101 NE Harvey Street, Grimes, Iowa 50111 | P: 515.986.3036 | F: 515.986.3846

This meeting of the Grimes Planning and Zoning Commission was called to order Tuesday March 3, 2020 at 5:30 P.M. at Grimes City Hall.

Roll Call: Present: Scott Almeida, Courtney Strutt-Todd, Craig Patterson, Amy Montford, Danielle Smid, Council Liaison: Andrew Borcherding

Staff: Alex Pfaltzgraff, Evann Martin, Rachel Greving

Absent: N/A

A. <u>GENERAL AGENDA ITEMS</u>

1. APPROVAL OF THE AGENDA

Motion by Smid, Second by Montford, to approve the agenda
Roll Call: Ayes-All; Nays-0 Motion passes: 4-0

2. APPROVAL OF THE MINUTES

Motion by Smid, Second by Strutt-Todd, to approve the minutes from the February 4, 2020 meeting
Roll call: Ayes-All: Nays-0 Motion passes: 4-0

B. <u>PUBLIC AGENDA ITEMS</u>

Project # 20-1017: Hope Commercial- Rezoning from A-1 to C-2

Josh Trygstad of Civil Design Advantage presented this rezoning; he commented that it consists of 18.6 acres with 8 commercial lots. Pfaltzgraff also presented the proof of concept plan to show the future plans for the commercial zoning use.

Staff suggested that for purposes of consistency through the development, that the Transportation Corridor Overlay be extended to all 18.6 acres.

Motion by Smid, Second by Strutt-Todd to approve Hope Commercial Rezoning from A-1 to C-2
Roll Call: Aye-All Nay-0 **Motion Passes 4-0**

Project # 20-1010: Kasperbauer – Rezoning from A-1 to R-1

Pfaltzgraff explained the details of this rezoning. There are a number of estate properties in the northern part of town along NW 27th ST. One lot to the west just annexed into Grimes not long ago. Annexation of this lot has already been approved by council. When a lot is annexed in, it will be brought in as A-1 zoning, but in order to build two new homes on the lot, it needs to be zoned R-1. A plan is also in place to get sanitary sewer to the lots.

Motion by Strutt-Todd, Second by Smid to approve Kasperbauer Rezoning from A-1 to R-1
Roll Call: Aye-All Nay-0 **Motion Passes 5-0**

Project # 20-1020: Brookfield Estates – Preliminary Plat – Polk County

Martin presented this project to the commission. It is a Polk County plat that is a half mile north of Grimes city limits. It is currently vacant, and residential homes are located to the south. This commission needs to hear this project to be sure that the project includes urbanized regulations in event it would be annexed into Grimes in the future. Staff recommended approval.

Motion by Strutt-Todd, Second by Patterson to approve Brookfield Estates Preliminary Plat – Polk County
Roll Call: Aye-All Nay-0 **Motion Passes 5-0**

Zoning Ordinance Amendment – Fence Regulations

Pfaltzgraff presented this project stating that the fence regulations are being relocated from the building regulations to the zoning ordinance. This will allow for property owners to request relief from the fence ordinance to the Board of Adjustment.

There are also certain changes that would be made to the regulations concerning setbacks and regulations related to ornamental fences.

Motion by Patterson, Second by Montford to approve Zoning Ordinance Amendment – Fence Regulations
Roll Call: Aye-All Nay-0 **Motion Passes 5-0**

Discussion: Governors District – Regulations

Staff has started crafting a land use plan for the Governors District of Grimes. Currently, it has a mix of industrial, commercial, and residential zoning. Certain standards need to be regulated to preserve the character of the area, while ensuring that reasonable development opportunities are provided.

Montford commented that the brick-based buildings are important to really preserve the downtown feel in a growing community, and suggested that staff look at extending the commercial areas down 2nd Ave.

The Commission also suggested that the area along HWY 44 be removed as it is too far removed from the district.

No action was taken as this was a discussion topic only.

C. **PUBLIC FORUM – None**

D. **REPORTS**

1. **Department Update – Staff provided an update on development and capital projects around the City.**
2. **Council Liaison Update – N/A**
3. **Old Business – N/A**
4. **New Business – N/A**
5. Next meeting April 7, 2020

Meeting is adjourned at 6:34 p.m.

_____

Signature

Development Services
410 SE Main St, Suite 102
Grimes, IA 50111
(515)986-4050
www.grimesiowa.gov

~~March 4, 2020~~
~~March 19, 2020~~
March 31, 2020

Civil Design Advantage
Attn: Doug Mandernach
3405 Crossroads Drive, Suite G
Grimes, IA 50111

RE: M-Keds Plat 1 Lot 2 Site Plan

Dear Mr. Mandernach:

The Development Services Department is in receipt of a proposed Site Plan for M-Keds Plat 1 Lot 2. Based on the review of the provided submittal materials, staff have the following comments:

General Comments:

1. ~~The building appears to be a speculative building per the definition provided in Chapter 32 of the City of Grimes Fire Code. Note that this building appears at this time to fall under the requirements of Chapter 32, which would require the presence of a sprinkler system designed for high piled combustible storage. Given this information, the 6" fire service main may not be adequate for the required fire sprinkler system.~~

2. ~~The Knox Box listed in the notes shall be placed near the main entrance to the fire sprinkler riser/ fire alarm room.~~

Sheet 1/Cover:

1. ~~NPDES note above title block calls for grading permit from City of Grimes.~~

2. ~~Update the construction schedule to reflect the site plan approval schedule.~~

3. ~~Update the open space calculation. 15% open space is required.~~

4. ~~What is the phasing plan? Will you be building both buildings now?~~

Sheet 2:

1. ~~Add a note to protect the manhole.~~

Sheet 3:

1. ~~Insert updated Grimes Standard Site Plan Note (attached).~~

2. ~~On General Note #5 Change Construction Division to Development Services.~~

3. ~~Show a sidewalk along SE 28th Street. Petition waiver will be required to cover sidewalk installation in the future.~~

4. ~~Include handicap parking and detail required signage. Please revise the handicap parking arrangement to meet the minimum ADA standards for protected aisle width. The aisle must be stripped accordingly.~~

5. ~~What are the 12' by 20' spaces next to the buildings at the north end of the project? Screening is required if outdoor storage is proposed. If this area is intended for parking, the proposed configuration doesn't allow for those spaces to be parked in. The likelihood that the spaces are converted to storage appears to be high, so therefor please provide screening (fence and landscaping)~~

6. ~~Move the hydrant away from the door to ensure access to the riser room can be made.~~

7. ~~The curb on the entrance drive needs to be standard 6" curb. Staff was previously mistaken. The HWY 141 Corridor Overlay does not permit rolled curbs.~~

8. ~~The building man doors open into the parking spaces. There should be a 5' minimum clear area in front of the man doors. The spaces will need to be moved and some sort of barrier put in place to stop vehicles.~~

9. ~~Is there any signage proposed?~~

10. ~~What type of lighting is proposed? Please provide cut sheets and details for the locations.~~

11. ~~How will the trash be handled? Please note on the plans if internal.~~

Sheet 4:

1. ~~On Grading Note #4 change "Altoona" to Grimes.~~

2. ~~Adjust driveway to drain onto site from ROW.~~

3. ~~Add the grading contours in the ROW.~~

4. ~~Show all storm sewer inlets and outlets.~~

5. ~~Is Mid-American okay with placing transformers in the detention pond area? Access may be challenging.~~

Sheet 5:

1. ~~The detention ponds need to show 2% fall from inlet to outlet.~~

Sheet 6:

1. ~~Verify if there is an existing sanitary service stub at connection to sanitary.~~

2. ~~Sanitary services to be 6" diameter.~~

3. ~~Separate domestic and fire services outside of building and provide a valve/curb stop on each.~~

4. ~~Why is there a sand/oil separator located in the middle of the parking lot? Please provide details on the use/occupancy that would require a sand/oil separator.~~

5. ~~Show roof drain connections.~~

6. ~~The manhole along SE 28th Street may need to be adjusted due to proposed grading.~~

Sheet 7:

1. ~~The 8" standpipe is called for on page 5 on detail 1 it is referred to as a riser with rock. Label each with the same name for clarity.~~

2. ~~The orifice detail is showing installation on RCP pipe between joints, adjust detail to show how the plate will be installed on the proposed 8" HDPE at the 8" standpipe.~~

3. ~~Add the elevation of the orifice plate per the SWMP details.~~

Sheet 8:

1. ~~32 trees and 31 shrubs are required (2 trees/1000sf open space & 1 shrub/500 sf open space). You are correct 31 trees and 31 shrubs are required. The minimum requirement will have to be met.~~

2. ~~A minimum of 1 tree/50' of frontage on 28th Street shall be planted.~~

3. ~~Landscaping is required along the building frontage facing SE 28th Street.~~

4. ~~Add the type of ground cover to the plant schedule. Please revise to SOD.~~

5. ~~Staff would suggest revising the tree species for those that are located in the detention basin side slope. Alternatively, the trees may be shifted south to the top of the berm. Please ensure there is at least 8 feet from the sanitary sewer main.~~

Architecture:

1. ~~Five architecture elements are required per the Highway 141 Corridor design standards. It appears there are only two (awning and variation in roof height). Please add the 5 elements to the elevation plan.~~

2. ~~The east and north wall is blank. No blank wall area or façade shall exceed 30 feet in horizontal or vertical direction.~~

3. ~~Elevation is only shown for one of the buildings. Provide the elevation of the other building. Still needed.~~

4. ~~Up lighting is required on the south elevation. Still needed.~~

5. ~~The calculation for the stone area does not meet the 75% minimum (823 sf is required).~~

6. ~~On the east elevation, show 10' of stone extending from the front building face.~~

Stormwater Review:

SWPPP

1. ~~Vicinity Map on cover sheet and Erosion and Sediment control plan sheet is incorrect. Please rectify.~~

Stormwater Management Plan (SWMP)

1. ~~Page 1: Include site area under "Site Characteristics" Section~~

2. ~~Page 1: Include existing runoff coefficients.~~

3. ~~Page 2: There is reference to an underground chamber system to provide water quality for the 1-year, 24-hour storm event, where is this at? We cannot find it on the plans.~~

4. ~~Page 3: If an underground chamber system is used, please provide WQv calculation.~~

5. ~~Please provide elevation labels on existing and proposed contours on the STORM SEWER MAP and POST DEVELOPED MAP.~~

6. ~~Please verify offsite drainage area. There appears to be a swale to the north of the property.~~

7. ~~Provide calculations for existing curve number and runoff coefficient.~~

Site Plan

1. ~~Page 5: City of Grimes requires a minimum 2% slope on swales and basin bottoms. Please provide this slope on both basins. 2% slope in bottom of basins have not been revised.~~

2. ~~Page 6: Include orifice plate detail.~~

3. ~~Page 6: L-11 should be 1.55% as per SWMP.~~

4. ~~Page 6: L-13 should be 0.75% as per SWMP.~~

5. ~~Page 6: Show underground chamber system as referenced in SWMP.~~

6. ~~Distance between ST-7 and ST-13 is roughly 70'. There should be 1.4' of elevation difference between the 2 inverts.~~

7. ~~Distance between ST-17 and ST-3 is roughly 45'. There should be 0.9' of elevation difference between the 2 inverts.~~

8. ~~ST-17 and ST-3 inverts are at 959.00 and the corresponding contour elevation on the finish grade is 961.0. Please rectify.~~

9. ~~Page 6: ST-1 has a rim elevation of 958.75, instead of 960.00, is this correct?~~

10. ~~Page 6: Pipes L-8A, L-9A, L-10A, L-11A, L-12A, L-14, L-15, L-18A, L-19A, L-21A, and L-22A do not match SWMP. Please rectify.~~

~~11. Page 6: ST-5, ST-6, ST-9, and ST-23 rim of FL elevations do not match SWMP. Please rectify.~~

~~12. Page 7: On detail 3, please fix 8" PVC pipe slope, and provide an end view of the pipe and orifice plate detail.~~

Please provide a letter addressing all comments on this comment letter and/or state what was modified on the site plan to address said comments.

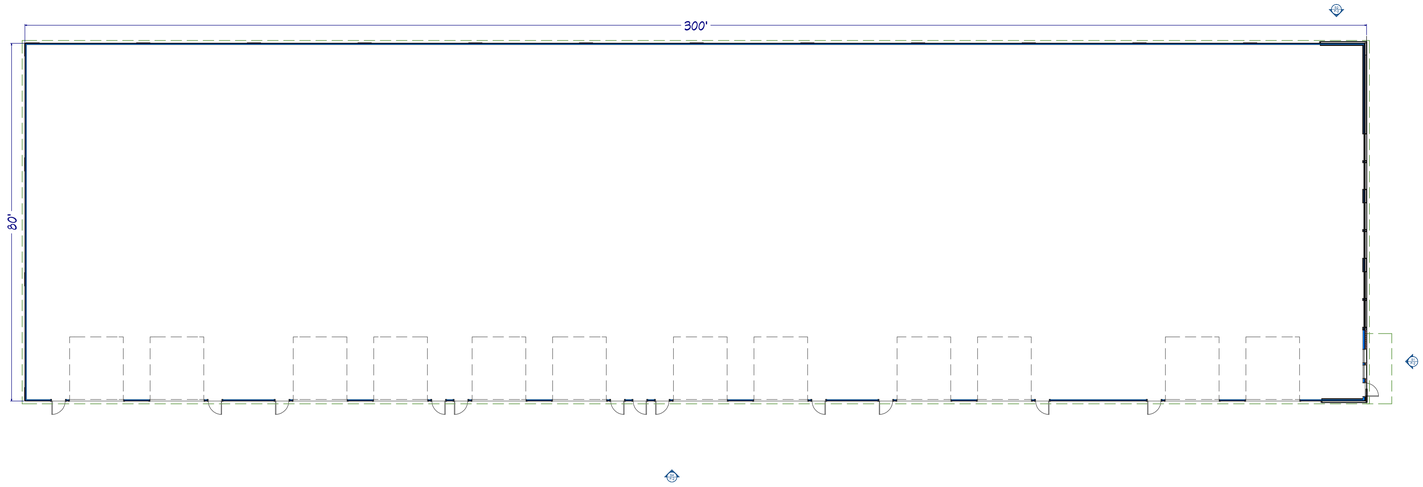
SITE PLAN SUBMITTAL SCHEDULE:

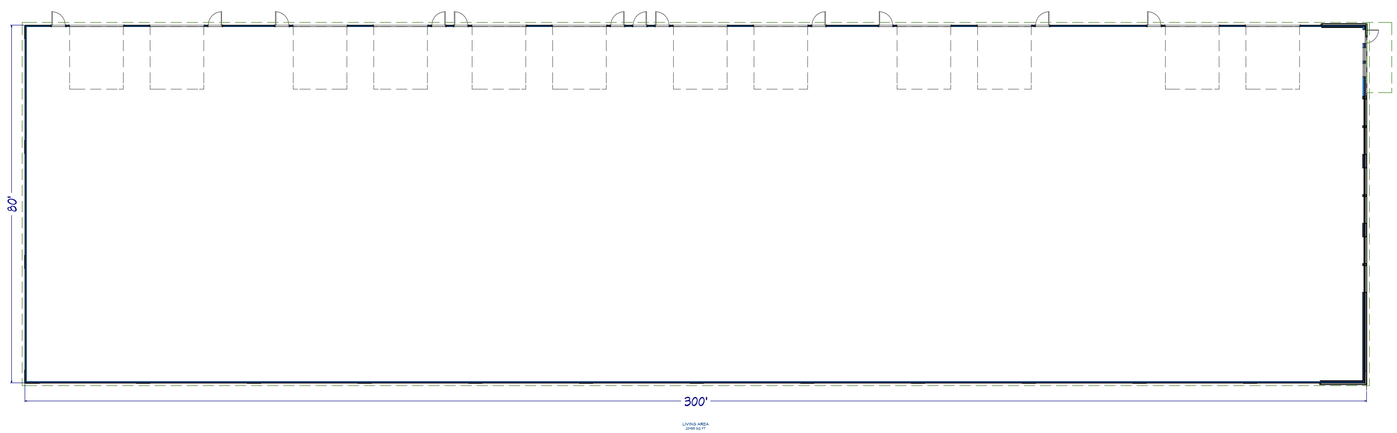
SUBMITTAL DATE:	~~February 14, 2020~~ ~~March 11, 2020~~ March 24, 2020 **(1 PDF of Site plan with Elevation Plan included)**
PLANNING & ZONING:	April 7, 2020 at 5:30 at the Grimes City Hall
COUNCIL MEETING:	April 28, 2020 at 5:30 at the Grimes City Hall

Please feel free to contact me at emartin@grimesiowa.gov or at (515) 986-4050 if you have any questions or need additional information.

Sincerely,

Evann Martin
Assistant Planner





1/16" Scale

DRAWINGS PROVIDED FOR:
HD Commercial
2800 SE Destination Drive
Suite F
Grimes, IA 50111

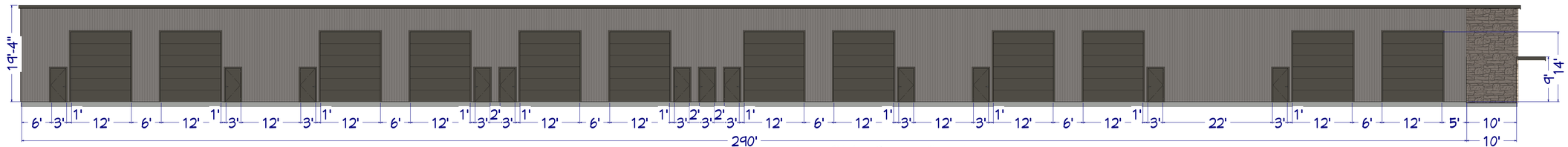
Fleming Construction
On Time, On Budget... By Design

DRAWINGS PROVIDED BY:
FLEMING CONSTRUCTION LLC
3051 104TH Street Suite A
Urbandale, IA 50322

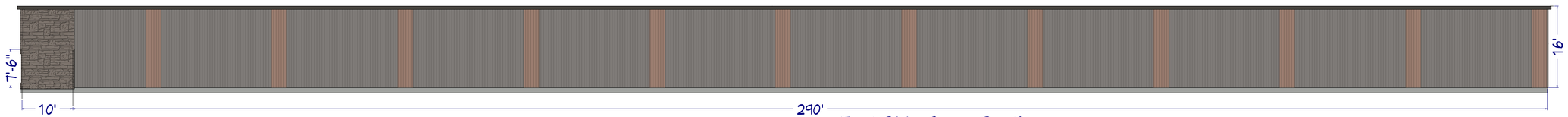
DATE:
3/20/2020

SCALE:

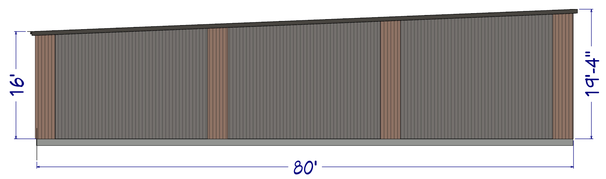
SHEET:
P-1



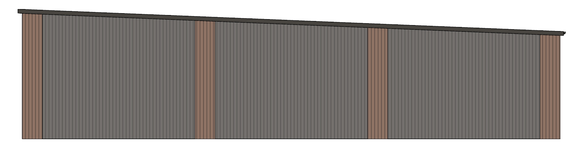
West Side Cross Section



East Side Cross Section

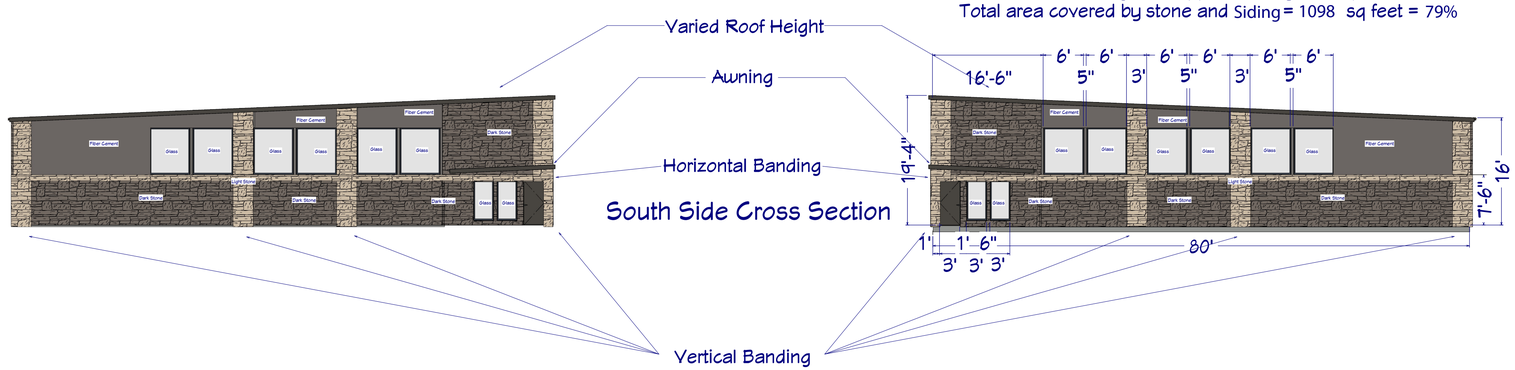


North Side Cross Section



Total Wall area approximately 1386 sq feet
Glass area approximately 288 sq feet = 21%
Stone area approximately 850 sq feet (268 light color) = 61%
Fiber Cement Siding area approximately 248 sq feet = 18%
Total area covered by stone and Siding = 1098 sq feet = 79%

Varying Materials: Glass, Fiber Cement Siding, Stone as labeled



South Side Cross Section

Architectural elements
1. Varying roof height
2. Awning
3. Vertical Element
4. Banding
5. Varying materials

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HD Commercial
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Suite F
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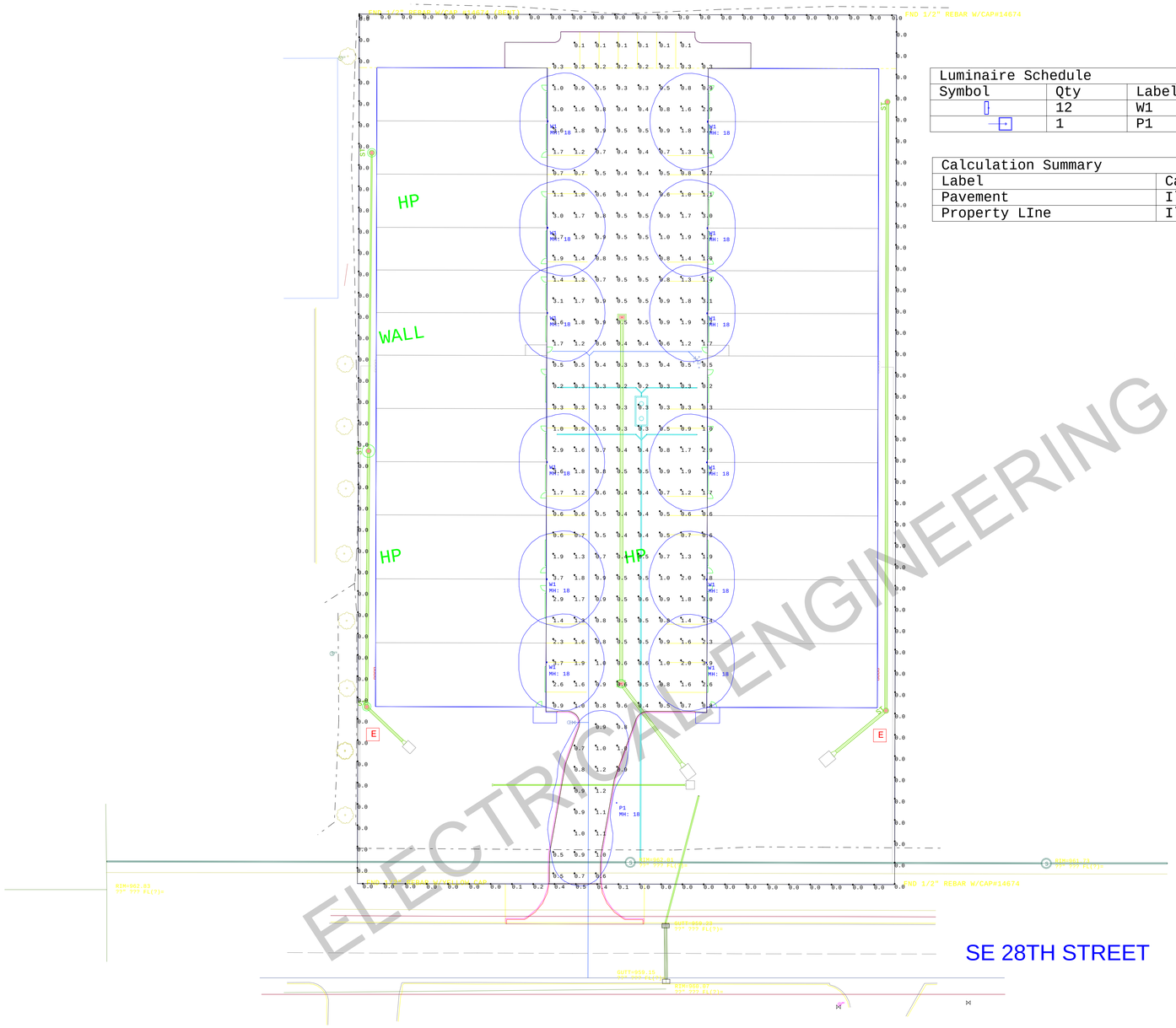
DRAWINGS PROVIDED BY:
FLEMING CONSTRUCTION LLC
3051 104TH Street Suite A
Urbandale, IA 50322

DATE:
3/20/2020

SCALE:

SHEET:
P-2



Luminaire Schedule					
Symbol	Qty	Label	LLF	Description	Lum. Watts
	12	W1	0.900	SG1-30-4K-PCU	29.1
	1	P1	0.900	RAR1-80L-25-4K7-3	25.4

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Pavement	Illuminance	Fc	1.05	3.9	0.1	10.50	39.00
Property LIne	Illuminance	Fc	0.01	0.5	0.0	N.A.	N.A.

