

1. Agenda

Documents:

[040219 PZ AGENDA.PDF](#)

2. Meeting Materials

Documents:

[040219 PZ PACKET.PDF](#)



Planning and Zoning Commission

April 2, 2019

Agenda

Grimes City Hall

5:30 P.M.

AGENDA

A. GENERAL AGENDA ITEMS

1. Call to Order
2. Roll Call: Amy Montford, Craig Patterson, Scott Almeida, Danielle Smid, Courtney Strutt Todd
Council Liaison Jill Altringer
3. Approval of the Agenda
4. Approval of Previous Minutes

B. PUBLIC AGENDA ITEMS

1. Kwik Star (Destination Market) - Canopy Lighting
2. 3401 SE Destination Drive - Site Plan

C. PUBLIC FORUM

D. REPORTS

1. Building Administrator Update
2. Zoning Administrator
3. Council Liaison Update
4. Old Business
5. New Business

E. ADJOURNMENT



101 NE Harvey Street, Grimes, Iowa 50111 515.986.3036 Fax 515.986.3846

This meeting of the Grimes Planning and Zoning Commission was called to order on Tuesday March 5, 2019 at 5:38 P.M. at Grimes City Hall.

Roll Call: Present: Danielle Smid, Scott Almeida, Courtney Strutt Todd, Council Liaison Eric Johansen, Development Services Director Alex Pfaltzgraff, Building Administrator Scott Clyce, and City Engineer John Gade. Absent: Amy Montford, Craig Patterson

A. GENERAL AGENDA ITEMS

1. APPROVAL OF THE AGENDA

Motion by Smid, Second by Strutt Todd, to approve the agenda.

Roll call: Ayes-All; Nays-0 Motion passes: 3-0

2. APPROVAL OF THE MINUTES

Motion by Smid, Second by Strutt Todd, to approve the minutes from the February 5, 2019 meeting.

Roll call: Ayes-All; Nays-0 Motion passes: 3-0

3. Election of Vice-Chair for 2019 -Postponed until next meeting

B. PUBLIC AGENDA ITEMS

Preliminary Plat for Mustang Ridge Plat 1

Chris Pose, 317 6th Avenue #300 Des Moines addressed the board on behalf of the applicant.

Pose stated that this parcel is essentially the same as a previously proposed plan from about a year ago. Pose said the difference was that the south section of the previous parcel owned by Raymond Coons has been removed from the preliminary plat. FOX Engineer Gade stated that this plat is not intended to be annexed into the City. Gade said at the time of the previous proposal, there had not been an agreement with the City as to when or if this parcel was going to be annexed into Grimes in the future. Gade went on to explain that since that time the owners had come to an agreement with the City Council to address any concerns the Council had regarding annexation for Lot 1. Gade said that this plat currently meets the Land Use Plan and water and sewer access has been addressed but it is the expectation that the lot will remain in Polk County jurisdiction and as such, the owners are not required to hook up to City services. Gade stated that in the future, the area known as Outlot X could be annexed into the City and any issues would be addressed at that point in time.

Motion by Smid, Second by Scott Todd to approve the Mustang Ridge Plat 1 Preliminary Plat per the FOX Engineering letter dated February 28, 2019.

Roll Call: Aye: All, Nay: 0 Motion Passes 3-0

Communication Data Link Site Plan Review

Patrick Shepard, Civil Engineering Consultants, 2400 86th Street, Des Moines addressed the board on behalf of John Renda. Shepard stated the proposed 6200 square foot office building, located on the NE corner of SW 37th Street, would be constructed of predominately metal siding, a blue roof with a brick

front and brick wrapped around the sides and rear of the building. FOX engineer John Gade stated that this plan meets all of the architectural standards for the area.

Council Liaison Johansen asked if the property was going to be fenced. Johansen asked if the storage area was fenced and how close it was going to be to the north side of the proposed building. General discussion determined that the fence on the north side of the property is approximately 6 feet from the building and would largely block any view of the building. Johansen made the suggestion that if the north side of the building was not going to be along a public right of way, and a fence was going to block most of any possible view of the building, he thought it might be worth exploring moving the brick used on that side to east side of the building with public view. Gade noted that there are easements in place for potential future sidewalks if they should become needed in the future.

Motion by Smid, Second by Scott Todd to approve the Communication Data Link Site Plan per the FOX Engineering letter dated February 28, 2019 with the recommendation that the brick proposed for the north side of the building be redistributed to the east side of the building.

Roll Call: Aye: All, Nay: 0 Motion Passes 3-0

C. PUBLIC FORUM - None

D. Reports

a. Building Administrator Update

Building Administrator Scott Clyce stated they had 6 single family permits in February. Clyce told the board that Menards was expecting to be open to the public on July 2th, 2019 and a bowling alley was going to be opening soon. Development Services Director Alex Pfaltzgraff told the board that the Development Services department was in the process of relocating to offices in the Grimes Community Complex. Pfaltzgraff said they hope to have the move completed by April 1st, 2019. Pfaltzgraff stated that they are in the process of coordinating a joint meeting near the end of April with both Planning and Zoning and City Council members to review procedures, processes, and practices.

b. Zoning Administrator Report-

FOX Engineer Gade stated that they were currently working with Quik Star for a new location by Menards. Gade also noted that Beaverbrooke Point Third Addition, that was recently approved, would be starting construction this spring and a church was looking at the M-Keds/Home Place site.

c. Council Liaison Update-

Council Liaison, Eric Johansen welcomed the newest member to the Planning and Zoning Board, Courtney Strutt Todd. Johansen also thanked the board for all their hard work on the Walmart signage project as well as others.

