMPLY WITH, BUT ARE NOT LIMITED TO, SUDAS FIGURES 7030.204 THROUGH 7030.210.
- THE LONGITUDINAL SLOPE OF ANY PROPOSED TRAIL/SIDEWALK (OUTSIDE OF CURB RAMPS) SHOULD NOT EXCEED FIVE (5%) PERCENT, UNLESS OTHERWISE INDICATED.
- THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR FOLLOWING THE PROPOSED SPOT ELEVATIONS. SPOT ELEVATIONS GOVERN OVER CONTOURS AND NOTED SLOPES.
- ALL PEDESTRIAN FACILITIES - INCLUDING, BUT NOT LIMITED TO: SIDEWALK SLOPES, DROP CURBS, GRADING, STRIPING, SIGNAGE, AND HANDICAPPED RAMP DETAILS - SHALL BE CONSTRUCTED TO MEET THE CURRENT REQUIREMENTS/STANDARDS OF SUDAS, MUTCD, DOJ, ADAAG, AND PROWAG.
- THE CONTRACTOR(S) SHALL VERIFY WITH THE CITY INSPECTOR/ENGINEER THAT THE RAMP, SIDEWALK, AND PARKING AREAS ARE CONSTRUCTED PROPERLY TO MEET STANDARDS.
- SIDEWALKS, ACCESSIBLE CURB RAMPS, CROSSINGS, AND SIDEWALK RAMPS INCLUDING RAISED TRUNCATED DOME AND DETECTABLE WARNINGS AND WARNING PANELS SHALL BE DESIGNED AND INSTALLED TO THE LATEST PROWAG AND ADA REQUIREMENTS.
- SHOULD DISCREPANCIES OCCUR ON THE PLAN OR WHAT IS REQUIRED BY THE INSPECTOR, THE CONTRACTOR(S) SHALL NOTIFY THE ENGINEER.
- PERFORMING THE WORK THE WAY THE CONTRACTOR(S) HAS FOR THE LAST XX YEARS ON OTHER APPROVED PROJECTS WILL NOT BE AN EXCUSE FOR NON-COMPLIANCE WITH THESE REQUIREMENTS.

2900 SE DESTINATION DRIVE GRIMES, POLK COUNTY, IOWA		ABACI CONSULTING, INC. CIVIL ENGINEERING - LAND SURVEYING 3000 SE GRIMES BLVD. STE 800 GRIMES, IOWA 50111 OFFICE: (515) 966-5948		2900 SE DESTINATION DRIVE GRIMES, POLK COUNTY, IOWA	
SHEET: 4				GENERAL NOTES AND INFORMATION 3	
NO:	REVISION DESCRIPTION:	DATE:	PROJECT NO:		
1	CITY COMMENTS OF 06-02-20	06-08-20	20193SP	DRAWING FILE NO:	
2	CITY COMMENTS OF 06-16-20	06-22-20		DESIGNED/REVIEWED BY: M.M.	
3				DRAWN BY: M.M.	
4				DATE: 05/20/2020	

GENERAL UTILITY NOTES:

1. SEE ALL OTHER PLAN SHEETS; RELATED IDNR AND/OR CITY PERMIT APPLICATION(S) AND PERMIT(S); SUDAS DESIGN MANUAL AND SPECIFICATIONS; RELATED SPECIFICATIONS ON FILE WITH THE IDNR; AND CITY STANDARD SPECIFICATIONS FOR WORK REQUIREMENTS; PLUMBING PERMIT(S); ANY ADDITIONAL REQUIREMENTS; AND ANY COORDINATION ITEMS.
2. WORK SHALL INCLUDE CONNECTION TO EXISTING PUBLIC UTILITIES; PERMIT FEES; AND ANY AND ALL FITTINGS, CLEANOUTS, AND APPURTENANCES REQUIRED BY CODES.
3. ALL UTILITY STATIONS IN PLAN VIEW ARE TIED TO CENTERLINE STREET STATIONS, UNLESS OTHERWISE NOTED; AND LOCATED PER SUDAS REFERENCE POINT LOCATIONS.

3.1. STORM AND SANITARY SEWER LENGTHS AND LINEWORK ARE SHOWN FROM THE SUDAS REFERENCE POINT LOCATIONS. THE CONTRACTOR(S) SHALL MODIFY THE PIPE LENGTHS DUE TO OPEN AREA INSIDE OF STRUCTURE AND ANY CONNECTION/FITTING LOCATIONS.
4. THE OWNER/DEVELOPER SHALL APPLY FOR AND OBTAIN ANY SANITARY SEWER AND WATERMAIN PERMITS FROM THE IOWA DEPARTMENT OF NATURAL RESOURCES AND/OR THE CITY.
5. ALL UTILITY CONTRACTOR(S) SHALL VERIFY LOCATION, ELEVATION, ETC. OF EXISTING CONNECTION(S) PRIOR TO CONSTRUCTION AND ORDERING MATERIALS. NOTIFY THE ENGINEER OF ANY DISCREPANCIES. CONTRACTOR(S) SHALL LOCATE AND PROTECT ALL UNDERGROUND UTILITIES. DAMAGE TO UTILITIES WILL BE REPAIRED BY THE CONTRACTOR(S) TO THE SATISFACTION OF THE OWNER/DEVELOPER AND THE CITY.
6. THE CONTRACTOR(S) SHALL NOTIFY ALL AFFECTED PROPERTY OWNERS AND/OR TENANTS A MINIMUM OF ONE (1) BUSINESS DAY PRIOR TO ANY PLANNED SERVICE DISRUPTION; OR FOR ANY CONSTRUCTION ACTIVITY THAT MAY DISRUPT PROPERTY ACCESS.
7. UNLESS OTHERWISE NOTED, ALL SHOWN UTILITIES SHALL BE PUBLIC; AND SHALL BE MAINTAINED BY THE RESPECTIVE OWNER(S).
8. ALL UTILITY SERVICES SHALL BE BURIED.
9. ALL SERVICES LINES AND ALL UTILITY LINES IN THE ADJOINING RIGHT-OF-WAY OR EASEMENTS SHALL BE LOCATED UNDERGROUND. THE UTILITY CONTRACTOR(S) SHALL BE RESPONSIBLE FOR ENSURING REQUIRED SEPARATIONS OR CLEARANCES OF SERVICES AND MAINS; AVOID CONFLICTS; AND/OR ENSURE POSITIVE DRAINAGE (GRAVITY FLOW SERVICES) WHEN CROSSING OTHER SERVICES AND/OR MAINS.
10. ALL SERVICES WILL BE LOCATED WITHIN THE LOT AND SPACED FROM OTHER SERVICES AS DETAILED, UNLESS OTHERWISE NOTED.

10.1. THE CONTRACTOR(S) SHALL BE RESPONSIBLE TO PROVIDE AS-BUILT DEPTH AND LOCATION INFORMATION.
11. THE CONTRACTOR(S) SHALL COORDINATE ALL UTILITY TIE-INS WITH THE CITY PUBLIC WORKS/ENGINEERING DEPARTMENT.
12. WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS, OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR(S) TO NOTIFY THE OWNER(S) OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR(S) SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES, AND/OR UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS; AND THEREFORE, THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS. THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTOR(S) RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATION(S) AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR(S) FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK.
13. AS NECESSARY, THE CONTRACTOR(S) SHALL COORDINATE CONSTRUCTION ACTIVITIES WITH THE RESPECTIVE UTILITY TO SUPPORT ADJACENT AND/OR CROSSING UTILITY POLES, LINES, OR OTHER FEATURES.
14. THE CONTRACTOR(S) SHALL STAGE WORK TO MINIMIZE THE NUMBER AND EXTENT OF SERVICE INTERRUPTION(S) AND OUTAGE(S). AS NECESSARY, ASSEMBLE EQUIPMENT, PERSONNEL, PIPE, FITTINGS, AND/OR OTHER MATERIAL IN ADVANCE OF SERVICE INTERRUPTION(S) AND OUTAGE(S).
15. MAINTAIN A MINIMUM HORIZONTAL SEPARATION OF TEN (10) FEET BETWEEN SANITARY AND STORM SEWERS WITH WATERMAINS.
16. MAINTAIN A MINIMUM VERTICAL CLEARANCE OF 18 INCHES BETWEEN SANITARY SEWER AND WATERMAIN, AND STORM SEWER AND WATERMAIN. O-RING GASKET JOINTS ARE TO BE INSTALLED IN SITUATIONS LESS THAN 18 INCHES OR ANY TIME SANITARY SEWER OR STORM SEWER CROSSES OVER ANY WATERMAIN.

16.1. THE CONTRACTOR(S) SHALL ADJUST THE WATERMAIN AND/OR SERVICES AS REQUIRED TO AVOID CONFLICTS WITH THE SANITARY AND STORM SEWER MAINS AND/OR OTHER UTILITIES.

16.2. THE MAJORITY OF UTILITY CONFLICTS/CROSSINGS RELATING TO MAINS HAVE BEEN SHOWN FOR THE CONVENIENCE OF THE CONTRACTOR(S). ULTIMATELY, THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR ALL UTILITY CONFLICTS/CROSSINGS RELATING TO PROPOSED CONSTRUCTION AND BETWEEN EXISTING AND/OR PROPOSED UTILITIES (MAINS AND/OR SERVICES).

16.3. THE CONTRACTOR(S) SHALL USE A LOW PERMEABILITY SOIL FOR BACKFILL MATERIAL WITHIN TEN (10) FEET OF THE POINT OF CROSSING WITH SANITARY OR STORM SEWER AND WATERMAIN. ADEQUATELY SUPPORT SEWER AND WATER PIPES AND UTILIZE WATERTIGHT JOINTS WITHIN A HORIZONTAL DISTANCE OF TEN (10') FEET FROM CROSSING.
17. GRANULAR PIPE BEDDING SHALL BE CONSIDERED INCIDENTAL TO UTILITY CONSTRUCTION. ALL PIPE SHALL BE BEDDED, EXCEPT ANY NOTED JACKED AND BORED PIPE AND CASING. ALL BEDDING SHALL BE IN ACCORDANCE WITH SUDAS SPECIFICATION SECTION 3010, WITH RESPECTIVE DETAILS.

18. ALL BACKFILL AND TRENCHES SHALL BE COMPACTED TO AT LEAST 95 PERCENT STANDARD PROCTOR WITHIN THE NOTED RANGE OR THE MATERIAL'S OPTIMUM MOISTURE CONTENT.
19. FULL DEPTH COMPACTION SHALL BE REQUIRED AT ALL STREET CROSSINGS. NOTE THAT DENSITY TEST REPORTS FROM AN APPROVED TESTING LAB WILL BE PROVIDED BY THE CONTRACTOR(S).
20. TRACER WIRE SHALL BE ADDED TO ALL NON-METALIC WATERMAIN AND WATER SERVICES; AND TO ALL NON-METALIC STORM AND SANITARY SEWER MAINS AND SERVICES, UNLESS NOTED OTHERWISE.

20.1. BRING TRACER WIRE TO THE SURFACE AT ALL VALVES, HYDRANTS AND DEAD ENDS. CONNECT NEW WIRE TO EXISTING. A GROUNDING ROD SHALL BE PLACED AS PER SUDAS.

20.2. THE CONTINUITY OF THE TRACER WIRE SHALL BE TESTED PRIOR TO FINAL ACCEPTANCE.
21. ALL TERMINI OF MAINS AND SERVICES SHOULD BE MARKED WITH A PAINTED STEEL POST (WATER = BLUE, STORM = WHITE, SANITARY = GREEN). ALL POSTS SHOULD BE AT LEAST SIX (6) FEET IN LENGTH WITH FOUR (4) FEET EXPOSED ABOVE GROUND. AS NECESSARY, PLACE A MINIMUM EIGHT (8') FOOT LONG 2X4 BOARD, IN ADDITION TO THE STEEL POST, TO BURY DEPTH.
22. ALL CASTING(S) AND STRUCTURE INFORMATION ARE PER THE RESPECTIVE SUDAS DETAIL, UNLESS OTHERWISE NOTED.

22.1. ALL SHOWN PIPE SIZES SHALL BE INTERIOR DIMENSIONS.

22.2. ANY SHOWN STRUCTURE SIZES SHALL BE INTERIOR DIMENSIONS.
23. ALL RIM ELEVATIONS ARE SHOWN FOR REFERENCE PURPOSES ONLY. THE CONTRACTOR(S) SHALL ADJUST AS NECESSARY TO MEET SPECIFIC CONSTRUCTION REQUIREMENTS - TYPICALLY IN PAVEMENT RADIUS RETURNS AND OUTSIDE OF PAVEMENT.
24. AS REQUIRED, ALL EXISTING MANHOLE RIMS, VALVES, AND FIRE HYDRANT ELEVATIONS SHALL BE ADJUSTED TO MATCH PROPOSED FINISHED GRADES - CONSIDERED INCIDENTAL TO RELATED CONSTRUCTION ACTIVITIES.
25. ALL FIRE HYDRANTS, MANHOLES RIMS, AND VALVES SHALL BE SET TO CONFORM TO FINISHED PAVEMENT AND CURB AND/OR GROUND ELEVATIONS.
26. THE BOTTOM OF ALL STORM AND SANITARY STRUCTURES SHALL BE SHAPED TO MATCH PIPE INVERT ELEVATION(S) AND TO MAINTAIN POSITIVE DRAINAGE.
27. MANHOLE STEPS SHALL BE INSTALLED IN ALL SANITARY SEWER, STORM SEWER, AND WATER MANHOLES.
28. ALL DOWNSTREAM SANITARY SEWER AND WATERMAIN CONNECTIONS SHALL BE PLUGGED UNTIL THE CONSTRUCTION IS COMPLETED.
29. ALL NOTED UTILITIES SHALL BE CLEANED, INSPECTED, AND TESTED TO IDNR AND/OR CITY PERMIT APPLICATION(S) AND PERMIT(S) REQUIREMENTS; PER SUDAS; AND TO CITY STANDARDS; AND THE CITY SHALL WITNESS ALL TESTING.
30. AS NECESSARY, CONNECTIONS TO EXISTING MAINS SHALL REQUIRE THE RETESTING AND/OR RECLEANING OF THE EXISTING MAIN.
31. THE UTILITY CONTRACTOR(S) SHALL PROVIDE TO THE OWNER/DEVELOPER THE MEASUREMENTS OF ALL SANITARY AND STORM SEWER, WATER, AND/OR SUMP/FOOTING DRAIN SERVICES FROM LOT CORNERS.
32. THE OWNER/DEVELOPER SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ANY AND ALL PRIVATE UTILITIES AND/OR SERVICES.
33. FOR NON-RESIDENTIAL BUILDINGS, ALL UTILITIES SHALL BE STUBBED TO WITHIN FIVE (5) FEET OF THE BUILDING FACE/EXTERIOR. REFER TO ARCHITECTURAL AND MEP PLANS FOR DESIGN BETWEEN BUILDING FACE AND FIVE (5) FOOT LIMIT.
34. FOR NON-RESIDENTIAL BUILDINGS, A PRIVACY SCREEN FENCE AND/OR LANDSCAPING SHALL FRONT ALL ABOVE GROUND EXTERIOR UTILITY METERS, UTILITY BOXES, AND WALL MOUNTED EQUIPMENT.

SANITARY SEWERS:

1. ALL SANITARY SEWER PIPE SHALL BE PVC, TRUSS.
2. ALL PROPOSED SANITARY SEWER SERVICES SHALL BE SIX (6") INCHES UNLESS OTHERWISE NOTED.
3. IDEALLY, THE SANITARY SEWER MAIN SHOULD BE WELL BELOW THE FROST LINE AT ALL POINTS; AND LOWER THAN ANY WATERMAINS PLACED NEARBY.
4. ALL CONNECTIONS TO EXISTING SANITARY MANHOLES SHALL BE CORE DRILLED AND USE A LINK SEAL.
5. THE SANITARY SEWER PIPE BEDDING SHALL BE GRANULAR ENCASEMENT; AND SHALL BE CONSIDERED INCIDENTAL TO THE PIPE.
6. THE CONTRACTOR(S) SHALL COORDINATE WITH THE CITY AT LEAST PRIOR TO THE INSTALLATION OF SANITARY SEWER PIPE TO ENSURE SPECIAL CARE AND ADEQUATE COMPACTION TESTING ARE TAKEN WHILE PLACING THE BACKFILL FOR SANITARY SEWER TRENCHES TO PREVENT SETTLEMENT THAT CAN DAMAGE THE PAVEMENT.
7. ALL SERVICES SHALL BE EXTENDED/STUBBED TO TEN (10) FEET INSIDE THE PROPERTY FROM THE RIGHT-OF-WAY LINE.
8. PLACE A MINIMUM 14 FOOT LONG 2X4 BOARD, IN ADDITION TO THE STEEL POST AT ALL SERVICE TERMINI, TO SURVEY/RECORD REQUIRED INVERT WITHOUT DIGGING AT A LATER DATE.
9. ALL SANITARY SEWERS SHALL BE CLEANED AFTER BACKFILLING; AND TELEVISED (ACCORDING TO THE LOCAL MUNICIPALITY) AFTER THE BACKFILL HAS BEEN IN PLACE FOR A MINIMUM OF 30 DAYS WITH COPIES OF THE VIDEO INSPECTION PROVIDED TO THE CITY PUBLIC WORKS/ENGINEERING DEPARTMENT. IN ADDITION, ALL PROPOSED SANITARY MANHOLES SHALL BE VACUUM TESTED.
10. THE ADJUSTMENT OF AN EXISTING MANHOLE RIM SHALL INCLUDE NEW BARREL SECTION(S), NEW RISER(S), AND VACUUM TESTING; AND SHALL BE INCIDENTAL TO THE .ADJUSTMENT.
11. ALL SANITARY SEWER PIPE CROSSING OVER WATERMAIN, OR IS LESS THAN 18 INCHES BELOW THE WATERMAIN, SHALL EITHER HAVE LOCATE ONE (1) FULL LENGTH OF SEWER PIPE, CONSTRUCTED OF WATERMAIN MATERIAL MEETING THE REQUIREMENTS OF SUDAS SPECIFICATIONS SO BOTH JOINTS ARE AS FAR AS POSSIBLE FROM THE WATERMAIN; OR HAVE (WATERTIGHT) JOINTS WITH O-RING GASKETS TO AT LEAST TEN (10) FEET ON EACH SIDE OF

- THE EXTERIOR DIAMETER OF THE LARGER PIPE. O-RING GASKETS SHALL BE RATED AT 13 PSI OR GREATER.
12. EXISTING SANITARY SEWER MANHOLE ADJUSTMENT - REMOVE EXISTING FRAME AND LID; ADJUSTMENT RING(S); RECAST CONE SECTION; AND OTHER PRECAST RISER SECTION(S). ADJUST EXISTING SANITARY MANHOLE TO FINISHED GRADE BY ADDING/REMOVING PRECAST RISER SECTION(S) AND/OR ADJUSTMENT RING(S) PER SUDAS SW-301. RESET AND/OR REPLACE EXISTING PRECAST CONE SECTION, ADJUSTMENT RING(S), AND FRAME AND LID. INSTALL NEW CHIMNEY SEAL. RETEST MANHOLE ONLY.

STORM SEWER:

1. THE CONTRACTOR(S) SHALL PLACE SILT FENCE AROUND ALL STORM SEWER INLET LOCATIONS, STEEP SLOPES, OR AS DIRECTED BY THE CITY. ALL EROSION AND SEDIMENTATION CONTROL SHALL BE SET UP PRIOR TO CONSTRUCTION.
2. ALL PROPOSED STORM SEWER LINES SHALL BE AS NOTED FOR SIZE.
3. STORM SEWER SHALL BE RCP, IDOT CLASS 2000D (MINIMUM), USE STRENGTH REQUIRED BY SUDAS.

3.1. ALL STORM SEWER AND CULVERTS OVER 15 INCHES IN SIZE SHALL BE RCP. ALL OTHERS SHALL BE PVC, SDR35 (MINIMUM).

3.2. POLYETHYLENE (PE) PIPE WITH SMOOTH INTERIOR MAY BE SUBSTITUTED FOR RCP PER SUDAS SPECIFICATION SECTION 4020.

3.3. ANY STORM PIPE LOCATED UNDER PAVEMENT WITH LESS THAN TWO (2) FEET OF COVER SHALL PROVIDE 24"x24" REINFORCEMENT ABOVE AND USE CLASS V RCP.
4. ALL STORM SEWER PIPE CROSSING OVER WATERMAIN, OR IS LESS THAN 18 INCHES BELOW THE WATERMAIN, SHALL HAVE (WATERTIGHT) JOINTS WITH O-RING GASKETS TO AT LEAST TEN (10) FEET ON EACH SIDE OF THE EXTERIOR DIAMETER OF THE STORM SEWER PIPE. O-RING GASKETS SHALL BE RATED AT 13 PSI OR GREATER.
5. ALL STORM DRAIN PIPE, SUMP LINES, SUBDRAINS, AND/OR SERVICES SHALL BE EITHER PVC, HDPE, OR POLYETHYLENE PER SUDAS SPECIFICATION SECTION 4020. THE CONTRACTOR SHALL USE THE SAME MATERIAL BE CONSISTENT THROUGHOUT THE SITE.
6. THE CONTRACTOR(S) WILL LAY SEWER PIPE AS SHOWN WITHIN THE PLAN SET. (OR, CONTRACTOR WILL LAY SEWER PIPE AT THE BACK OF CURB IN ACCORDANCE WITH SUDAS DETAILS.)
7. ALL PIPE SLOPES EQUAL TO OR GREATER THAN TEN (10%) PERCENT SHALL REQUIRE RESTRAINED JOINTS, UNLESS OTHERWISE NOTED; AND SHALL BE CONSIDERED INCIDENTAL.
8. ALL STORM SEWER RUNS HAVE BEEN DESIGNED TO CARRY THE 100-YEAR STORM EVENT HGL (HYDRAULIC GRADE LINE) BELOW THE ADJOINING STRUCTURE RIMS.
9. ANY FIELD TILE DISCOVERED OR DAMAGED DURING CONSTRUCTION SHALL BE TIED INTO THE STORM SEWER SYSTEM OR REPAIRED/REPLACED; WITH THE ENGINEER NOTIFIED; AND THE LOCATION SHALL BE NOTED ON THE AS-BUILTS.
10. ALL SERVICES SHALL BE EXTENDED/STUBBED TO TEN (10) FEET INSIDE THE PROPERTY FROM THE RIGHT-OF-WAY LINE.
11. ALL SERVICES SHALL HAVE A MINIMUM DEPTH OF FOUR (4) FEET AT THE MARKED TERMINI.
12. THE CONTRACTOR(S) MAY SUBSTITUTE ANY 'SW-501 CURB INLET' WITH THE 'SW-502 CIRCULAR INTAKE @ 48" DIAMETER'.
13. ALL INTAKE CASTINGS SHALL BE BICYCLE SAFE.
14. ALL STORM SEWER AND CULVERTS SHALL BE CLEANED AFTER BACKFILLING; INSPECTED; AND TELEVISED (ACCORDING TO THE LOCAL MUNICIPALITY) AFTER THE BACKFILL HAS BEEN IN PLACE FOR A MINIMUM OF 30 DAYS WITH COPIES OF THE VIDEO INSPECTION PROVIDED TO THE CITY PUBLIC WORKS/ENGINEERING DEPARTMENT.
15. THE LAST THREE (3) PIPE SECTIONS AND THE FLARED END SECTION ON ALL CULVERTS SHALL BE TIED; AND SHALL BE CONSIDERED INCIDENTAL. ALL STORM SEWER JOINTS SHALL BE WRAPPED WITH ENGINEERING FABRIC; AND SHALL BE CONSIDERED INCIDENTAL.
16. ALL FLARED END SECTIONS SHALL BE FURNISHED WITH FOOTINGS AND APRON GUARDS, UNLESS OTHERWISE NOTED; AND SHALL BE CONSIDERED INCIDENTAL.
17. THE LENGTH GIVEN FOR THE STORM PIPE DOES NOT INCLUDE THE ENTIRE LENGTH OF THE FLARED END SECTION (FES) - ONLY TO THE TOP OF THE OPENING/SLOPE. SHOWN INVERT ELEVATION IS A THE END OF THE FES.
18. ALL RIPRAP SHALL BE PLACED OVER ENGINEERING FABRIC; AND THE ENGINEERING FABRIC SHALL BE INCIDENTAL.
19. POST-DEVELOPMENT STORMWATER RUNOFF WILL NOT ADVERSELY EFFECT DOWNSTREAM PROPERTIES AND/OR FACILITIES.