ELECTRICAL ENGINEERING & EQUIPMENT

Scale: 1 inch= 30 Ft.

This drawing and the related fixture schedule are the intellectual property of 3E. All documents and the information contained within are intended for the purpose of dealing with 3E and its agents. Any use for any other purpose is strictly prohibited and may result in charges for design services.

Brian Methe | LC, IES
953 73rd Street
Windsor Heights, IA 50324
Phone: (515) 273-0100
brian.methe@3e-co.com

ELECTRICAL ENGINEERING & EQUIPMENT COMPANY

#	Date	Comments
1	3/9/2020	Site Lighting Plan_v1

Revisions

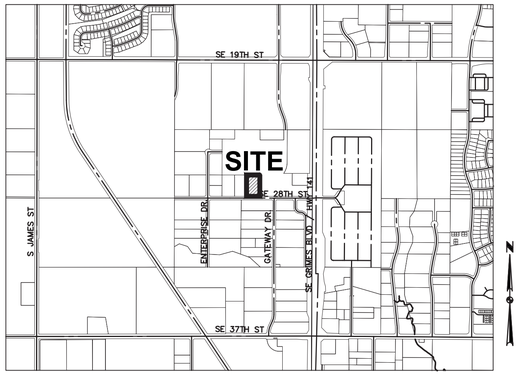
Drawn By: Brian Methe
Checked By:
Date:3/9/2020
Scale: 1" = 30'

HD Commercial/M-Keds Lot 2

Grimes, IA

SITE PLAN FOR:
M-KEDS LOT 2
GRIMES, IOWA

VICINITY MAP
NOT TO SCALE



GRIMES, IOWA

APPLICANT/ OWNER
HD COMMERCIAL, LLC
2800 SE DESTINATION DRIVE
GRIMES, IA 50111
CONTACT: MATT HEUTON
EMAIL: MHEUTON@msn.com>
PH: (515) 201-8143

ENGINEER
CIVIL DESIGN ADVANTAGE
3405 SE CROSSROADS DRIVE, SUITE G
GRIMES, IOWA 50111
CONTACT: DOUG MANDERNACH
EMAIL: DOUGM@CDA-ENG.COM
PH. (515) 369-4400
FX. (515) 369-4410

SURVEYOR
CIVIL DESIGN ADVANTAGE, LLC
3405 SE CROSSROADS DRIVE, SUITE G
GRIMES, IOWA 50111
CONTACT: CHARLIE MCGLOTHLEN
EMAIL: CHARLIEM@CDA-ENG.COM
PH. (515) 369-4400
FX. (515) 369-4410

BENCHMARKS
1. G8P-001: BURY BOLT ON FH W SIDE OF HIGHWAY 141, ACROSS FROM MOBILE HOME PARK CL OF HOUSE #6000 ELEV=962.83
2. G9C-003: BURY BOLT ON FH N SIDE OF NW 28TH AVE BY SE CORNER OF LOT 1 ADDRESS 11831 ELEV=971.38

CONSTRUCTION SCHEDULE
ANTICIPATED START DATE = 5/27/2020
ANTICIPATED FINISH DATE = 12/31/2020

SUBMITTAL DATES
FIRST SUBMITTAL: 2-13-2020
SECOND SUBMITTAL: 3-10-2020
THIRD SUBMITTAL: 3-24-2020

LEGAL DESCRIPTION
LOT 2 M-KEDS HOME PLACE PLAT 1
AN OFFICIAL PLAT IN THE CITY OF GRIMES, IOWA

ZONING
M-1A LIGHT INDUSTRIAL

PROJECT SITE ADDRESS
1405 SE 28TH STREET
GRIMES, IA 50111

DEVELOPMENT SUMMARY
LOT 1:

AREA: 2.36 ACRES (102,807.83 SF)

ZONING: M-1A COMMERCIAL AND LIMITED LIGHT INDUSTRIAL DISTRICT

SETBACKS:
FRONT: 25'
SIDE: NONE
REAR: 25'

PROPOSED USE:
FLEXSPACE BUILDINGS – POTENTIAL VEHICLE PARKING INSIDE BUILDINGS

OPEN SPACE CALCULATION:
TOTAL SITE: = 102,807.83 SF (2.36 AC.)
REQUIRED OPEN SPACE 15%= 15,421.17 SF

BUILDING	–	48,000 SF
6" PARKING AREA	–	26,115 SF
4" SIDEWALK	–	171 SF
TOTAL IMPERVIOUS AREA=		74,286 SF

OPEN SPACE PROVIDED = 28,521.83 SF (27.74%)

PARKING:
FLEXSPACE UNITS. ONE (1) SPACE FOR EACH TWO (2) EMPLOYEES, BUT IN NO CASE LESS THAN ONE (1) SPACE FOR EACH TWO THOUSAND (2,000) SQUARE FEET OF GROSS FLOOR AREA.

TOTAL REQUIRED:
FLEXSPACE: 48,000/2000=24 = 24 SPACES

TOTAL PROVIDED = 27 SPACES

ACCESSIBLE PARKING REQUIRED = 2 SPACES

ACCESSIBLE PARKING PROVIDED = 2 SPACES

INDEX OF SHEETS

NO.	DESCRIPTION
1	COVER SHEET
2	TOPOGRAPHIC SURVEY AND DEMOLITION PLAN
3	DIMENSION PLAN
4	GRADING PLAN
5	EROSION AND SEDIMENT CONTROL PLAN
6	UTILITY PLAN
7	DETAILS
8	LANDSCAPE PLAN

IOWA ONE CALL
1-800-292-8989
www.iowaonecall.com
Know what's below. Call before you dig.

UTILITY WARNING
ANY UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY AND RECORDS OBTAINED BY THIS SURVEYOR. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL THE UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION SHOWN.

CIVIL DESIGN ADVANTAGE
3405 SE CROSSROADS DR. SUITE G, GRIMES, IOWA 50111
PH: (515) 369-4400 Fax: (515) 369-4410
PROJECT NO. 1912.620

GENERAL LEGEND

PROPOSED
PROPERTY BOUNDARY
SECTION LINE
CENTER LINE
RIGHT OF WAY — R/W —
BUILDING SETBACK
PERMANENT EASEMENT — P/E —
TEMPORARY EASEMENT — T/E —
TYPE SW-501 STORM INTAKE
TYPE SW-502 STORM INTAKE
TYPE SW-503 STORM INTAKE
TYPE SW-505 STORM INTAKE
TYPE SW-506 STORM INTAKE
TYPE SW-512 STORM INTAKE
TYPE SW-513 STORM INTAKE
TYPE SW-401 STORM MANHOLE
TYPE SW-402 STORM MANHOLE
FLARED END SECTION
TYPE SW-301 SANITARY MANHOLE
STORM/SANITARY CLEANOUT
WATER VALVE
FIRE HYDRANT ASSEMBLY
SIGN
DETECTABLE WARNING PANEL
WATER CURB STOP
SANITARY SEWER
SANITARY SERVICE — S — S — S —
STORM SEWER
STORM SERVICE — ST — ST —
WATERMAIN WITH SIZE — 8"W —
WATER SERVICE — W — W —
SAWCUT (FULL DEPTH)
SILT FENCE
USE AS CONSTRUCTED (UAC)
MINIMUM PROTECTION ELEVATION MPE

EXISTING
SANITARY MANHOLE
WATER VALVE BOX
FIRE HYDRANT
WATER CURB STOP
WELL
STORM SEWER MANHOLE
STORM SEWER SINGLE INTAKE
STORM SEWER DOUBLE INTAKE
FLARED END SECTION
DECIDUOUS TREE
CONIFEROUS TREE
DECIDUOUS SHRUB
CONIFEROUS SHRUB
ELECTRIC POWER POLE
GUY ANCHOR
STREET LIGHT
POWER POLE W/ TRANSFORMER
UTILITY POLE W/ LIGHT
ELECTRIC BOX
ELECTRIC TRANSFORMER
ELECTRIC MANHOLE OR VAULT
TRAFFIC SIGN
TELEPHONE JUNCTION BOX
TELEPHONE MANHOLE/VAULT
TELEPHONE POLE
GAS VALVE BOX
CABLE TV JUNCTION BOX
CABLE TV MANHOLE/VAULT
MAIL BOX
BENCHMARK
SOIL BORING
UNDERGROUND TV CABLE — TV —
GAS MAIN — G —
FIBER OPTIC — FO —
UNDERGROUND TELEPHONE — T —
OVERHEAD ELECTRIC — OE —
UNDERGROUND ELECTRIC — E —
FIELD TILE — TILE —
SANITARY SEWER W/ SIZE — 8"S —
STORM SEWER W/ SIZE — 15"ST —
WATER MAIN W/ SIZE — 8"W —

THE PROJECT REQUIRES AN IOWA NPDES PERMIT #2. CIVIL DESIGN ADVANTAGE WILL PROVIDE THE PERMITS AND THE INITIAL STORM WATER POLLUTION PREVENTION PLAN (SWPPP) FOR THE CONTRACTORS USE DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR UPDATING THE SWPPP THROUGHOUT CONSTRUCTION AND MEETING LOCAL, STATE AND FEDERAL REQUIREMENTS.

ALL CONSTRUCTION MATERIALS, DUMPSTERS, DETACHED TRAILERS OR SIMILAR ITEMS ARE PROHIBITED ON PUBLIC STREETS OR WITHIN THE PUBLIC R.O.W.

THE 2020 EDITION OF THE SUDAS STANDARD SPECIFICATIONS, THE PUBLIC RIGHTS-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG) AND ALL CITY SUPPLEMENTALS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.

LICENSED PROFESSIONAL ENGINEER JEFFREY J. DESWIK 23810 IOWA

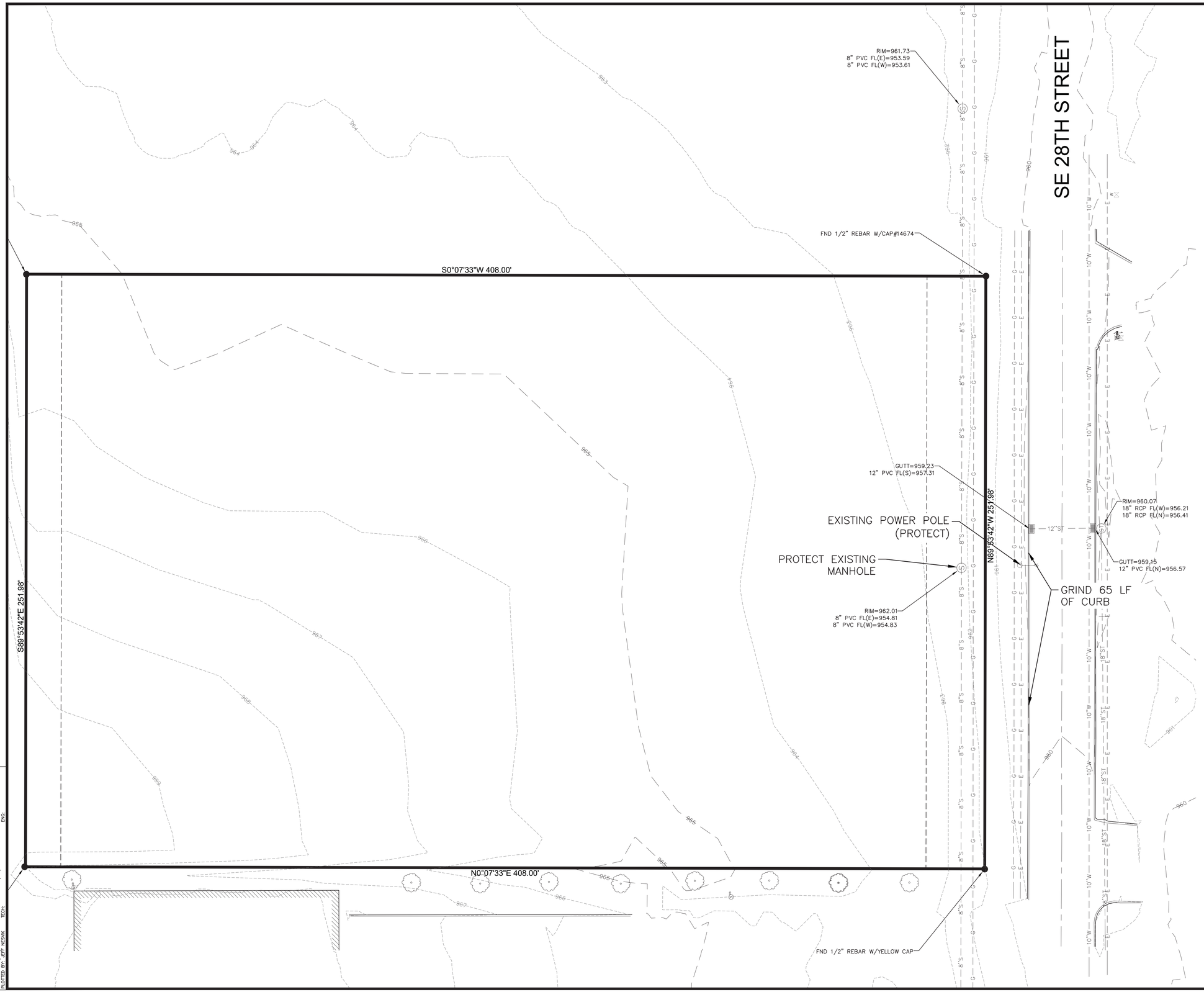
I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

PRELIMINARY
NOT FOR CONSTRUCTION

JEFFREY J. DESWIK, P.E. DATE
LICENSE NUMBER 23810
MY LICENSE RENEWAL DATE IS DECEMBER 31, 2020
PAGES OR SHEETS COVERED BY THIS SEAL:
SHEETS 1-7

M-KEDS LOT 2 - 1912.620

FILE: H:\2019\1912620\DWG\1912620-SITE.DWG
PLOT DATE: 3/24/2020
PLOTTED BY: JEFF NESWK
COMMENT:
ENG:
TECH:



DEMOLITION NOTES

1. PRIOR TO ANY WORK AT THE SITE, CONTRACTOR SHALL EXAMINE ANY APPLICABLE DRAWINGS AVAILABLE FROM THE OWNER OR ENGINEER AND CONSULT WITH OWNER'S PERSONNEL AND UTILITY COMPANY REPRESENTATIVES. NO COMPENSATION WILL BE ALLOWED FOR DAMAGE FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.
2. PRIOR TO DEMOLITION, CONTRACTOR SHALL NOTIFY IN WRITING (48 HRS NOTICE) THE FOLLOWING:
   A. CITY
   B. APPROPRIATE UTILITY COMPANIES
   C. OWNER
   D. CIVIL DESIGN ADVANTAGE
   E. ARCHITECT
3. DO NOT DISTURB EXISTING UTILITIES UNLESS OTHERWISE NOTED. COORDINATE REMOVAL OR ABANDONMENT OF ALL UTILITIES WITH THE APPROPRIATE UTILITY SUPPLIER AND REGULATORY AGENCIES.
4. PROTECT EXISTING UTILITIES THAT ARE TO REMAIN. THE LOCATIONS OF ALL UTILITIES INDICATED ON THE PLANS ARE TAKEN FROM EXISTING RECORDS. THE EXACT LOCATION AND ELEVATION OF ALL UTILITIES MUST BE DETERMINED BY THE CONTRACTOR. IT SHALL BE THE DUTY OF THE CONTRACTOR TO ASCERTAIN WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLAN MAY BE PRESENT.
5. BACKFILL ALL EXCAVATIONS WITH COHESIVE MATERIAL COMPACTED TO 95% MAXIMUM STANDARD PROCTOR DENSITY AND MOISTURE RANGE OF OPTIMUM MOISTURE TO 4% ABOVE OPTIMUM MOISTURE. TESTING OF BACKFILL TO BE BY A GEOTECHNICAL ENGINEER EMPLOYED BY THE OWNER. IN THE EVENT OF A TEST FAILURE, ANY RETESTING SHALL BE PAID FOR BY THE CONTRACTOR.
6. FIELD VERIFY EXISTING GRADES AND LOCATION OF EXISTING UTILITIES, CONDUIT, LINES, POLES, TREES, PAVING, BUILDING AND OTHER SITE FEATURES PRIOR TO DEMOLITION AND IMMEDIATELY INFORM THE ENGINEER AND/OR OWNER OF ANY DISCREPANCIES.
7. DEMOLITION NOTES AS SHOWN ON THE PLAN ARE NOT ALL INCLUSIVE. CONTRACTOR TO ABANDON IN PLACE OR REMOVE AND DISPOSE OF ALL EXISTING SITE IMPROVEMENTS ABOVE AND BELOW GROUND TO COMPLY WITH THE GENERAL INTENT OF THIS DOCUMENT.
8. ALL CONSTRUCTION/DEMOLITION DEBRIS SHALL BE DISPOSED OF OFFSITE IN FULL COMPLIANCE WITH CURRENT ENVIRONMENTAL REGULATIONS.
9. CONSTRUCTION LIMITS SHALL BE CONFINED TO THE SITE BOUNDARY AS NOTED. ANY DAMAGE TO PROPERTIES OUTSIDE THE SITE BOUNDARY SHALL BE AT THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
10. ALL WORK SHALL BE IN ACCORDANCE WITH OSHA STANDARDS. NOTHING INDICATED ON THE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.

REVISIONS	DATE
THIRD SUBMITTAL	03/24/2020
SECOND SUBMITTAL	03/10/2020
FIRST SUBMITTAL	02/13/2020

3405 S.E. CROSSROADS DRIVE, SUITE G
GRIMES, IOWA 50111
PHONE: (515) 369-4400 FAX: (515) 369-4410
ENGINEER: JJN
PM: DAM
CIVIL DESIGN ADVANTAGE

M-KEDS LOT 2

TOPOGRAPHIC SURVEY AND DEMOLITION PLAN

GRIMES, IOWA

1912.620

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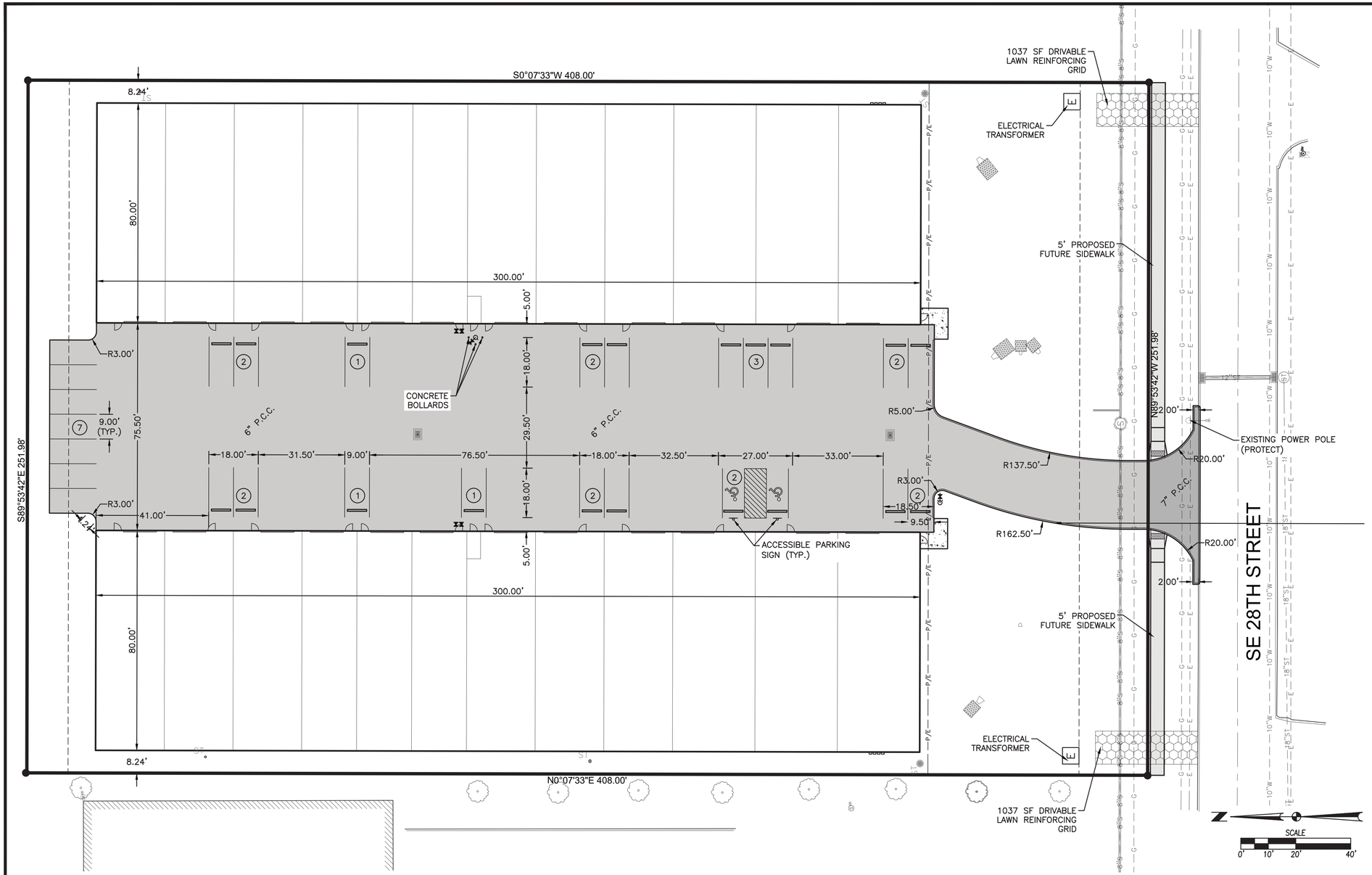

CITY OF GRIMES STANDARD SITE PLAN NOTES

1. GENERAL NOTES:
   - A. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CURRENT VERSION OF THE IOWA STATEWIDE URBAN DESIGN AND SPECIFICATIONS FOR PUBLIC IMPROVEMENTS ON THE DATE OF APPROVAL AND THE CITY OF GRIMES SUPPLEMENTAL SPECIFICATIONS.
   - B. A PRECONSTRUCTION MEETING IS REQUIRED PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE THIS MEETING. CONTACT CITY OF GRIMES ENGINEERING DEPT. (515.986.4050).
   - C. ALL PERMITS (IDNR, SWP, IDOT, ARMY CORP., ETC.) SHALL BE OBTAINED PRIOR TO THE START OF CONSTRUCTION.
   - D. THE DEVELOPER AND/OR CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE THE CITY OF GRIMES WITH RECORD DRAWINGS OF ALL IMPROVEMENTS AS PER CITY STANDARD PROCEDURES.
   - E. TYPICAL BUILDING SERVICE LAYOUT TO REFLECT THE CITY'S SERVICE ORDER FROM LEFT TO RIGHT FACING THE LOT, SANITARY, WATER, SUMP
   - F. A KNOX BOX IS REQUIRED BY THE FIRE DEPARTMENT AND SHALL BE OBTAINED AT CITY HALL.
   - G. ALL SITE LIGHTING SHALL NOT SPILL ONTO ADJACENT PROPERTIES OR RIGHT-OF-WAYS.
   - H. PROVIDE A 4-YEAR MAINTENANCE BOND FOR ALL PUBLIC IMPROVEMENTS
2. SANITARY SEWER NOTES:
   - A. THE CONTRACTOR IS REQUIRED TO PLACE A TEMPORARY PLUG IN THE EXISTING DOWNSTREAM SANITARY SEWER MANHOLE PRIOR TO THE START OF CONSTRUCTION. THE PLUG SHALL BE REMOVED FOLLOWING APPROVAL OF CONSTRUCTION BY THE CITY OF GRIMES.
   - B. SANITARY GRAVITY PIPE MATERIAL SHALL BE PVC SDR 26 OR TRUSS (8" TO 15").
   - C. SANITARY GRAVITY SERVICE PIPE MATERIAL SHALL BE PVC SDR 23.5 (4" TO 6").
   - D. ALL SANITARY SEWER MANHOLES SHALL HAVE STEPS.
   - E. ALL SANITARY SEWER MANHOLES CASTINGS SHALL BE SEALED WITH HEAT SHRINK SLEEVES.
   - F. ALL SANITARY SEWER MANHOLE CASTINGS LOCATED WITHIN PAVEMENT SHALL BE TYPE B: PCC W/ADJUSTING MECHANISM.
   - G. SANITARY SEWER TESTING, CLEANING & TELEVISING SHALL BE COMPLETED PRIOR TO PAVING. THE SEWER SYSTEM SHALL BE FLUSHED WITH WATER PRIOR TO TELEVISING.
3. WATER MAIN NOTES:
   - A. ALL FIRE HYDRANTS SHALL BE AMERICAN FLOW CONTROL-WATEROUS PACER WB-67-250, MUELLER SUPER CENTURION 250 (3-WAY A-423), OR CLOW MEDALLION F-2545. ALL HYDRANTS SHALL HAVE THE FOLLOWING: 6" MJ SHOE, 2-1/2" HOSE NOZZLE, 4-1/2" STEAMER NOZZLE, NST THREADS, PENTAGON OPERATING NUT, CHAIN ON CAP, OPEN LEFT, 5-1/2' BURY, AND FACTORY PAINTED RED. THE MINIMUM SPOOL PIPE LENGTH FROM AUXILIARY VALVE TO HYDRANT SHOE SHALL BE 2.0'.
   - B. ALL HYDRANTS WILL IMMEDIATELY BE COVERED WITH A BLACK PLASTIC BAG (OR EQUIVALENT) ONCE THE HYDRANT IS INSTALLED. THE CITY OF GRIMES WILL NOTIFY THE CONTRACTOR WHEN THE BAGS CAN BE REMOVED.
   - C. A TRACER WIRE RECEPTACLE SHALL BE INSTALLED AT EACH HYDRANT, AA MANUFACTURING TRACER WIRE RECEPTACLE MODEL TW-18-2.
   - D. ALL VALVES SHALL BE RESILIENT WEDGE GATE VALVES.
   - E. WATER SERVICE SHALL BE 1-INCH MINIMUM TYPE K COPPER.
   - F. PROPOSED WATER MAIN SHALL BE PRESSURE TESTED AND CHLORINATED BY THE DEVELOPER. THE FILLING OF THE WATER MAIN SHALL BE DONE BY THE CITY OF GRIMES. THE BACTERIA TEST AND SUBMITTAL OF TEST TO LAB SHALL BE DONE BY THE DEVELOPER AND RESULTS PROVIDED TO THE CITY OF GRIMES ENGINEERING DEPT. AND BY FAX TO US WATER AT 515-986-7300. IF THE TEST DOES NOT PASS, THE CONTRACTOR WILL BE REQUIRED TO PAY FOR ALL THE WATER USED TO REPEAT THE TEST.
   - G. ALL WATERMAIN FITTINGS TO BE RESTRAINED JOINT, MEGA-LUG OR APPROVED EQUAL.
4. STORM SEWER NOTES:
   - A. ALL STORM SEWER IN THE ROW SHALL BE RCP, UNLESS OTHERWISE APPROVED BY THE CITY.
   - B. ALL FLARED END SECTIONS SHALL HAVE FOOTINGS AND APRON GRATES. THE LAST 3 PIPE SECTIONS AND THE FLARED END SECTION ON ALL CULVERTS SHALL BE TIED. ALL STORM SEWER JOINTS SHALL BE WRAPPED WITH ENGINEERING FABRIC.
   - C. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY FIELD TILE DAMAGED DURING CONSTRUCTION. THE TILE SHOULD BE DIRECTED TO PUBLIC STORM SEWER IF POSSIBLE. THE CONTRACTOR SHALL RECORD THE ELEVATION AND LOCATION OF ALL TILES.
   - D. STORM SEWER CLEANING & TELEVISING SHALL BE COMPLETED PRIOR TO PAVING. THE SEWER SYSTEM SHALL BE FLUSHED WITH WATER PRIOR TO TELEVISING.
   - E. USE O RING GASKETS ON STORM SEWERS CROSSING OVER WATERMAIN PER IDNR REQUIREMENT.

GENERAL NOTES

1. THE 2020 EDITION OF THE SUDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.
2. ALL WORK SHALL COMPLY WITH ADA ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES.
3. ALL WORK SHALL BE IN ACCORDANCE WITH OSHA CODES AND STANDARDS. NOTHING INDICATED ON THE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.
4. PRIOR TO ANY WORK AT THE SITE, CONTRACTOR SHALL EXAMINE ANY APPLICABLE DRAWINGS AVAILABLE FROM THE OWNER, ENGINEER, AND/OR ARCHITECT, AND CONSULT WITH OWNER'S PERSONNEL AND UTILITY COMPANY REPRESENTATIVES. NO COMPENSATION WILL BE ALLOWED FOR DAMAGE FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.
5. ONE WEEK PRIOR TO CONSTRUCTION WITHIN CITY R.O.W. OR ANY CONNECTION TO PUBLIC SEWERS CONTRACTOR SHALL NOTIFY THE CITY'S DEVELOPMENT SERVICES.
6. ALL CONSTRUCTION WITHIN PUBLIC R.O.W./ EASEMENTS, AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, SHALL COMPLY WITH THE CITY OF GRIMES STANDARDS.
7. ALL DIMENSIONS ARE TO BACK OF CURB, BUILDING FACE OR PROPERTY LINE UNLESS OTHERWISE NOTED.
8. CONTRACTOR TO VERIFY BUILDING DIMENSIONS WITH ARCHITECTURAL PLANS.
9. PLACE 3/4 INCH EXPANSION JOINT BETWEEN ALL P.C.C. PAVEMENT/SIDEWALKS AND BUILDING. PLACE 1/2 INCH EXPANSION JOINT BETWEEN SIDEWALKS AND P.C.C. PAVEMENT.
10. REMOVE ALL DEBRIS SPILLED INTO R.O.W. AT THE END OF EACH WORK DAY.
11. ALL PROPERTY PINS SHALL BE PROTECTED FROM GRADING OR OTHER OPERATIONS. ANY PINS DISTURBED SHALL BE RESET AT THE CONTRACTOR'S EXPENSE.
12. DO NOT STORE CONSTRUCTION MATERIALS AND EQUIPMENT IN THE RIGHT OF WAY.
13. THE CONTRACTOR SHALL NOT DISTURB DESIRABLE GRASS AREAS AND DESIRABLE TREES OUTSIDE THE CONSTRUCTION LIMITS. THE CONTRACTOR WILL NOT BE PERMITTED TO PARK OR SERVICE VEHICLES AND EQUIPMENT OR USE THESE AREAS FOR STORAGE OF MATERIALS. STORAGE, PARKING AND SERVICE AREAS WILL BE SUBJECT TO THE APPROVAL OF THE OWNER.
14. THE CONTRACTOR IS RESPONSIBLE FOR REPLACING ANY AREAS OF PAVEMENT OR SIDEWALK NOT TO BE REMOVED THAT IS DAMAGED DUE TO OPERATING EQUIPMENT ON THE PAVEMENT OR SIDEWALK.
15. THE CONTRACTOR MAY BE REQUIRED TO PLACE TEMPORARY WARNING DEVICES AND SAFETY FENCE AT CERTAIN LOCATIONS WHERE REPLACEMENT FEATURES ARE NOT INSTALLED THE SAME DAY, AS DIRECTED BY THE ENGINEER OR THE CITY.
16. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF WORK BETWEEN SUPPLIERS AND SUBCONTRACTORS INVOLVED IN THE PROJECT, INCLUDING STAGING OF CONSTRUCTION DETAILS.
17. CONCRETE REMOVAL FOR DRIVEWAY APPROACHES SHALL BE REMOVED TO THE NEAREST TRANSVERSE JOINT. CONTRACTOR SHALL VERIFY REMOVAL LIMITS WITH CITY OF GRIMES CONSTRUCTION INSPECTOR PRIOR TO ANY CONCRETE REMOVAL.
18. ALL PERMITS AND ADDITIONAL FEES REQUIRED TO COMPLETE THE WORK SHALL BE INCLUDED IN THE CONTRACTOR BID.
19. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL NOTIFY (48 HRS NOTICE) THE FOLLOWING:
    - A. CITY OF GRIMES
    - B. APPROPRIATE UTILITY COMPANIES
    - C. OWNER
    - D. CIVIL DESIGN ADVANTAGE
21. PARKING LOT STRIPING SHALL BE A 4" WHITE STRIPE UNLESS OTHERWISE NOTED (MINIMUM TWO COATS).
22. ALL EXTERIOR LIGHTING SHALL BE LOW-GLARE FULL CUTOFF TYPE FIXTURES AND SHALL NOT EXCEED ZERO FOOT-CANDLES BEYOND THE PROPERTY LINE. THE CONTRACTOR SHALL COORDINATE FINAL LIGHTING AND ELECTRICAL DESIGN WITH THE OWNER.
23. ANY SITE CHANGES THAT DIFFER FROM THE SITE PLAN MUST BE APPROVED BY THE CITY OF GRIMES PRIOR TO INSTALLATION/AMENDMENT.
24. TRASH RECEPTACLES WILL BE LOCATED AND HANDLED WITHIN THE BUILDINGS.

PAVEMENT

1. ALL PAVEMENT WORK, PUBLIC OR PRIVATE SHALL BE DONE IN ACCORDANCE WITH SUDAS STANDARDS SPECIFICATIONS.
2. SIDEWALKS, DRIVEWAYS, DRIVE LANES WITHIN PARKING AND PARKING SPACES SHALL BE CLASS C PORTLAND CEMENT CONCRETE (P.C.C.) MIX. COARSE AGGREGATE FOR P.C.C. CONSTRUCTION SHALL BE CLASS 3 DURABILITY.
3. PLACE 3/4 INCH EXPANSION JOINT BETWEEN ALL P.C.C. PAVEMENT/SIDEWALKS AND BUILDING. PLACE 1/2 INCH EXPANSION JOINT BETWEEN SIDEWALKS AND P.C.C. PAVEMENT.

= 4" PCC SIDEWALK

= 6" PCC

= 7" PCC

TRAFFIC CONTROL NOTES

1. TRAFFIC CONTROL REQUIRED ON ALL PUBLIC STREETS DURING ANY WORK WITHIN EXISTING RIGHT-OF-WAY. CONTRACTOR SHALL SUBMIT A TRAFFIC CONTROL PLAN TO THE CITY FOR APPROVAL PRIOR TO CONSTRUCTION.
2. ALL APPLICABLE CITY PERMITS, INCLUDING BUT NOT LIMITED TO CLOSURE PERMITS, SHALL BE OBTAINED PRIOR TO ANY CONSTRUCTION WITHIN CITY R.O.W. OR LANE CLOSURES.
3. ALL TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
4. PERMANENT SIGNING THAT CONVEYS A MESSAGE CONTRARY TO THE MESSAGE OF TEMPORARY SIGNING AND NOT APPLICABLE TO THE WORKING CONDITIONS SHALL BE COVERED BY THE CONTRACTOR WHEN DIRECTED BY THE CITY.
5. THE CONTRACTOR SHALL COORDINATE HIS TRAFFIC CONTROL WITH OTHER CONSTRUCTION PROJECTS IN THE AREA.
6. SIDEWALK CLOSED SIGNS REQUIRED FOR ALL SIDEWALK CLOSURES. SIGNAGE AND TEMPORARY PEDESTRIAN ACCESS ROUTE THROUGH THE CONSTRUCTION AREA SHALL MEET THE REQUIREMENTS OF PUBLIC RIGHT-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG), SECTION R205 AND IOWA DOT DESIGN MANUAL, CHAPTER 12A-4.
7. THE CONTRACTOR IS CAUTIONED NEITHER TO OBSTRUCT NOR REMOVE ANY EXISTING PAVEMENT, NOR TO DISTURB THE EXISTING TRAFFIC PATTERNS MORE THAN IS NECESSARY FOR THE PROPER EXECUTION OF THE WORK.
8. ALL SIGNING AND LANE STRIPING WILL NEED TO COMPLY WITH MUTCD. MAINTENANCE AND REPLACEMENT OF THE SIGNING AND STRIPING WILL BE THE RESPONSIBILITY OF THE APPLICANT.

REVISIONS	DATE
THIRD SUBMITTAL	03/24/2020
SECOND SUBMITTAL	03/10/2020
FIRST SUBMITTAL	02/13/2020

3405 S.E. CROSSROADS DRIVE, SUITE G
GRIMES, IOWA 50111
PHONE: (515) 369-4400 FAX: (515) 369-4410
ENGINEER: JJN PM: DAM
CIVIL DESIGN ADVANTAGE
GRIMES, IOWA

M-KEDS LOT 2
DIMENSION PLAN

3/8

1912.620

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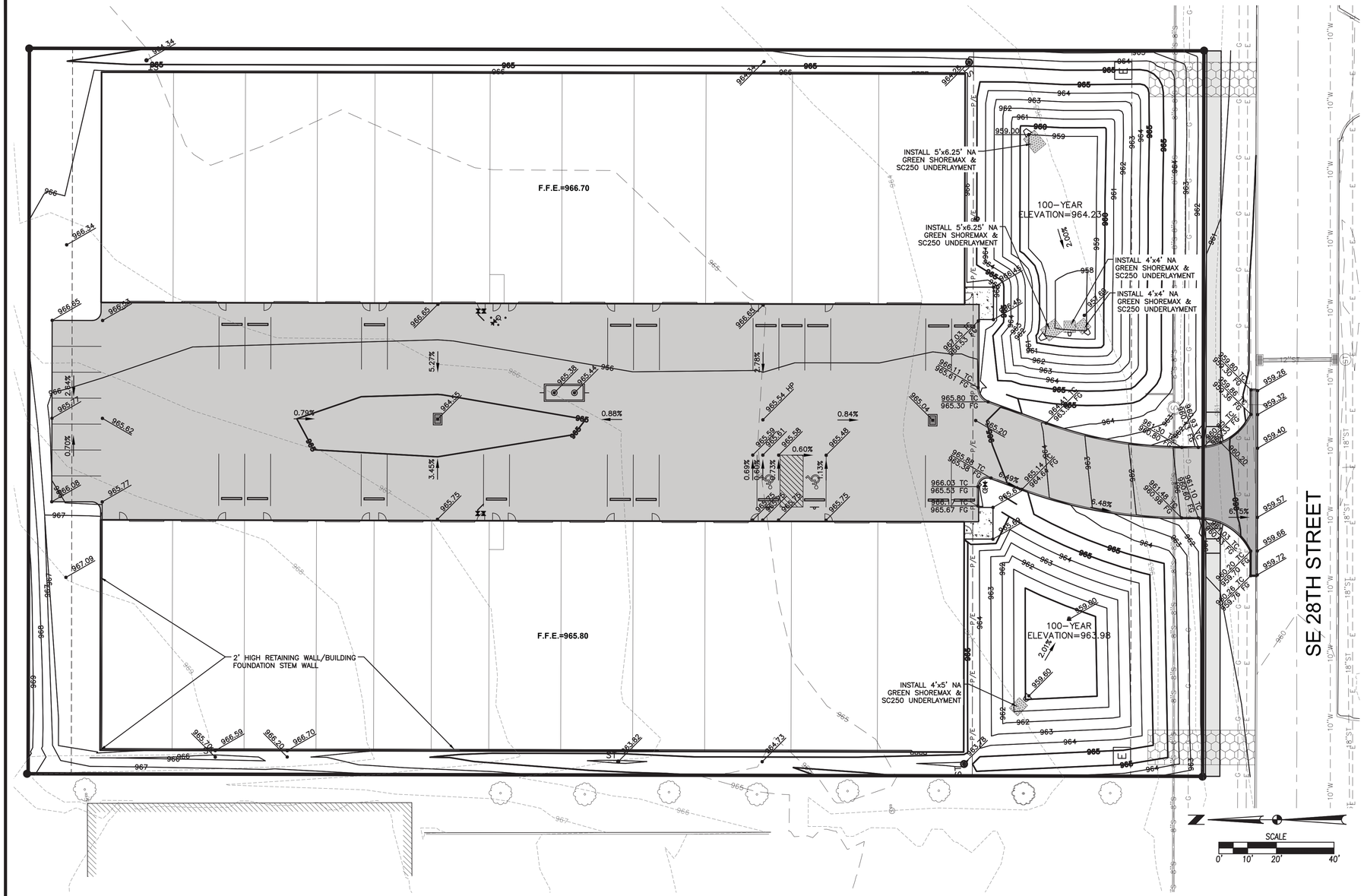
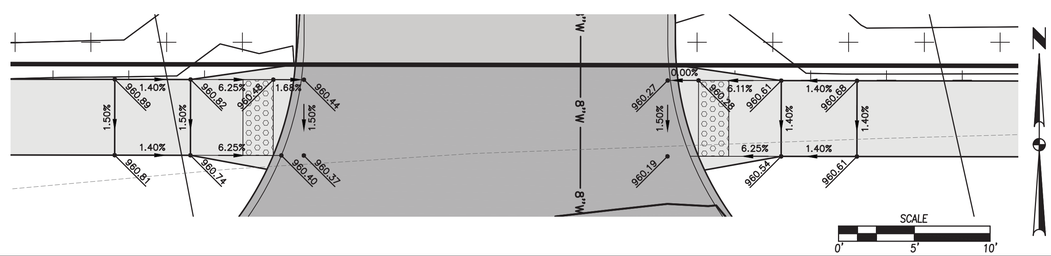


GRADING NOTES

1. PRIOR TO ANY GRADING, A COPY OF THE NPDES PERMIT SHALL BE PROVIDED TO THE CITY OF GRIMES' BUILDING DIVISION.
2. THE PROJECT REQUIRES AN IOWA NPDES PERMIT #2. CIVIL DESIGN ADVANTAGE WILL PROVIDE THE PERMITS AND THE INITIAL STORM WATER POLLUTION PREVENTION PLAN (SWPPP) FOR THE CONTRACTORS USE DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR UPDATING THE SWPPP THROUGHOUT CONSTRUCTION AND MEETING LOCAL, STATE AND FEDERAL REQUIREMENTS.
3. CONTRACTOR SHALL STRIP ALL DELETERIOUS MATERIAL. THE TOP 6" OF TOPSOIL IS TO BE STOCKPILED AND RESPREAD AFTER GRADING IS COMPLETE. CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING A SUITABLE TOPSOIL STOCKPILE SITE.
4. EXCAVATION SHALL BE IN ACCORDANCE WITH THE 2020 EDITION OF THE SUDAS STANDARD SPECIFICATIONS AND ALL CITY OF GRIMES SUPPLEMENTALS, IF APPLICABLE,
5. MATCH EXISTING GRADES AT PROPERTY LINES AND/OR CONSTRUCTION LIMITS.
6. ALL SPOT ELEVATIONS ARE FORM GRADE (FG) OR TOP OF FINISHED SURFACES UNLESS OTHERWISE NOTED.
7. SITE SHALL BE GRADED TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS.
8. SLOPES IN PAVEMENT SHALL BE UNIFORM TO AVOID PONDING.
9. THE CONTRACTOR SHALL CONFINE HIS GRADING OPERATIONS TO WITHIN THE CONSTRUCTION LIMITS AND EASEMENTS SHOWN ON THE PLANS. ANY DAMAGE TO PROPERTIES OUTSIDE THE SITE BOUNDARY SHALL BE AT THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
10. THE CONTRACTOR SHALL APPLY NECESSARY MOISTURE CONTROL TO THE CONSTRUCTION AREA AND HAUL ROADS TO PREVENT THE SPREAD OF DUST.
11. REFER TO SEPARATE STORM WATER POLLUTION PREVENTION PLAN FOR DETAILS ON EROSION CONTROL.
12. FINAL FINISH GRADING TO BE APPROVED BY THE ARCHITECT AND CIVIL ENGINEER. MATCH EXISTING GRADES AT THE INTERFACE OF NEW AND EXISTING GRADES OR PAVING.
13. SIDEWALKS:
    MAINTAIN 1% MINIMUM AND 5% MAXIMUM LONGITUDINAL SLOPES ON ALL PAVED WALKWAYS. ALL WALKS TO HAVE 2.0% MAXIMUM TRANSVERSE SLOPE IN THE DIRECTION OF NATURAL DRAINAGE. SAW CUT JOINTS AS SOON AS CONCRETE HAS SET. SAW CUTS TO BE 1/8" TO 1/4" WIDE; DEPTH: LONGITUDINAL T/3, TRANSVERSE T/4.