WATERMAINS:

1. SITE WATERMAIN PIPING SHALL BE PVC, C900, DR18, UNLESS OTHERWISE LABELED.

1.1. ALL PROPOSED WATERMAINS SHALL BE EIGHT (8") INCHES, UNLESS OTHERWISE NOTED.
2. SITE WATER SERVICE PIPING SHALL BE TYPE K COPPER, UNLESS OTHERWISE LABELED.

2.1. ALL PROPOSED WATER SERVICES SHALL BE AS NOTED BY PLAN AND/OR DETAIL.
3. ALL WATER MAINS AND SERVICES SHALL HAVE A MINIMUM OF FIVE AND ONE-HALF (5.5) FEET COVER OVER THE TOP OF THE PIPE, UNLESS OTHERWISE NOTED.
4. ALL SHOWN STATIONING AND OFFSETS FOR TEES, CROSSES, VALVES, FIRE HYDRANTS, ETC. ARE LOCATIONS BASED ON AN ENLARGED CAD SYMBOL TO BE SEEN ON THESE CONSTRUCTION PLANS AND AS SHOWN. THE CONTRACTOR(S) MAY SHIFT THE LOCATION(S) IN RELATION THE THE SHOWN ROADWAY CENTERLINE OF THESE TEES, CROSSES, VALVES, FIRE HYDRANTS, ETC. - PROVIDE REVISED STATIONING AND OFFSETS ON AS-BUILT DRAWINGS.

- NOTED OFFSETS MAY ONLY BE ADJUSTED WITH THE APPROVAL OF THE CITY. THE CONTRACTOR(S) SHALL ARRANGE AND PAY FOR THE REQUIRED TAPS TO THE PUBLIC WATERMAIN; AND SHALL SCHEDULE WITH THE CITY TO OBSERVE TAPPING AND TESTING.
6. ALL WATERMAINS SHALL BE CONSTRUCTED AND TESTED AS SPECIFIED ON THE IDNR PERMIT APPLICATION.
7. WHERE THE CONTRACTOR IS TO TIE INTO THE EXISTING WATERMAIN, PRESSURE TESTS SHALL BE PERFORMED AT AN EXISTING VALVE ON BOTH SIDES OF THE CONNECTION. THE VALVES SHALL BE REPAIRED OF REPLACED UPON THE COMPLETION OF THE TEST.
8. THE CONTRACTOR(S) SHALL PROVIDE AND INSTALL NECESSARY CONNECTIONS, FITTINGS, BENDS/ELBOWS, TEES/CROSSES, BLOCKING, SUPPORTS, ETC.; AND NOTED PIPE LENGTHS DO NOT INCLUDE VERTICAL AND/OR FITTING ADJUSTMENTS. INCIDENTAL TO WATERMAIN CONSTRUCTION, UNLESS OTHERWISE NOTED. VERIFY AND CONFIRM PRIOR TO ORDERING AND INSTALLING.
9. INSTALL THRUST BLOCKS PER SUDAS STANDARDS (INCIDENTAL TO WATERMAIN CONSTRUCTION).
10. WATER SHALL NOT BE TURNED ON WITHOUT THE CITY'S WATER DEPARTMENT PERSONNEL ONSITE TO APPROVE SAID ACTIVATION.
11. THE CONTRACTOR(S) SHALL DEFLECT PIPE JOINTS AND/OR INSTALL BENDS AS REQUIRED TO MAINTAIN ALIGNMENT OF WATERMAIN, UNLESS OTHERWISE LABELED; AND SHALL INCORPORATE INTO ANY NOTED RECORD/AS-BUILT DRAWINGS.
12. WHEN POSSIBLE, USE JOINT DEFLECTION IN LIEU OF ADDING FITTINGS WHEN MAKING GRADE AND/OR ALIGNMENT CHANGES. OTHERWISE, USE HORIZONTAL AND/OR VERTICAL BENDS OF 45 DEGREES OR LESS FOR ROUTING.
13. ALL VALVES SHALL BE LOCATED OUTSIDE OF STREET PAVEMENT AND SIDEWALK RAMPS.
14. THE CONTRACTOR(S) SHALL VERIFY BEFORE PLACING FIRE HYDRANT'S THAT NO PART OF THE FIRE HYDRANT SHALL BE CLOSER THAN 24 INCHES TO A PROPOSED SIDEWALK AND/OR TRAIL (OR 12 INCHES WITH SUDAS WM-201 ALTERNATE PLAN). FIRE HYDRANTS SHALL ALSO BE PLACED ON THE EXTENSION OF LOT LINES AS SHOWN ON THE PLANS. ADDITIONAL STAKES FOR LOT CORNERS, TRAILS, AND SIDEWALKS SHALL BE SET AS NECESSARY.
15. ALL FIRE HYDRANTS MUST BE A MINIMUM OF FOUR (4') FEET BEHIND THE BACK OF CURB AND MINIMUM OF EIGHT (8') FEET IN FRONT OF THE RIGHT-OF-WAY LINE.

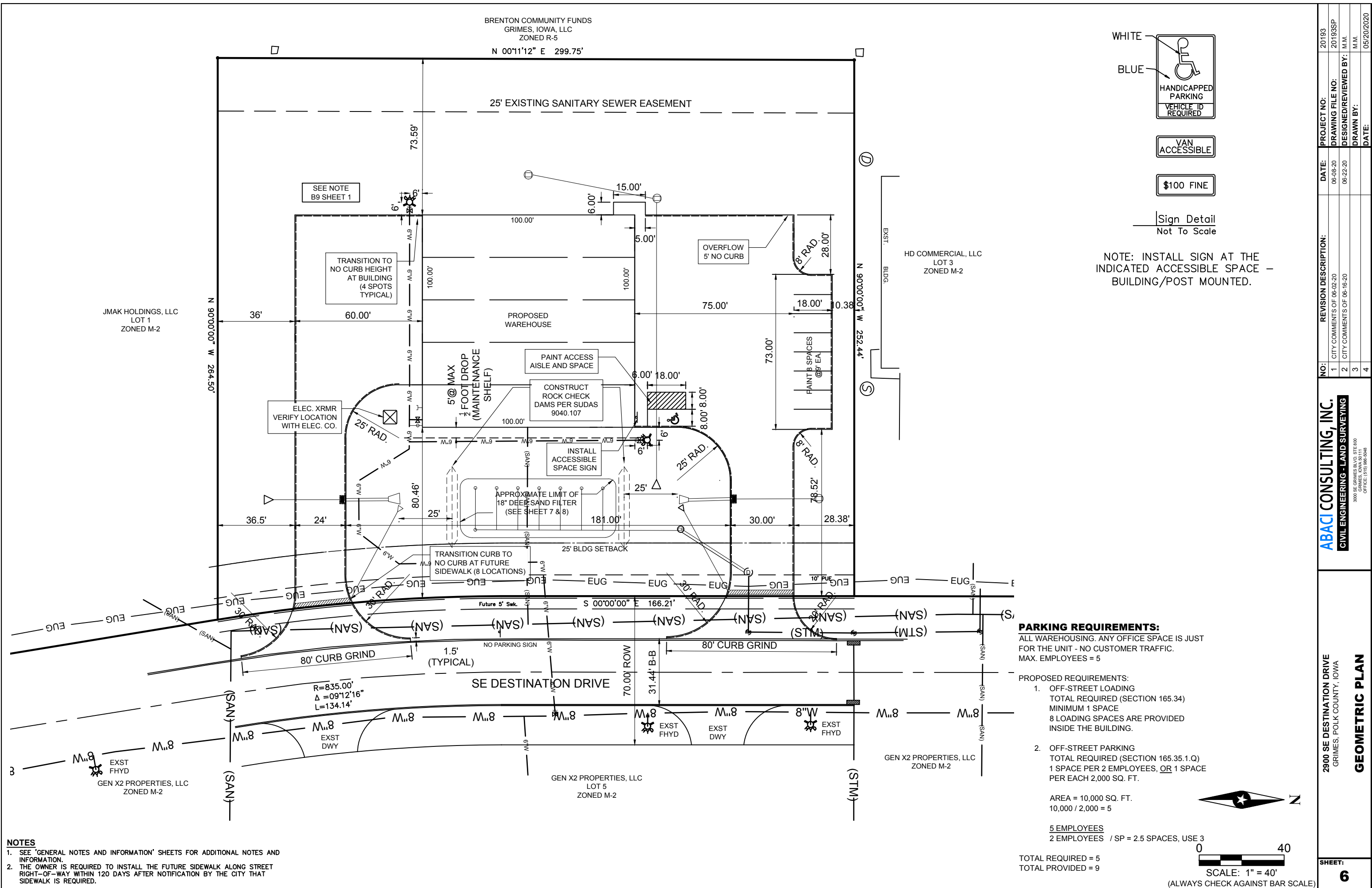
16. ALL FIRE HYDRANT LEADS SHALL BE VALVED.

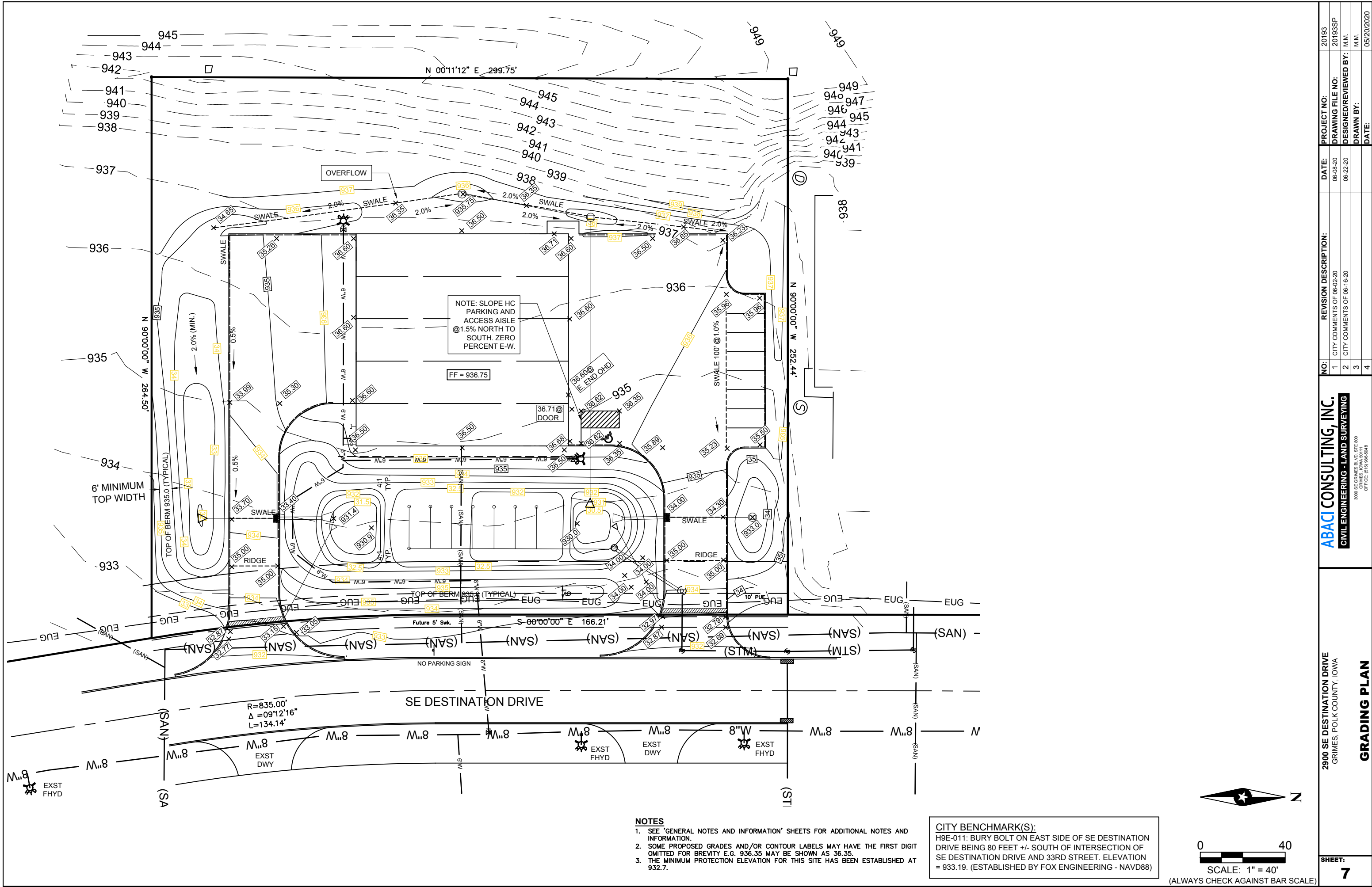
17. HYDRANTS AND VALVE BOXES SHALL BE SET TO CONFORM TO FINISH GRADE ELEVATIONS.

18. VERIFY AND CONFIRM THE FIRE HYDRANT MODEL AND MANUFACTURER'S BRAND WITH THE CITY'S WATER DEPARTMENT PRIOR TO ORDERING AND INSTALLING.

18.1. ALL PROPOSED HYDRANTS SHALL HAVE STORZ FITTINGS.

18.2. ANY RELOCATED HYDRANTS SHALL BE RETROFITTED WITH STORZ FITTINGS.
19. ALL HYDRANTS SHALL BE PAINTED IN ACCORDANCE WITH THE CITY'S WATER DEPARTMENT REQUIREMENTS.
20. NO EXTENSIONS ARE ALLOWED ON FIRE HYDRANT ASSEMBLIES.





NOTES

1. SEE 'GENERAL NOTES AND INFORMATION' SHEETS FOR ADDITIONAL NOTES AND INFORMATION.
2. SOME PROPOSED GRADES AND/OR CONTOUR LABELS MAY HAVE THE FIRST DIGIT OMITTED FOR BREVITY E.G. 936.35 MAY BE SHOWN AS 36.35.
3. THE MINIMUM PROTECTION ELEVATION FOR THIS SITE HAS BEEN ESTABLISHED AT 932.7.

CITY BENCHMARK(S):

H9E-011: BURY BOLT ON EAST SIDE OF SE DESTINATION DRIVE BEING 80 FEET +/- SOUTH OF INTERSECTION OF SE DESTINATION DRIVE AND 33RD STREET. ELEVATION = 933.19. (ESTABLISHED BY FOX ENGINEERING - NAVD88)



0 40

SCALE: 1" = 40'

(ALWAYS CHECK AGAINST BAR SCALE)

PROJECT NO:		20193
DRAWING FILE NO:		20193SP
DESIGNED/REVIEWED BY:		M.M.
DRAWN BY:		M.M.
DATE:		05/20/2020
REVISION DESCRIPTION:		
NO:	DATE:	REVISION DESCRIPTION:
1	06-08-20	CITY COMMENTS OF 06-02-20
2	06-22-20	CITY COMMENTS OF 06-16-20
3		
4		

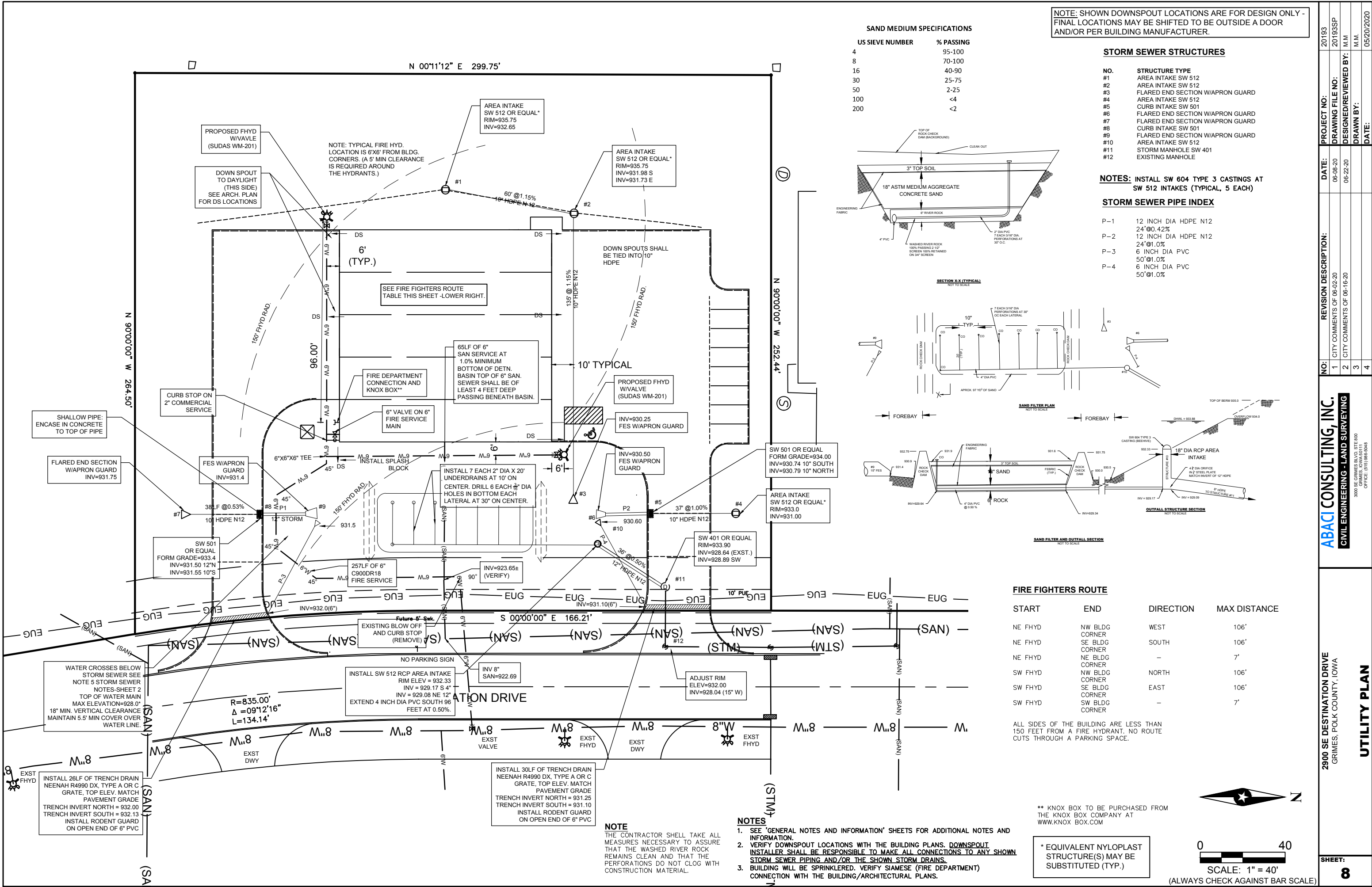
2900 SE DESTINATION DRIVE
GRIMES, POLK COUNTY, IOWA

ABACI CONSULTING, INC.
CIVIL ENGINEERING - LAND SURVEYING
3008 SE GRIMES BLVD. SUITE 800
GRIMES, IOWA 50116
OFFICE: (515) 885-5048

GRADING PLAN

SHEET:

7



SAND MEDIUM SPECIFICATIONS

US SIEVE NUMBER	% PASSING
4	95-100
8	70-100
16	40-90
30	25-75
50	2-25
100	<4
200	<2

NOTE: SHOWN DOWNSPOUT LOCATIONS ARE FOR DESIGN ONLY - FINAL LOCATIONS MAY BE SHIFTED TO BE OUTSIDE A DOOR AND/OR PER BUILDING MANUFACTURER.

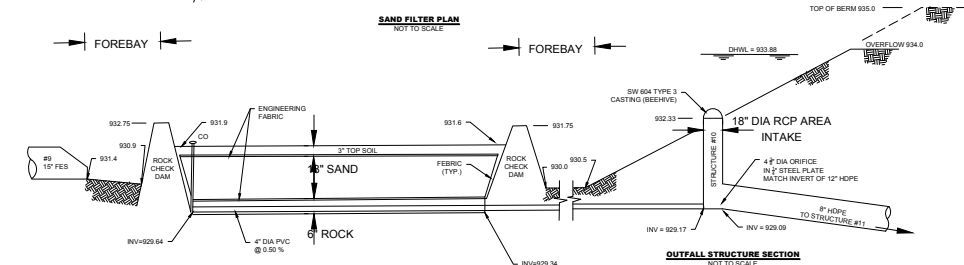
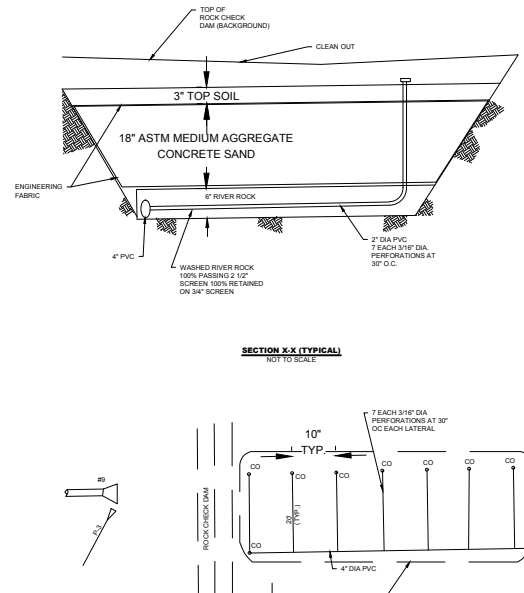
STORM SEWER STRUCTURES

NO.	STRUCTURE TYPE
#1	AREA INTAKE SW 512
#2	AREA INTAKE SW 512
#3	FLARED END SECTION W/APRON GUARD
#4	AREA INTAKE SW 512
#5	CURB INTAKE SW 501
#6	FLARED END SECTION W/APRON GUARD
#7	FLARED END SECTION W/APRON GUARD
#8	CURB INTAKE SW 501
#9	FLARED END SECTION W/APRON GUARD
#10	AREA INTAKE SW 512
#11	STORM MANHOLE SW 401
#12	EXISTING MANHOLE

NOTES: INSTALL SW 604 TYPE 3 CASTINGS AT SW 512 INTAKES (TYPICAL, 5 EACH)

STORM SEWER PIPE INDEX

P-1	12 INCH DIA HDPE N12
P-2	24'Ø.42%
P-3	12 INCH DIA HDPE N12
P-4	24'Ø.1.0%
P-5	6 INCH DIA PVC
P-6	50'Ø.1.0%
P-7	6 INCH DIA PVC
P-8	50'Ø.1.0%



FIRE FIGHTERS ROUTE

START	END	DIRECTION	MAX DISTANCE
NE FHYD	NW BLDG CORNER	WEST	106'
NE FHYD	SE BLDG CORNER	SOUTH	106'
NE FHYD	NE BLDG CORNER	-	7'
SW FHYD	NW BLDG CORNER	NORTH	106'
SW FHYD	SE BLDG CORNER	EAST	106'
SW FHYD	SW BLDG CORNER	-	7'

ALL SIDES OF THE BUILDING ARE LESS THAN 150 FEET FROM A FIRE HYDRANT. NO ROUTE CUTS THROUGH A PARKING SPACE.