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CIVIL DESIGN ADVANTAGE
GRIMES, IOWA

M-KEDS LOT 2
GRADING PLAN

1912.620

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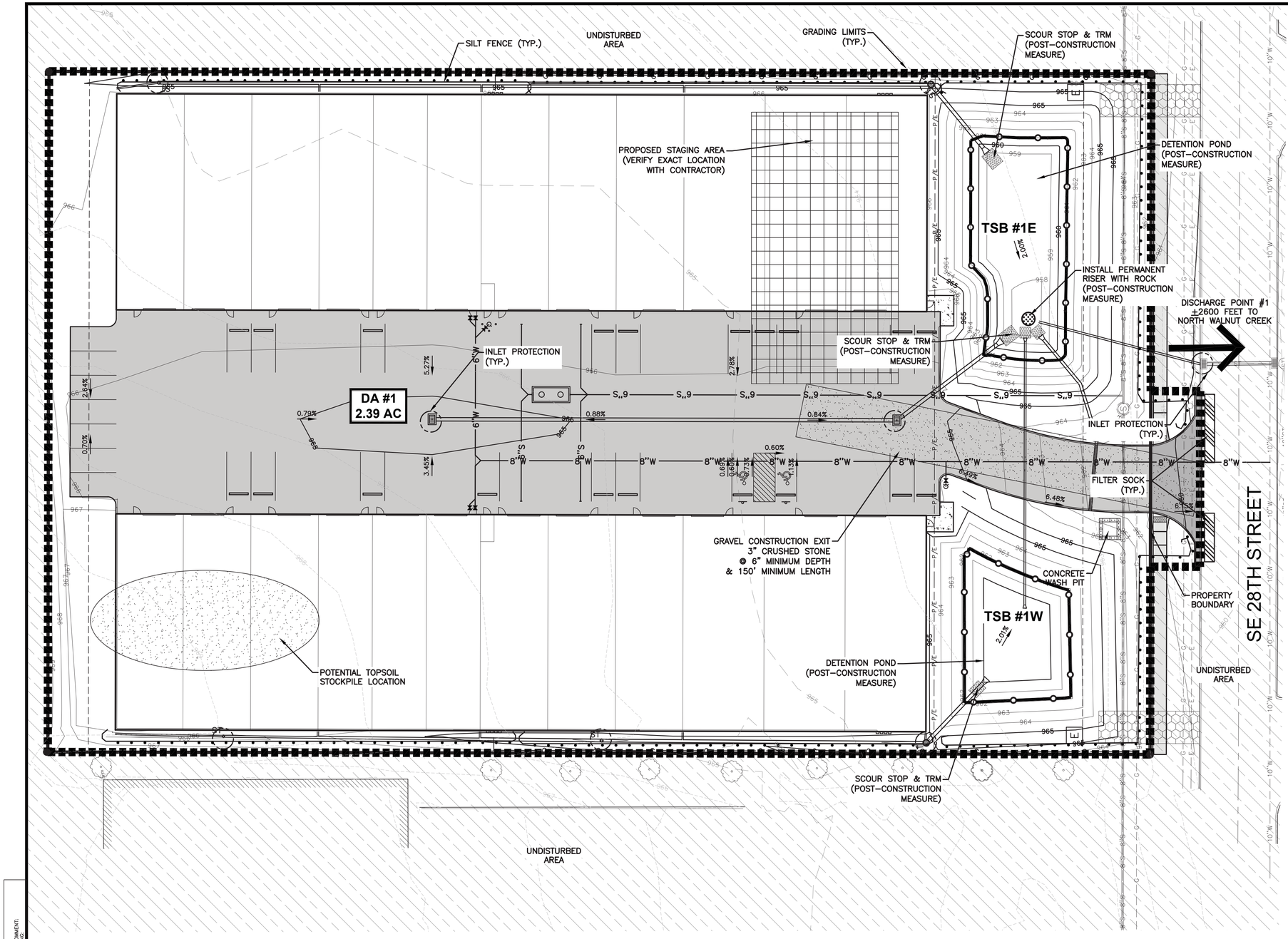

SWPPP LEGEND

- DRAINAGE ARROW — X.XX %
- GRADING LIMITS
- FILTER SOCK
- SILT FENCE
- INLET PROTECTION
- PORTABLE RESTROOM — R
- CONCRETE WASHOUT PIT
- AREA TO BE SEEDED
- STRAW MAT
- UNDISTURBED AREA
- RIP-RAP
- GRAVEL ENTRANCE
- STAGING AREA
- TEMPORARY SEDIMENT BASIN — TSB #

STABILIZATION QUANTITIES

ITEM NO.	ITEM	UNIT	TOTAL
1	SILT FENCE	LF	1,045
2	FILTER SOCK	LF	43
3	SEEDING, FERTILIZING, AND MULCHING	AC	0.65
4	INLET PROTECTION DEVICES	EA	8
5	CONCRETE WASHOUT PIT	EA	1
6	8" PVC PERMANENT STANDPIPE	EA	1

EROSION CONTROL NOTES

1. THE PROJECT REQUIRES AN IOWA NPDES PERMIT #2. CIVIL DESIGN ADVANTAGE WILL PROVIDE THE PERMIT AND THE INITIAL STORM WATER POLLUTION PREVENTION PLAN (SWPPP) FOR THE CONTRACTORS USE DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MEETING ALL REQUIREMENTS OF THE SWPPP AND LOCAL, STATE AND FEDERAL REQUIREMENTS. THE OWNER SHALL EMPLOY A SEPARATE FIRM TO PROVIDE SWPPP MONITORING AND UPDATES. THE CONTRACTOR WILL BE RESPONSIBLE FOR COORDINATING WITH THE SELECTED FIRM.
2. ALL EROSION CONTROL DEVICES SHALL BE INSTALLED ACCORDING TO SUDAS CHAPTER 7 EROSION AND SEDIMENT CONTROL.
3. IF DEWATERING IS NEEDED FOR ANY REASON, DISCHARGE OF WATER OFFSITE IS TO CONFORM WITH THE GENERAL PERMIT #2 REQUIREMENTS.
4. DISTURBED AREAS SHALL BE TEMPORARILY SEEDED OR MULCHED PRIOR TO THE SITE SHUTTING DOWN FOR WINTER CONDITIONS.
5. CAPTURE PCC SAWCUTTING SLURRY/GRINDING DUST.
6. IF DEWATERING IS NEEDED FOR ANY REASON, DISCHARGE OF WATER OFFSITE IS TO CONFORM WITH THE GENERAL PERMIT #2 REQUIREMENT.
7. DISTURBED AREAS SHALL BE TEMPORARILY SEEDED OR MULCHED IMMEDIATELY WHENEVER CLEARING, GRADING, EXCAVATING, OR OTHER EARTH DISTURBING ACTIVITIES HAVE PERMANENTLY OR TEMPORARILY CEASED AND WILL NOT RESUME FOR A PERIOD EXCEEDING 14 CALENDAR DAYS.

DISCHARGE POINT SUMMARY

DISCHARGE POINT #1 TO NORTH WALNUT CREEK ±2600 FT

TOTAL AREA DISTURBED TO DISCHARGE POINT	2.39 ACRES
STORAGE VOLUME REQUIRED (# OF ACRES*3600 CU FT)	8,604 CU FT
VOLUME PROVIDED IN FILTER SOCK (43 LF @ 2.0 CU FT/LF OF SOCK)	86 CU FT
VOLUME PROVIDED IN SILT FENCE (1,045 LF @ 4.5 CU FT/LF OF FENCE)	4,703 CU FT
VOLUME PROVIDED IN TSB (OVEREXCAVATE 3' @ 3:1)	10,164 CU FT
TOTAL VOLUME PROVIDED	14,953 CU FT

SCALE 0' 10' 20' 40'

REVISIONS	DATE
THIRD SUBMITTAL	03/24/2020
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3405 S.E. CROSSROADS DRIVE, SUITE G
GRIMES, IOWA 50111
PHONE: (515) 369-4400 FAX: (515) 369-4410
ENGINEER: JJN PM: DAM
CIVIL DESIGN ADVANTAGE

M-KEDS LOT 2
EROSION AND SEDIMENT CONTROL PLAN
GRIMES, IOWA

1912.620

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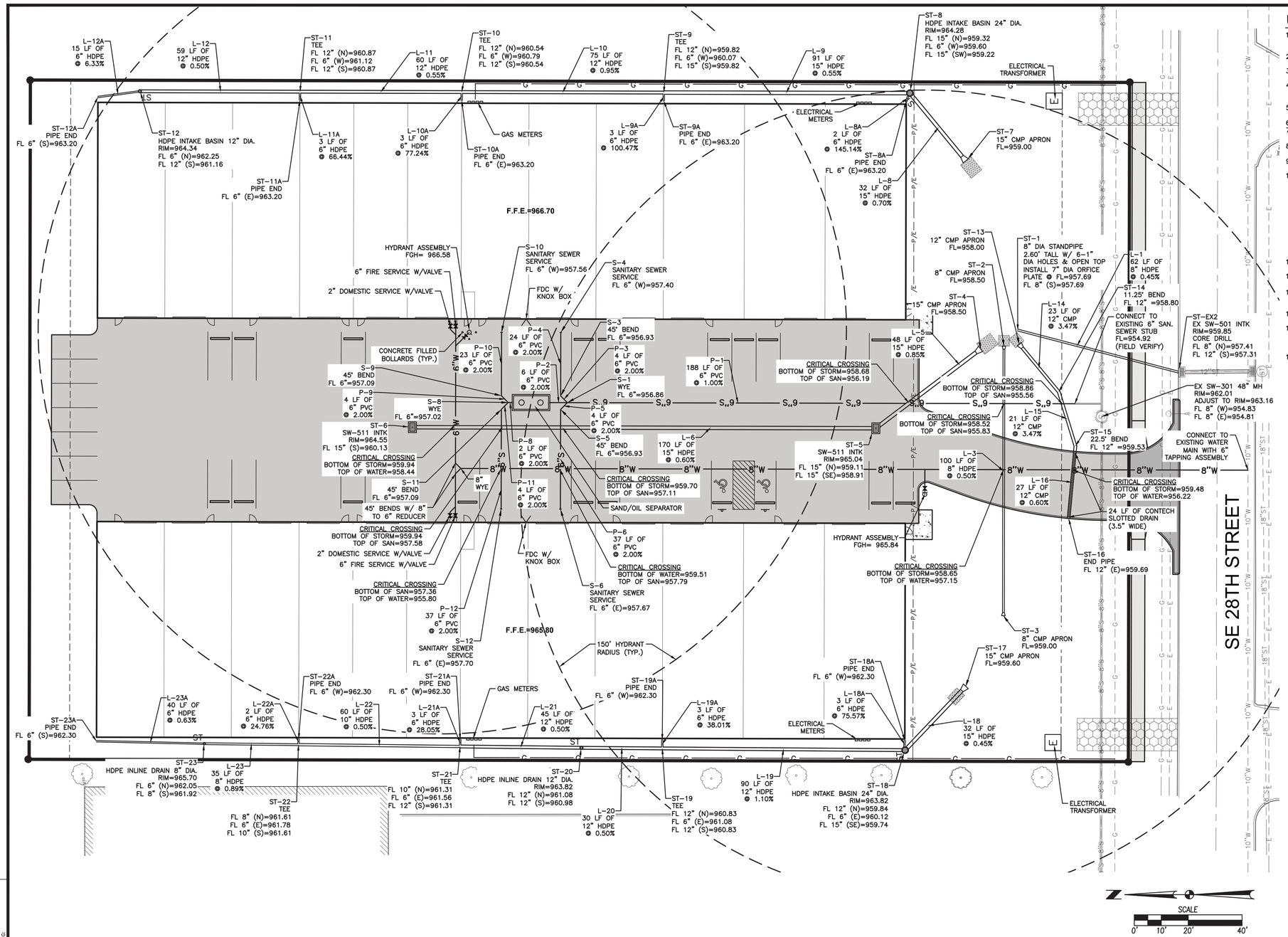


UTILITY NOTES

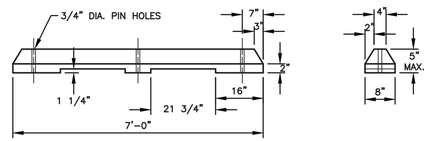
1. REFER TO MECHANICAL, ELECTRICAL AND PLUMBING PLANS FOR UTILITY SERVICE SIZES AND EXACT LOCATIONS. REFER TO ELECTRICAL PLANS FOR ELECTRIC AND TELEPHONE SERVICE CONSTRUCTION DETAILS. REFER TO MECHANICAL PLANS FOR GAS SERVICE CONSTRUCTION DETAILS.
2. FIELD VERIFY ELEVATIONS AND LOCATIONS OF ALL CONNECTIONS TO EXISTING UTILITIES PRIOR TO COMMENCING CONSTRUCTION.
3. PROVIDE TEMPORARY SUPPORT FOR EXISTING UTILITY LINES THAT ARE ENCOUNTERED DURING CONSTRUCTION UNTIL BACKFILLING IS COMPLETE.
4. BACKFILL ALL UTILITY TRENCHES ACCORDING TO THE 2020 EDITION OF THE SUDAS STANDARD SPECIFICATIONS AND ALL CITY OF GRIMES SUPPLEMENTALS. MAINTAIN A MINIMUM OF 5.5' COVER OVER ALL WATERMAINS.
5. ALL UTILITIES SHALL BE STUBBED TO 5 FEET FROM BUILDINGS. REFER TO MEP PLANS FOR DESIGN FROM 5' OUTSIDE OF BUILDING FACE.
6. ADJUST ALL MANHOLES AND INTAKES TO FINISHED GRADES.
7. ALL SANITARY SEWER AND WATER SERVICES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY'S PLUMBING CODE.
8. 18" MINIMUM VERTICAL CLEARANCE BETWEEN STORM SEWER AND SANITARY SEWER PIPES. 18" MINIMUM VERTICAL CLEARANCE BETWEEN SANITARY SEWER AND WATER MAIN.
9. MAINTAIN A MINIMUM OF 10' HORIZONTAL SEPARATION BETWEEN SANITARY SEWER LINES AND WATER MAINS.
10. WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE, THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS. THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTORS RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATIONS AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK. THE CONTRACTOR IS REQUIRED TO UTILIZE THE UTILITY ONE-CALL SERVICE AT 800-292-8989 AT LEAST 48 HOURS PRIOR TO EXCAVATING ANYWHERE ON THE PROJECT.
11. ALL WATERMAIN WORK, PUBLIC OR PRIVATE SHALL BE DONE IN ACCORDANCE WITH THE 2020 EDITION OF THE SUDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS.
12. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF WORK OF ALL SUBCONTRACTOR(S) INVOLVED IN THE PROJECT.
13. PRIVATE UTILITIES TO BE INSTALLED PER THE CITY OF GRIME'S STANDARD CONSTRUCTION SPECIFICATIONS FOR PUBLIC IMPROVEMENTS AND THE 2006 UNIFORM PLUMBING CODE. CONTACT BUILDING INSPECTION A MINIMUM OF 24 HOURS IN ADVANCE FOR UTILITY INSTALLATION INSPECTIONS.
14. OWNER IS RESPONSIBLE FOR MAINTENANCE OF PRIVATE RETENTION FACILITIES AND PRIVATE UTILITIES. PERIODIC MAINTENANCE AND CLEANING OF STORM AND SANITARY SEWER MAY BE NECESSARY.
15. CONTRACTOR SHALL PREVENT ENTRY OF MUD, DIRT, DEBRIS AND OTHER MATERIAL INTO NEW AND EXISTING SEWER SYSTEMS. SHOULD ANY CONTAMINATION OCCUR DURING CONSTRUCTION, THE CONTRACTOR SHALL CLEAN AT NO COST TO THE OWNER. INSTALL SILT FENCE AT ALL PERMANENT STORM SEWER INLETS.
16. INSTALL APRON GUARD AND FOOTING ON ALL APRONS.

REVISIONS	DATE
THIRD SUBMITTAL	03/24/2020
SECOND SUBMITTAL	03/10/2020
FIRST SUBMITTAL	02/13/2020

3405 S.E. CROSSROADS DRIVE, SUITE G
GRIMES, IOWA 50111
PHONE: (515) 369-4400 FAX: (515) 369-4410
ENGINEER: JJN PM: DAM
CIVIL DESIGN ADVANTAGE
GRIMES, IOWA

M-KEDS LOT 2
UTILITY PLAN

FILE: H:\2019\1912620\DWG\1912620-SITE.DWG
PLOTTED BY: JEFF NIESWIK PLOT DATE: 3/24/2020 2:42 PM COMMENT:
TECH: ENG:

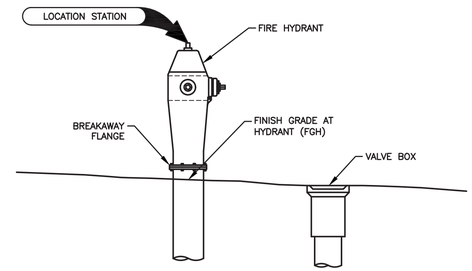


GENERAL NOTES:

1. DETAILS INDICATED HEREON ARE TYPICAL ONLY. ALTERNATE DESIGNS MAY BE SUBMITTED TO THE ENGINEER FOR APPROVAL. ANY ALTERNATE DESIGN APPROVED FOR USE ON CONSTRUCTION SHALL CONFORM TO THE MINIMUM REQUIREMENTS AS SHOWN. REFER TO ADDITIONAL PORTIONS OF THE PROJECT PLANS FOR COMPLETE DATA AS TO INSTALLATION, LOCATION, ETC.
2. ANY PRECAST P.C.C. WHEELSTOP MEASURING LONGER THAN 6'-0" WILL REQUIRE 3 ANCHOR PINS TO HOLD WHEELSTOP IN POSITION.
3. ANCHOR PINS SHALL BE 5/8" DIAMETER, 1'-6" LONG. ANCHOR PINS THAT ARE NOT BEDDED IN CONCRETE SHALL BE GALVANIZED. GROUT ANCHOR PINS MINIMUM OF 2" DEEP.
4. REINFORCING STEEL USED IN PRECAST P.C.C. WHEELSTOPS SHALL HAVE A MINIMUM OF 2" CLEARANCE TO THE CONCRETE SURFACES.
5. MINIMUM CONCRETE STRENGTH IS 4,000 PSI. LOCATE 6" FROM EDGE OF PAVEMENT TO CENTER OF WHEELSTOP. CENTER WHEELSTOP IN EACH SPACE.

1 P.C.C. WHEELSTOP

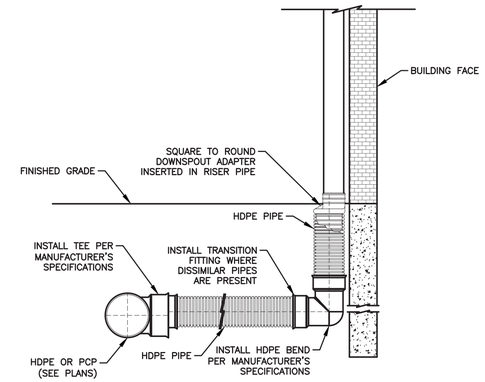
NOT TO SCALE



EXAMPLE: STA 10+00, 42' LT
HYDRANT ASSEMBLY
FGH = 987.6

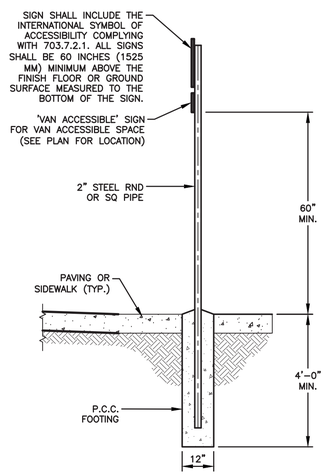
5 FIRE HYDRANT ASSEMBLY SPOT ELEVATION REFERENCE

NOT TO SCALE



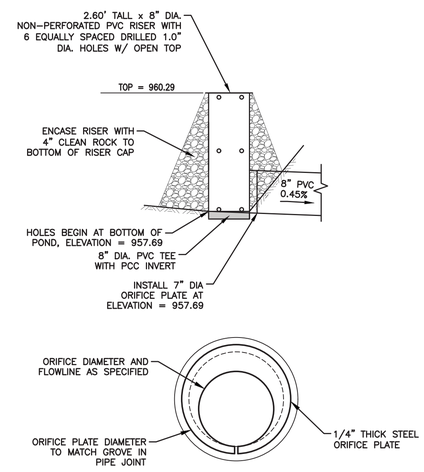
8 ROOF DRAIN CONNECTION WITH TEE

NOT TO SCALE



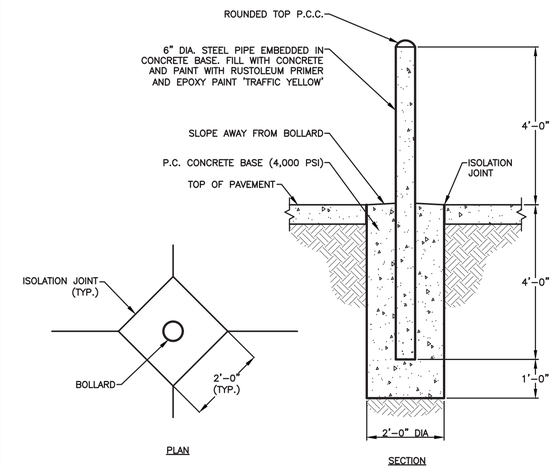
2 ACCESSIBLE PARKING SIGN

NOT TO SCALE



3 RISER WITH ROCK

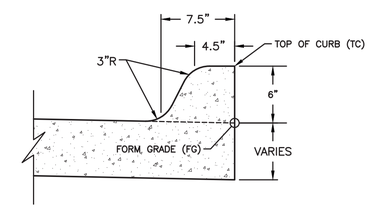
NOT TO SCALE



NOTE: SEE ARCHITECTURAL PLANS FOR BOLLARD LOCATIONS AND SIZES

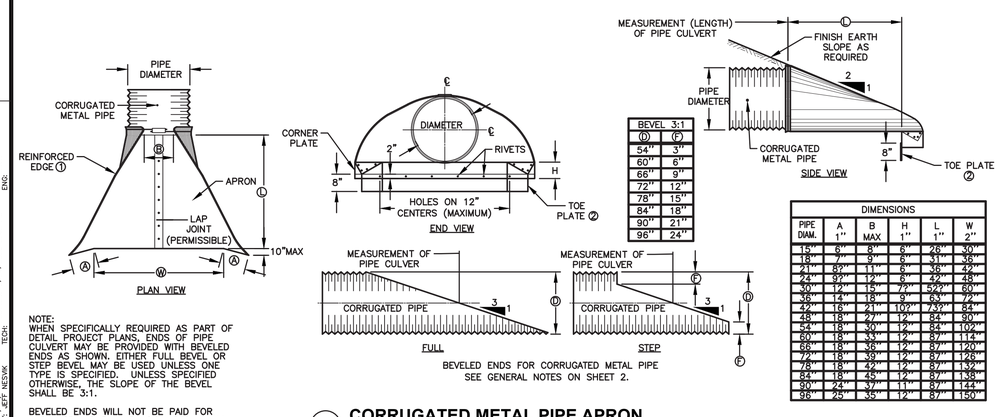
6 BOLLARD

NOT TO SCALE



9 INTEGRAL 6" STANDARD CURB SPOT ELEVATION REFERENCE

NOT TO SCALE



BEVEL 3:1	
(D)	(F)
54"	3"
60"	6"
66"	9"
72"	12"
78"	15"
84"	18"
90"	21"
96"	24"

DIMENSIONS					
PIPE DIAM.	A 1"	B MAX	H. 1"	L 1"	W 2"
15"	5"	8"	6"	26"	39"
18"	7"	9"	6"	31"	48"
21"	8"	11"	6"	36"	42"
24"	9"	12"	6"	42"	48"
30"	12"	15"	7"	52"	60"
36"	14"	18"	9"	63"	72"
42"	16"	21"	10"	73"	84"
48"	18"	27"	12"	84"	96"
54"	18"	30"	12"	84"	102"
60"	18"	33"	12"	87"	114"
66"	18"	36"	12"	87"	120"
72"	18"	39"	12"	87"	126"
78"	18"	42"	12"	87"	132"
84"	18"	45"	12"	87"	138"
90"	24"	37"	11"	87"	144"
96"	25"	35"	12"	87"	150"

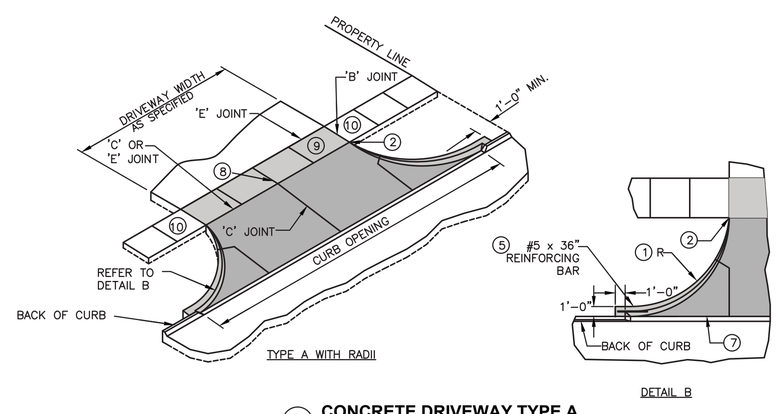
BEVELED ENDS FOR CORRUGATED METAL PIPE SEE GENERAL NOTES ON SHEET 2.