** KNOX BOX TO BE PURCHASED FROM THE KNOX BOX COMPANY AT WWW.KNOX_BOX.COM

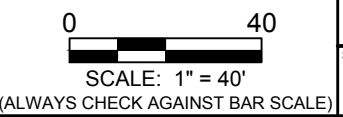
* EQUIVALENT NYLOPLAST STRUCTURE(S) MAY BE SUBSTITUTED (TYP.)

NOTES

- SEE 'GENERAL NOTES AND INFORMATION' SHEETS FOR ADDITIONAL NOTES AND INFORMATION.
- VERIFY DOWNSPOUT LOCATIONS WITH THE BUILDING PLANS. DOWNSPOUT INSTALLER SHALL BE RESPONSIBLE TO MAKE ALL CONNECTIONS TO ANY SHOWN STORM SEWER PIPING AND/OR THE SHOWN STORM DRAINS.
- BUILDING WILL BE SPRINKLERED. VERIFY SIAMESE (FIRE DEPARTMENT) CONNECTION WITH THE BUILDING/ARCHITECTURAL PLANS.

NOTE

THE CONTRACTOR SHALL TAKE ALL MEASURES NECESSARY TO ASSURE THAT THE WASHED RIVER ROCK REMAINS CLEAN AND THAT THE PERFORATIONS DO NOT CLOG WITH CONSTRUCTION MATERIAL.



PROJECT NO: 20193
DATE: 06-08-20
DESIGNED BY: M.M.
DRAWN BY: M.M.
DATE: 05/20/2020

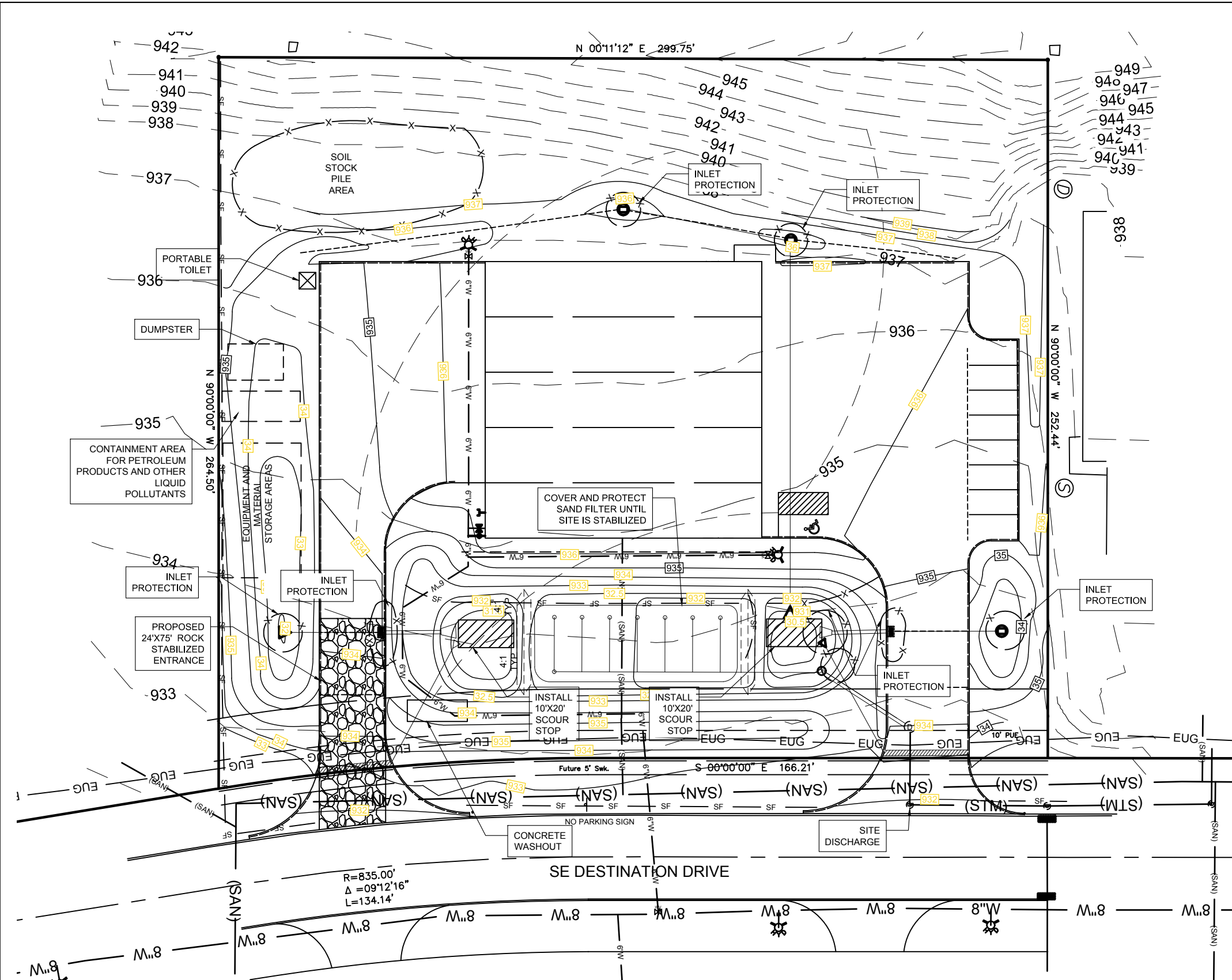
REVISION DESCRIPTION:
1 CITY COMMENTS OF 06-02-20
2 CITY COMMENTS OF 06-16-20
3
4

ABACI CONSULTING, INC.
CIVIL ENGINEERING - LAND SURVEYING
3000 SE GRIMES BLVD., SUITE 500
GRIMES, IOWA 50111
OFFICE: (515) 986-5048

2900 SE DESTINATION DRIVE
GRIMES, POLK COUNTY, IOWA

UTILITY PLAN

SHEET: 8



NOTICE:
ALL CONTRACTORS AND SUB-CONTRACTORS MUST SIGN THE NPDES CERTIFICATION STATEMENT PRIOR TO PERFORMING ANY WORK ON SITE. BY SIGNING THE CERTIFICATION STATEMENT, THE CONTRACTOR AND/OR SUBCONTRACTOR AGREES TO BECOME A CO-PERMITTEE WITH THE OWNER AND OTHER CO-PERMITTEES. AS A CO-PERMITTEE, YOU AND YOUR COMPANY ARE LEGALLY REQUIRED UNDER THE CLEAN WATER ACT AND THE CODE OF IOWA TO ENSURE COMPLIANCE WITH THE TERMS AND CONDITIONS OF THE STORM WATER POLLUTION PREVENTION PLAN DEVELOPED UNDER THE NPDES PERMIT. SIGNIFICANT PENALTIES MAY BE IMPOSED BY THE EPA AND/OR THE IDNR SHOULD A PERMITTEE OR CO-PERMITTEE VIOLATE NPDES PERMIT REQUIREMENTS.

NOTE: CONTRACTOR(S) SHALL DETERMINE AND LOCATE SOIL STOCKPILE(S).

PLACE SILT FENCE OR FILTER SOCK AROUND STORM INTAKE AND/OR STRUCTURE AFTER CONSTRUCTED. PLACE BELOW GRADE INLET PROTECTION FOR ALL STORM STRUCTURES WITHIN PUBLIC STREETS OR RIGHT-OF-WAY ONCE PAVING IS COMPLETED.

SILT FENCE SPACING ON SLOPES	
SLOPE	HORIZONTAL INTERVAL
≤ 10:1 (10%)	100 FEET (MAXIMUM)
5:1 (20%)	160 FEET (MAXIMUM)
4:1 (25%)	50 FEET (MAXIMUM)
3:1 (33.3%)	40 FEET (MAXIMUM)

SILT FENCE SPACING IN SWALE	
SWALE GRADE	HORIZONTAL INTERVAL
1% TO 2%	150 FEET (MAXIMUM)
2% TO 4%	75 FEET (MAXIMUM)
4% TO 6%	40 FEET (MAXIMUM)
OVER 6%	25 FEET (MAXIMUM)

DITCH CHECK/CHECK DAM SPACING		
SWALE/DITCH GRADE	DESIGN HORIZ. INTERVAL	ACTUAL HORIZ. INTERVAL
1% TO 2%	200 FEET TO 100 FEET	150 FEET (MAXIMUM)
2% TO 4%	100 FEET TO 50 FEET	75 FEET (MAXIMUM)
4% TO 6%	50 FEET TO 33.5 FEET	40 FEET (MAXIMUM)
OVER 6%	(2 FEET) / (SLOPE, FT/FT)	25 FEET (MAXIMUM)

SWPPP MANAGER (PRINT NAME) COMPANY DATES

SWPPP INSPECTOR (PRINT NAME) COMPANY DATES

NOTICE:
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TABLE OF QUANTITIES	
SILT FENCE	970 FEET
STOCKPILE PERIMETER	230 FEET
INLET PROTECTION	7 EA
ROCK STABILIZER	60 TONS
TEMP SEED AND MULCHING	30,100 SF
SOD	18,200 SF
ROCK TRENCH PROTECTION	1 EA
SCOUR STOP	400 SF
PRELIMINARY ONLY	

NOTES
1. SEE 'GENERAL NOTES AND INFORMATION' SHEETS FOR ADDITIONAL NOTES AND INFORMATION.
2. SEE 'GRADING PLAN' SHEETS FOR ADDITIONAL INFORMATION.

NO.	REVISION	DATE



0 40
SCALE: 1" = 40'
(ALWAYS CHECK AGAINST BAR SCALE)

PROJECT NO: 20193
DRAWING FILE NO: 20193SP
DESIGNED/REVIEWED BY: M.M.
DRAWN BY: M.M.
DATE: 05/20/2020

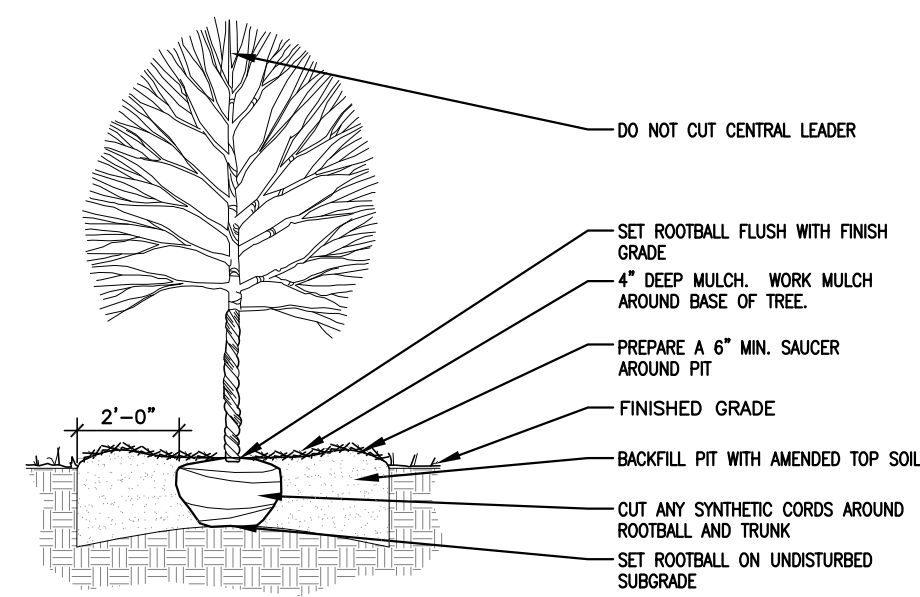
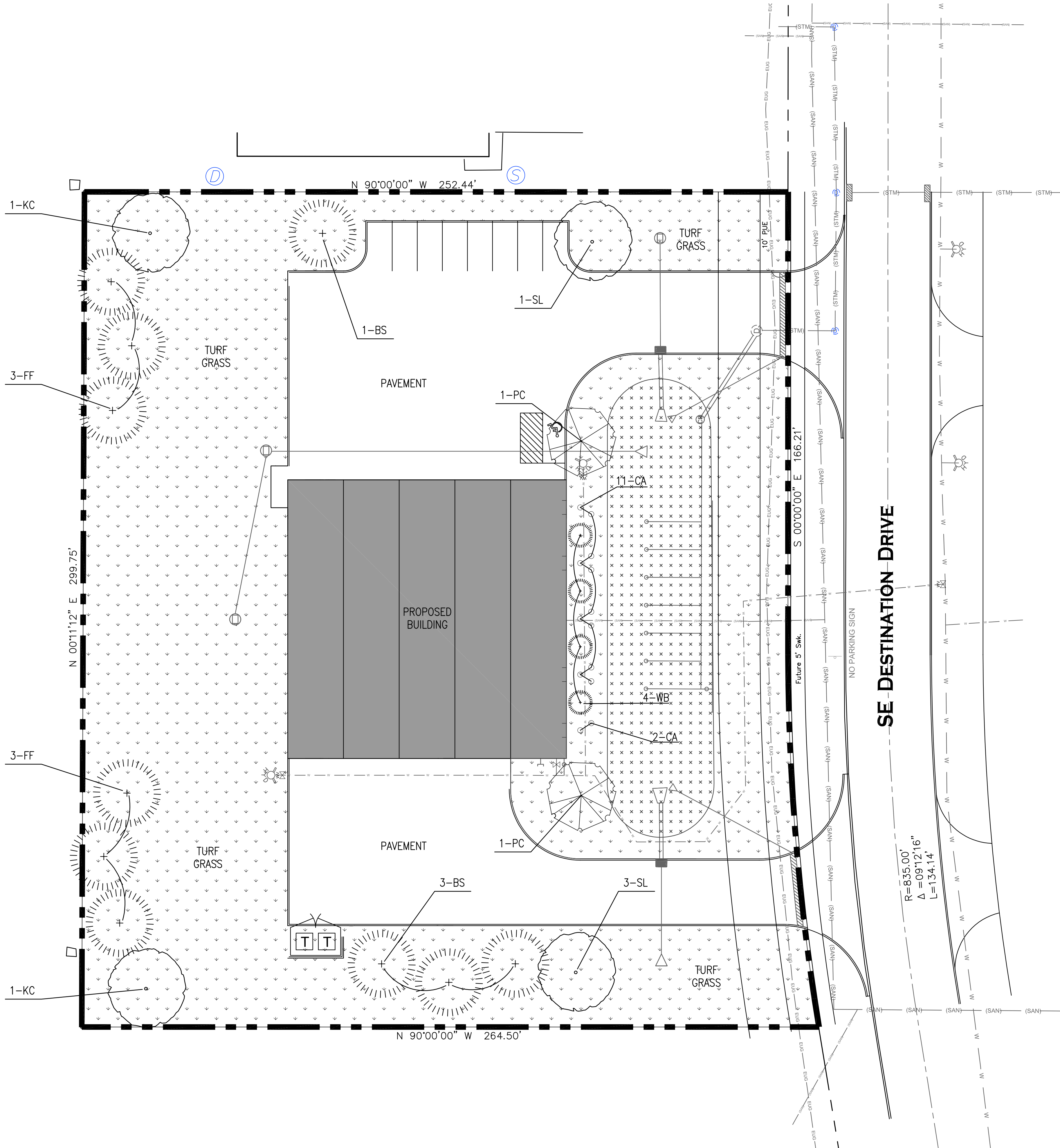
REVISION DESCRIPTION:
1 CITY COMMENTS OF 06-02-20
2 CITY COMMENTS OF 06-16-20
3
4

ABACI CONSULTING, INC.
CIVIL ENGINEERING - LAND SURVEYING
3000 SE GRIMES BLVD. STE 800
GRIMES, IOWA 50501
OFFICE 515.960.0440

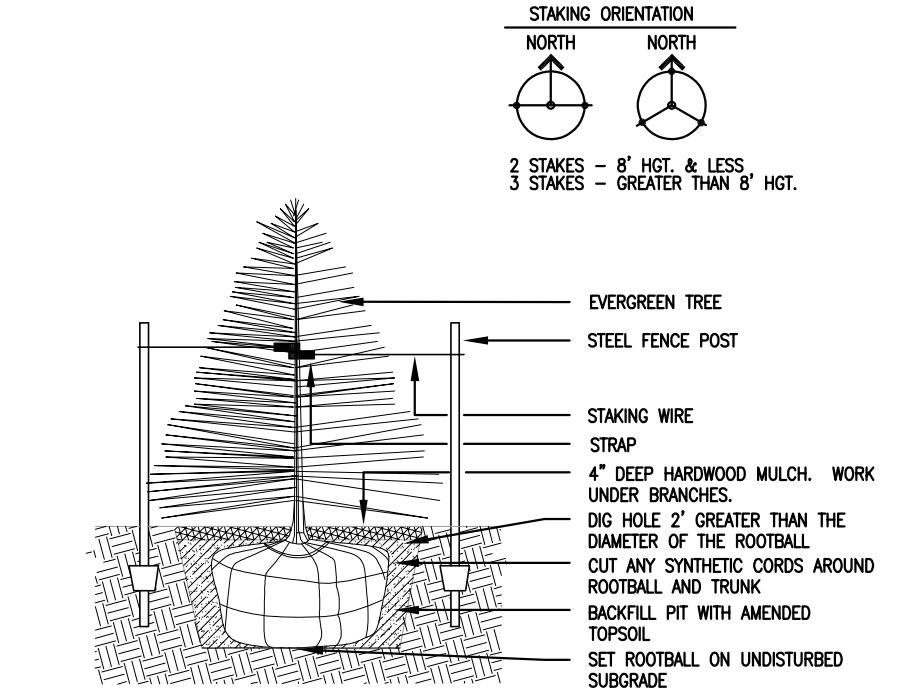
2900 SE DESTINATION DRIVE
GRIMES, POLK COUNTY, IOWA

INITIAL SWPPP (EROSION CONTROL)

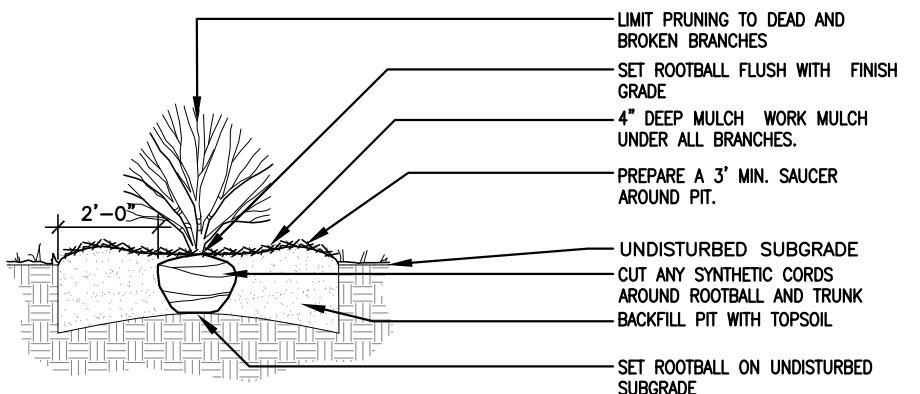
SHEET: 9



(B&B) DECIDUOUS TREE PLANTING (TYP.)
SCALE: NOT TO SCALE



(B&B) CONIFEROUS TREE PLANTING (TYP.)
SCALE: NOT TO SCALE



SHRUB PLANTING (TYP.)
SCALE: NOT TO SCALE

PLANT SCHEDULE

CODE	QTY.	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	MATURE SIZE
TREES						
SL	2	SUNBURST HONEYLOCUST	GLEDITSIA TRIACANTHOS VAR. INERMIS 'SUNCOLE'	1.5" CAL	B&B	45-55' HT/30-35' SP
KC	2	KENTUCKY COFFEETREE	CYMNOCADUS DIOICUS	1.5" CAL	B&B	45-55' HT/30-40' SP
PC	2	KWANZAN CHERRY	PRUNUS SERRULATA 'KWANZAN'	1.5" CAL	B&B	15-25' HT/15-20' SP
EVERGREEN TREES						
FF	6	FRAZIER FIR	ABIES FRAZERI	6' HT.	B&B	30-40' HT/20-25' SP
BS	4	BLUE SPRUCE	PICEA PUNGENS 'GLAUCA'	6' HT.	B&B	30-60' HT/10-20' SP
WB	5	WICHITA BLUE JUNIPER	JUNIPERUS SCOPULORUM 'WICHITA BLUE'	4' HT.	B&B	18-20' HT/5-8' SP
GRASSES						
CA	16	FEATHER REED GRASS	CALAMAGROSTIS X ACUTIFLORA	2' HT.	CONT.	4-6' HT/1-2' SP

LEGEND

- BUILDING
- UNITED SEEDS - "SUPER TURF II LS"
- ION EXCHANGE - "WET MESIC MIX - NATIVE SEED MIX"

CONTACT: IONXCHANGE (563) 535-7231
WWW.IONXCHANGE.COM
UNITED SEEDS INC. (515) 282-1750
WWW.UNITEDSEEDS.COM

ALAN F. VANGUNDY
LANDSCAPE ARCHITECT
NO. 1238

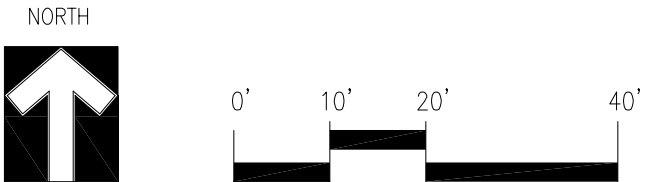
1. I HEREBY CERTIFY THAT THIS SITE PLAN WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY REGISTERED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF IOWA.