NOTE:
WHEN SPECIFICALLY REQUIRED AS PART OF DETAIL PROJECT PLANS, ENDS OF PIPE CULVERT MAY BE PROVIDED WITH BEVELED ENDS AS SHOWN. EITHER FULL BEVEL OR STEP BEVEL MAY BE USED UNLESS ONE TYPE IS SPECIFIED. UNLESS SPECIFIED OTHERWISE, THE SLOPE OF THE BEVEL SHALL BE 3:1.

BEVELED ENDS WILL NOT BE PAID FOR SEPERATELY BUT, WHEN REQUIRED, SHALL BE CONSIDERED INCIDENTAL TO THE PRICE BID OF THE CULVERT.

4 CORRUGATED METAL PIPE APRON

NOT TO SCALE



1. DRIVEWAY RADIUS (R).
2. TRANSITION THE CURB HEIGHT TO 0 INCHES AT END OF TAPER/RADIUS OR AT THE FRONT EDGE OF SIDEWALK. DO NOT EXTEND RAISED CURB ACROSS SIDEWALK.
3. PAVEMENT THICKNESS.
   RESIDENTIAL: 6 INCHES MINIMUM.
   COMMERCIAL AND INDUSTRIAL: 7 INCHES MINIMUM.
4. SIDEWALK THICKNESS THROUGH DRIVEWAY TO MATCH THICKNESS OF DRIVEWAY.
5. CENTER REINFORCING BAR VERTICALLY IN THE PAVEMENT.
6. MATCH THICKNESS OF ADJACENT ROADWAY, 8 INCHES MINIMUM.
7. PROVIDE 'E' JOINT AT BACK OF CURB UNLESS 'B' JOINT IS SPECIFIED.
8. FOR ALLEYS, INVERT THE PAVEMENT CROWN 2% TOWARD CENTER OF ALLEY.
9. TARGET CROSS SLOPE OF 1.5% WITH A MAXIMUM CROSS SLOPE OF 2.0%. IF SPECIFIED IN THE CONTRACT DOCUMENTS, CONSTRUCT THE SIDEWALK THROUGH THE DRIVEWAY 5 FEET WIDE TO SERVE AS A PASSING SPACE.
10. IF CROSS SLOPE OF ADJACENT SIDEWALK PANEL EXCEEDS 2.0%, REMOVE AND REPLACE TO TRANSITION FROM EXISTING SIDEWALK TO SIDEWALK THROUGH DRIVEWAY. IF ELEVATION CHANGE REQUIRES A CURB RAMP, COMPLY WITH FIGURE 7030.205; VERIFY NEED FOR DETECTABLE WARNING PANEL WITH ENGINEER.

7 CONCRETE DRIVEWAY TYPE A

NOT TO SCALE

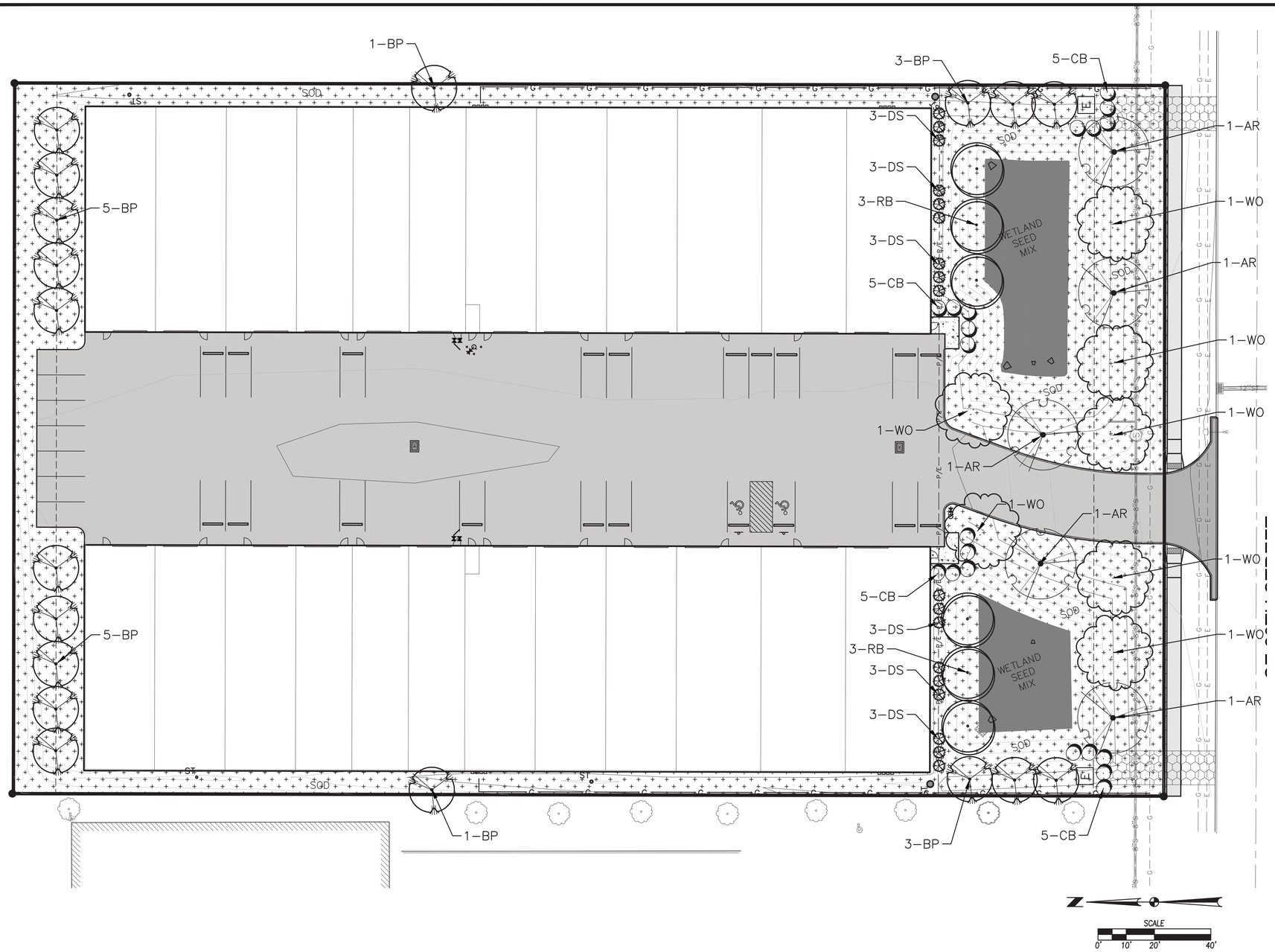
REVISIONS	DATE
THIRD SUBMITTAL	03/24/2020
SECOND SUBMITTAL	03/10/2020
FIRST SUBMITTAL	02/13/2020

3405 S.E. CROSSROADS DRIVE, SUITE G
GRIMES, IOWA 50111
PHONE: (515) 369-4400 FAX: (515) 369-4410
ENGINEER: JJN PM: DAM
CIVIL DESIGN ADVANTAGE
GRIMES, IOWA

M-KEDS LOT 2
DETAILS

1912.620

FILE: H:\2019\1912620\DWG\1912620-SITE.DWG
PLOTTED BY: JEFF NESVIK PLOT DATE: 3/24/2020 2:42 PM COMMENT:
PLOTTED: TECH: ENG:



LANDSCAPE NOTES

1. LOCATE ALL UTILITIES BEFORE ANY PLANTING BEGINS.
2. THE 2020 EDITION OF THE SUDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.
3. TYPE, SIZE, AND QUALITY OF PLANT MATERIAL SHALL CONFORM TO THE MOST CURRENT EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1
4. ALL PLANT MATERIAL SHALL BE HEALTHY SPECIMENS WITHOUT DEFORMITIES, VOIDS AND OPEN SPACES, WITH WELL DEVELOPED BRANCH AND ROOT SYSTEMS; TRUE TO HEIGHT, SHAPE AND CHARACTER OF GROWTH OF THE SPECIES OR VARIETY.
5. BACKFILL TO TOP OF CURB. (MINUS 1 1/2" FOR SOD, IF REQ.)
6. WEED PREVENTER (PRE-EMERGENT) SHALL BE SPREAD OVER SOIL AFTER PLANTING AND BEFORE MULCHING IN ALL PLANTING BEDS PER MANUFACTURER'S RECOMMENDATIONS.
7. SHREDDED HARDWOOD MULCH SHALL BE PLACED AROUND ALL TREES, SHRUBS AND IN ALL PLANTING BEDS TO A (MIN) DEPTH OF 3".
8. ALL EDGING SHALL BE METAL LANDSCAPING.
9. PLANT QUANTITIES ARE SHOWN FOR INFORMATION ONLY, THE DRAWING SHALL PREVAIL IF ANY CONFLICTS ARISE.
10. ALL DEBRIS SPILLED IN THE PUBLIC R.O.W. SHALL BE PICKED UP BY THE CONTRACTOR AT THE END OF EACH WORK DAY.
11. CONTRACTOR SHALL WARRANTY ALL PLANT MATERIALS FOR A PERIOD OF ONE YEAR FROM DATE OF INSTALLATION.
12. CONTRACTOR SHALL PROVIDE IRRIGATION DESIGN TO OWNER, IF REQUESTED, FOR APPROVAL.

PLANT SCHEDULE

CODE	QTY.	OVERSTORY TREES		SIZE	COND
AR	5	ROYAL RED MAPLE	ACER PLATANOIDES 'ROYAL RED'	2" CAL	B&B
WO	7	WHITE OAK	QUERCUS ALBA	2" CAL	B&B
BP	18	BRADFORD PEAR	PYRUS CALLERYANA 'CLEVELAND SELECT'	1.5" CAL	B&B
RB	6	RIVER BIRCH	BETULA NIGRA	5 GAL	CONT.

CODE	QTY.	SHRUBS		SIZE	COND
CB	20	DWARF CRANBERRY BUSH	VIBURNUM TRILOBUM	24" HT	CONT
DS	18	DWARF ALBERTA SPRUCE	PICEA GLAUCA 'CONICA'	24" HT	CONT

LANDSCAPE CALCULATIONS

REQUIREMENTS:

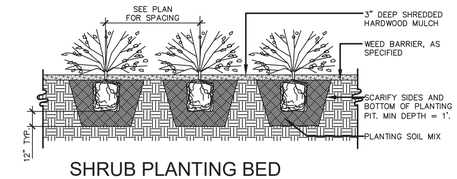
FRONTAGE: 1 TREE PER 50 LF OF STREET FRONTAGE

OPEN SPACE: 2 TREES PER 1,000 SF OF REQUIRED OPEN SPACE
1 SHRUB PER 500 SF OF REQUIRED OPEN SPACE
REQUIRED OPEN SPACE 15%= 15,421.17 SF

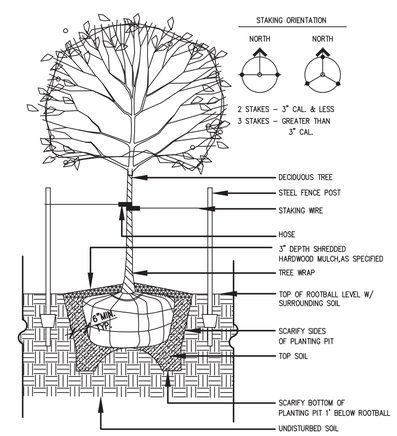
FRONTAGE:
251.98/50=5.04 = 5 TREES REQUIRED
5 TREES PROVIDED

OPEN SPACE:
15421/1000=15.4=15.4X2=30.8= 31 TREES REQUIRED
31 TREES PROVIDED

15421/500=30.84=31= 31 SHRUBS REQUIRED
38 SHRUBS PROVIDED



SHRUB PLANTING BED



DECIDUOUS TREE PLANTING

REVISIONS	DATE
THIRD SUBMITTAL	03/24/2020
SECOND SUBMITTAL	03/10/2020
FIRST SUBMITTAL	02/13/2020

3405 S.E. CROSSROADS DRIVE, SUITE G
GRIMES, IOWA 50111
PHONE: (515) 369-4400 FAX: (515) 369-4410
ENGINEER: JJN PM: DAM
CIVIL DESIGN ADVANTAGE
GRIMES, IOWA

M-KEDS LOT 2
LANDCAPE PLAN

8/8

1912.620

FILE: R:\2019\191260\DWG\191260-SITE.DWG
PLOTTED: 3/24/2020 2:42 PM
PLOTTED BY: JEFF NESVIK
COMMENT:
ENG:
TECH:

Planning & Zoning Staff Report

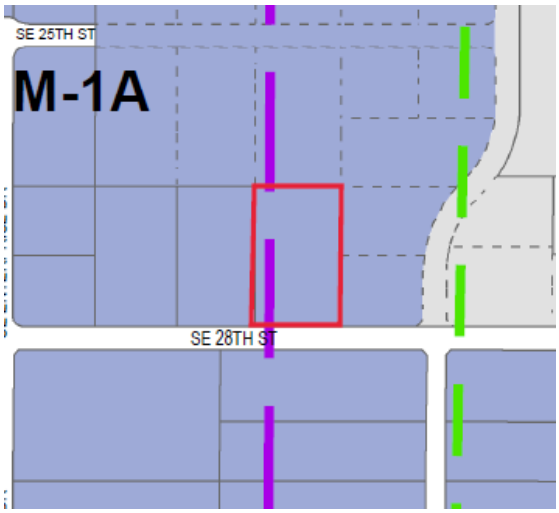
TO: Planning and Zoning Commission
FROM: Evann Martin, Assistant Planner
DATE: April 7, 2020
RE: M-Keds Home Place Plat 1, Lot 2 – Site Plan

GENERAL INFORMATION:

Applicant:	HD Commercial, LLC
Requested Action	Site Plan
Location	1405 SE 28th Street

SUPPORTING INFORMATION:

Location Map



Zoning Map

LAND USES & ZONING:

Location	Existing Land Use	Land Use Plan Designation	Current Zoning
Subject Site	Vacant	Light Industrial	M-1A
North	Vacant	Light Industrial	M-1A
South	Light Industrial	Business Parks	M-1A
East	Vacant	Light Industrial	M-1A
West	Light Industrial	Light Industrial	M-1A

BACKGROUND:

The applicant is requesting approval of the site plan for M-Keds Home Place Plat 1, Lot 2 which consists of two buildings at approximately 24,000 square feet each.

The property is located within Zone 2 of the Highway 141 Mixed Use Development Corridor District.

ANALYSIS:

Building/Elevations:

The façade is proposed to be principally constructed of stone with fiber cement siding. The remainder of the building will be constructed of two different colors of commercial steel. The building also includes a slanted roof, vertical and horizontal elements, and an awning. The building appears to meet all of the minimum architectural standards within the HWY 141 Zone 2 Overlay.

Site Layout:

The two buildings are situated along the eastern and western property lines. Parking is provided between the buildings and along the northern property line. Access to the property is from the south off of SE 28th Street. Two detention basins are located along the frontage.

There is no dumpster enclosure onsite. Trash is to be collected and stored within the individual units.

One pole mounted light fixture is proposed at the driveway and wallpack lights are proposed on the interior of the site. Uplighting will be placed on the front façade along SE 28th Street.

A Petition Waiver will be in place to cover future sidewalk installation along SE 28th Street.

Parking:
The site provides 27 parking spaces, two of which are handicap spaces, and exceeds the minimum spaces required.

Landscaping/Streetscape:
The site meets the minimum required number of plantings for the Highway 141 Mixed Use Development Corridor District. A majority of the landscaping is provided along the project frontage and the building frontage; however, some landscaping material is provided on the north side of the lot.

Utilities:
Sanitary sewer access is provided from an existing 8" sewer running along the north side of SE 28th Street. A new public 6" sewer will be constructed from the existing line and run north under the drive aisle between the buildings. A sand and oil separator is proposed within the main drive between the buildings for future tenants as needed.

Water is provided from an existing 10"main on the south side of SE 28th Street. A new public 8" water main will be constructed along north from the existing line to the buildings. The buildings are proposed to be fitted with a fire suppression system, therefore the appropriate FDC and fire hydrant spacing is shown.

Storm water detention is being handled via two detention basins along the south side of the property.

STAFF RECOMMENDATION:
Staff would recommend approval of the site plan for M-Keds Home Place Plat 1, Lot 2 Site Plan, subject to any remaining staff comments.

CITY OF GRIMES

Evann Martin
Assistant Planner

PERFORMANCE iN LIGHTING

PRODUCT CODE 071190

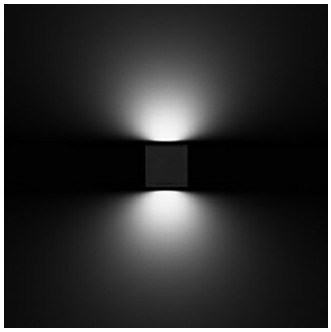
PROJECT

TYPE

MIMIK 20 FLAT B

IP 65 | PRONTO | WET | 0-10 V | cULus LISTED | ADA COMPLIANT

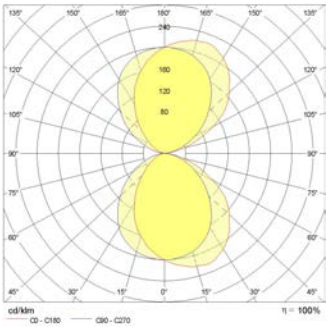
Part number	071190
Lampholder:	LED
Wattage:	25 W
Finish:	AN-96 / Iron gray / Textured
Degree of protection:	IP65
CRI:	80
Kelvin:	4000
Luminaire lumen output:	2095 lm
L:	L80
B:	B10
Lifetime:	60000 h
cULus:	✔
Voltage:	120-277 V



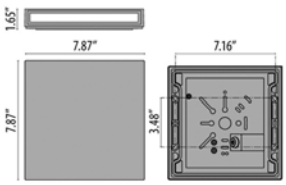
Description

Wall- and post- mount series. Fixtures consist of:
- Multi-step powder-coat painting process, optimized against UV rays and corrosion.
- Copper-free precision die-cast aluminum housing and mounting plate.
- Micro-prismatic patterned, flat, tempered silk-screened soda-lime glass diffuser (FLAT versions).
- Custom molded, anti-aging gasket(s).
- Stainless steel external hardware.
- Custom MCPCB utilized to maximize heat dissipation and promote a long LED life.
- Single (M) or dual (B) light emission.
- IESNA Type II light distribution (FLAT).
- Input voltage: 120-277 V (50 / 60 Hz), integral 0-10 V dimming driver.
- Customizing facade faceplate available for MIMIK FLAT versions (ordered separately).
- Consult factory for dimming options, custom finishes (please specify RAL color), and non-cataloged CCT (Kelvin) options.
- Optional clear plexiglass panel can be customized with logos for signage or wayfinding (LINE BOLLARD). Consult factory for more information.
- Product meets Buy American Act requirements within ARRA.
- 5-year warranty.

Photometric data

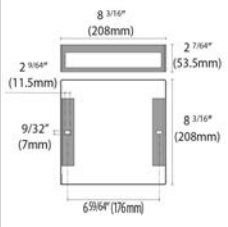


Technical drawings



OPTIONAL ACCESSORIES

MIMIK 20 FLAT B



310443

FLAT B Customising ring / Facade Accessory

Iron gray

Development Services
410 SE Main St, Suite 102
Grimes, IA 50111
(515)986-4050
www.grimesiowa.gov

~~March 3, 2020~~
March 19, 2020

JRL Development Group, LLC
Attn: Luke Wanninger
9960 NW 119th Ct
Granger, IA 50109

RE: Kyler Kiner Memorial Plat 1 Preliminary Plat

Dear Mr. Wanninger:

The Development Services Department is in receipt of a proposed Preliminary Plat for the Kyler Kiner Memorial Plat 1. Based on the review of the provided submittal materials, staff have the following comments:

General Comments:

1. ~~The vicinity sketch doesn't show up, please add.~~
2. ~~Identify the area of the private ingress egress easement for Lot 2 with striping. Include the dimensions of the area.~~
3. ~~Identify the ingress egress easement on the property to the west of Lot 1 with striping.~~
4. ~~At the southwest corner of Lot 1, show a 30' by 30' public sanitary sewer easement (See attached sketch).~~
5. ~~On the western property line of Lot 1, show a 10' wide private sanitary sewer easement and extend at least 10' north of the southern property line of the Porter property (See attached sketch).~~
6. ~~Remove the 10' future private sewer connection easement on Lot 2 (See attached sketch).~~
7. ~~Under General Notes, Revise note #3 to read "Any building improvement of storm water discharge will be to the south a minimum of 10' from the property line".~~

Please provide a letter addressing all comments on this comment letter and/or state what was modified on the site plan to address said comments.