ALAN F. VANGUNDY
JUNE 30, 2021
SHEETS COVERED BY THIS SEAL: L1

DATE

DATE

DATE



LANDSCAPE NOTES

- ALL SITEWORK, SEEDING, AND LANDSCAPING SHALL BE IN ACCORDANCE WITH LOCAL JURISDICTION'S STANDARD SPECIFICATIONS UNLESS SPECIFIED OTHERWISE.
- NO PLANTING WILL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO TAKE WHATEVER MEANS NECESSARY TO ESTABLISH PERMANENT SOIL STABILIZATION.
- HOLES FOR TREES, EVERGREENS AND SHRUBS SHALL BE 2" GREATER THAN THE TREE ROOTBALL.
- ALL UNSURFACED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL. CONTRACTOR MUST SOO OR SEED, FERTILIZE AND MAINTAIN ALL AREAS OUTSIDE PAVED AREAS THAT WERE DISTURBED DURING CONSTRUCTION UNTIL AN ACCEPTABLE STAND OF GRASS IS ESTABLISHED.
- CANOPY TREE, EVERGREEN TREE AND SHRUB LANDSCAPE BEDS SHALL HAVE WEED-PREVENTION FABRIC INSTALLED. WEED PREVENTION FABRIC SHALL COVER THE ENTIRE LANDSCAPE BED, PAYING CLOSE ATTENTION TO LEAVE NO GAPS ALONG THE EDGES.
- PERENNIAL BEDS SHALL RECEIVE NO WEED-PREVENTION FABRIC, BUT SHALL BE WEEDED BEFORE INSTALLATION. SHALL RECEIVE PRE-EMERGENT APPLIED TO THE SOIL AND PRE-EMERGENT APPLIED TO THE MULCH AFTER INSTALLATION.
- ALL LANDSCAPE BEDS SHALL RECEIVE ONE APPLICATION OF PRE-EMERGENT, SUCH AS PREEN. PRE-EMERGENT SHALL BE APPLIED IN THE AMOUNT RECOMMENDED BY THE MANUFACTURER. PRE-EMERGENT SHALL BE APPLIED TO BARE GROUND IN LANDSCAPE BEDS PRIOR TO MULCH INSTALLATION, AND TO THE MULCH AFTER INSTALLATION.
- CANOPY TREES AND EVERGREEN TREES SHALL RECEIVE A MINIMUM OF 4" SHREDDED HARDWOOD MULCH. MULCH AROUND TREES SHALL BE EXTENDED OUT AS FAR AS THE HOLE DUG FOR PLANTING AND SHALL BE PLACED IN SUCH A WAY AS TO FORM A BOWL AT THE BASE OF THE TRUNK ALLOWING WATER TO COLLECT MORE EFFICIENTLY.
- ALL PLANT MATERIAL SHALL MEET MIN. REQUIREMENTS IN THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, AMERICAN ASSOCIATION OF NURSEYMEN.
- PLANT MATERIALS SHALL BE OF APPROPRIATE SIZE AND TYPE AS SHOWN IN THE PLANTING SCHEDULE. ANY SUBSTITUTIONS TO THE PLANT SCHEDULE SHALL BE SUBMITTED IN WRITING FOR APPROVAL BY THE LANDSCAPE ARCHITECT.
- PLANT QUANTITIES ARE FOR CONTRACTOR'S CONVENIENCE, DRAWING SHALL PREVAIL WHERE CONFLICT OCCURS.
- OVERSTORY TREES SHALL HAVE STRAIGHT LEADERS AND NO 'Y' CROTCHES. UNDERSTORY TREES SHALL HAVE NO BRANCHES BELOW 30" AND NO 'Y' CROTCHES.
- REMOVE ALL WIRE, TWINE OR BURLAP FROM THE ROOTBALLS OF STREET TREES PRIOR TO PLANTING.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF IDENTIFICATION TAGS, CONTAINERS, AND BURLAP CORDS ON ALL PLANT MATERIAL PRIOR TO COMPLETION OF THE CONTRACT.
- CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIALS FOR A PERIOD OF ONE YEAR FROM DATE OF INSTALLATION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING ANY TREES THAT HAVE BECOME TILTED WITHIN ONE YEAR FROM DATE OF INSTALLATION.
- CONTRACTOR SHALL REPAIR ALL DAMAGE TO PROPERTY AND EXISTING UTILITIES FROM PLANTING OPERATIONS AT NO COST TO THE OWNER.
- ALL UNPAVED AREAS DISTURBED WITHIN THE PUBLIC RIGHT-OF-WAY TO BE SOODED.

ARCHITECTURAL DESIGN STANDARDS:

MATERIAL CALCULATIONS

NORTH ELEVATION (30' ADJACENT TO EAST ELEVATION)
METAL PANEL (MTL-1): 420 SF
CULTURED STONE (STN-1): 105 SF = 25%

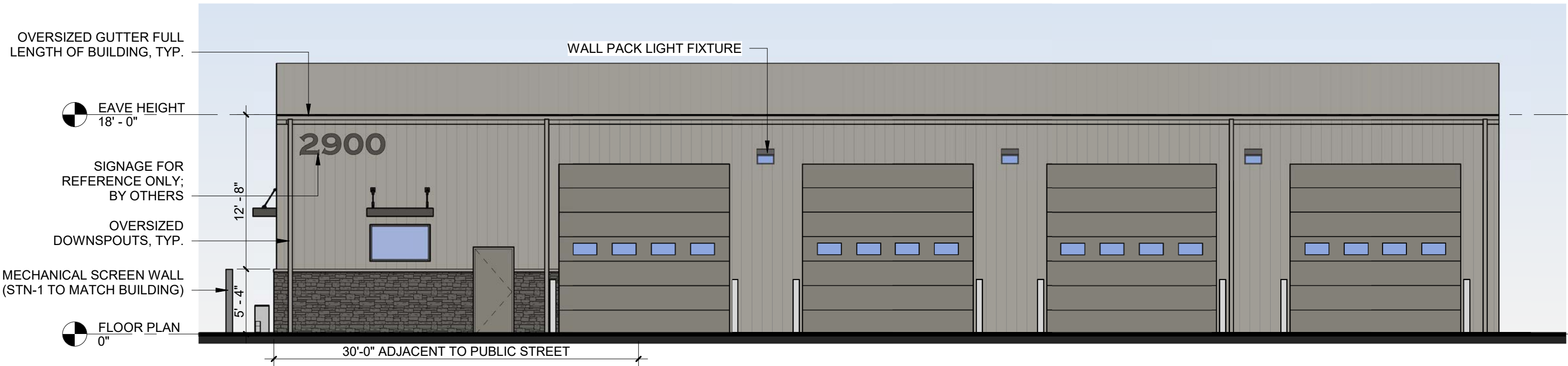
EAST ELEVATION
METAL PANEL (MTL-1): 2016 SF
CULTURED STONE (STN-1): 528 SF = 26.2%

SOUTH ELEVATION (30' ADJACENT TO EAST ELEVATION)
METAL PANEL (MTL-1): 420 SF
CULTURED STONE (STN-1): 105 SF = 25%

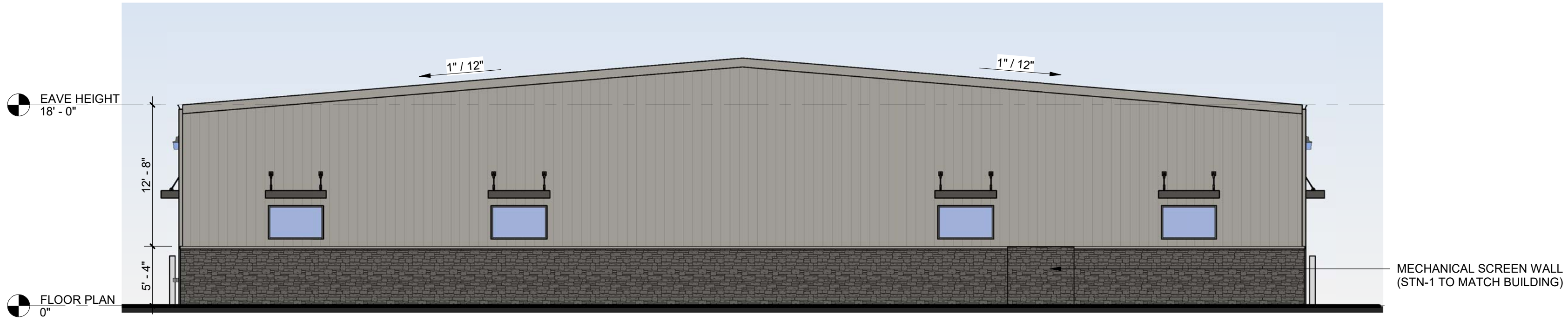
EXTERIOR MATERIAL LEGEND	
MAT. LABEL	MATERIAL DESCRIPTION
AWN-1	PRE-FINISHED METAL AWNING SYSTEM W/ HANGER RODS (INSTALLED PER MFR.); MAPES LUMISHADE (OR APPROVED EQUAL); FINISH: KYNAR; COLOR: CHARCOAL GRAY
FSH-1	PRE-FINISHED METAL SILL FLASHING (INSTALLED PER MFR.); COLOR: CHARCOAL GRAY
MTL-1	METAL PANEL SYSTEM (INSTALLED PER MFR.); INSTALLED VERTICALLY W/ EXPOSED FASTENERS TO MATCH; COLOR: ASH GRAY
STN-1	CULTURED STONE VENEER SYSTEM (INSTALLED PER MFR.); COLOR: DARK GRAY W/ VARIETY; MORTAR: NATURAL
WIN-1	T.B. EXTRUDED ALUMINUM FRAMING SYSTEM MARVIN (OR APPROVED EQUAL); COLOR: CHARCOAL GRAY TO MATCH AWNINGS W/ INSULATED VISION GLASS SYSTEM. CLEAR W/ LOW-E COATING

MISC. EXTERIOR MATERIAL FINISHES:

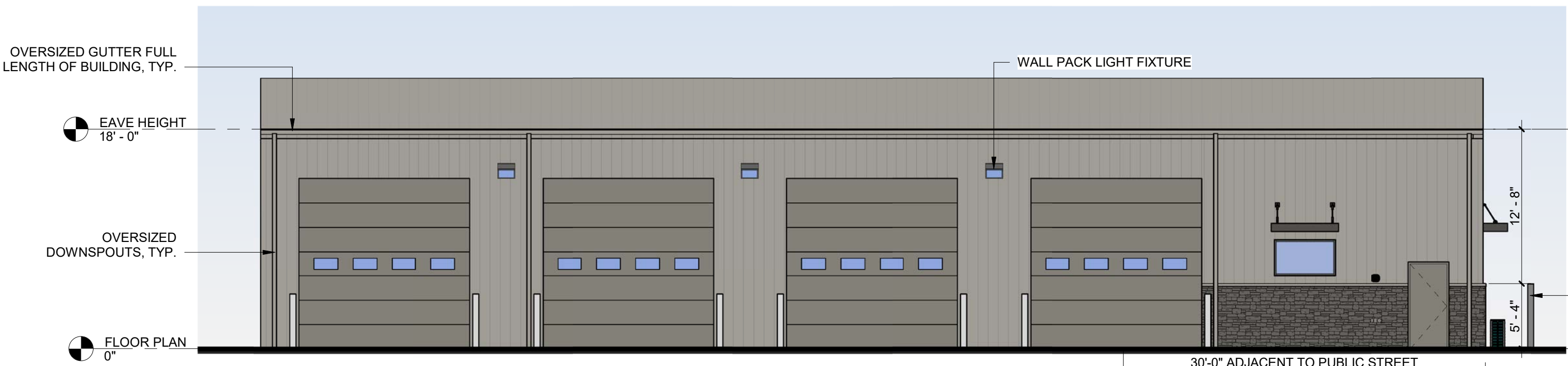
- TYPICAL U.O.N.
- BOLLARDS: CONCRETE FILLED STEEL BOLLARDS PAINTED LIGHT GRAY.
 - FASCIA & TRIM: METAL PRE-FINISHED; COLOR: ASH GRAY.
 - GUTTERS & DOWNSPOUTS: METAL PRE-FINISHED; COLOR: ASH GRAY.
 - CAULKS & SEALANTS: COLOR MATCHED TO ADJACENT MATERIAL.
 - HOLLOW METAL MAN DOORS & FRAMES: MEDIUM GRAY.
 - OVERHEAD PANEL DOORS: METAL PRE-FINISHED; COLOR: MEDIUM GRAY.
 - LIGHT FIXTURES: METAL PRE-FINISHED HOUSINGS; COLOR: BLACK OR CHARCOAL GRAY.



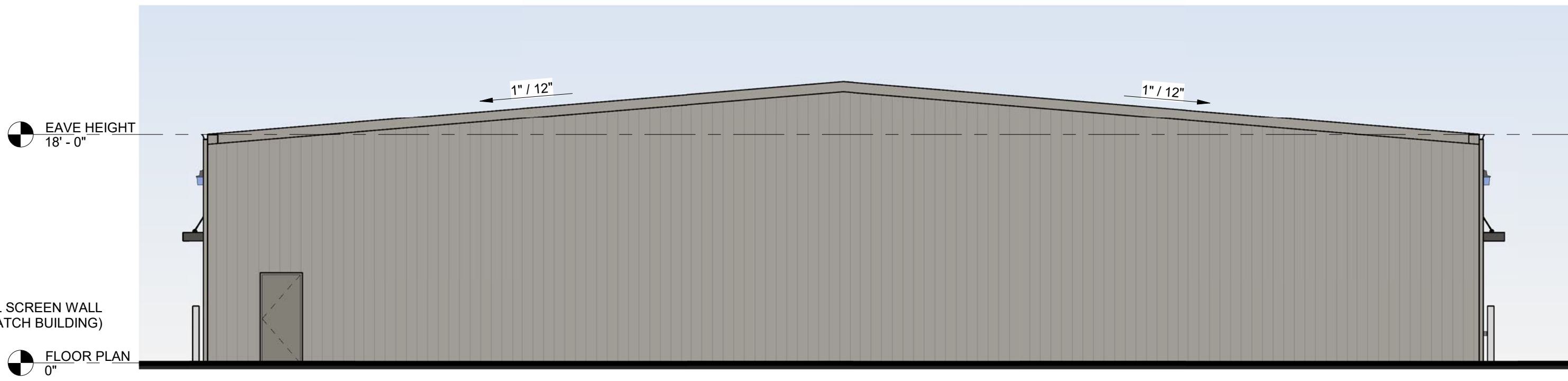
1 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



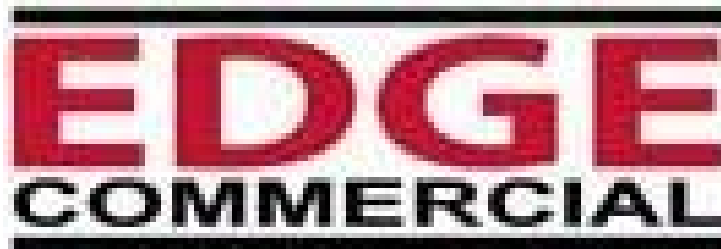
2 EAST ELEVATION
SCALE: 1/8" = 1'-0"



3 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



4 WEST ELEVATION
SCALE: 1/8" = 1'-0"



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SWEET HONEY FACILITY

2900 SE DESTINATION DRIVE
GRIMES, IA
06/22/20

24"x36" SHEET (FULL SIZE)
- SCALE IS AS NOTED.
12"x18" SHEET (HALF SIZE)
- SCALE IS ONE-HALF OF WHAT IS NOTED
OTHER SHEET SIZES NOT TO SCALE
SAA JOB #: 20034



simonson & associates architects LLC
1717 ingersoll avenue suite 117 des moines ia 50309
phn 515 440 5626 www.simonsonassoc.com

Planning & Zoning Staff Report



TO: Planning and Zoning Commission
FROM: Evann Martin, Assistant Planner
DATE: July 7, 2020
RE: Financial Institution – Site Plan

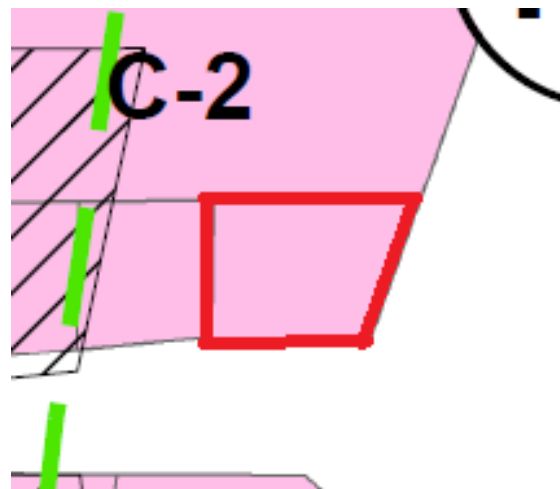
GENERAL INFORMATION:

Applicant:	Brian Ridge – Ridge Development
Requested Action	Site Plan
Location	1701 E 1 st Street

SUPPORTING INFORMATION:



Location Map



Zoning Map

LAND USES & ZONING:

Location	Existing Land Use	Land Use Plan Designation	Current Zoning
Subject Site	Vacant	General Commercial	C-2
North	Vacant	General Commercial	C-2
South	Vacant/Hotel	General Commercial	C-2
East	ALDI	General Commercial	C-2
West	Vacant	General Commercial	C-2

BACKGROUND:

The applicant is requesting approval of the site plan for an 11,838 square foot financial institution located at 1701 E. 1st Street. Currently, there is no access road in place to service the site. The future development to the north will be constructing the access road leading to the subject site and three other lots along E. 1st Street. At this time, staff has not received plans for the access road.

The property is located within the C-2 zoning district and is within Zone 1 of the Highway 141 Mixed Use Development Corridor District.

ANALYSIS:*Building/Elevations:*

The façade is proposed to be principally constructed of brick with a feature wall constructed of architectural metal paneling and large glazed entryway. The building appears to meet all of the minimum architectural standards within the Highway 141 Zone 1 Overlay.

Site Layout:

The site will be accessed from the future access road for the proposed development to the north. There will be two driveways providing access to the financial institution and a sidewalk is proposed to connect the building to the future east/west access road. The financial building will have a drive-thru on the east side of the building.

The dumpster will need to be relocated outside of the setback area along Highway 141 and cannot face the public right-of-way.

Pole mounter light fixtures are provided throughout the parking lot and up lighting will be provided on the building faces as well as a 30' flag pole. A multi-colored light strip is proposed to run the length of the windows at the front entry to the building. The light strip will not move, blink, or change color and features the colors of the financial institution's brand.

Parking:

The site provides more than the required number of parking spaces for the site with 76 total parking spaces provided.

Landscaping/Streetscape:

The site meets the minimum required number of plantings for the Highway 141 Mixed Use Development Corridor District. Landscaping is provided along the project frontage, within landscape islands throughout the site, and around the building.

Utilities:

The sanitary sewer will connect to the existing 8" sanitary sewer to the north of the site. A new public 6" sewer will be constructed from the existing line and run south to the building.

Water is provided from an existing 8" main to the north of the site. A new public 6" water main will be constructed from the existing line to the building. The building is proposed to be fitted with a fire suppression system, therefore the appropriate FDC and fire hydrant spacing is shown.

Detention is handled within the regional detention basin located on the west side of the NE Gateway Drive extension. Storm sewer onsite will connect to the existing storm sewer at the southwest corner of the site and connect to the regional detention basin.

STAFF RECOMMENDATION:

Staff would recommend approval of the site plan for the Financial Institution Site Plan, subject to any remaining staff comments.

CITY OF GRIMES

Evann Martin
Assistant Planner



Development Services

410 SE Main St, Suite 102

Grimes, IA 50111

(515)986-4050

www.grimesiowa.gov

~~June 2, 2020~~

~~June 16, 2020~~

June 30, 2020

Civil Engineering Consultants, Inc.

Attn: Ed Arp

2400 86th Street, Unit 12

Des Moines, IA 50322

RE: Hope Commercial Lot 4 Financial Institution Site Plan

Dear Mr. Arp:

The Development Services Department is in receipt of a proposed Site Plan for the Hope Commercial Lot 4 Financial Institution. Based on the review of the provided submittal materials, staff have the following comments:

General Comments:

1. ~~Provide lighting cut sheets and photometric plan. Note that there should be zero-foot candles at the property line, and light poles cannot be taller than 35' and must be shaded or hooded. Up lighting is required on the building faces adjacent to public ROW.~~
2. ~~Provide a geo-tech report.~~
3. ~~Provide a site details sheet with details for dumpster enclosure, handicap parking signage, directional signage, hydrants, pavement/curbs, bike rack, etc.~~ **Add dimensions of dumpster enclosure.**
4. ~~Please provide a construction schedule.~~

Sheet 1:

1. ~~Add green space requirements to cover sheet.~~
2. ~~Please update Municipality Planner to Evann Martin, Assistant Planner~~
3. ~~Please update Fire Department Contact to Craig Ver Huel, Fire Marshall~~

~~4. Sanitary Sewer has Ankeny listed. Provide development services phone number 515-986-4050~~

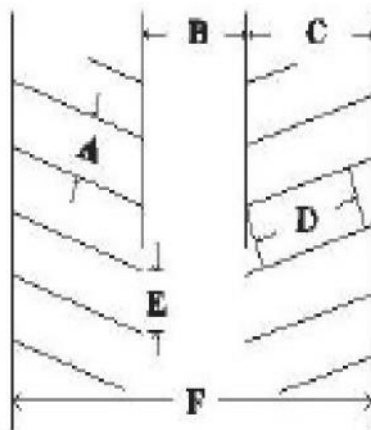
~~5. Please update all Utility Contacts to Development Services Department, Tony Hanson, Senior Engineering Technician.~~

Sheet 2:

~~1. Update with Grimes Standard Notes.~~

Sheet 3:

~~1. Add the length of the angled parking. Angled parking needs to be longer so vehicles do not hang out into the drive aisle and should be measured as shown below in measurement D. Depth must be 18' minimum.~~



~~2. Show how the driveways align with the proposed layout for Hy-Vee. The original concept plan presented to the City demonstrated the Hy-Vee aisles. Please coordinate with Hy-Vee to determine if these are accurate. If so, please add to the site plan.~~

~~3. Please add the stop bar pavement markings and stop signs.~~

~~4. Add truncated domes on the crosswalk at the northwest driveway.~~

~~5. Will there be any ground mounted mechanical equipment? If so, brick or wood screening is required with landscaping.~~

~~6. Please show roof drains connections.~~

- ~~7. Please provide a detail for the decorative jointing pattern for the sidewalk at the building entrances.~~
- ~~8. No more than 12 parking spaces may be in any single row without a terminate landscape island.~~
- ~~9. Provide a detail for the flag pole and associated lighting.~~
- ~~10. Please adjust the pedestrian connection from the driveway to not cross at a diagonal. Shift the corresponding ramp to the west to align.~~
- ~~11. Staff questions if Hy-Vee will be installing the driveway approaches or if it is applicant responsibility. If it falls upon the applicant, please provide a demolition detail for the pavement removal.~~
- ~~12. The road located along the South side of the building appears to be 16 feet in width. Per Section 503.2.1 of the City of Grimes Fire Code, the minimum width of a fire apparatus access road is 20 feet.~~
13. The dumpster needs to be relocated to be outside of the 100' setback along Hwy 141 and cannot face the public ROW.

Sheet 4:

- ~~1. It appears that the handicap parking space ramp ties in at the middle of the common square, leaving no flat accessible area. Please revise or update detail accordantly.~~

Sheet 5:

- ~~1. Please provide a detail that demonstrates that there is 150 feet of hydrant coverage. Note that this must be demonstrated by a 150-foot route (not hydrant radii). All sides of the building must be covered by said 150-foot route. The route cannot cut through parking spaces.~~
- ~~2. Staff questions if the 6" service line is being put in by Hy-Vee or if it will be tapped. If tapped, please add a tapping sleeve and valve assembly.~~
- ~~3. Please provide a valve for the domestic and fire service line.~~

- ~~4. Please show FDC location. It must be within 100 feet of an approved hydrant, and cannot be obstructed by parking or landscaping.~~
- ~~5. Number the storm structures for clarity.~~
- ~~6. Provide hydrant coverage map.~~
- ~~7. Label tapping sleeve and valve at connection to existing water main~~
- ~~8. Label water fittings (bends, tees, etc.).~~
- ~~9. City does not require a P.I.V., standard valve can be utilized.~~
- ~~10. The hydrant coverage for the proposed building does not meet the requirements of Section 507.5.1 of the City of Grimes Fire Code, which requires hydrant coverage within 150 feet along an approved route around the building.~~
- ~~11. The plan depicted no fire department connection for the fire sprinkler system. The fire department connection shall be depicted and a fire hydrant shall be located within 100' of the connection per Section 507.5.1.1 of the City of Grimes Fire Code.~~
- ~~12. Note that the required Knox Box is to be purchased directly from the Knox Company at www.KnoxBox.com. The location of the Knox Box shall be discussed and approved at the pre-construction meeting.~~

Sheet 6:

- ~~1. Up lighting of landscaping is encouraged.~~
- ~~2. Please extend SOD out to common driveway curb edge.~~

Architecture:

1. Please add the percentage of the primary material (CMU) for each elevation. A minimum of 75% is required excluding glass. Building does not meet this requirement on the east and west elevations. **Staff has determined that both the CMU and architectural metal paneling can be considered primary building materials. Therefore, the building meets the 75% primary material requirement.**
2. Buildings in Zone 1 of the Highway 141 corridor are required to include a minimum of 5 treatments on the building façade (Section 165A.24 Zone 1 #2). Please add a list

of the 5 treatments to the elevation sheet. **Please add the list of the 5 elements demonstrated in the building design to the elevation sheet.**

3. ~~All building walls facing any public R.O.W shall consist of a minimum of 20% of non-reflective glass or glaze. Please add the percentage of glazing for each façade.~~
This requirement is met.
4. ~~Please provide lighting details/cut sheets for the colored light strip. Will the lighting change color, move, or blink? Are there any other colored lights planned for inside or outside the building? Did not see detail for colored light strip. Please provide.~~
Applicant has indicated that the light strip will not change color, blink, or move.
5. The orientation of the building on the elevation sheets do not correspond to the orientation of the building on the site. Please revise to match what will be seen onsite.
We will need a revised copy of the elevations reflecting the orientation of the building as seen onsite. These can be submitted when the building permit is submitted. The current elevation will work for P&Z and Council.
6. Please add color to the elevation sheets. **The elevation sheets are hard to read. Could you please add some color so we can differentiate the features? This can be added when the revised elevations are provided as mentioned above.**

SWPPP

1. ~~Fix Vicinity Map, most of the lines are not showing up.~~
2. **Please provide final signed SWPPP.**

Stormwater Management Plan (SWMP)

1. ~~There are 4" and 6" PVC pipes on the NE side of the building, are these downspout connections? If so, break off this drainage area and include in pipe spreadsheet.~~
2. ~~Provide final signed SWMP.~~

Site Plan

1. ~~Sheet 5: Add note for downspout connections.~~

Please provide a letter addressing all comments on this comment letter and/or state what was modified on the site plan to address said comments.

SITE PLAN SUBMITTAL SCHEDULE:

SUBMITTAL DATE: ~~June 8, 2020~~
 ~~June 22, 2020~~
 July 6, 2020
 (1 PDF of Site plan with Elevation Plan included)

PLANNING & ZONING: July 7, 2020 at 5:30 at the Grimes City Hall

COUNCIL MEETING: July 21, 2020 at 5:30 at the Grimes City Hall

Please feel free to contact me at emartin@grimesiowa.gov or at (515) 514-1042 if you have any questions or need additional information.

Sincerely,

Evann Martin
Assistant Planner

SITE PLAN

FINANCIAL INSTITUTION

GRIMES, IOWA

PROJECT CONTACTS

SANITARY SEWER
DEVELOPMENT SERVICES DEPARTMENT
101 NE HARVEY STREET
GRIMES, IA 50111
CONTACT: TONY HANSON
PHONE: 515-486-3036
EMAIL: THANSON@GRIMESIA.GOV

WATER MAIN
DEVELOPMENT SERVICES DEPARTMENT
101 NE HARVEY STREET
GRIMES, IA 50111
CONTACT: TONY HANSON
PHONE: 515-486-3036
EMAIL: THANSON@GRIMESIA.GOV

STORM SEWER
DEVELOPMENT SERVICES DEPARTMENT
101 NE HARVEY STREET
GRIMES, IA 50111
CONTACT: TONY HANSON
PHONE: 515-486-3036
EMAIL: THANSON@GRIMESIA.GOV

NATURAL GAS UTILITY
MID AMERICAN ENERGY
666 GRAND AVENUE
DES MOINES, IA 50304
KELLI FREN
PHONE: 515-252-6744
EMAIL: KDFREN@MIDAMERICAN.COM

ELECTRIC
MID AMERICAN ENERGY
666 GRAND AVENUE
DES MOINES, IA 50304
KELLI FREN
PHONE: 515-252-6744
EMAIL: KDFREN@MIDAMERICAN.COM



TELEPHONE
CENTURY LINK
2103 E UNIVERSITY
DES MOINES, IA 50317
CONTACT: RAY MONTTOYA
PHONE: 515-263-7385
EMAIL: RAY.MONTTOYA@CENTURYLINK.COM

MEDIACOM COMMUNICATIONS CORPORATION
2205 INGERSOLL AVE
DES MOINES, IA 50312
CONTACT: PAUL MAY
PHONE: 515-246-2252
EMAIL: PMAY@MEDIACOMCC.COM

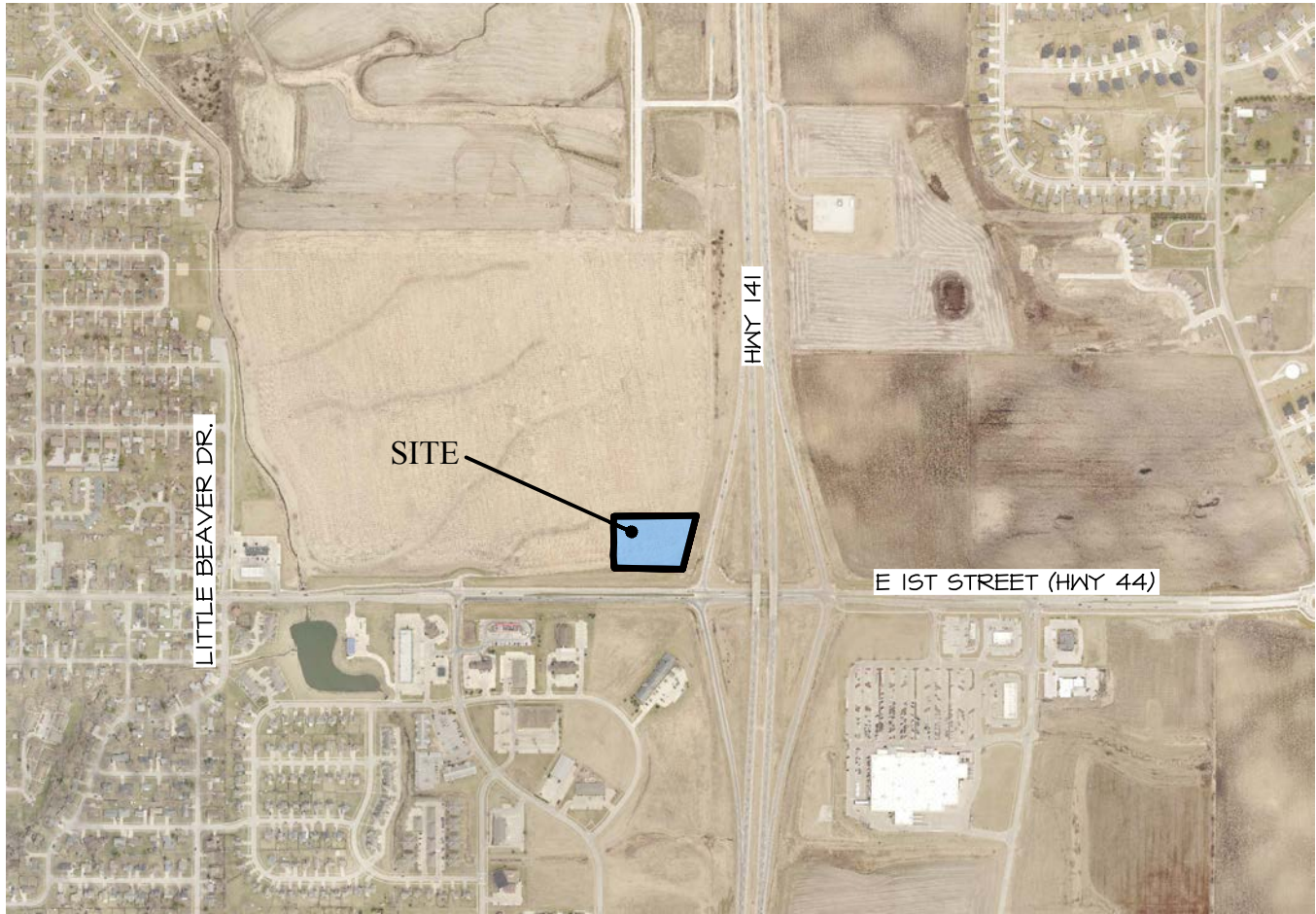
BUILDING DEPARTMENT
CITY OF GRIMES DEVELOPMENT SERVICES
410 SE MAIN STREET #102
GRIMES, IA 50111
CONTACT: SCOTT CLYCE
PHONE: 515-486-4050
EMAIL: SCCLYCE@GRIMESIA.GOV

HEALTH DEPARTMENT
POLK COUNTY PUBLIC HEALTH
1907 CARPENTER AVENUE
DES MOINES, IA 50314
CONTACT: HELEN EDDY
PHONE: 515-266-3748

FIRE DEPARTMENT
GRIMES FIRE DEPARTMENT
200 S JAMES ST
GRIMES, IA 50111
CONTACT: CRAIG VER HUEL, FIRE MARSHALL
PHONE: 515-486-4444
EMAIL: CVERHUEL@CITYOFJOHNSTON.COM

CITY DEVELOPMENT SERVICES
DEVELOPMENT SERVICES
410 SE MAIN #102
GRIMES, IA 50111
CONTACT: EVANN MARTIN
PHONE: 515-486-4050

1701 E 1st STREET, GRIMES, IOWA



VICINITY MAP
SCALE: 1" = 1000'



LEGAL DESCRIPTION

LOT 4, HOPE COMMERCIAL PLAT 1, AN OFFICIAL PLAT IN THE CITY OF GRIMES, POLK COUNTY, IOWA.

LAND AREA

1.00 ACRES MORE OR LESS.

ZONING

C-2 GENERAL & HIGHWAY SERVICE COMMERCIAL DISTRICT IV HWY 141 OVERLAY.

BULK REGULATIONS

LOT AREA: 8500 SQ. FT. MIN.
LOT WIDTH: 200 FEET MIN.
FRONT YARD: 25 FEET
SIDE YARD: 0 FEET
REAR YARD: 100 FEET FOR HWY 141 OVERLAY DISTRICT
MAX HEIGHT: 45 FEET
PARKING LOT SETBACK: 10 FEET

PARKING REQUIREMENTS

PARKING FOR OFFICE USES: 50% OF GROSS FLOOR AREA.
PARKING REQUIRED: BUILDING: 11,830 G.S.F. x 50% = 5915 S.F. / 1 = 657.67 / 18 =36.5 STALLS
PARKING PROVIDED: 76 SPACES (INCL 4 HO SPACES)

FLOOD ZONE

ZONE 'X' ACCORDING TO FEMA FLOOD INSURANCE RATE MAPS. COMMUNITY-PANEL #19153C0160F MAP
REVISED FEBRUARY 1, 2019.

PROPOSED CONSTRUCTION SCHEDULE

CLEARING & GRUBBING: AUGUST, 2020
GRADING ACTIVITIES: AUGUST, 2020
SITE UTILITIES: AUGUST - SEPT., 2020
BUILDING FOUNDATION: OCTOBER, 2020
SITE PAVING: OCTOBER, 2020
SITE LANDSCAPING: APRIL, 2021
PUNCH LIST ITEMS: MAY, 2021

ERU CALCULATION

IMPERVIOUS SURFACE (BUILDING & PAVEMENT): 42,344 / 4000 = 10.6
ERU = 11

BENCHMARKS

BENCHMARK #1: BURY BOLT ON HYDRANT, SE CORNER HWY 44 AND SE GATEWAY DRIVE.
ELEVATION = 940.44
BENCHMARK #2: CITY BENCHMARK 66J-012; CAP BOLT ON HYDRANT, SW CORNER 5TH STREET AND
LITTLE BEAVER DRIVE. ELEVATION = 926.02
BENCHMARK #3: CITY BENCHMARK 66N-004; CAP BOLT ON HYDRANT, SW CORNER N 4TH STREET
AND LITTLE BEAVER DRIVE. ELEVATION = 927.36

GREEN SPACE CALCULATION

DEVELOPED SITE: 10,346 SF
REQUIRED GREEN SPACE: 20% = 15,664 SF
PROVIDED GREEN SPACE: 45.3% = 35,502 SF.

GENERAL LEGEND

PROPOSED

- PLAT BOUNDARY
- SECTION LINE
- LOT LINE
- CENTERLINE
- EASEMENT LINE
- FLARED END SECTION
- DRAIN BASIN OR SEDIMENT RISER
- DRAIN BASIN WITH SOLID GRATE
- WATER VALVE
- FIRE HYDRANT ASSEMBLY
- BLOW-OFF HYDRANT
- SCOUR STOP MAT
- TURF REINFORCEMENT MAT
- STORM SEWER WITH SIZE
- WATER SEWER WITH SIZE
- WATER SERVICE
- PROPOSED CONTOUR
- SILT FENCE
- ADDRESS
- AGGREGATE MULCH
- POLE LIGHT
- BUILDING LIGHT

EXISTING

- LOT LINE
- SANITARY/STORM MANHOLE
- WATER VALVE
- FIRE HYDRANT
- STORM SEWER SINGLE INTAKE
- STORM SEWER DOUBLE INTAKE
- STORM SEWER ROUND INTAKE
- FLARED END SECTION
- DECIDUOUS TREE
- CONIFEROUS TREE
- SHRUB
- POWER POLE
- STREET LIGHT
- GUY ANCHOR
- ELECTRIC TRANSFORMER
- GAS METER
- TELEPHONE RISER
- SIGN
- UNDERGROUND TELEVISION
- UNDERGROUND ELECTRIC
- UNDERGROUND GAS
- UNDERGROUND FIBER OPTIC
- UNDERGROUND TELEPHONE
- OVERHEAD ELECTRIC
- SANITARY SEWER WITH SIZE
- STORM SEWER WITH SIZE
- WATER MAIN WITH SIZE
- EXISTING CONTOUR
- TREELINE
- BUILDING SETBACK LINE
- PUBLIC UTILITY EASEMENT
- MINIMUM OPENING ELEVATION
- UNLESS NOTED OTHERWISE

PROPERTY OWNER:

HY-VEE CORPORATION
5020 WESTOWN PARKWAY, WEST DES MOINES, IOWA 50266
ATTN: RANDY DOWNS
PHONE: (515) 267-2800
EMAIL: RDOWNS@HYVEE.COM

APPLICANT:

BRIAN RIDGE - RIDGE DEVELOPMENT
230 2nd STREET SE, STE 214
CEDAR RAPIDS, IOWA 52401
PHONE: (319) 771-2284
EMAIL: RIDGEDEVCO@GMAIL.COM

PROFESSIONAL LANDSCAPE ARCHITECT:

PROJECT MANAGER / LANDSCAPE ARCHITECT:
CIVIL ENGINEERING CONSULTANTS, INC.
ATTN: EDWARD H. ARP, PLA
2400 86TH STREET, SUITE 12
DES MOINES, IA 50322
PHONE: (515) 276-4884 EXT. 213
EMAIL: ARP@CECLAC.COM

PROFESSIONAL CIVIL ENGINEER:

CIVIL ENGINEERING CONSULTANTS, INC.
ATTN: CODY HEAVER, PE
2400 86TH STREET, UNIT 12
DES MOINES, IA 50322
PHONE: 515-276-4884 EXT. 227
EMAIL: HEAVER@CECLAC.COM

MUNICIPALITY PLANNER:

CITY OF GRIMES DEVELOPMENT SERVICES
ATTN: EVANN MARTIN
ASSISTANT PLANNER
410 SE MAIN STREET #102
GRIMES, IA 50111
PHONE: (515) 486-4050
EMAIL: EMARTIN@GRIMESIA.GOV

CERTIFICATIONS

	I HEREBY CERTIFY THAT THE PORTION OF THIS TECHNICAL SUBMISSION DESCRIBED BELOW WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF IOWA. BY: EDWARD H. ARP, IOWA REG. NO. 250 MY LICENSE RENEWAL DATE IS: JUNE 30, 2020 PAGES OR SHEETS COVERED BY THIS SEAL: THIS SHEET ONLY.
	I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA. PRELIMINARY CODY T. HEAVER, IOWA LIC. NO. 25085 DATE: MY LICENSE RENEWAL DATE IS DECEMBER 31, 2020 PAGES OR SHEETS COVERED BY THIS SEAL: DRAWING 5

SUBMITTAL TABLE	
SUBMITTAL DATE	SUBMITTAL NOTES
MAY 26, 2020	INITIAL SUBMITTAL
JUNE 8, 2020	FIRST RESUBMITTAL
JUNE 22, 2020	SECOND RESUBMITTAL
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PRELIMINARY

FINANCIAL INSTITUTION

GRIMES, IOWA

COVER

Civil Engineering Consultants, Inc.

2400 86th Street, Unit 12, Des Moines, Iowa 50322
515.276.4884 . Fax: 515.276.7084 . mail@ceclac.com



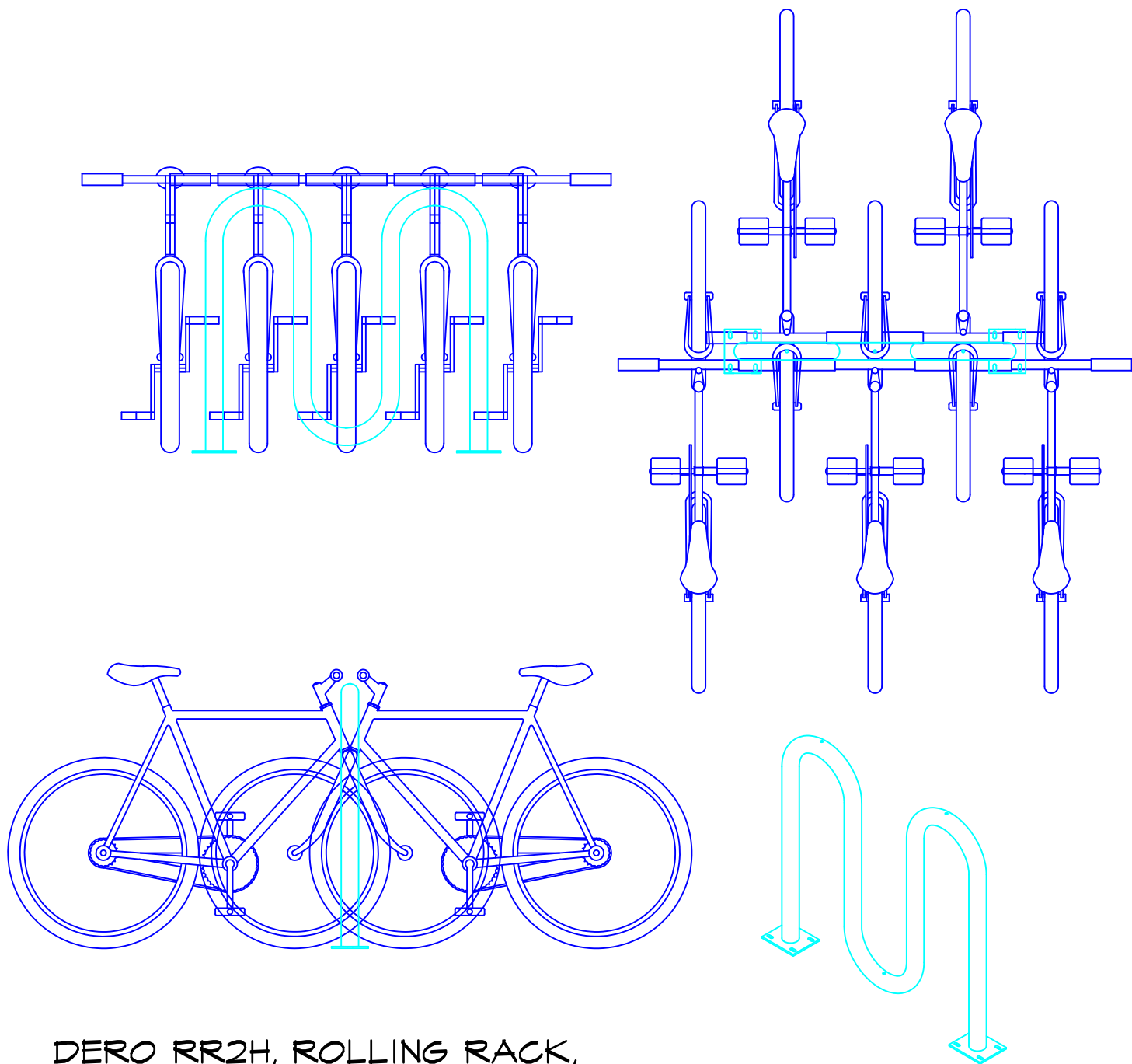
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DERO RR2H, ROLLING RACK,
STAINLESS FINISH, SURFACE MOUNT.

CITY OF GRIMES STANDARD NOTES FOR SITE PLANS:

1. GENERAL NOTES:
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CURRENT VERSION OF THE IOWA STATEWIDE URBAN DESIGN AND SPECIFICATIONS FOR PUBLIC IMPROVEMENTS ON THE DATE OF APPROVAL AND THE CITY OF GRIMES SUPPLEMENTAL SPECIFICATIONS.
 - A PRECONSTRUCTION MEETING IS REQUIRED PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE THIS MEETING. CONTACT CITY OF GRIMES ENGINEERING DEPT. (515.466.4050).
 - ALL PERMITS (IDNR, SWP, IDOT, ARMY CORP., ETC.) SHALL BE OBTAINED PRIOR TO THE START OF CONSTRUCTION.
 - THE DEVELOPER AND/OR CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE THE CITY OF GRIMES WITH RECORD DRAWINGS OF ALL IMPROVEMENTS AS PER CITY STANDARD PROCEDURES.
 - TYPICAL BUILDING SERVICE LAYOUT TO REFLECT THE CITY'S SERVICE ORDER FROM LEFT TO RIGHT FACING THE LOT, SANITARY, WATER, SUMP.
 - A KNOX BOX IS REQUIRED BY THE FIRE DEPARTMENT AND SHALL BE OBTAINED AT CITY HALL.
 - ALL SITE LIGHTING SHALL NOT SPILL ONTO ADJACENT PROPERTIES OR RIGHT-OF-WAYS.
 - PROVIDE A 4-YEAR MAINTENANCE BOND FOR ALL PUBLIC IMPROVEMENTS.
2. SANITARY SEWER NOTES:
- THE CONTRACTOR IS REQUIRED TO PLACE A TEMPORARY PLUG IN THE EXISTING DOWNSTREAM SANITARY SEWER MANHOLE PRIOR TO THE START OF CONSTRUCTION. THE PLUG SHALL BE REMOVED FOLLOWING APPROVAL OF CONSTRUCTION BY THE CITY OF GRIMES.
 - SANITARY GRAVITY PIPE MATERIAL SHALL BE PVC SDR 26 OR TRUSS (8A TO 15A).
 - SANITARY GRAVITY SERVICE PIPE MATERIAL SHALL BE PVC SDR 23.5 (4A TO 6A).
 - ALL SANITARY SEWER MANHOLES SHALL HAVE STEPS.
 - ALL SANITARY SEWER MANHOLES CASTINGS SHALL BE SEALED WITH HEAT SHRINK SLEEVES.
 - ALL SANITARY SEWER MANHOLES CASTINGS LOCATED WITHIN PAVEMENT SHALL BE TYPE B,PCC W/ADJUSTING MECHANISM.
 - SANITARY SEWER TESTING, CLEANING & TELEVISIONS SHALL BE COMPLETED PRIOR TO PAVING. THE SEWER SYSTEM SHALL BE FLUSHED WITH WATER PRIOR TO TELEVISIONS.
3. WATER MAIN NOTES:
- ALL FIRE HYDRANTS SHALL BE AMERICAN FLOW CONTROL-WATERLOUS PACER WB-6T-250, MUELLER SUPER CENTURION 250 (3-WAY A-423), OR CLOW MEDALLION F-254S. ALL HYDRANTS SHALL HAVE THE FOLLOWING: 6A MJ SHOE, 2-1/2A HOSE NOZZLE, 4-1/2A STEAMER NOZZLE, NST THREADS, PENTAGON OPERATING NUT, CHAIN ON CAP, OPEN LEFT, 5-1/2" BURY, AND FACTORY PAINTED RED. THE MINIMUM SPOOL PIPE LENGTH FROM AUXILIARY VALVE TO HYDRANT SHOE SHALL BE 20'.
 - ALL HYDRANTS WILL IMMEDIATELY BE COVERED WITH A BLACK PLASTIC BAG (OR EQUIVALENT) ONCE THE HYDRANT IS INSTALLED. THE CITY OF GRIMES WILL NOTIFY THE CONTRACTOR WHEN THE BAGS CAN BE REMOVED.
 - A TRACER WIRE RECEPTACLE SHALL BE INSTALLED AT EACH HYDRANT, AA MANUFACTURING TRACER WIRE RECEPTACLE MODEL TW4P-2.
 - ALL VALVES SHALL BE RESILIENT WEDGE GATE VALVES.
 - WATER SERVICE SHALL BE 1-INCH MINIMUM TYPE K COPPER.
 - PROPOSED WATER MAIN SHALL BE PRESURE TESTED AND CHLORINATED BY THE DEVELOPER. THE FILLING OF THE WATER MAIN SHALL BE DONE BY THE CITY OF GRIMES. THE BACTERIA TEST AND SUBMITTAL OF TEST TO LAB SHALL BE DONE BY THE DEVELOPER AND RESULTS PROVIDED TO THE CITY OF GRIMES ENGINEERING DEPT. AND BY FAX TO US WATER AT 515-466-7300. IF THE TEST DOES NOT PASS, THE CONTRACTOR WILL BE REQUIRED TO PAY FOR ALL THE WATER USED TO REPEAT THE TEST.
 - ALL WATER MAIN FITTINGS TO BE RESTRAINED JOINT, MEGA-LUG OR APPROVED EQUAL.
4. STORM SEWER NOTES:
- ALL STORM SEWER IN THE ROW SHALL BE RCP, UNLESS OTHERWISE APPROVED BY THE CITY.
 - ALL FLARED END SECTIONS SHALL HAVE FOOTINGS AND APRON GRATES. THE LAST 3 PIPE SECTIONS AND THE FLARED END SECTION ON ALL CULVERTS SHALL BE TIED. ALL STORM SEWER JOINTS SHALL BE WRAPPED WITH ENGINEERING FABRIC.
 - THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY FIELD TILE DAMAGED DURING CONSTRUCTION. THE TILE SHOULD BE DIRECTED TO PUBLIC STORM SEWER IF POSSIBLE. THE CONTRACTOR SHALL RECORD THE ELEVATION AND LOCATION OF ALL TILES.
 - STORM SEWER CLEANING & TELEVISIONS SHALL BE COMPLETED PRIOR TO PAVING. THE SEWER SYSTEM SHALL BE FLUSHED WITH WATER PRIOR TO TELEVISIONS.
 - USE O RING GASKETS ON STORM SEWERS CROSSING OVER WATER MAIN PER IDNR REQUIREMENT.