SITE PLAN SUBMITTAL SCHEDULE:

SUBMITTAL DATE: February 24, 2020
(1 PDF of Preliminary Plat)

PLANNING & ZONING: April 7, 2020 at 5:30 at the Grimes City Hall

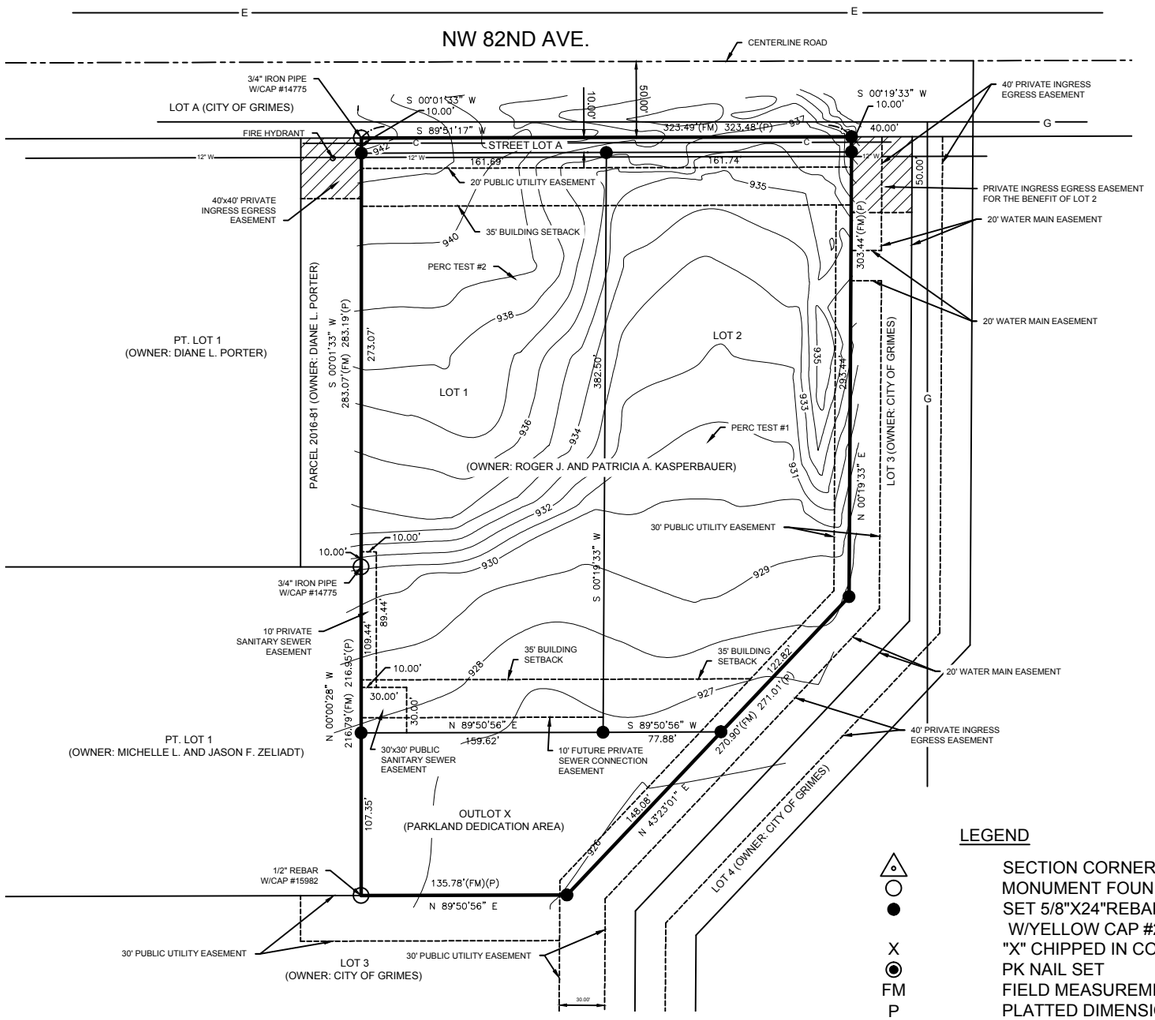
COUNCIL MEETING: April 28, 2020 at 5:30 at the Grimes City Hall

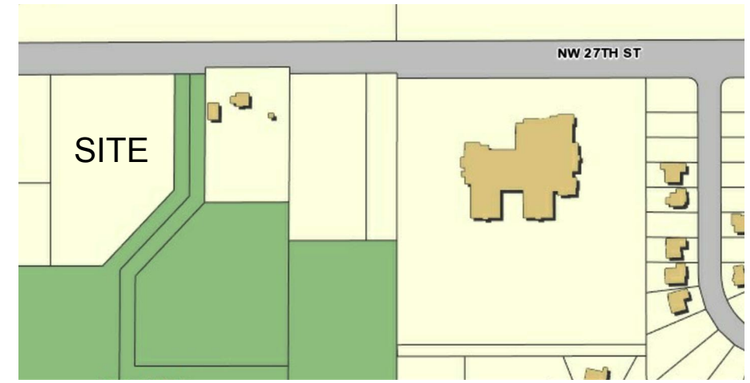
Please feel free to contact me at emartin@grimesiowa.gov or at (515) 986-4050 if you have any questions or need additional information.

Sincerely,

Evann Martin
Assistant Planner

PRELIMINARY PLAT
KYLER KINER MEMORIAL PLAT 1





VICINITY MAP SCALE 1"=400'

PREPARED BY:

CENTRAL IOWA SURVEYING LLC
P.O. BOX 67
JEFFERSON, IOWA 50129

OWNER:

ROGER J. AND PATRICIA A. KASPERBAUER
301 SW MAPELWOOD DR.
GRIMES, IOWA 50111

DEVELOPER:

JRL DEVELOPMENT GROUP, LLC
9960 NW 119TH COURT
GRANGER, IOWA 50109

LEGAL DESCRIPTION:

KYLER KINER MEMORIAL PLAT 1, LOCATED IN ALL OF LOT 2, IN TOWN & COUNTRY, AN OFFICIAL PLAT, NOW INCLUDED IN AND FORMING A PART OF POLK COUNTY, IOWA BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF SAID LOT 2; THENCE S89°51'17"W ON THE NORTH LINE OF SAID LOT 2, A DISTANCE OF 323.49 FEET TO THE NORTHWEST CORNER OF SAID LOT 2; THENCE S00°01'33"W ON SAID WEST LINE OF LOT 2 ALSO BEING THE EAST LINE OF PARCEL 2016-81 OF LOT 1 IN SAID TOWN AND COUNTRY PLAT, A DISTANCE OF 283.07 FEET TO THE SOUTHEAST CORNER OF SAID PARCEL 2016-81; THENCE S00°08'28"E ON SAID WEST LINE OF LOT 2, A DISTANCE OF 216.79 FEET TO THE SOUTHWEST CORNER OF SAID LOT 2; THENCE N89°50'56"E ON THE SOUTH LINE OF SAID LOT 2, A DISTANCE OF 135.78 FEET TO THE SOUTHEAST CORNER OF SAID LOT 2; THENCE N43°23'01"E ON THE EAST LINE OF SAID LOT 2, A DISTANCE OF 270.90 FEET; THENCE N00°19'33"E ON THE EAST LINE OF SAID LOT 2, A DISTANCE OF 303.44 FEET TO THE NORTHEAST CORNER OF SAID LOT 2 ALSO BEING THE POINT OF BEGINNING.

DATE OF SURVEY:

JANUARY 2020

ZONING:

CURRENT ZONING= ESTATE RESIDENTIAL DISTRICT (POLK COUNTY ZONING)

PROPOSED ZONING= R1 SINGLE FAMILY DWELLING DISTRICT (CITY OF GRIMES)
BULK REGULATIONS:
FRONT YARD: 35' REAR YARD: 35' SIDE YARD: 1-1/2 STORY= 7'/14'
2-3 STORY= 10'/20'

AREA OF PROPERTY:

3.28 ACRES TOTAL

LOT 1= 1.41 ACRES TOTAL (SINGLE FAMILY)

LOT 2= 1.34 ACRES TOTAL (SINGLE FAMILY)

OUTLOT X= 0.46 ACRES TOTAL (PARK)

STREET LOT A= 0.07 ACRES TOTAL

FEMA FLOOD ZONE:

MAP # 19153C0160F EFFECTIVE DATE: 02/01/2019 ZONE: X

GENERAL NOTES:

UTILITIES SHOWN ON THIS MAP ARE APPROXIMATE ONLY AND IOWA ONE CALL SHALL BE NOTIFIED PRIOR TO ANY DIGGING OR CONSTRUCTION.

PROPERTY IS SUBJECT TO AN AGREEMENT REGARDING FUTURE PUBLIC UTILITY CONNECTIONS.

ANY BUILDING IMPROVEMENT OF STORM WATER DISCHARGE WILL BE TO THE SOUTH A MINIMUM OF 10 FEET FROM THE PROPERTY LINE.

LEGEND

- SECTION CORNER
- MONUMENT FOUND
- SET 5/8"X24"REBAR W/YELLOW CAP #22850
- X "X" CHIPPED IN CONC
- PK NAIL SET
- FM FIELD MEASUREMENT
- P PLATTED DIMENSION
- PROPERTY LINE
- FENCE LINE
- SECTION LINE
- EASEMENT
- S SANIATARY SEWER
- ST STORM SEWER
- W WATER
- C CABLE
- G GAS
- EASEMENT AREA

NOTE: ALL BEARINGS ARE ASSUMED

LICENSED PROFFESIONAL ENGINEER
CODY F. FORCH
22843
IOWA

I hereby certify that this engineering document and the related engineering work was performed by me or under my direct personal supervision and that I am a duly licensed Engineer under the laws of the State of Iowa.

Signature Date
Cody F. Forch

License number #22843
My license renewal date is Dec, 31, 2020
Pages or sheets covered by this seal: 1

LICENSED LAND SURVEYOR
ROBERT B. BILLS
22850
IOWA

I hereby certify that this land surveying document and the related survey work was performed by me or under my direct personal supervision and that I am a duly licensed Land Surveyor under the laws of the State of Iowa.

Signature Date
Robert B. Bills

License number #22850
My license renewal date is Dec, 31, 2020
Pages or sheets covered by this seal: 1

FIELD WORK DATE: 01/2020

CENTRAL IOWA SURVEYING, LLC
P.O. BOX 67 JEFFERSON, IOWA 50129
PHONE (515) 370-2399 EMAIL rbills@centraliowasurveying.com

PRELIMINARY PLAT
KYLER KINER MEMORIAL PLAT 1

JOB # 20A01

Planning & Zoning Staff Report

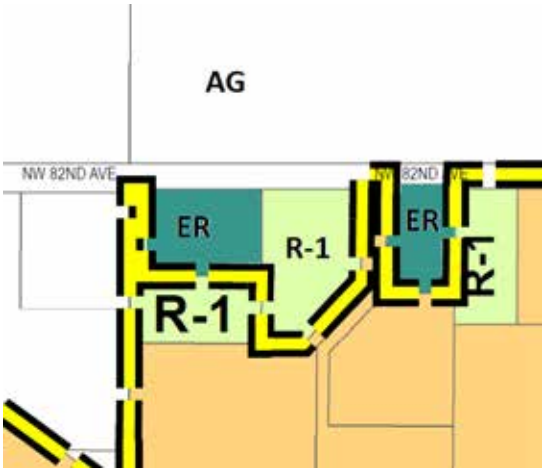
TO: Planning and Zoning Commission
FROM: Evann Martin, Assistant Planner
DATE: April 7, 2020
RE: Kyler Kiner Memorial Plat 1 – Preliminary Plat

GENERAL INFORMATION:

Applicant:	JRL Development Group, LLC
Requested Action	Preliminary Plat
Location	13376 NW 82nd Avenue

SUPPORTING INFORMATION:

Location Map



Zoning Map

LAND USES & ZONING:

Location	Existing Land Use	Land Use Plan Designation	Current Zoning
Subject Site	Vacant	Low Density Residential	A-1
North	Vacant / Residential	Agricultural (Polk County)	Agricultural (Polk County)
South	Park	Park	Park
East	Residential	Estate (Polk County)	Estate Residential (Polk County)
West	Residential	Estate (Polk County)	Estate Residential (Polk County)

BACKGROUND:

The subject property is currently in the process of being rezoned from A-1 to R-1 and is expected to be approved by Council on April 28th. As part of the typical development process, the applicant is now requesting approval of a preliminary plat, which will allow for the future subdivision of the approximately 3.28-acre property, into two single-family lots, and one outlot for parkland dedication. The two single family lots are 1.41 and 1.34 acres in size, and the outlot for parkland dedication totals 0.46 acres. The purpose of the parkland dedication is to allow Public Works to address some drainage issues in the North Sports Complex.

ANALYSIS:

A conceptual layout is shown for the preliminary plat. Access to Lot 1 will be from NW 82nd Avenue / NW 27th Street. A 40' by 50' ingress / egress easement is proposed to grant access for Lot 2 from the existing North Sports Complex entrance drive to the east to limit the number of driveways on NW 27th Street.

An 8' trail is proposed to be constructed along NW 27th Street.

Water service is available along the north side of the property. Two water services will be tapped along the existing main and stubbed into the site.

Sanitary sewer is not currently available to the property; however, staff is evaluating a project to bring an 8" sanitary sewer main north from the sports complex to the subdivision. This will also serve an additional lot in the Town & County subdivision once they are ready to connect. If it is determined that the sewer project is not feasible, the property may be served with septic systems until the sewer is within 100-feet of the property, per City Ordinance.

STAFF RECOMMENDATION:

Staff would recommend approval of the preliminary plat for Kyler Kiner Memorial Plat 1, subject to any remaining staff comments.

CITY OF GRIMES

Evann Martin
Assistant Planner

Development Services
410 SE Main St, Suite 102
Grimes, IA 50111
(515)986-4050
www.grimesiowa.gov

~~March 3, 2020~~
March 19, 2020

JRL Development Group, LLC
Attn: Luke Wanninger
9960 NW 119th Ct
Granger, IA 50109

RE: Kyler Kiner Memorial Plat 1 Final Plat

Dear Mr. Wanninger:

The Development Services Department is in receipt of a proposed Final Plat for Kyler Kiner Memorial Plat 1. Based on the review of the provided submittal materials, staff have the following comments:

General Comments:

1. ~~Identify the area of the private ingress egress easement for Lot 2 with striping. Include the dimensions of the area.~~
2. ~~Identify the ingress egress easement on the property to the west of Lot 1 with striping.~~
3. ~~At the southwest corner of Lot 1, show a 30' by 30' public sanitary sewer easement (See attached sketch).~~
4. ~~On the western property line of Lot 1, show a 10' wide private sanitary sewer easement and extend at least 10' north of the southern property line of the Porter property (See attached sketch).~~
5. ~~Remove the 10' future private sewer connection easement on Lot 2 (See attached sketch).~~

Legal Comments:

1. The following legal documents need to be provided for review:
   - Consent(s) to Plat (proprietor and mortgagee)
   - Treasure's Certificate
   - County Subdivision Name Approval
   - Easement (documents)
   - Warranty Deed, Ground Water Hazard Statement and Declaration of Value for the parkland dedication

2. A copy of the Declaration of Covenants, Restrictions and Easements will need to be provided for review.

3. A copy of the executed Mid-American Energy electric and Black Hills gas distribution agreement will need to be provided.

Please provide a letter addressing all comments on this comment letter and/or state what was modified on the site plan to address said comments.

SITE PLAN SUBMITTAL SCHEDULE:

SUBMITTAL DATE:	February 24, 2020 **(1 PDF of Final Plat and Legal Documents)**
PLANNING & ZONING:	April 7, 2020 at 5:30 at the Grimes City Hall
COUNCIL MEETING:	April 28, 2020 at 5:30 at the Grimes City Hall

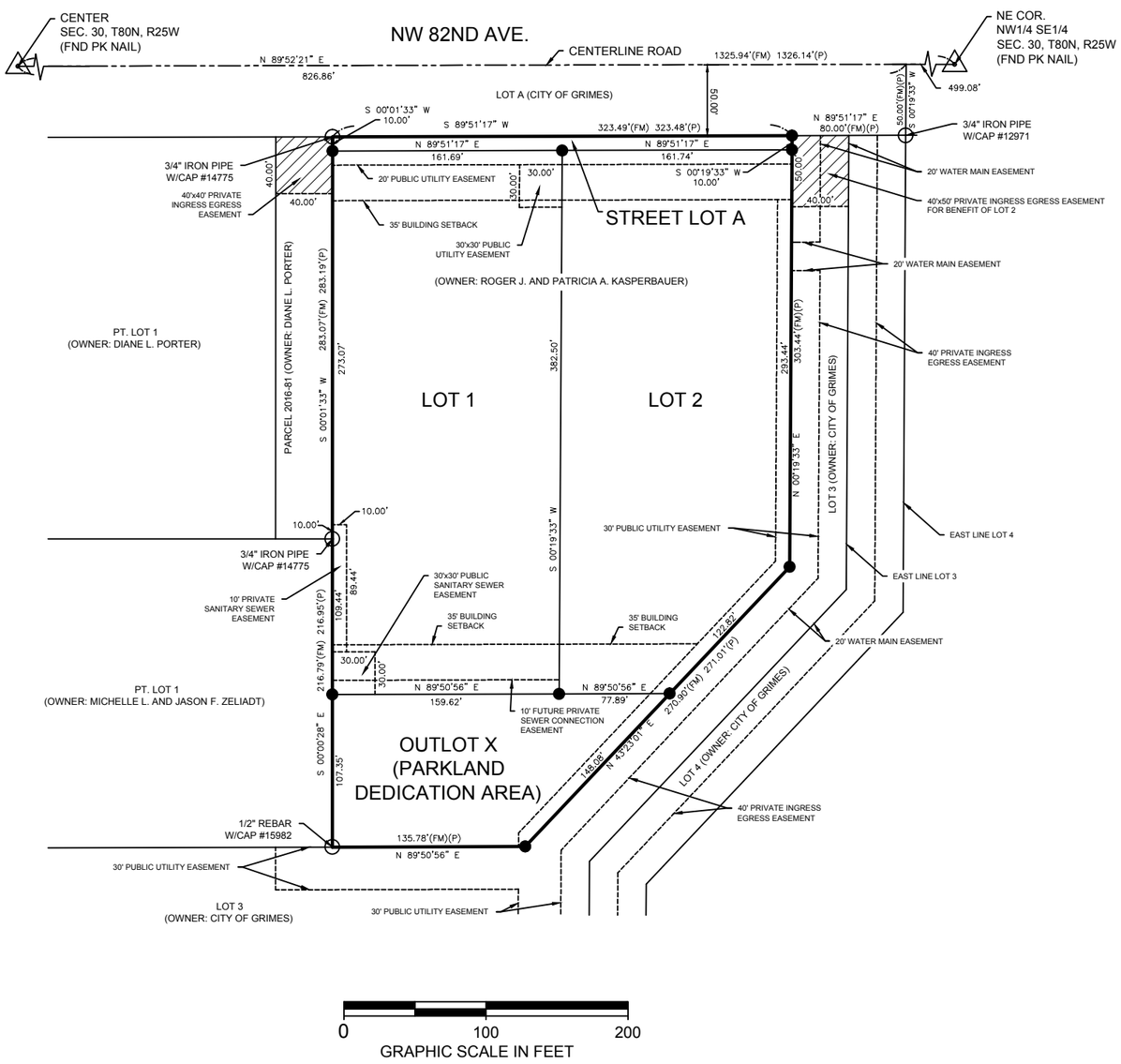
Please feel free to contact me at emartin@grimesiowa.gov or at (515) 986-4050 if you have any questions or need additional information.

Sincerely,

Evann Martin
Assistant Planner

KYLER KINER MEMORIAL PLAT 1

FINAL PLAT



SURVEYOR:

CENTRAL IOWA SURVEYING LLC
P.O. BOX 67
JEFFERSON, IOWA 50129

OWNER:

JRL DEVELOPMENT GROUP, LLC
9960 NW 119TH COURT
GRANGER, IOWA 50109

DEVELOPER:

JRL DEVELOPMENT GROUP, LLC
9960 NW 119TH COURT
GRANGER, IOWA 50109

LEGAL DESCRIPTION:

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DATE OF SURVEY:

JANUARY 2020

ZONING:

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PROPOSED ZONING= R1 SINGLE FAMILY DWELLING DISTRICT (CITY OF GRIMES)
BULK REGULATIONS:
FRONT YARD: 35' REAR YARD: 35' SIDE YARD: 1-1/2 STORY= 7'/14'
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LOT 2= 1.34 ACRES TOTAL (SINGLE FAMILY)

OUTLOT X= 0.46 ACRES TOTAL (PARK)

STREET LOT A= 0.07 ACRES TOTAL

NOTES:

OUTLOT X SHALL BE DEDICATED TO THE CITY OF GRIMES TO SATISFY PARKLAND REQUIREMENTS.

STREET LOT A SHALL BE DEDICATED TO THE CITY OF GRIMES FOR STREET RIGHT OF WAY.

A 40'x50' PRIVATE INGRESS EGRESS EASEMENT IS LOCATED IN THE NORTHEAST CORNER OF LOT 3 FOR THE BENEFIT OF LOT 2.

LEGEND

△	SECTION CORNER
○	MONUMENT FOUND
●	SET 5/8"X24"REBAR W/YELLOW CAP #22850
X	"X" CHIPPED IN CONC
◉	PK NAIL SET
FM	FIELD MEASUREMENT
P	PLATTED DIMENSION
———	PROPERTY LINE
—x—x—	FENCE LINE
— — —	SECTION LINE
- - - - -	EASEMENT
——S——	SANIATARY SEWER
——ST——	STORM SEWER
——W——	WATER
——C——	CABLE
——G——	GAS

NOTE: ALL BEARINGS ARE ASSUMED

LICENSED LAND SURVEYOR
ROBERT B. BILLS
22850
IOWA

I hereby certify that this land surveying document and the related survey work was performed by me or under my direct personal supervision and that I am a duly licensed Land Surveyor under the laws of the State of Iowa.

Signature Date
Robert B. Bills

License number #22850
My license renewal date is Dec, 31, 2020
Pages or sheets covered by this seal: 1

FIELD WORK DATE: 01/2020

CENTRAL IOWA SURVEYING, LLC
P.O. BOX 67 JEFFERSON, IOWA 50129
PHONE (515) 370-2399 EMAIL rbills@centraliowasurveying.com

KYLER KINER MEMORIAL PLAT 1
FINAL PLAT

Planning & Zoning Staff Report

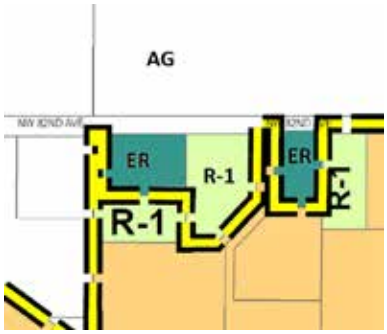
TO: Planning and Zoning Commission
FROM: Evann Martin, Assistant Planner
DATE: April 7, 2020
RE: Kyler Kiner Memorial Plat 1 – Final Plat

GENERAL INFORMATION:

Applicant:	JRL Development Group, LLC
Requested Action	Final Plat
Location	13376 NW 82nd Avenue

SUPPORTING INFORMATION:

Location Map



Zoning Map

LAND USES & ZONING:

Location	Existing Land Use	Land Use Plan Designation	Current Zoning
Subject Site	Vacant	Low Density Residential	R-1
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South	Park	Park	Park
East	Residential	Estate (Polk County)	Estate Residential (Polk County)
West	Residential	Estate (Polk County)	Estate Residential (Polk County)

BACKGROUND:

The applicant is requesting approval of a final plat, which will allow for the subdivision of the approximately 3.28-acre property, into two single-family lots, and one outlot for parkland dedication. The two single family lots are 1.41 and 1.34 acres in size, and the outlot for parkland dedication totals 0.46 acres. The purpose of the parkland dedication is to allow Public Works to address some drainage issues in the North Sports Complex.

ANALYSIS:

The layout shown for the final plat is consistent with the preliminary plat.

Access to Lot 1 will be from NW 82nd Avenue / NW 37th Street. A 40' by 50' ingress / egress easement is proposed to grant access for Lot 2 from the existing North Sports Complex entrance drive to the east to limit the number of driveways on NW 37th Street.

An 8' trail is proposed to be constructed along NW 37th Street.

Water service is available along the north side of the property. Two water services will be tapped along the existing main and stubbed into the site.

Sanitary sewer is not currently available to the property; however, staff is evaluating a project to bring an 8" sanitary sewer main north from the sports complex to the subdivision. This will also serve an additional lot in the Town & County subdivision once they are ready to connect. If it is determined that the sewer project is not feasible, the property may be served with septic systems until the sewer is within 100-feet of the property, per City Ordinance.

STAFF RECOMMENDATION:

Staff would recommend approval of the final plat for Kyler Kiner Memorial Plat 1, subject to any remaining staff comments and submittal of all required legal documents.