GENERAL NOTES

1. ONE WEEK PRIOR TO CONSTRUCTION CONTRACTOR SHALL NOTIFY:
- CITY OF GRIMES BUILDING DIVISION
 - APPLICANT
 - CIVIL ENGINEERING CONSULTANTS, INC.
 - "ONE CALL" UTILITY LOCATE SERVICE
 - CITY OF GRIMES PLANNING DEPARTMENT.
2. ALL DIMENSIONS ARE TO BACK OF CURB, OUTSIDE OF BUILDING WALL, AND TO PROPERTY LINES.
3. LOCATIONS AND DIMENSIONS SHOWN ON PLANS FOR EXISTING FACILITIES ARE IN ACCORDANCE WITH AVAILABLE INFORMATION WITHOUT UNCOVERING AND MEASURING. ENGINEER DOES NOT GUARANTEE ACCURACY OF INFORMATION OR THAT ALL EXISTING UNDERGROUND FACILITIES ARE SHOWN. IT IS RESPONSIBILITY OF CONTRACTOR TO CONTACT ALL PUBLIC AND/OR PRIVATE UTILITIES SERVING AREA TO DETERMINE PRESENT EXTENT AND EXACT LOCATION OF FACILITIES BEFORE BEGINNING WORK.
4. CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT UTILITIES OR STRUCTURES AT SITE. IT SHALL BE CONTRACTOR'S RESPONSIBILITY TO NOTIFY OWNERS OF UTILITIES OR STRUCTURES CONCERNED BEFORE STARTING WORK. CONTRACTOR SHALL NOTIFY PROPER UTILITY IMMEDIATELY UPON BREAKING OR DAMAGING ANY UTILITY LINE OR APPURTENANCE, OR INTERRUPTION OF SERVICE. IF EXISTING UTILITY LINES ARE ENCOUNTERED THAT CONFLICT WITH NEW CONSTRUCTION, CONTRACTOR SHALL NOTIFY ENGINEER SO CONFLICT MAY BE RESOLVED.
5. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH 2020 URBAN STANDARD SPECIFICATIONS AND CITY OF GRIMES SUPPLEMENTALS.
6. ALL DEBRIS SPILLED ON CITY R.O.W. AND ADJOINING PROPERTY SHALL BE REMOVED BY CONTRACTOR IN TIMELY FASHION.
7. SIGN PERMIT IS REQUIRED BEFORE SIGNS ARE INSTALLED.
8. SEE ELECTRICAL SITE PLAN FOR SITE LIGHTING REQUIREMENTS. SITE LIGHTING BY ELECTRICAL CONTRACTOR.
9. SEE MECHANICAL DRAWINGS FOR EXACT LOCATIONS AND DEPTH OF ALL UTILITY SERVICES.
10. SEE STRUCTURAL DRAWINGS FOR EXACT LOCATIONS AND SIZES OF STOOPS AT ALL DOOR OPENINGS.
11. CURB RAMP SLOPES ARE TO BE NO GREATER THAN 8.33% LONGITUDINALLY AND 2.00% CROSS-SLOPE. UNO, MEANS UNLESS NOTED OTHERWISE.

GRADING NOTES

1. STRIP MINIMUM OF 6" OF TOPSOIL FROM ALL AREAS WHICH ARE TO BE FILLED OR CUT INCLUDING WASTE AND/OR BORROW AREAS. ADDITIONAL STRIPPING MAY BE REQUIRED TO ADEQUATELY REMOVE ORGANICS AND SOFT SEDIMENTS.
2. ALL AREAS WHICH ARE TO RECEIVE EMBANKMENT SHALL HAVE TOP 12-INCHES DISCED AND COMPACTED TO 95% STANDARD PROCTOR DENSITY.
3. ALL AREAS TO RECEIVE STRUCTURAL FILL SHALL BE BENCHED.
4. ANY LOCALIZED AREAS WHICH CANNOT BE SATISFACTORILY COMPACTED OR WHICH SHOW EVIDENCE OF PUMPING ACTION SHALL BE UNDERCUT AND RECOMPACTED WITH ON-SITE FILL MATERIAL.
5. ALL STRUCTURAL FILL SHALL BE COMPACTED TO DENSITY THAT IS NOT LESS THAN 95.0% OF STANDARD PROCTOR DENSITY WITH MOISTURE LIMITS SET FORTH IN SOILS REPORT. NON-STRUCTURAL FILL TO BE COMPACTED TO 85% STANDARD PROCTOR WITHIN SPECIFIED MOISTURE RANGE.
6. MAINTAIN ALL CUT AND FILL AREAS TO ACCOMMODATE SURFACE DRAINAGE.
7. GRADING CONTRACTOR SHALL STOCKPILE TOPSOIL FOR SHOULDERING, & PLANTING & SOD BEDS.
8. FINISHED GRADE ON ALL NON-PAVED AREAS SHALL BE WITHIN 0.10 FOOT OF PLAN GRADE AT CRITICAL LOCATIONS. PAVED AREAS SHALL BE WITHIN 0.1 FOOT. ALL OTHER AREAS TO BE WITHIN 0.2 FEET OF DESIGNED GRADES.
9. CONTRACTOR SHALL VERIFY LOCATION AND PROTECT ALL EXISTING UTILITIES AND STRUCTURES. DAMAGE TO UTILITIES AND STRUCTURES SHALL BE REPAIRED BY CONTRACTOR AT CONTRACTOR'S EXPENSE, TO SATISFACTION OF UTILITY OWNER.
10. TOPSOIL SHALL BE SPREAD TO MINIMUM THICKNESS OF 8-INCHES ON ALL LANDSCAPED AREAS UNO.
11. BACKFILL TO TOP OF ALL CURBS.
12. ALL ELEVATIONS ARE TO GUTTER GRADE UNO.
13. ALL EXISTING TILE LINES ENCOUNTERED SHALL BE RESTORED OR ROUTED TO STORM SEWER WHETHER ACTIVE OR NOT.
14. ALL DEBRIS SPILLED ON PUBLIC R.O.W. AND ADJOINING PROPERTY SHALL BE REMOVED BY OWNER/CONTRACTOR IN TIMELY FASHION.
15. PERIMETER EROSION CONTROLS MUST BE IN PLACE PRIOR TO GRADING ACTIVITIES.
16. PERIMETER EROSION CONTROLS MUST BE INSPECTED BY, AND FOUND TO BE ACCEPTABLE BY CITY OF GRIMES ENFORCEMENT OFFICER. PRIOR TO ANY LAND DISTURBING ACTIVITIES, MINOR CLEARING AND GRADING MAY BE ALLOWED IF REQUIRED TO INSTALL CONTROLS - NOT TO EXCEED 1 DAY FROM BEGINNING OF GRADING ACTIVITIES.
17. SITE IS REQUIRED TO PRESERVE AND PROTECT EQUIVALENT OF 4-INCHES OF TOPSOIL OVER ENTIRE SITE, FOR RESPREAD, IN ACCORDANCE WITH NPDES GENERAL PERMIT NO. 2. SEE NOTE 10 ABOVE.
18. MINIMUM OF ONE FOOT OF COMPACTED COHESIVE SUBGRADE SHALL BE PROVIDED BENEATH ALL PAVEMENTS.
19. PREPARE BOTTOM OF BENCH FOR FILL BY DISCS TO DEPTH OF 6-INCHES.
20. MOISTURE CONTENT OF FILL MATERIAL SHALL BE WITHIN RANGE AS INDICATED IN ALLENDER BUTZKE ENGINEERS INC. GEOTECHNICAL REPORT PN 181507. COPIES CAN BE REQUESTED FROM CEC.
21. NO MANUFACTURED SLOPES SHALL EXCEED 3:1 SLOPE.

UTILITY NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH 2020 VERSION OF STATEWIDE URBAN DESIGN STANDARDS AND SPECIFICATIONS (S.U.D.A.S.) & CITY OF GRIMES SUPPLEMENTALS.
2. ONE WEEK PRIOR TO CONSTRUCTION, CONTRACTOR SHALL NOTIFY:
- CITY OF GRIMES BUILDING DIVISION
 - APPLICANT
 - CIVIL ENGINEERING CONSULTANTS, INC.
 - "ONE CALL" UTILITY LOCATE SERVICE
 - CITY OF GRIMES PLANNING DIVISION
3. CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. DAMAGE TO UTILITIES OR STRUCTURES SHALL BE REPAIRED BY CONTRACTOR TO SATISFACTION OF UTILITY OWNER.
4. RECONNECT ANY FIELD TILE THAT ARE INTERCEPTED DURING UTILITY CONSTRUCTION.
5. CONTRACTOR SHALL PROTECT AND BACK FILL AROUND UNDERGROUND UTILITIES. BACKFILL SHALL BE IN 6-INCH LAYERS, COMPACTED TO 95% STANDARD PROCTOR DENSITY.
6. ALL WATER SERVICE WORK SHALL BE CONSTRUCTED ACCORDING TO S.U.D.A.S. VERSION 2020.
7. MANHOLES ADJUSTMENTS TO EXISTING MANHOLES SHALL INCLUDE NOT MORE THAN 18-INCH OF ADJUSTING RINGS. LARGER ADJUSTMENTS SHALL REQUIRE NEW BARREL SECTION.

SODDING NOTES

1. SOD SHALL BE FOUR WAY BLEND CONTAINING 25% OF EACH OF FOLLOWING: KENTUCKY BLUEGRASS & ONE OTHER BLUEGRASS, CREEPING RED FESCUE, AND TALL FESCUE. CONTENT MAY VARY UP TO 5%.
2. SOD SHALL BE CUT AT UNIFORM THICKNESS OF APPROXIMATELY 1" PLUS OR MINUS 1/4".
3. BEFORE STRIPPING, SOD SHALL BE MOVED TO UNIFORM HEIGHT OF 2 1/2".
4. SOD SHALL BE REASONABLY FREE OF DISEASE AND SOIL-BORNE INSECTS.
5. SOD SHALL BE FREE OF OBJECTIONABLE GRASSY AND BROADLEAF WEEDS.
6. SOD SHALL BE HARVESTED WHEN MOISTURE CONTENT (EXCESSIVELY DRY OR WET) MAY NOT ADVERSELY AFFECT SURVIVAL OF SOD.
7. SOD SHALL BE CUT, DELIVERED AND INSTALLED IN TIME PERIOD OF 36 HOURS.
8. SOD BED SHAL BE IN FIRM BUT UNCOMPACTED CONDITION WITH RELATIVELY FINE TEXTURE AND FREE OF FOOTPRINTS DEEPER THAN 1/2" AT TIME OF SODDING.
9. SOD SHALL BE LAID WITH STAGGERED JOINTS AT RIGHT ANGLES TO DIRECTION OF SLOPE.
10. SOD SHALL BE STAKED ON ALL SLOPES THAT ARE 4:1 OR STEEPER.
11. IN ABSENCE OF ADEQUATE RAINFALL, SOD SHALL BE WATERED BY CONTRACTOR FOR THIRTY DAYS. IRRIGATION SHALL MAINTAIN MOISTURE TO DEPTH OF 4 INCHES.
12. SOD SHALL NOT BE MOVED UNTIL IT IS FIRMLY ROOTED. NO MORE THAN 1/3 OF GRASS LEAF SHALL BE REMOVED AT ANY ONE TIME.

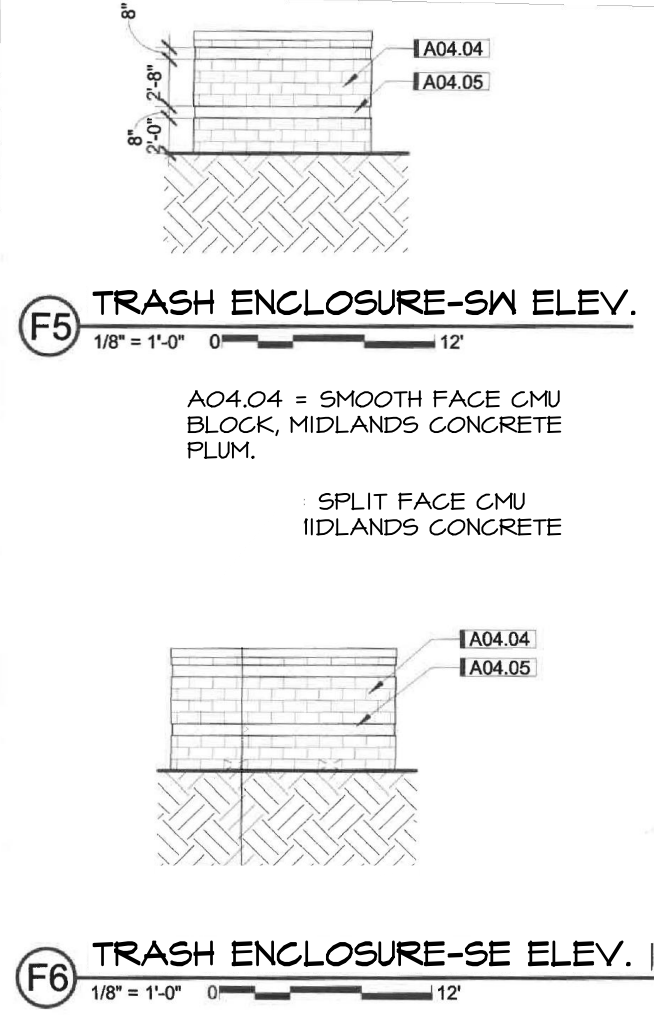
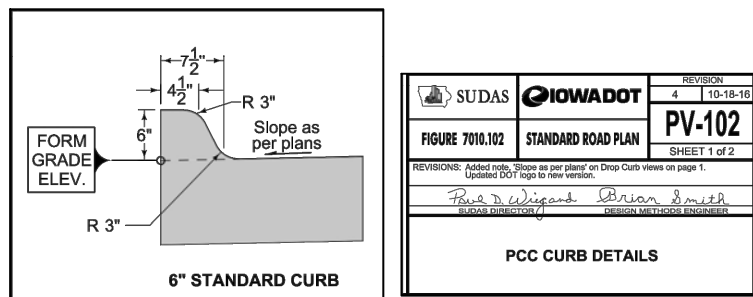
PAVING NOTES

1. ALL PAVING SHALL BE IN ACCORDANCE WITH S.U.D.A.S. 2020 STANDARD SPECIFICATIONS.
2. CURBS SHALL BE CAST INTEGRALLY WITH P.C.C. PAVEMENT UNO. EDGES SHALL BE ROUNDED BUT NOT ROLLED.
3. P.C.C. SIDEWALKS SHALL BE 4-INCHES THICK MINIMUM AND SHALL HAVE TRANSVERSE CONSTRUCTION AND CONTRACTION JOINTS AS SHOWN. EXPANSION JOINTS SHALL BE WHERE WALK MEETS OTHER WALKS, BACK OF CURBS, FIXTURES, OR OTHER STRUCTURES, AND AT 50 FOOT MAXIMUM INTERVALS.
4. ALL PAVEMENT HAS CURBS UNO.
5. ALL PAVED AREAS SHALL BE TO BE MINIMUM 4-INCH NON-REINFORCED PCC OVER PREPARED SUBGRADE.
6. PROVIDE CONCRETE BOXOUTS AROUND ALL INTAKES AND MANHOLES WITHIN PAVED AREAS PER S.U.D.A.S.
7. ALL RADII ARE 5.00 FEET UNLESS NOTED OTHERWISE.
8. 7" P.C.C. AT ON-PAVED AREAS SEE DIMENSION PLAN.
9. 6" NON-REINFORCED P.C.C. FOR DRIVING AILES AND PARKING STALLS. SEE DIMENSION PLAN.
10. ALL PAVING TO BE FULL-DEPTH P.C.C. OVER 12" OF COMPACTED PREPARED SUBGRADE PER GEOTECHNICAL ENGINEER'S REPORT.

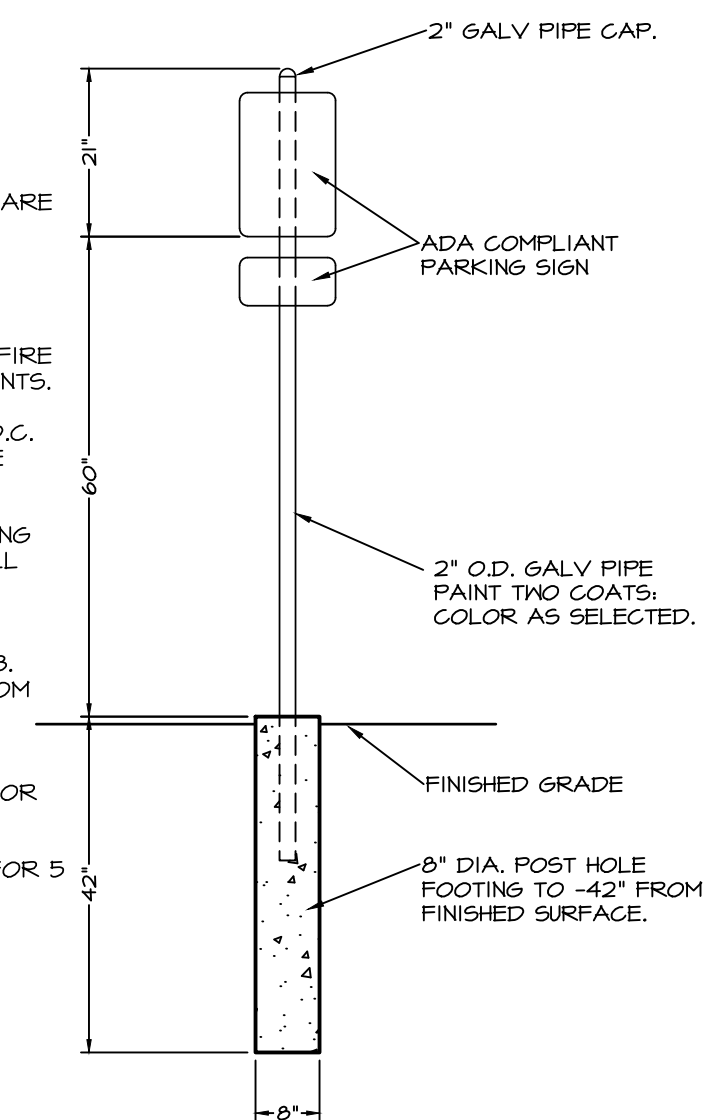
PLANTING NOTES

1. ALL SITEWORK, SODDING AND LANDSCAPING SHALL BE IN ACCORDANCE WITH CITY OF GRIMES STANDARD SPECIFICATIONS UNO.
2. ALL PLANT MATERIAL SHALL MEET OR EXCEED MINIMUM REQUIREMENTS SHOWN IN "AMERICAN STANDARD FOR NURSERY STOCK" (ANSI Z60.1).
3. CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIALS FOR PERIOD OF ONE YEAR FROM DATE OF INITIAL ACCEPTANCE.
4. NO PLANT MATERIAL SHALL BE SUBSTITUTED WITHOUT AUTHORIZATION OF LANDSCAPE ARCHITECT AND CITY.
5. DECIDUOUS TREES LARGER THAN 1-1/2" CALIPER SHALL BE STAKED (2 STAKES) AND WRAPPED IMMEDIATELY AFTER PLANTING. TREE WRAP SHALL BE HELD IN PLACE WITH DEGRADABLE STRING. TAPES AND PLASTIC TIES ARE NOT ALLOWED.
6. ALL TREES, SHRUBS, BEDS & GROUND COVERS SHALL BE MULCHED WITH 3-INCHES SHREDDED HARDWOOD MULCH UNO.
7. PLANT QUANTITIES ARE FOR CONTRACTORS CONVENIENCE. DRAWING SHALL PREVAIL WHERE CONFLICT OCCURS.
8. ONE WEEK PRIOR TO INSTALLATION, CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT AT CIVIL ENGINEERING CONSULTANTS, INC. (TELEPHONE 515/276-4884).
9. CONTRACTOR SHALL STAKE LOCATION OF PLANTS FOR LANDSCAPE ARCHITECT'S APPROVAL BEFORE DIGGING HOLES.
10. ALL DECIDUOUS TREES SHALL BE PLANTED AT LEAST 5' FROM R.O.W.
11. ALL DISTURBED AREAS SHALL BE SODDED PER DRAWINGS.
12. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF CONTAINERS, WIRE BASKETS, AND BINDING CORDS ON ALL PLANT MATERIAL PRIOR TO INITIAL ACCEPTANCE. CONTRACTOR TO REMOVE PLANT TAGS AFTER INITIAL ACCEPTANCE BY LANDSCAPE ARCHITECT AND CITY.
13. ALL METERS AND MECHANICAL UNITS TO BE SCREENED BY PLANTINGS.
14. NO OVERSTORY TREES ARE ALLOWED WITHIN PUBLIC SANITARY AND STORM SEWER EASEMENTS.

1. SEE ELECTRICAL AND STRUCTURAL DRAWINGS FOR LIGHT POLE BASE DESIGN THROUGHOUT SITE.
2. SEE ARCHITECTURAL FOR DETAILS REGARDING TRASH ENCLOSURE.
3. SEE STRUCTURAL FOR DETAILED STOOP DETAILS AT ALL DOOR LOCATIONS.
4. B.H.E.= BASE HEIGHT ELEVATION.
5. ALL UTILITY FITTINGS, FEES, SPECIAL INSPECTIONS BY GOVERNING AUTHORITIES ARE TO BE INCLUDED IN PROJECT.
6. SANITARY SEWER TO BE PER S.U.D.A.S. REQUIREMENTS.
7. WATER SERVICE, INCLUDING VALVES AND FIRE HYDRANT TO BE PER S.U.D.A.S. REQUIREMENTS.
8. F.D.C.=FIRE DEPARTMENT CONNECTION. F.D.C. AND KNOX BOX TO BE LOCATED PER FIRE CHIEF.
9. SEE ELECTRICAL FOR ACTUAL SITE LIGHTING LAYOUT AND DETAILS PERTAINING TO ALL SITE ELECTRICAL ITEMS.
10. CENTER OF LIGHT POLE BASES TO BE BETWEEN 3'5" AND 5' FROM BACK OF CURB. TOP OF LIGHT POLE BASE TO BE +20" FROM PROPOSED FINISHED GRADE.
11. ALL PAVEMENT STRIPING TO BE 4" WIDE YELLOW IN COLOR. FOR ADA STALLS COLOR TO BE ADA BLUE.
12. BIKE RACK, DERO ROLLING RACK RR2H FOR 5 BICYCLES. STAINLESS FINSH, SURFACE MOUNTED.



2 PROTECTIVE BOLLARD
SCALE: 1/2"=1'-0"



1 ADA PARKING SIGNAGE
SCALE: 1/2"=1'-0"

PRELIMINARY

FINANCIAL INSTITUTION
1701 E 1st STREET, GRIMES, IOWA

GENERAL NOTES & INFORMATION

Civil Engineering Consultants, Inc.

2400 86th Street Unit 12 Des Moines, Iowa 50322
515.276.4884 Fax: 515.276.7084 mail@cecinc.com



JUNE 22, 2020

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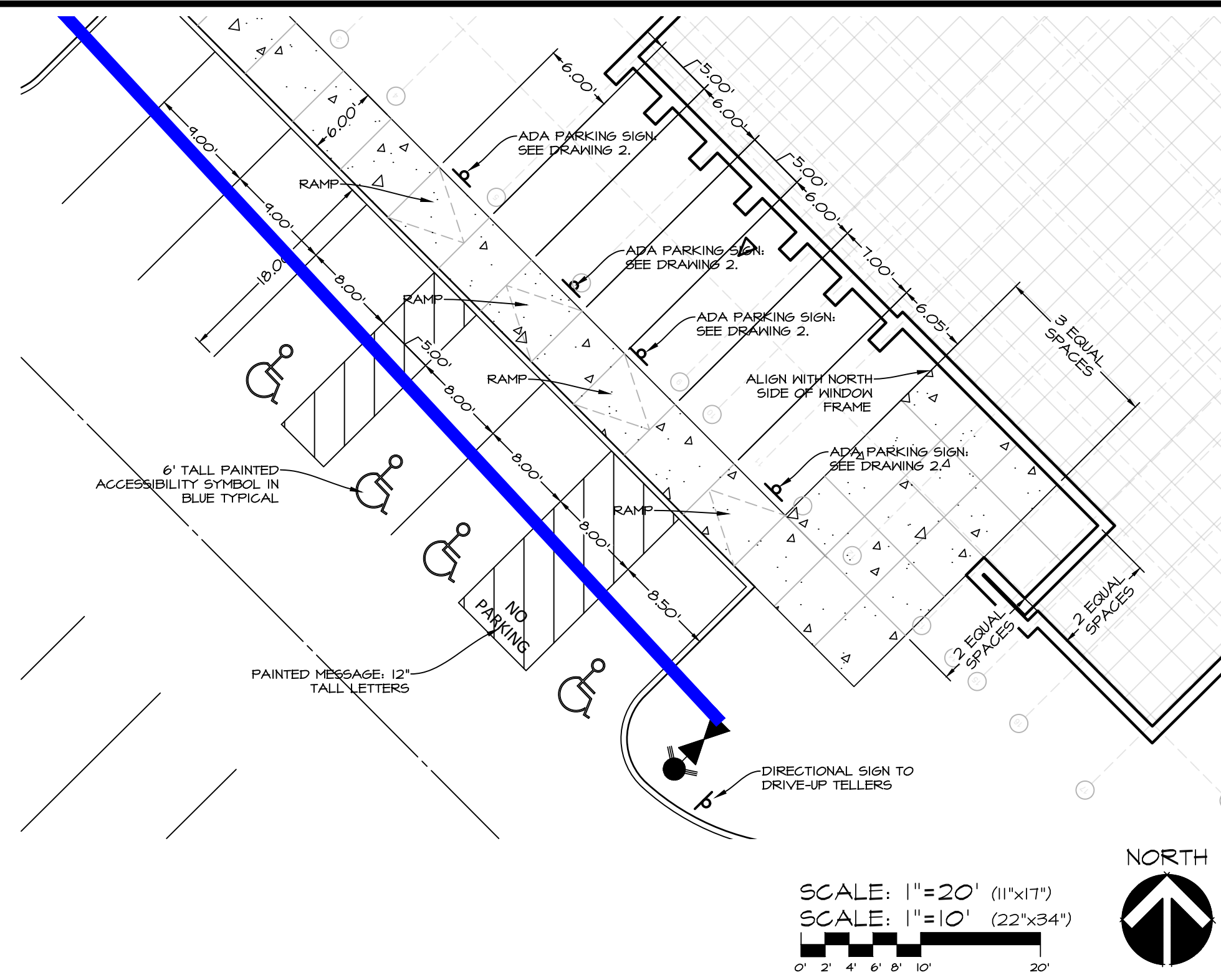
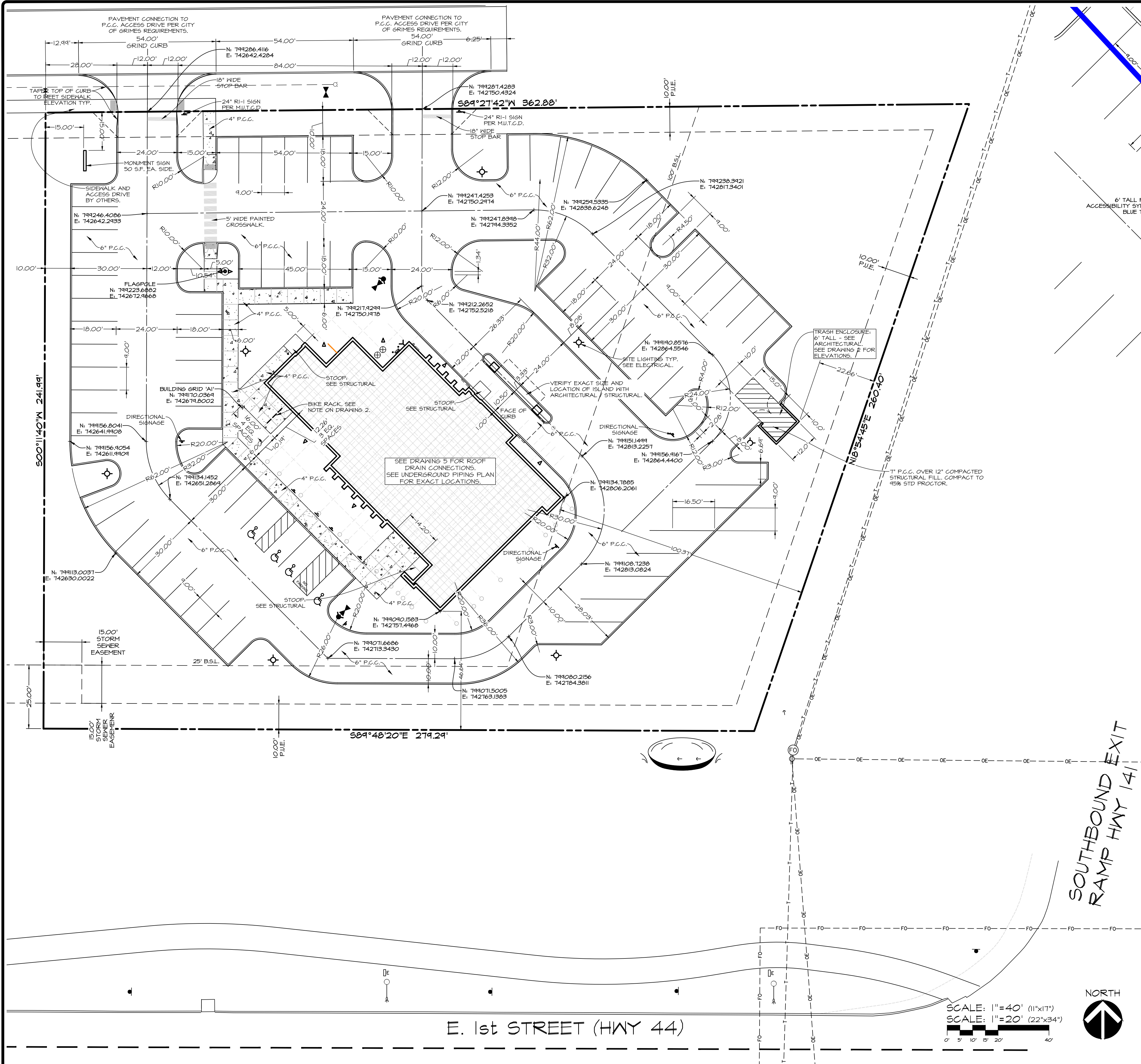
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- FLAGPOLE NOTES:**
- 30' EXPOSED HEIGHT x 5" BUTT WITH 3" TOP DIAMETER x 0.156" WALL THICKNESS FLAGPOLE WITH FLAGGED WINDSPEED RATED AT 45 MPH.
 - FOUNDATION TO BE MINIMUM 6" DEEP OR AS REQUIRED BY MANUFACTURER.
 - ALUMINUM ALLOY 6063-T6 POLE MATERIAL WITH UNIFORM CONICAL TAPER, GOLD BALL FINIAL.
 - 5/16" INTERNAL HALYARD AND CLEAT WITH REVOLVING TRUCK.
 - GALVANIZED CORRUGATED GROUND SLEEVE WITH LIGHTNING PROTECTION SPIKE AT BOTTOM OF FOUNDATION.
 - SATIN BRUSHED ALUMINUM FINISH.
 - SUITABLE FOR MAXIMUM 6' x 10' AMERICAN FLAG, ONE FLAG ONLY.
 - IF ADDITIONAL FLAGS ARE DESIRED, CONFIRM WITH FLAGPOLE MANUFACTURER FLAG SIZES ALLOWED BASED UPON QUANTITY.
 - GROUND MOUNTED LIGHTING: SEE SITE ELECTRICAL.

PRELIMINARY

FINANCIAL INSTITUTION
101 EAST 1ST STREET, GRIMES, IOWA

DIMENSION PLAN

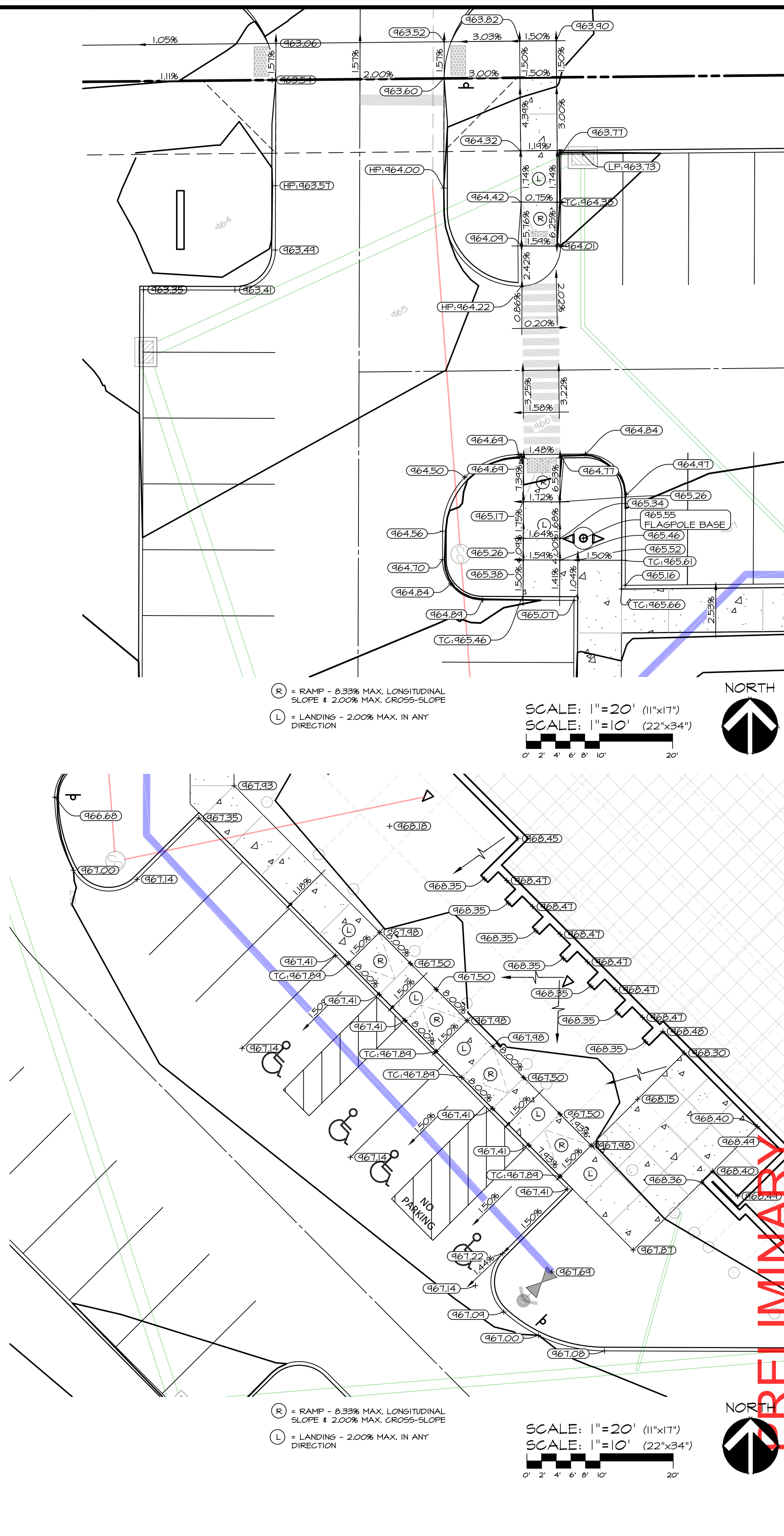
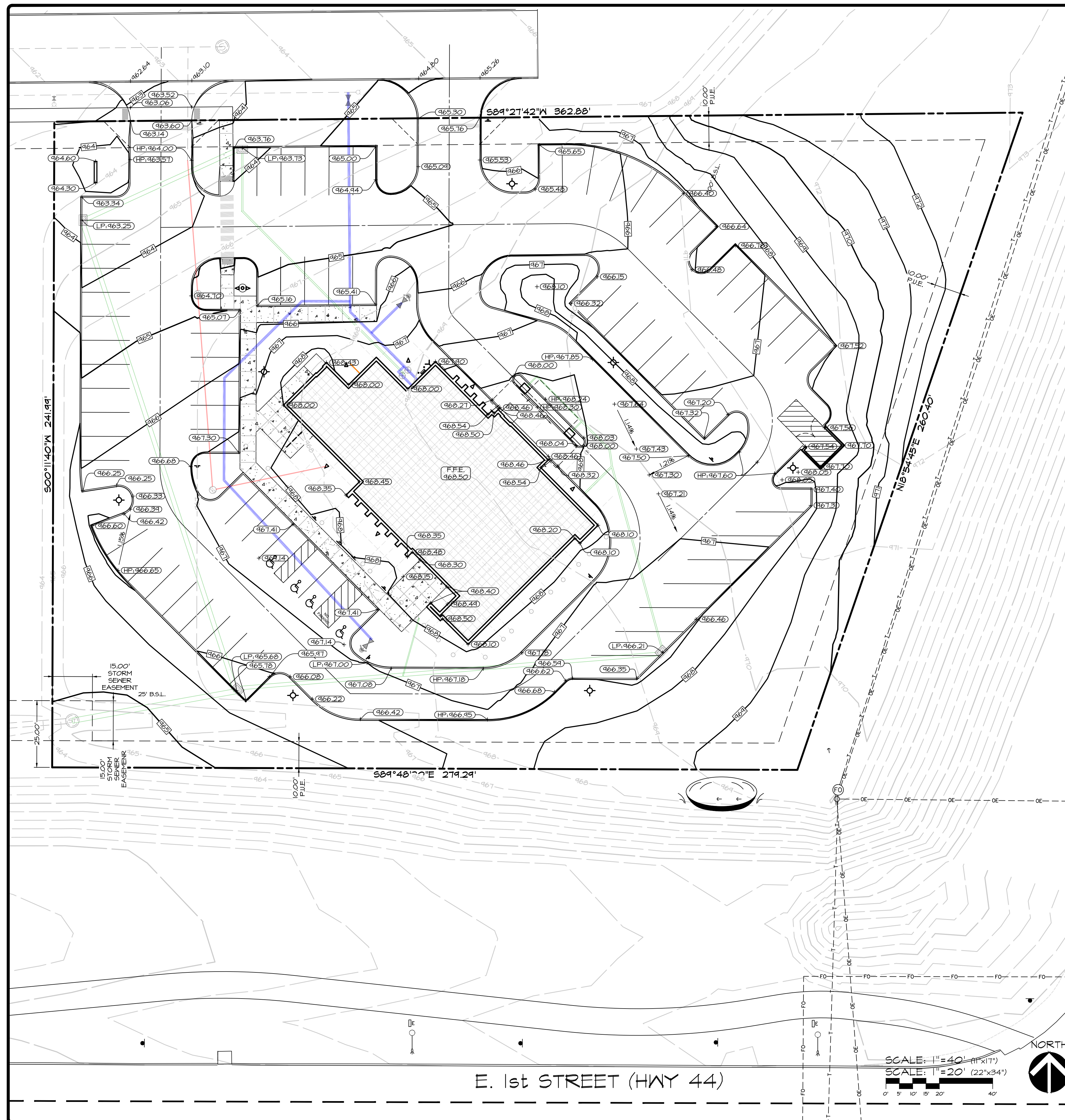
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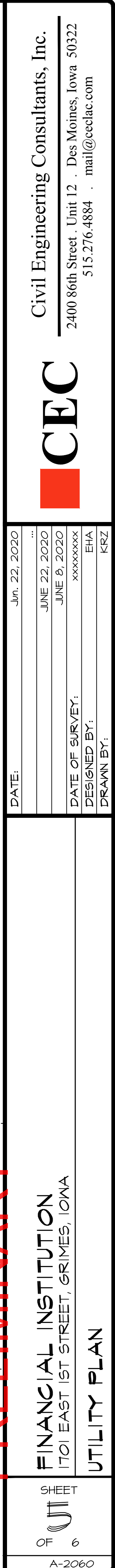
Civil Engineering Consultants, Inc.
2400 86th Street Unit 12 Des Moines, Iowa 50322
515.276.4884 mail@cecinc.com

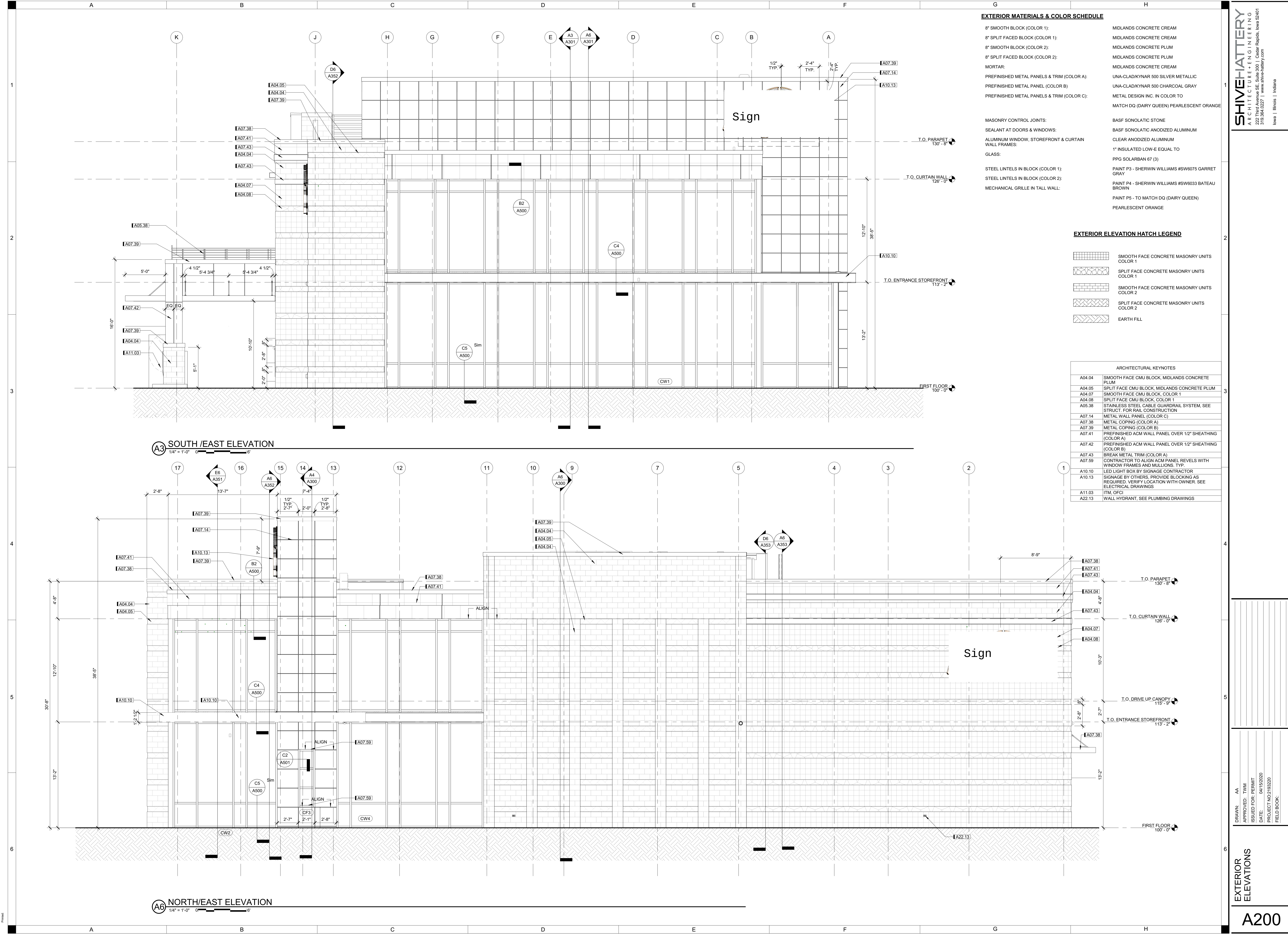
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FINANCIAL INSTITUTION	
1701 EAST 1ST STREET, GRIMES, IOWA	
GRADING PLAN & DETAILS	
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EXTERIOR MATERIALS & COLOR SCHEDULE