CITY OF GRIMES

Evann Martin
Assistant Planner

Development Services
410 SE Main St, Suite 102
Grimes, IA 50111
(515)986-4050
www.grimesiowa.gov

~~March 3, 2020~~
~~March 19, 2020~~
April 3, 2020

Civil Design Advantage, LLC
Attn: Gary Reed
3405 Crossroads Drive, Suite G
Grimes, IA 50111

RE: Hope Commercial Plat 2 Preliminary Plat

Dear Mr. Reed:

The Development Services Department is in receipt of a proposed Preliminary Plat for Hope Commercial Plat 2. Based on the review of the provided submittal materials, staff have the following comments:

General Comments:

1. ~~Provide separate sheets regarding topography, dimension plan, grading, utilities, landscaping and concept. Need landscaping details for the ROW. Concept plan was not added.~~
2. ~~For each of the separated sheets, please provide the details over 2 sheets. Further comments on utilities will be forthcoming once we receive the resubmittal.~~

Sheet 1/Cover:

1. ~~The vicinity sketch is not to scale (500:1). Please update.~~
2. ~~Identify the flood zone and effective date.~~
3. ~~Please revise Note 2 to reflect dedication of both street lots.~~
4. ~~Please remove all references to HWY 141 as the Transportation Corridor Overlay will supersede Zone 2. As such, update to reflect the Transportation Corridor Overlay standards. Remove reference to Highway 141 Zone 2.~~
5. ~~Staff understand that Lot 1 and 2 are to be combined. Please revise.~~

Sheet 2:

1. ~~Staff questions if the applicant is pursuing the RI/RO off 1st Street. If so, staff will contact the DOT for next steps.~~
2. ~~Staff questions how internal ingress/egress will be handled through the sites.~~
3. ~~Please show intended points of access along the roadways.~~

4. ~~Staff questions if the applicant intends for the access point along NE Gateway at lots 6/7 to be full access. Where the median terminates is a bit awkward and may cause conflicts along the roadway.~~
5. ~~Show sidewalk along all public streets (both sides). Show 10' sidewalk along Gateway Drive. Per the PUD discussions, please show an 8-foot trail along the north side of NE 5th ST.~~
6. ~~Please provide pedestrian connection to the trail around the water feature. What is the width of the trail easement? Please provide details for the width.~~
7. ~~Please show required landscaping along the public streets.~~
8. ~~Staff is concerned with the width of Lot 3. At 110-feet of width, and the anticipated fast food user, circulation while maintaining the minimum bulk requirements may be challenging.~~
9. ~~Staff questions if MPE's are needed for Lot ½ and 9.~~
10. ~~Staff questions if a sidewalk easement is necessary for the cul-de- sac bulb.~~
11. On the concept plan, please remove the driveway from Lot 4 to NE 2nd Ct. The driveway is too close to the other two intersections to the east and west.

Pre-Construction Drawing Comments:

1. Please provide a SWMP for review.
2. Please provide a SWPPP for review.
3. Please provide IDNR permits for review.

Please provide a letter addressing all comments on this comment letter and/or state what was modified on the site plan to address said comments.

SITE PLAN SUBMITTAL SCHEDULE:

SUBMITTAL DATE:	~~February 24, 2020~~ March 10, 2020 **(1 PDF of Preliminary Plat)**
PLANNING & ZONING:	April 7, 2020 at 5:30 at the Grimes City Hall
COUNCIL MEETING:	April 28, 2020 at 5:30 at the Grimes City Hall

Please feel free to contact me at apfaltzgraff@grimesiowa.gov or at (515) 986-4050 if you have any questions or need additional information.

Sincerely,

Alex Pfaltzgraff
Development Services Director

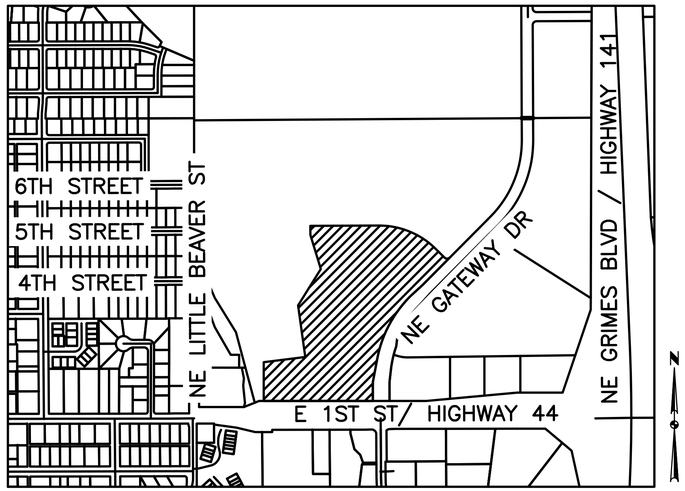
PRELIMINARY PLAT FOR:

HOPE COMMERCIAL PLAT 2

GRIMES, IOWA

VICINITY MAP

1"=500'



GRIMES, IOWA

OWNER

HOPE K FARMS LLC
1548 S 45TH ST
WEST DES MOINES, IA 50265-5765

ENGINEER/SURVEYOR

CIVIL DESIGN ADVANTAGE, LLC
CONTACT: GARY REED
3405 SE CROSSROADS DRIVE, SUITE G
GRIMES, IOWA 50111
PH. (515) 369-4400
FX. (515) 369-4410

NOTES:

1. PROPOSED SPEED LIMIT ON NE GATEWAY DRIVE IS 35 MPH.
2. STREET LOT A AND STREET LOT B TO BE DEDICATED TO THE CITY OF GRIMES.

FEMA FLOOD NOTE:

POLK COUNTY, PANEL 160 OF 555
MAP NUMBER= 19153C0160F
EFFECTIVE DATE= FEBRUARY 1, 2019

ZONING

EXISTING ZONING: A-1 AGRICULTURE DISTRICT

SITE IS WITHIN ZONE 2 OF THE HIGHWAY 141 MIXED USE CORRIDOR.

SITE IS WITHIN THE TRANSPORTATION OVERLAY DISTRICT.

PROPOSED ZONING: C-2 GENERAL AND HIGHWAY SERVICE COMMERCIAL DISTRICT

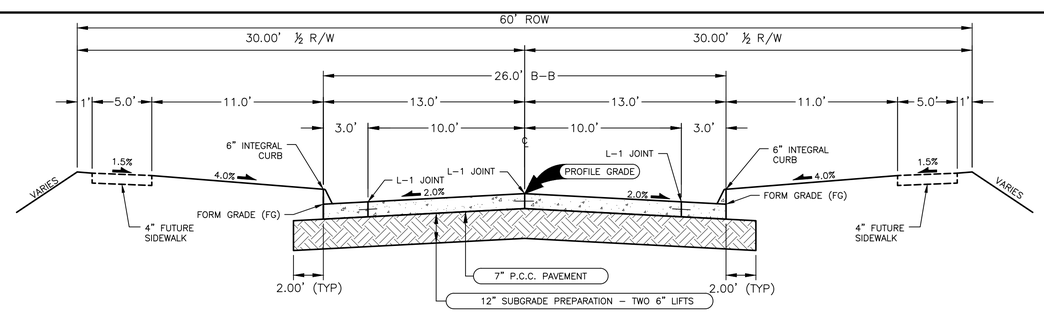
OPEN SPACE NOTE

THE TOTAL LAND AREA DEVOTED TO OPEN SPACE AND LANDSCAPING SHALL NOT BE LESS THAN THE SPECIFIED PERCENTAGE OF THE GROSS LAND AREA INCLUDED IN THE BUILDING LOT. SUCH OPEN SPACE SHALL BE MAINTAINED AS GRASSED AND LANDSCAPED AREA AND SHALL NOT INCLUDE ACCESS DRIVES, PARKING AREAS, STRUCTURES OR BUILDINGS, EXCEPT ORNAMENTAL STRUCTURES INCLUDED AS PART OF THE LANDSCAPING THEME

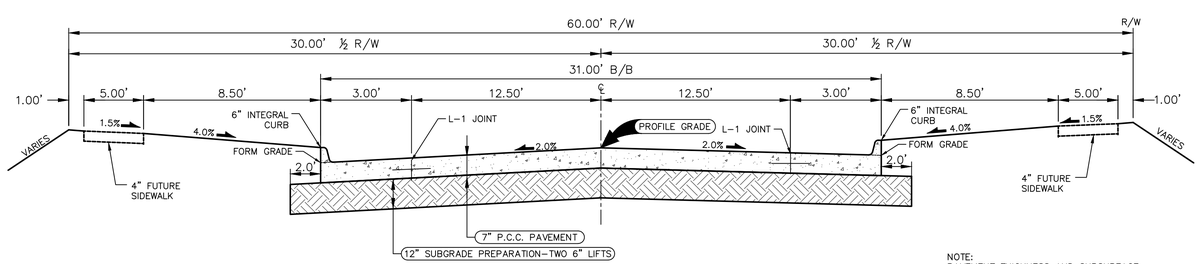
PLAT DESCRIPTION

A PART OF OUTLOT 'X', HOPE COMMERCIAL PLAT 1, AN OFFICIAL PLAT IN THE CITY OF GRIMES, POLK COUNTY, IOWA AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF SAID OUTLOT 'X'; THENCE NORTH 89°48'24" WEST ALONG THE SOUTH LINE OF SAID OUTLOT 'X', 710.00 FEET; THENCE NORTH 44°48'05" WEST, 14.14 FEET; THENCE NORTH 00°11'36" EAST, 246.06 FEET; THENCE NORTH 83°07'18" EAST, 275.23 FEET; THENCE NORTH 71°51'34" EAST, 1.28 FEET; THENCE NORTH 07°43'11" WEST, 343.46 FEET; THENCE NORTH 32°09'24" EAST, 283.22 FEET; THENCE NORTH 16°53'02" WEST, 235.03 FEET; THENCE NORTH 00°03'35" WEST, 60.00 FEET; THENCE NORTH 89°56'25" EAST, 451.80 FEET; THENCE EASTERLY ALONG A CURVE CONCAVE SOUTHERLY WHOSE RADIUS IS 530.00 FEET, WHOSE ARC LENGTH IS 416.81 FEET AND WHOSE CHORD BEARS SOUTH 67°31'47" EAST, 406.15 FEET; THENCE SOUTH 45°00'00" EAST, 81.13 FEET; THENCE EASTERLY ALONG A CURVE CONCAVE NORTHERLY WHOSE RADIUS IS 25.00 FEET, WHOSE ARC LENGTH IS 39.27 FEET AND WHOSE CHORD BEARS NORTH 90°00'00" EAST, 35.36 FEET TO THE WESTERLY LINE OF STREET LOT 'A', SAID HOPE COMMERCIAL PLAT 1; THENCE SOUTH 45°00'00" WEST ALONG SAID WESTERLY LINE, 257.92 FEET; THENCE SOUTH 47°51'45" WEST CONTINUING ALONG SAID WESTERLY LINE, 100.12 FEET; THENCE SOUTH 45°00'00" WEST CONTINUING ALONG SAID WESTERLY LINE, 9.27 FEET; THENCE SOUTHWESTERLY CONTINUING ALONG SAID WESTERLY LINE AND A CURVE CONCAVE SOUTHEASTERLY WHOSE RADIUS IS 795.00 FEET, WHOSE ARC LENGTH IS 489.44 FEET AND WHOSE CHORD BEARS SOUTH 27°21'47" WEST, 481.74 FEET; THENCE SOUTH 10°56'24" WEST CONTINUING ALONG SAID WESTERLY LINE, 139.32 FEET; THENCE SOUTH 00°11'36" WEST CONTINUING ALONG SAID WESTERLY LINE, 124.00 FEET TO THE POINT OF BEGINNING AND CONTAINING 18.16 ACRES (791,001 SQUARE FEET). THE PROPERTY IS SUBJECT TO ANY AND ALL EASEMENTS OF RECORD.



TYPICAL SECTION - 26' P.C.C. ROADWAY WITH 60' ROW
NOT TO SCALE



NOTE:
PAVEMENT THICKNESS AND SUBSURFACE PAVEMENT DRAINAGE IS SUBJECT TO CHANGE BASED ON FUTURE GEOTHECNICAL REPORT

TYPICAL SECTION - 31' P.C.C. ROADWAY WITH 60' ROW
NOT TO SCALE

LEGEND

FEATURES

PROPOSED

- GROUND SURFACE CONTOUR
- TYPE SW-501 STORM INTAKE
- TYPE SW-503 STORM INTAKE
- TYPE SW-505 STORM INTAKE
- TYPE SW-506 STORM INTAKE
- TYPE SW-513 STORM INTAKE
- TYPE SW-401 STORM MANHOLE
- TYPE SW-402 STORM MANHOLE
- TYPE SW-301 SANITARY MANHOLE
- STORM/SANITARY CLEANOUT
- WATER VALVE
- FIRE HYDRANT ASSEMBLY
- SIGN
- DETECTABLE WARNING PANEL
- SANITARY SEWER WITH SIZE — 8"S
- STORM SEWER — 15"ST
- WATERMAIN WITH SIZE — 8"W

SURVEY	FOUND	SET
SECTION CORNER	▲	△
1/2" REBAR, YELLOW CAP #18660 (UNLESS OTHERWISE NOTED)	●	○
ROW MARKER	■	□
ROW RAIL		
PLATTED DISTANCE	(P)	
MEASURED BEARING & DISTANCE	(M)	
RECORDED AS	(R)	
DEED DISTANCE	(D)	
CALCULATED DISTANCE	(C)	
CURVE ARC LENGTH	AL	
MINIMUM 100 YEAR FLOOD PROTECTION ELEVATION	MPE	

- CENTERLINE
- SECTION LINE
- 1/4 SECTION LINE
- 1/8 1/4 SECTION LINE
- EASEMENT LINE
- LOT LINE
- RIGHT OF WAY
- BUILDING SETBACK
- PLAT BOUNDARY

EXISTING

- GROUND SURFACE CONTOUR
- SANITARY MANHOLE
- WATER VALVE BOX
- FIRE HYDRANT
- WATER CURB STOP
- WELL
- STORM SEWER MANHOLE
- STORM SEWER SINGLE INTAKE
- STORM SEWER DOUBLE INTAKE
- FLARED END SECTION
- DECIDUOUS TREE
- CONIFEROUS TREE
- DECIDUOUS SHRUB
- CONIFEROUS SHRUB
- ELECTRIC POWER POLE
- GUY ANCHOR
- STREET LIGHT
- POWER POLE W/ TRANSFORMER
- UTILITY POLE W/ LIGHT
- ELECTRIC BOX
- ELECTRIC TRANSFORMER
- ELECTRIC MANHOLE OR VAULT
- TRAFFIC SIGN
- TELEPHONE JUNCTION BOX
- TELEPHONE MANHOLE/VAULT
- TELEPHONE POLE
- GAS VALVE BOX
- CABLE TV JUNCTION BOX
- CABLE TV MANHOLE/VAULT
- MAIL BOX
- BENCHMARK
- SOIL BORING
- UNDERGROUND TV CABLE — TV —
- GAS MAIN — G —
- FIBER OPTIC — FO —
- UNDERGROUND TELEPHONE — T —
- OVERHEAD ELECTRIC — OE —
- UNDERGROUND ELECTRIC — E —
- FIELD TILE — TILE —
- SANITARY SEWER W/ SIZE — 8"S —
- STORM SEWER W/ SIZE — 15"ST —
- WATER MAIN W/ SIZE — 8"W —

BULK REGULATIONS

C-2

MIN. FRONT YARD SETBACK	=	25'
MIN. SIDE YARD SETBACK	=	NONE REQUIRED, EXCEPT WHEN ADJOINING ANY "R" DISTRICT OR STREET RIGHT-OF-WAY LINE, IN WHICH CASE - 25 FEET
MIN. REAR YARD SETBACK	=	25 FEET; HOWEVER, FOR EVERY FOOT THE FRONT YARD IS INCREASED OVER 25 FEET, THE REAR YARD MAY BE DECREASED IN DIRECT PROPORTION THERETO, BUT IN NO CASE SHALL THE REAR YARD BE LESS THAN 10 FEET
MAX HEIGHT	=	45'
MAX # OF STORIES	=	3 STORIES

BENCHMARKS

BURY BOLT ON HYDRANT @ SE CORNER OF HWY 44 & SE GATEWAY DRIVE
ELEVATION=940.44

CITY BENCHMARK G6J-012
CAP BOLT ON HYDRANT @ SW CORNER 5TH ST & NORTH LITTLE BEAVER DR.
ELEVATION=926.02

CITY BENCHMARK G6N-004
CAP BOLT ON FIRE HYDRANT AT THE SOUTHWEST CORNER OF NORTH 4TH STREET AND NORTH LITTLE BEAVER DRIVE
ELEVATION=927.36

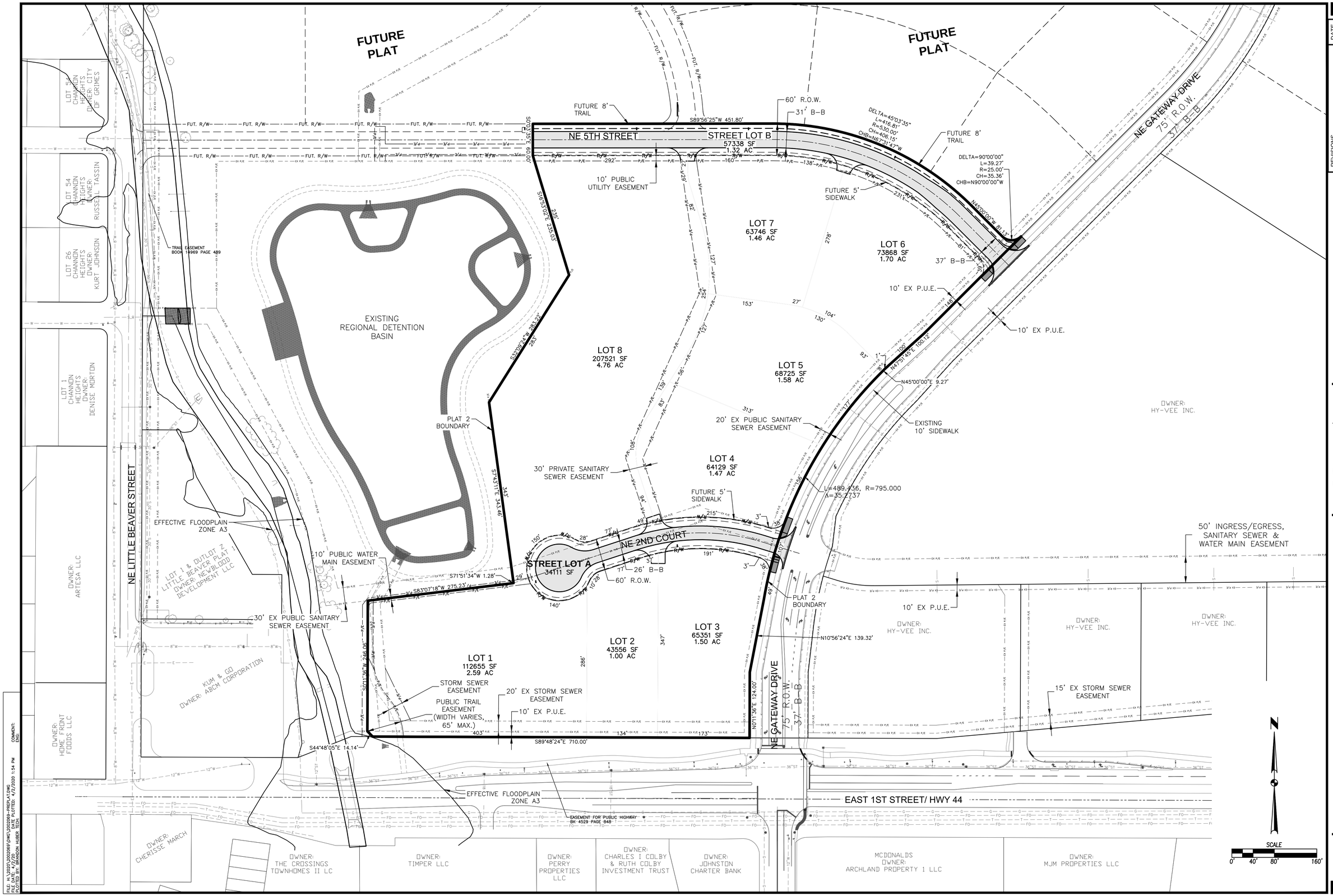
REVISIONS	DATE
PRELIMINARY PLAT SUBMITTAL #3	04/02/20
PRELIMINARY PLAT SUBMITTAL #2	03/10/20
PRELIMINARY PLAT SUBMITTAL #1	02/24/20

3405 S.E. CROSSROADS DRIVE, SUITE G
GRIMES, IOWA 50111
PHONE: (515) 369-4400 FAX: (515) 369-4410
ENGINEER: TECH:
CIVIL DESIGN ADVANTAGE

HOPE COMMERCIAL PLAT 2
PRELIMINARY PLAT
GRIMES, IOWA

2002.069

FILE: H:\2002\2002069\DWG\2002069-PREPLAT.DWG
PLOT DATE: 4/2/2020 1:54 PM
PLOTTED BY: BRANDON HUBER
COMMENT:
ENG:
TECH:



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PHONE: (515) 369-4400 FAX: (515) 369-4410

ENGINEER: TECH:

CIVIL DESIGN ADVANTAGE

HOPE COMMERCIAL PLAT 2

PRELIMINARY PLAT

GRIMES, IOWA

2/4

2002.069

FILE: N:\2020\2002069\DWG\2002069-PREPLAT.DWG
PLOT DATE: 4/2/2020 1:54 PM
PLOTTED BY: BRANDON HUBER TECH:
COMMENT:
ENG:

FUTURE PLAT

FUTURE PLAT

NE 5TH STREET

END OF PLAT 2 SANITARY EXTENSION. STUB FOR FUTURE PLAT

PROPOSED HYDRANT

PROPOSED HYDRANT

PROPOSED HYDRANT

PROPOSED WATER MAIN EXTENSION

PROPOSED STORM SEWER

PROPOSED SANITARY EXTENSION

LOT 7

LOT 6

LOT 8

LOT 5

LOT 4

LOT 2

LOT 3

LOT 1

EXISTING REGIONAL DETENTION BASIN

PLAT 2 BOUNDARY

PROPOSED SANITARY EXTENSION

PROPOSED SANITARY SEWER CONNECTION

PROPOSED STORM SEWER

NE 2ND COURT

PROPOSED HYDRANT

PROPOSED WATER MAIN EXTENSION

PROPOSED HYDRANT

PROPOSED WATER MAIN CONNECTION

PROPOSED WATER MAIN CONNECTION

PLAT 2 BOUNDARY

NE GATEWAY DRIVE

75' R.O.W.

37' B-B

PROPOSED WATER MAIN EXTENSION

PROPOSED WATER MAIN CONNECTION

EFFECTIVE FLOODPLAIN ZONE A3

EFFECTIVE FLOODPLAIN ZONE A3

EAST 1ST STREET/ HWY 44

EASEMENT FOR PUBLIC HIGHWAY BK 4529 PAGE 848

TRAIL EASEMENT BOOK 14969 PAGE 489

LOT 56 CHANNON HEIGHTS OWNER: CITY OF GRIMES

LOT 54 CHANNON HEIGHTS OWNER: RUSSELL TASSIN

LOT 26 CHANNON HEIGHTS OWNER: KURT JOHNSON

LOT 1 CHANNON HEIGHTS OWNER: DENISE MORTON

OWNER: ARTESA LLC

LOT 1 & OUTLOT 2 LITTLE BEAVER PLAT 2 OWNER: NEWBLOOD DEVELOPMENT LLC

KUM & GO OWNER: ABCM CORPORATION

OWNER: HOME FRONT FOODS LLC

OWNER: CHERISSE MARCH

OWNER: THE CROSSINGS TOWNHOMES II LC

OWNER: TIMPER LLC

OWNER: PERRY PROPERTIES LLC

OWNER: CHARLES I COLBY & RUTH COLBY INVESTMENT TRUST

OWNER: JOHNSTON CHARTER BANK

MCDONALDS OWNER: ARCHLAND PROPERTY 1 LLC

OWNER: MJM PROPERTIES LLC

OWNER: HY-VEE INC.

OWNER: HY-VEE INC.

OWNER: HY-VEE INC.

OWNER: HY-VEE INC.

SCALE 0' 40' 80' 160'

REVISIONS	DATE
PRELIMINARY PLAT SUBMITTAL #3	04/02/20
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PRELIMINARY PLAT SUBMITTAL #1	02/24/20

3405 S.E. CROSSROADS DRIVE, SUITE G
GRIMES, IOWA 50111
PHONE: (515) 369-4400 FAX: (515) 369-4410

ENGINEER: TECH:

CIVIL DESIGN ADVANTAGE
GRIMES, IOWA

HOPE COMMERCIAL PLAT 2

PRELIMINARY PLAT

2002.069

FILE: N:\2020\2002069\DWG\2002069-PREPLAT.DWG
PLOT DATE: 4/2/2020 1:54 PM
PLOTTED BY: BRANDON HUBER
TECH:
EDITED: 4/2/2020
COMMENT:
ENG:

FUTURE PLAT

FUTURE PLAT

LOT 1
LOT 2
LOT 3
LOT 4
LOT 5
LOT 6
LOT 7
LOT 8

ORNAMENTAL TREES (TYPICAL)

OVERSTORY TREES (TYPICAL)

SHRUBS TYPICAL)

EVERGREEN TREES TYPICAL)

LOT 50 CHANNON HEIGHTS OWNER: CITY OF GRIMES

LOT 54 CHANNON HEIGHTS OWNER: RUSSELL TASSIN

LOT 26 CHANNON HEIGHTS OWNER: KURT JOHNSON

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TRAIL EASEMENT BOOK 15969 PAGE 489

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EASEMENT FOR PUBLIC HIGHWAY BK 4529 PAGE 848

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OWNER: JOHNSTON CHARTER BANK

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OWNER: MJM PROPERTIES LLC

SCALE 0' 40' 80' 160'

REVISIONS	DATE
PRELIMINARY PLAT SUBMITTAL #3	04/02/20
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3405 S.E. CROSSROADS DRIVE, SUITE G
GRIMES, IOWA 50111
PHONE: (515) 369-4400 FAX: (515) 369-4410

ENGINEER: TECH:

CIVIL DESIGN ADVANTAGE

HOPE COMMERCIAL PLAT 2

PRELIMINARY PLAT

GRIMES, IOWA

4/4

2002.069

FILE: H:\2020\2002069\DWG\2002069-PREPLAT.DWG
PLOT DATE: 4/2/2020 PLOTTED: 4/2/2020 1:54 PM
PLOTTED BY: BRANDON HUBER TECH:
COMMENT:
ENG:

Planning & Zoning Staff Report

TO: Planning and Zoning Commission
FROM: Evann Martin, Assistant Planner
DATE: April 7, 2020
RE: Hope Commercial Plat 2 – Preliminary Plat

GENERAL INFORMATION:

Applicant:	Hope K Farms
Requested Action	Preliminary Plat
Location	NW corner of E 1st St & NE Gateway Dr

SUPPORTING INFORMATION:

Location Map

Zoning Map

LAND USES & ZONING:

Location	Existing Land Use	Land Use Plan Designation	Current Zoning
Subject Site	Vacant	Commercial / Mixed Use	A-1
North	Vacant	Mixed Use	A-1
South	Commercial	Commercial	C-2
East	Vacant	Commercial	C-2
West	Commercial	Mixed Use	A-1 / C-2

BACKGROUND:

The subject property is currently in the process of being rezoned from A-1 to C-2 and is expected to be approved by Council on April 28th. As part of the typical development process, the applicant is now requesting approval of a preliminary plat, which will allow for the future subdivision of the approximately 18.16-acre property, into eight commercial lots, and associated street right-of-way.

The property is generally located north of W 1st ST / HWY 44, and west of the future NE Gateway Drive extension.

NE Gateway Drive is currently under construction and is anticipated to be open to traffic mid-summer.

ANALYSIS:

A conceptual layout is shown for the preliminary plat. Access to the lots is proposed via two new public streets off of NE Gateway Drive: NE 2nd Court and NE 5th Street. The concept, also shows a new right-in right-out along E. 1st Street. A Traffic Impact Study is underway to evaluate the proposed access point. The construction drawings will reflect the results of the study and review by staff and the DOT.

An 8' trail is proposed along NE 5th Street. A trail easement is provided at the southwest corner of the proposed plat to allow for a sidewalk connection from the sidewalk along E. 1st Street / Highway 44 to the trail that is proposed to circle the existing regional detention basin just west of the proposed plat.

Water service is available along east side of NE Gateway Drive (future). Additional 12" water mains will be extended down the NE 2nd Court and NE 5th Street.

Sanitary sewer is being constructed with the NE Gateway Drive improvements. The sewer extends from NE Little Beaver, east through NE 2nd Court. From NE 2nd Court, a new sanitary sewer will extend north through the subject property, and be stubbed to the north of the Hope Commercial Plat 2 to allow for future access.

Storm water management is handled regionally within the adjoining pond.

STAFF RECOMMENDATION:
Staff would recommend approval of the preliminary plat for Hope Commercial Plat 2, subject to any remaining staff comments.

CITY OF GRIMES

Evann Martin
Assistant Planner

Development Services
410 SE Main St, Suite 102
Grimes, IA 50111
(515)986-4050
www.grimesiowa.gov

~~March 3, 2020~~
~~March 19, 2020~~
April 3, 2020

Civil Design Advantage, LLC
Attn: Michael A. Brooner
3405 Crossroads Drive, Suite G
Grimes, IA 50111

RE: Hope Commercial Plat 2 Final Plat

Dear Mr. Brooner:

The Development Services Department is in receipt of a proposed Final Plat for Hope Commercial Plat 2. Based on the review of the provided submittal materials, staff have the following comments:

General Comments:

1. ~~Show any shared access easements or other easements that result from discussion with the preliminary plat. Will review cross access easement in Declaration.~~
2. ~~Addresses will be provided after the revised final plat is submitted (Lot 1 and 2 combined). Addresses attached.~~
3. ~~Please update the plat to reflect the correct flood plain and effective date.~~
4. ~~Please update the Zoning based upon comments made on the preliminary plat. Remove reference to Highway 141.~~
5. ~~Please provide an MPE sheet for Lots 1/2 and 9 if necessary.~~
6. ~~Note that the City will allow approval of the Final Plat prior to acceptable of public utilities however a performance bond will be required. No cash/check bonds will be accepted due to the size of the improvements.~~
7. Please revise the address for Lot 3 to show 1301 E 1st Street, not 1101.

Legal Comments:

1. The following legal documents need to be provided for review:
   - Title Opinion
   - Consent(s) to Plat
   - Treasure's Certificate
   - County Subdivision Name Approval

- Easement (documents)
- Street Warranty Deed, GWHS for Lots A/B
- 4-year maintenance bonds for public utilities

2. A copy of the Declaration of Covenants, Restrictions and Easements will need to be provided for review.

3. A copy of the executed Mid-American Energy electric and Black Hills gas distribution agreement will need to be provided.

Please provide a letter addressing all comments on this comment letter and/or state what was modified on the site plan to address said comments.

SITE PLAN SUBMITTAL SCHEDULE:

SUBMITTAL DATE:	February 24, 2020 **(1 PDF of Final Plat and Legal Documents)**
PLANNING & ZONING:	April 7, 2020 at 5:30 at the Grimes City Hall
COUNCIL MEETING:	April 28, 2020 at 5:30 at the Grimes City Hall

Please feel free to contact me at apfaltzgraff@grimesiowa.gov or at (515) 986-4050 if you have any questions or need additional information.

Sincerely,

Alex Pfaltzgraff
Development Services Director

HOPE COMMERCIAL PLAT 2

FINAL PLAT

GRIMES, POLK COUNTY, IOWA

INDEX LEGEND

LOCATION: PT OUTLOT 'X', HOPE COMMERCIAL PLAT 1
GRIMES, POLK COUNTY, IOWA

REQUESTOR: HOPE K FARMS LLC

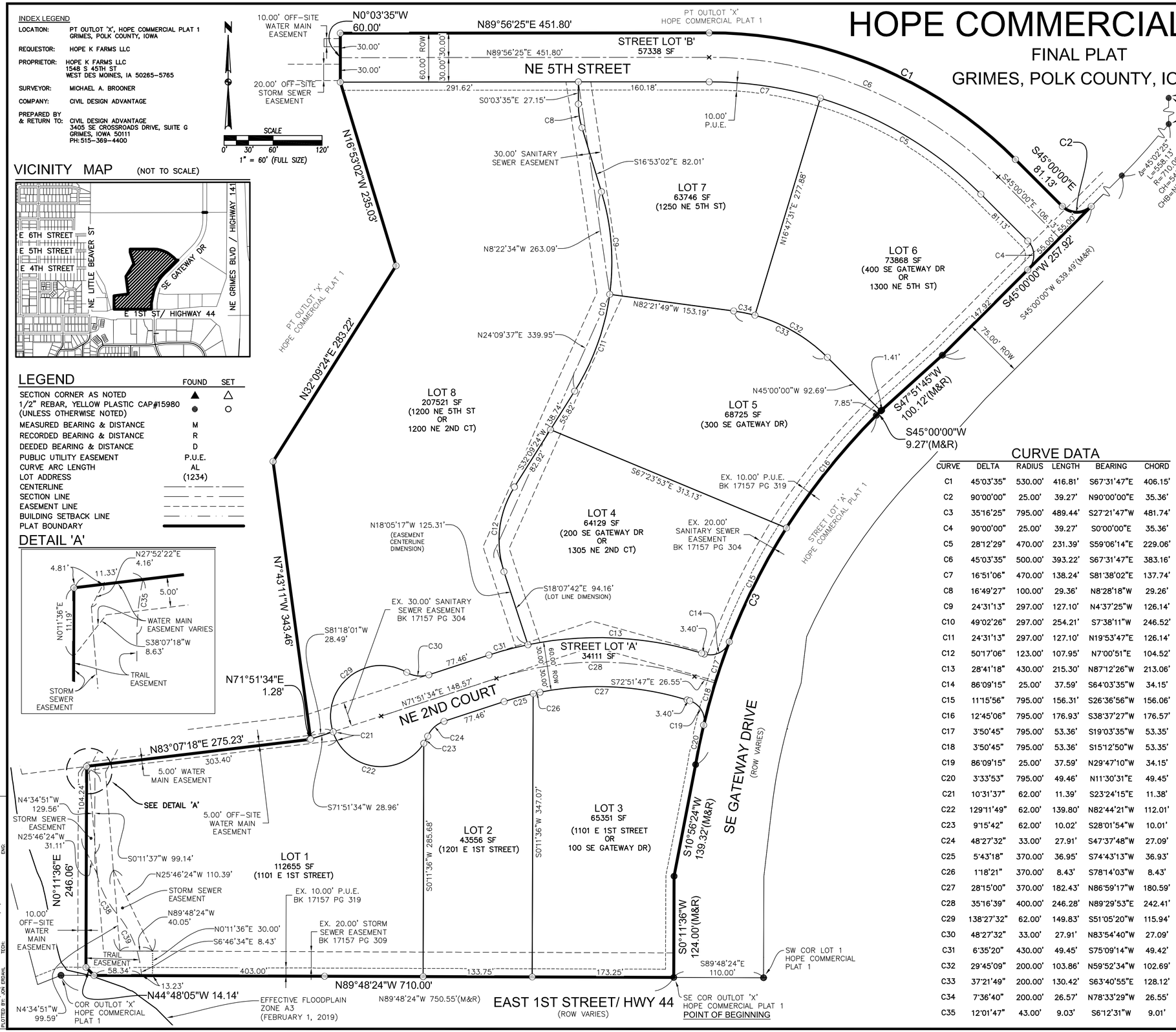
PROPRIETOR: HOPE K FARMS LLC
1548 S 45TH ST
WEST DES MOINES, IA 50265-5765

SURVEYOR: MICHAEL A. BROONER

COMPANY: CIVIL DESIGN ADVANTAGE

PREPARED BY & RETURN TO: CIVIL DESIGN ADVANTAGE
3405 SE CROSSROADS DRIVE, SUITE G
GRIMES, IOWA 50111
PH: 515-369-4400

SCALE
0' 30' 60' 120'
1" = 60' (FULL SIZE)



VICINITY MAP (NOT TO SCALE)

LEGEND

	FOUND	SET
SECTION CORNER AS NOTED	▲	△
1/2" REBAR, YELLOW PLASTIC CAP#15980 (UNLESS OTHERWISE NOTED)	●	○
MEASURED BEARING & DISTANCE	M	
RECORDED BEARING & DISTANCE	R	
DEEDED BEARING & DISTANCE	D	
PUBLIC UTILITY EASEMENT	P.U.E.	
CURVE ARC LENGTH	AL	
LOT ADDRESS	(1234)	
CENTERLINE		
SECTION LINE		
EASEMENT LINE		
BUILDING SETBACK LINE		
PLAT BOUNDARY		

CURVE DATA

CURVE	DELTA	RADIUS	LENGTH	BEARING	CHORD
C1	45°03'35"	530.00'	416.81'	S67°31'47"E	406.15'
C2	90°00'00"	25.00'	39.27'	N90°00'00"E	35.36'
C3	35°16'25"	795.00'	489.44'	S27°21'47"W	481.74'
C4	90°00'00"	25.00'	39.27'	S0°00'00"E	35.36'
C5	28°12'29"	470.00'	231.39'	S59°06'14"E	229.06'
C6	45°03'35"	500.00'	393.22'	S67°31'47"E	383.16'
C7	16°51'06"	470.00'	138.24'	S81°38'02"E	137.74'
C8	16°49'27"	100.00'	29.36'	N8°28'18"W	29.26'
C9	24°31'13"	297.00'	127.10'	N4°37'25"W	126.14'
C10	49°02'26"	297.00'	254.21'	S7°38'11"W	246.52'
C11	24°31'13"	297.00'	127.10'	N19°53'47"E	126.14'
C12	50°17'06"	123.00'	107.95'	N7°00'51"E	104.52'
C13	28°41'18"	430.00'	215.30'	N87°12'26"W	213.06'
C14	86°09'15"	25.00'	37.59'	S64°03'35"W	34.15'
C15	11°15'56"	795.00'	156.31'	S26°36'56"W	156.06'
C16	12°45'06"	795.00'	176.93'	S38°37'27"W	176.57'
C17	3°50'45"	795.00'	53.36'	S19°03'35"W	53.35'
C18	3°50'45"	795.00'	53.36'	S15°12'50"W	53.35'
C19	86°09'15"	25.00'	37.59'	N29°47'10"W	34.15'
C20	3°33'53"	795.00'	49.46'	N11°30'31"E	49.45'
C21	10°31'37"	62.00'	11.39'	S23°24'15"E	11.38'
C22	129°11'49"	62.00'	139.80'	N82°44'21"W	112.01'
C23	9°15'42"	62.00'	10.02'	S28°01'54"W	10.01'
C24	48°27'32"	33.00'	27.91'	S47°37'48"W	27.09'
C25	5°43'18"	370.00'	36.95'	S74°43'13"W	36.93'
C26	1°18'21"	370.00'	8.43'	S78°14'03"W	8.43'
C27	28°15'00"	370.00'	182.43'	N86°59'17"W	180.59'
C28	35°16'39"	400.00'	246.28'	N89°29'53"E	242.41'
C29	138°27'32"	62.00'	149.83'	S51°05'20"W	115.94'
C30	48°27'32"	33.00'	27.91'	N83°54'40"W	27.09'
C31	6°35'20"	430.00'	49.45'	S75°09'14"W	49.42'
C32	29°45'09"	200.00'	103.86'	N59°52'34"W	102.69'
C33	37°21'49"	200.00'	130.42'	S63°40'55"E	128.12'
C34	7°36'40"	200.00'	26.57'	N78°33'29"W	26.55'
C35	12°01'47"	43.00'	9.03'	S6°12'31"W	9.01'

OWNER / DEVELOPER

HOPE K FARMS LLC
1548 S 45TH ST
WEST DES MOINES, IA 50265-5765

ENGINEER / SURVEYOR

CIVIL DESIGN ADVANTAGE
3405 SE CROSSROADS DRIVE, SUITE G
GRIMES, IOWA 50111

DATE OFSURVEY

FEBRUARY 21, 2020

PLAT DESCRIPTION

A PART OF OUTLOT 'X', HOPE COMMERCIAL PLAT 1, AN OFFICIAL PLAT IN THE CITY OF GRIMES, POLK COUNTY, IOWA AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF SAID OUTLOT 'X'; THENCE NORTH 89°48'24" WEST ALONG THE SOUTH LINE OF SAID OUTLOT 'X', 710.00 FEET; THENCE NORTH 44°48'05" WEST, 14.14 FEET; THENCE NORTH 00°11'36" EAST, 246.06 FEET; THENCE NORTH 83°07'18" EAST, 275.23 FEET; THENCE NORTH 71°51'34" EAST, 1.28 FEET; THENCE NORTH 07°43'11" WEST, 343.46 FEET; THENCE NORTH 32°09'24" EAST, 283.22 FEET; THENCE NORTH 16°53'02" WEST, 235.03 FEET; THENCE NORTH 00°03'35" WEST, 60.00 FEET; THENCE NORTH 89°56'25" EAST, 451.80 FEET; THENCE EASTERLY ALONG A CURVE CONCAVE SOUTHERLY WHOSE RADIUS IS 530.00 FEET, WHOSE ARC LENGTH IS 416.81 FEET AND WHOSE CHORD BEARS SOUTH 67°31'47" EAST, 406.15 FEET; THENCE SOUTH 45°00'00" EAST, 81.13 FEET; THENCE EASTERLY ALONG A CURVE CONCAVE NORTHERLY WHOSE RADIUS IS 25.00 FEET, WHOSE ARC LENGTH IS 39.27 FEET AND WHOSE CHORD BEARS NORTH 90°00'00" EAST, 35.36 FEET TO THE WESTERLY LINE OF STREET LOT 'A', SAID HOPE COMMERCIAL PLAT 1; THENCE SOUTH 45°00'00" WEST ALONG SAID WESTERLY LINE, 257.92 FEET; THENCE SOUTH 47°51'45" WEST CONTINUING ALONG SAID WESTERLY LINE, 100.12 FEET; THENCE SOUTH 45°00'00" WEST CONTINUING ALONG SAID WESTERLY LINE, 9.27 FEET; THENCE SOUTHWESTERLY CONTINUING ALONG SAID WESTERLY LINE AND A CURVE CONCAVE SOUTHEASTERLY WHOSE RADIUS IS 795.00 FEET, WHOSE ARC LENGTH IS 489.44 FEET AND WHOSE CHORD BEARS SOUTH 27°21'47" WEST, 481.74 FEET; THENCE SOUTH 10°56'24" WEST CONTINUING ALONG SAID WESTERLY LINE, 139.32 FEET; THENCE SOUTH 00°11'36" WEST CONTINUING ALONG SAID WESTERLY LINE, 124.00 FEET TO THE POINT OF BEGINNING AND CONTAINING 18.16 ACRES (791,001 SQUARE FEET). THE PROPERTY IS SUBJECT TO ANY AND ALL EASEMENTS OF RECORD.

ZONING

EXISTING ZONING: A-1 AGRICULTURE DISTRICT
-SITE IS WITHIN ZONE 2 OF THE HIGHWAY 141 MIXED USE CORRIDOR.
-SITE IS WITHIN THE TRANSPORTATION OVERLAY DISTRICT.

PROPOSED ZONING: C-2 GENERAL AND HIGHWAY SERVICE COMMERCIAL DISTRICT

BULK REGULATIONS

C-2

MIN. FRONT YARD SETBACK	=	25'
MIN. SIDE YARD SETBACK	=	NONE REQUIRED, EXCEPT WHEN ADJOINING ANY "R" DISTRICT OR STREET RIGHT-OF-WAY LINE, IN WHICH CASE- 25 FEET
MIN. REAR YARD SETBACK	=	25 FEET; HOWEVER, FOR EVERY FOOT THE FRONT YARD IS INCREASED OVER 25 FEET, THE REAR YARD MAY BE DECREASED IN DIRECT PROPORTION THERETO, BUT IN NO CASE SHALL THE REAR YARD BE LESS THAN 10 FEET
MAX HEIGHT	=	45'
MAX # OF STORIES	=	3 STORIES

HIGHWAY 141 CORRIDOR

MIN. HIGHWAY 141 SETBACK	=	100'
MIN. PUBLIC STREET SETBACK	=	25'
MINIMUM OPEN SPACE	=	20%

NOTES

1. ANY SET MONUMENTATION SHOWN ON THIS PLAT WILL BE COMPLETED WITHIN ONE YEAR FROM THE DATE THIS PLAT WAS RECORDED.
2. LOTS MAY BE SUBJECT TO MINIMUM PROTECTION ELEVATIONS AND OTHER ELEVATION RESTRICTIONS NOT SHOWN ON THIS PLAT. REFER TO THE APPROVED PROJECT ENGINEERING DOCUMENTS FOR ANY ELEVATION RESTRICTIONS.
3. STREET LOT 'A' AND STREET LOT 'B' TO BE DEDICATED TO THE CITY OF GRIMES.

MICHAEL A. BROONER 15980 IOWA LICENSED PROFESSIONAL LAND SURVEYOR

I HEREBY CERTIFY THAT THIS LAND SURVEYING DOCUMENT WAS PREPARED AND THE RELATED SURVEY WORK WAS PERFORMED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF IOWA.

PRELIMINARY NOT FOR CONSTRUCTION

MICHAEL A. BROONER, P.L.S. DATE

MY LICENSE RENEWAL DATE IS DECEMBER 31, 2020
PAGES OR SHEETS COVERED BY THIS SEAL:
THIS SHEET

REVISIONS	DATE
-	00/00/00

3405 S.E. CROSSROADS DRIVE, SUITE G
GRIMES, IOWA 50111
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ENGINEER: TECH: JE REVIEW:
CIVIL DESIGN ADVANTAGE
GRIMES, IOWA

HOPE COMMERCIAL PLAT 2
FINAL PLAT

1/1
2002.069

FILE: H:\2002\2002069\DWG\2002069-FINAL PLAT.DWG
LAYOUT: 1 PLOTTED: 1/29/2020 10:59 AM COMMENT:
PLOTTED BY: JON ERDAHL TECH: ENG:

Planning & Zoning Staff Report

TO: Planning and Zoning Commission
FROM: Evann Martin, Assistant Planner
DATE: April 7, 2020
RE: Hope Commercial Plat 2 – Final Plat

GENERAL INFORMATION:

Applicant:	Hope K Farms
Requested Action	Final Plat
Location	NW corner of E 1st St & NE Gateway Dr

SUPPORTING INFORMATION:

Location Map

Zoning Map

LAND USES & ZONING:

Location	Existing Land Use	Land Use Plan Designation	Current Zoning
Subject Site	Vacant	Commercial / Mixed Use	A-1
North	Vacant	Mixed Use	A-1
South	Commercial	Commercial	C-2
East	Vacant	Commercial	C-2
West	Commercial	Mixed Use	A-1 / C-2

BACKGROUND:

The applicant is requesting approval of a final plat, which will allow for the subdivision of the approximately 18.16-acre property, into eight commercial lots, and associated street right-of-way.

The property is generally located north of W 1st ST / HWY 44, and west of the future NE Gateway Drive extension.

NE Gateway Drive is currently under construction and is anticipated to be open to traffic mid-summer.

ANALYSIS:

The layout shown for the final plat is consistent with the preliminary plat.

Access to the lots is proposed via two new public streets off of NE Gateway Drive: NE 2nd Court and NE 5th Street. The concept, also shows a new right-in right-out along E. 1st Street. A Traffic Impact Study is underway to evaluate the proposed access point. The construction drawings will reflect the results of the study and review by staff and the DOT.

An 8' trail is proposed along NE 5th Street. A trail easement is provided at the southwest corner of the proposed plat to allow for a sidewalk connection from the sidewalk along E. 1st Street / Highway 44 to the trail that is proposed to circle the existing regional detention basin just west of the proposed plat.

Water service is available along east side of NE Gateway Drive (future). Additional 12" water mains will be extended down the NE 2nd Court and NE 5th Street.

Sanitary sewer is being constructed with the NE Gateway Drive improvements. The sewer extends from NE Little Beaver, east through NE 2nd Court. From NE 2nd Court, a new sanitary sewer will extend north through the subject property, and be stubbed to the north of the Hope Commercial Plat 2 to allow for future access.

Storm water management is handled regionally within the adjoining pond.

STAFF RECOMMENDATION:
Staff would recommend approval of the final plat for Hope Commercial Plat 2, subject to any remaining staff comments and submittal of all required legal documents.

CITY OF GRIMES

Evann Martin
Assistant Planner