8" SMOOTH BLOCK (COLOR 1):	MIDLANDS CONCRETE CREAM
8" SPLIT FACED BLOCK (COLOR 1):	MIDLANDS CONCRETE CREAM
8" SMOOTH BLOCK (COLOR 2):	MIDLANDS CONCRETE PLUM
8" SPLIT FACED BLOCK (COLOR 2):	MIDLANDS CONCRETE PLUM
MORTAR:	MIDLANDS CONCRETE CREAM
PREFINISHED METAL PANELS & TRIM (COLOR A):	UNA-CLAD/KYNAR 500 SILVER METALLIC
PREFINISHED METAL PANEL (COLOR B)	UNA-CLAD/KYNAR 500 CHARCOAL GRAY
PREFINISHED METAL PANELS & TRIM (COLOR C):	METAL DESIGN INC. IN COLOR TO MATCH DQ (DAIRY QUEEN) PEARLESCENT ORANGE
MASONRY CONTROL JOINTS:	BASF SONOLATIC STONE
SEALANT AT DOORS & WINDOWS:	BASF SONOLATIC ANODIZED ALUMINUM
ALUMINUM WINDOW, STOREFRONT & CURTAIN WALL FRAMES:	CLEAR ANODIZED ALUMINUM
GLASS:	1" INSULATED LOW-E EQUAL TO PPG SOLARBAN 67 (3)
STEEL LINTELS IN BLOCK (COLOR 1):	PAINT P3 - SHERWIN WILLIAMS #SW6075 GARRET GRAY
STEEL LINTELS IN BLOCK (COLOR 2):	PAINT P4 - SHERWIN WILLIAMS #SW6033 BATEAU BROWN
MECHANICAL GRILLE IN TALL WALL:	PAINT P5 - TO MATCH DQ (DAIRY QUEEN) PEARLESCENT ORANGE

EXTERIOR ELEVATION HATCH LEGEND

	SMOOTH FACE CONCRETE MASONRY UNITS COLOR 1
	SPLIT FACE CONCRETE MASONRY UNITS COLOR 1
	SMOOTH FACE CONCRETE MASONRY UNITS COLOR 2
	SPLIT FACE CONCRETE MASONRY UNITS COLOR 2
	EARTH FILL

ARCHITECTURAL KEYNOTES	
A04.04	SMOOTH FACE CMU BLOCK, MIDLANDS CONCRETE PLUM
A04.05	SPLIT FACE CMU BLOCK, MIDLANDS CONCRETE PLUM
A04.07	SMOOTH FACE CMU BLOCK, COLOR 1
A04.08	SPLIT FACE CMU BLOCK, COLOR 1
A05.38	STAINLESS STEEL CABLE GUARDRAIL SYSTEM. SEE STRUCT. FOR RAIL CONSTRUCTION
A07.14	METAL WALL PANEL (COLOR C)
A07.38	METAL COPING (COLOR A)
A07.39	METAL COPING (COLOR B)
A07.41	PREFINISHED ACM WALL PANEL OVER 1/2" SHEATHING (COLOR A)
A07.42	PREFINISHED ACM WALL PANEL OVER 1/2" SHEATHING (COLOR B)
A07.43	BREAK METAL TRIM (COLOR A)
A07.59	CONTRACTOR TO ALIGN ACM PANEL REVELS WITH WINDOW FRAMES AND MULLIONS. TYP.
A10.10	LED LIGHT BOX BY SIGNAGE CONTRACTOR
A10.13	SIGNAGE BY OTHERS. PROVIDE BLOCKING AS REQUIRED. VERIFY LOCATION WITH OWNER. SEE ELECTRICAL DRAWINGS
A11.03	ITM, OFCI
A22.13	WALL HYDRANT. SEE PLUMBING DRAWINGS

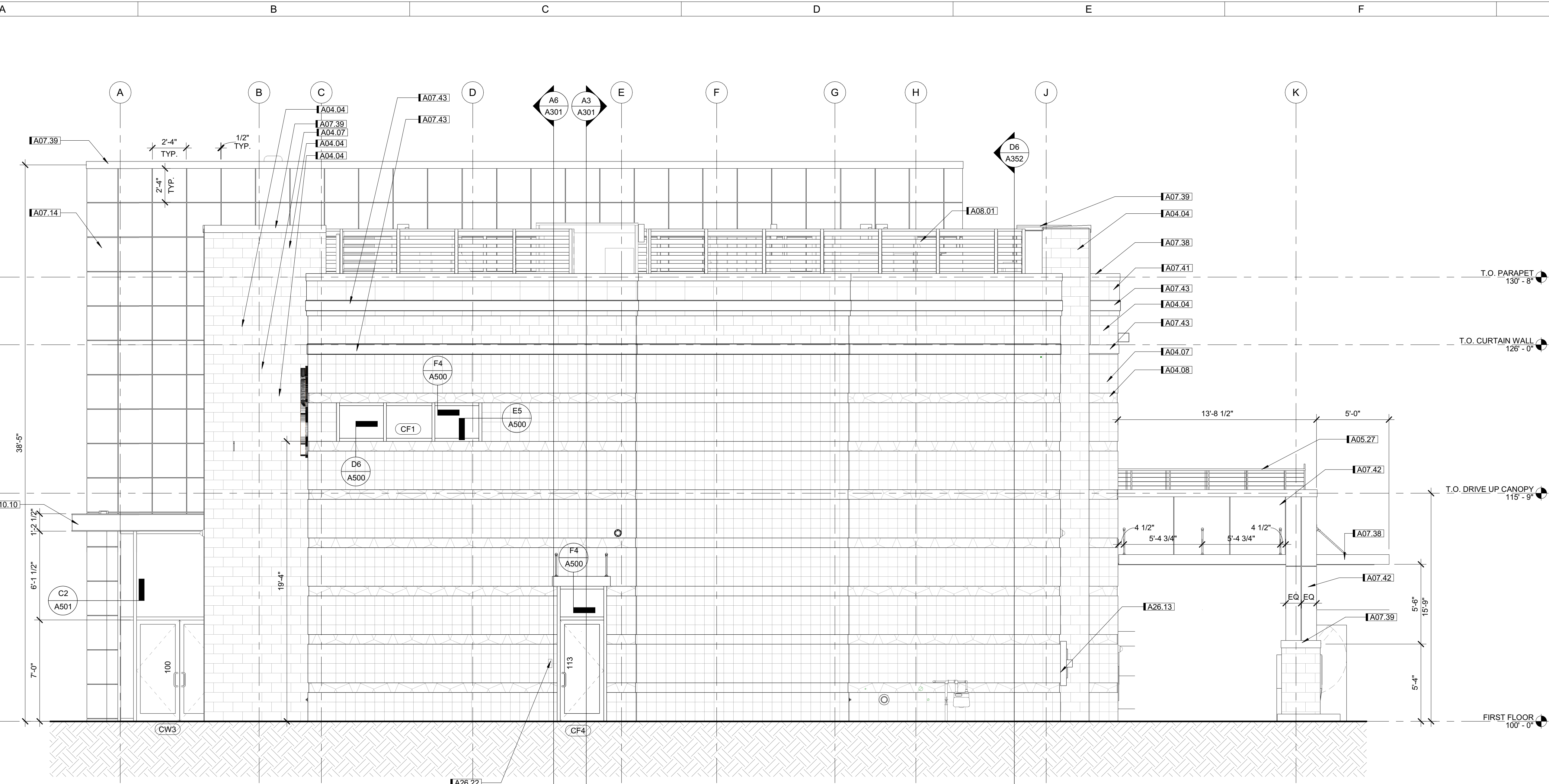
EXTERIOR MATERIALS & COLOR SCHEDULE

8" SMOOTH BLOCK (COLOR 1):	MIDLANDS CONCRETE CREAM
8" SPLIT FACED BLOCK (COLOR 1):	MIDLANDS CONCRETE CREAM
8" SMOOTH BLOCK (COLOR 2):	MIDLANDS CONCRETE PLUM
8" SPLIT FACED BLOCK (COLOR 2):	MIDLANDS CONCRETE PLUM
MORTAR:	MIDLANDS CONCRETE CREAM
PREFINISHED METAL PANELS & TRIM (COLOR A):	UNA-CLAD/KYNAR 500 SILVER METALLIC
PREFINISHED METAL PANEL (COLOR B)	UNA-CLAD/KYNAR 500 CHARCOAL GRAY
PREFINISHED METAL PANELS & TRIM (COLOR C):	METAL DESIGN INC. IN COLOR TO MATCH DQ (DAIRY QUEEN) PEARLESCENT ORANGE
MASONRY CONTROL JOINTS:	BASF SONOLATIC STONE
SEALANT AT DOORS & WINDOWS:	BASF SONOLATIC ANODIZED ALUMINUM
ALUMINUM WINDOW, STOREFRONT & CURTAIN WALL FRAMES:	CLEAR ANODIZED ALUMINUM
GLASS:	1" INSULATED LOW-E EQUAL TO PPG SOLARBAN 67 (3)
STEEL LINTELS IN BLOCK (COLOR 1):	PAINT P3 - SHERWIN WILLIAMS #SW6075 GARRET GRAY
STEEL LINTELS IN BLOCK (COLOR 2):	PAINT P4 - SHERWIN WILLIAMS #SW6033 BATEAU BROWN
MECHANICAL GRILLE IN TALL WALL:	PAINT P5 - TO MATCH DQ (DAIRY QUEEN) PEARLESCENT ORANGE

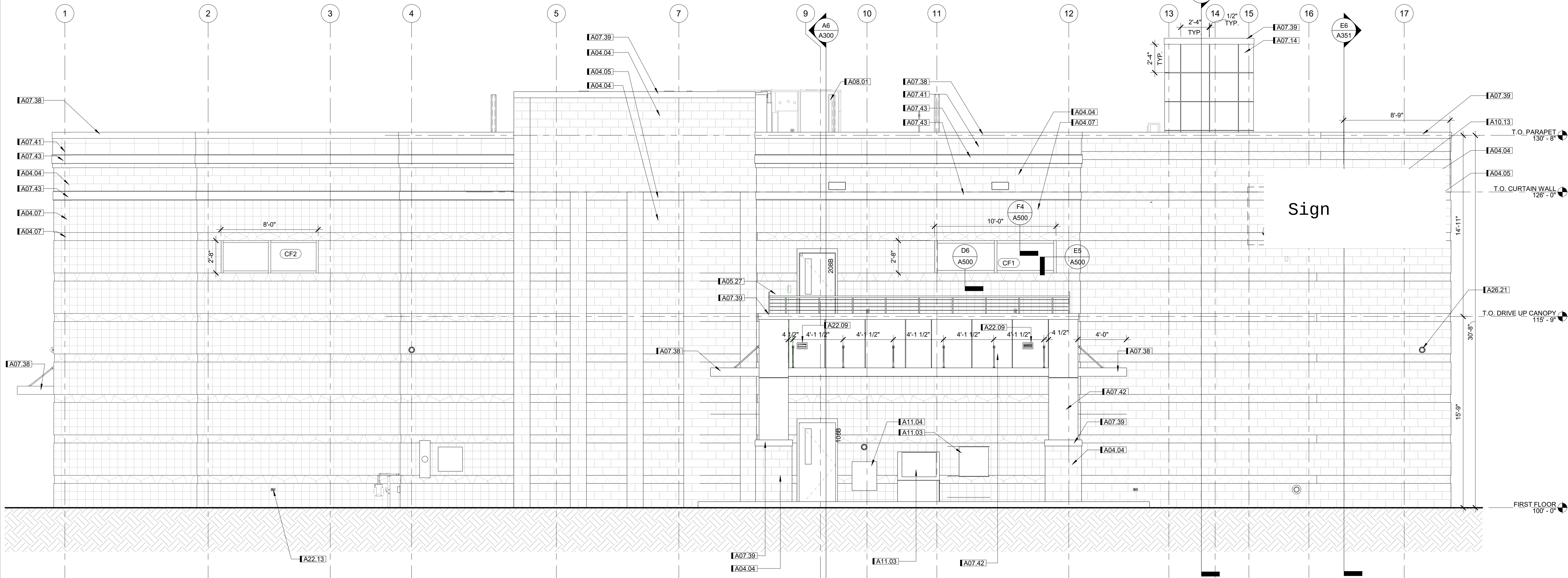
EXTERIOR ELEVATION HATCH LEGEND

	SMOOTH FACE CONCRETE MASONRY UNITS COLOR 1
	SPLIT FACE CONCRETE MASONRY UNITS COLOR 1
	SMOOTH FACE CONCRETE MASONRY UNITS COLOR 2
	SPLIT FACE CONCRETE MASONRY UNITS COLOR 2
	EARTH FILL

ARCHITECTURAL KEYNOTES	
A04.04	SMOOTH FACE CMU BLOCK, MIDLANDS CONCRETE PLUM
A04.05	SPLIT FACE CMU BLOCK, MIDLANDS CONCRETE PLUM
A04.07	SMOOTH FACE CMU BLOCK, COLOR 1
A04.08	SPLIT FACE CMU BLOCK, COLOR 1
A05.27	STAINLESS STEEL ROD RAILING
A07.14	METAL WALL PANEL (COLOR C)
A07.38	METAL COPING (COLOR A)
A07.39	METAL COPING (COLOR B)
A07.41	PREFINISHED ACM WALL PANEL OVER 1/2" SHEATHING (COLOR A)
A07.42	PREFINISHED ACM WALL PANEL OVER 1/2" SHEATHING (COLOR B)
A07.43	BREAK METAL TRIM (COLOR A)
A08.01	MECHANICAL SCREEN, SEE ELEVATION F6/A103
A10.10	LED LIGHT BOX BY SIGNAGE CONTRACTOR
A10.13	SIGNAGE BY OTHERS, PROVIDE BLOCKING AS REQUIRED. VERIFY LOCATION WITH OWNER. SEE ELECTRICAL DRAWINGS
A11.03	ITM, OFCI
A11.04	NIGHT DEPOSIT / CASH SAFE, REQUIRES THROUGH WALL PENETRATION COORDINATE WITH MANUFACTURER, OFCI
A22.09	OVERFLOW SCUPPER LOCATE TO BE 2" HIGHER THAN ROOF DRAIN
A22.13	WALL HYDRANT, SEE PLUMBING DRAWINGS
A26.12	TRANSFORMER, SEE ELECTRICAL DRAWINGS
A26.13	METER, SEE ELECTRICAL DRAWINGS
A26.21	CAMERA, SEE ELECTRICAL DRAWINGS
A26.22	CARD READER, SEE ELECTRICAL DRAWINGS

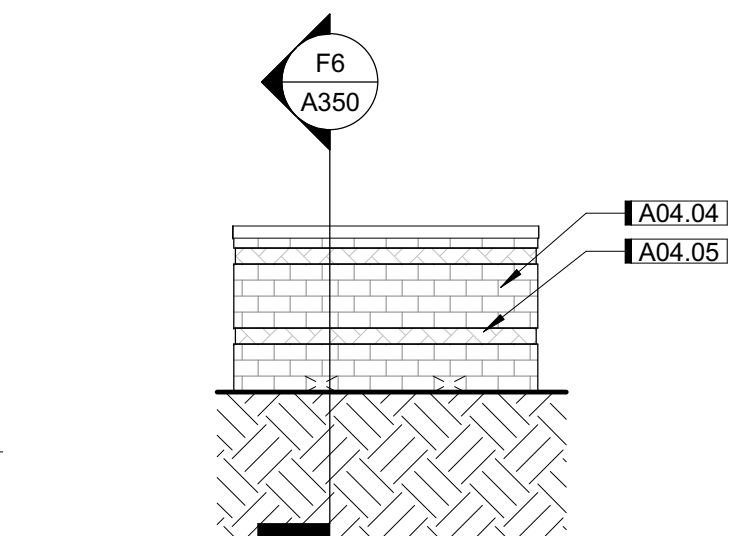


A4 NORTH/ WEST ELEVATION
1/4" = 1'-0" 0' 6'



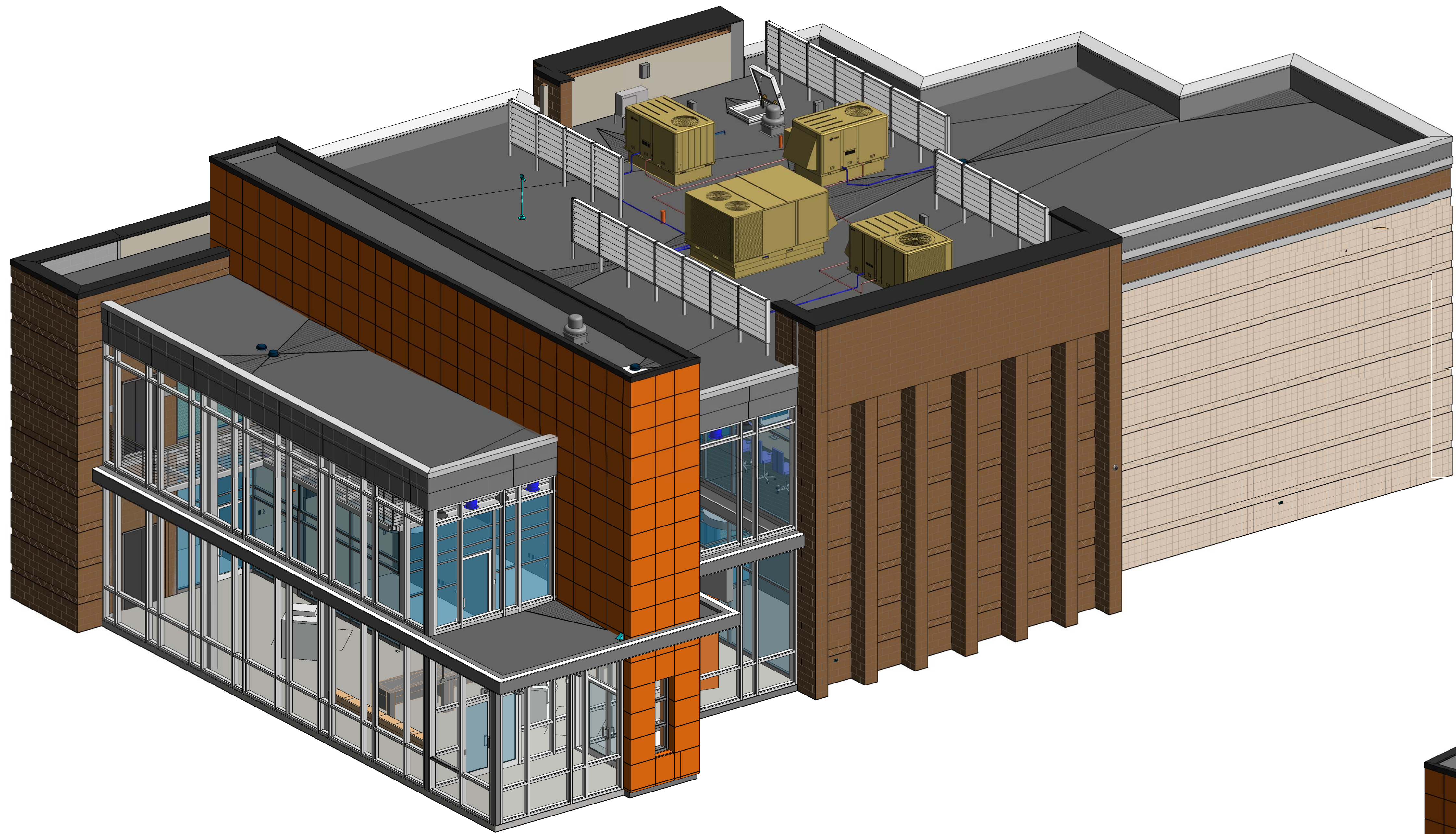
A6 SOUTH/ WEST ELEVATION
1/4" = 1'-0" 0' 6'

F5 DUMPSTER WEST ELEVATION
1/8" = 1'-0" 0' 12'

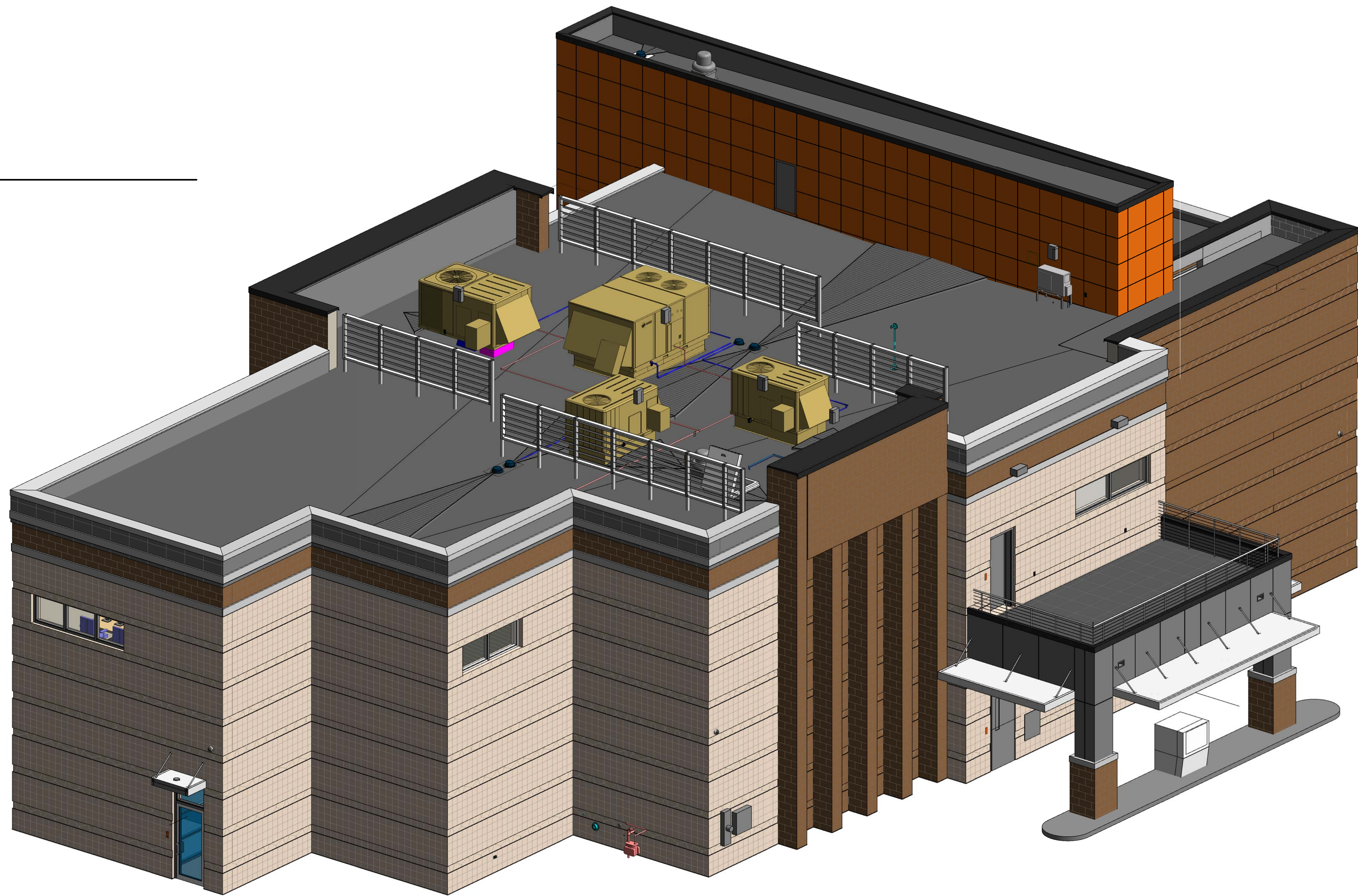


F6 DUMPSTER SOUTH ELEVATION
1/8" = 1'-0" 0' 12'





A4 NORTH WEST



D6 SOUTH EAST