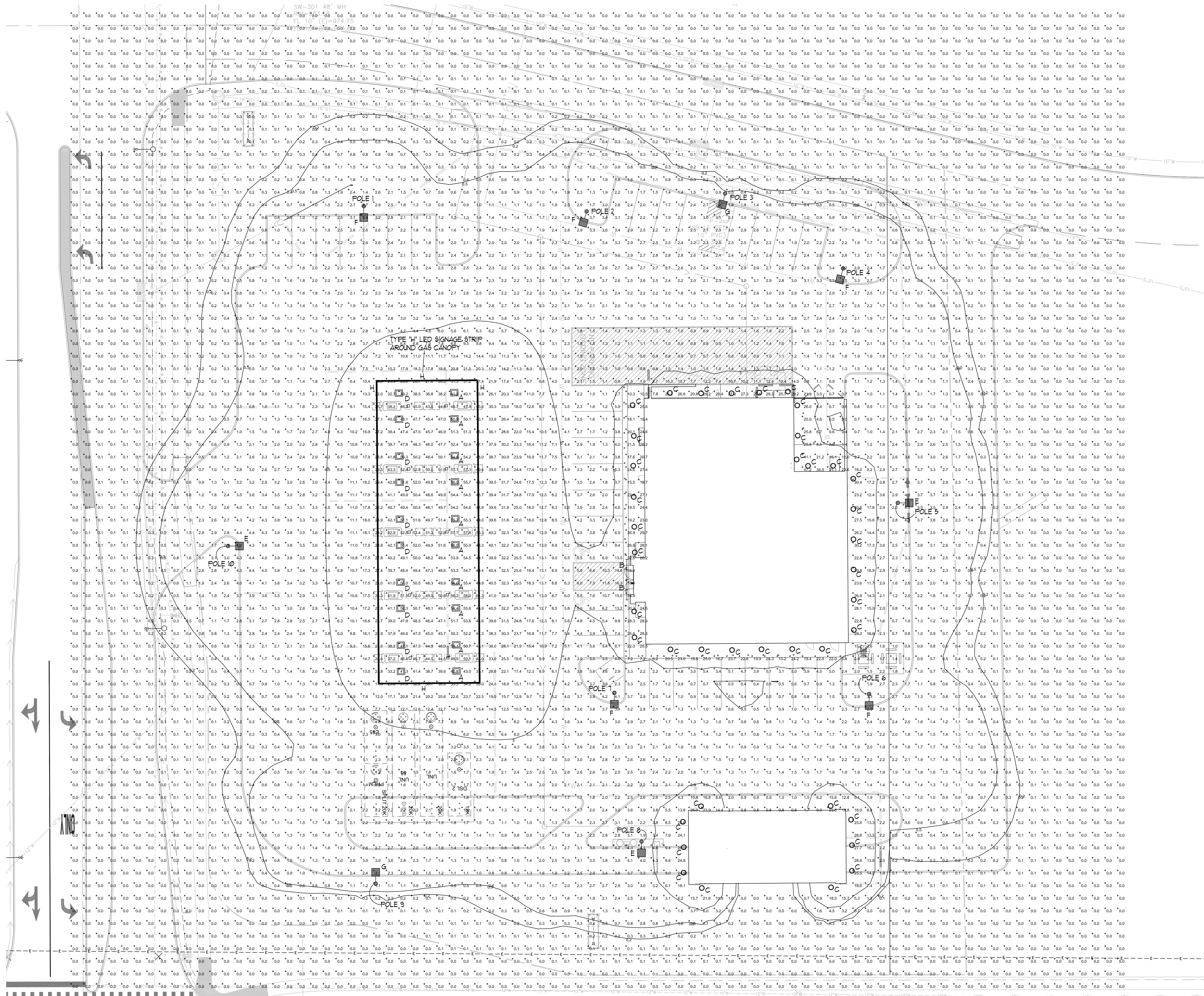
d. Old Business-

e. New Business-

f. A Next meeting April 2, 2019

Meeting is adjourned at 6:04 pm

Signature



CALCULATION STATISTICS

AVERAGE: 37fc
MAXIMUM: 580fc
MINIMUM: 0.0fc

NOTE:

FOOTCANDLE LEVELS ARE CALCULATED AT GRADE LEVEL. CALCULATION INCLUDES CONTRIBUTION FROM LED SIGNAGE AROUND GAS CANOPY BUT WITHOUT THE ACRYLIC FACE/DIFFUSER.

FIXTURE QUANTITIES

A - 10
B - 2
C - 40
D - 10
E - 3
F - 5
G - 2
H - LENGTH AND WIDTH AROUND GAS CANOPY

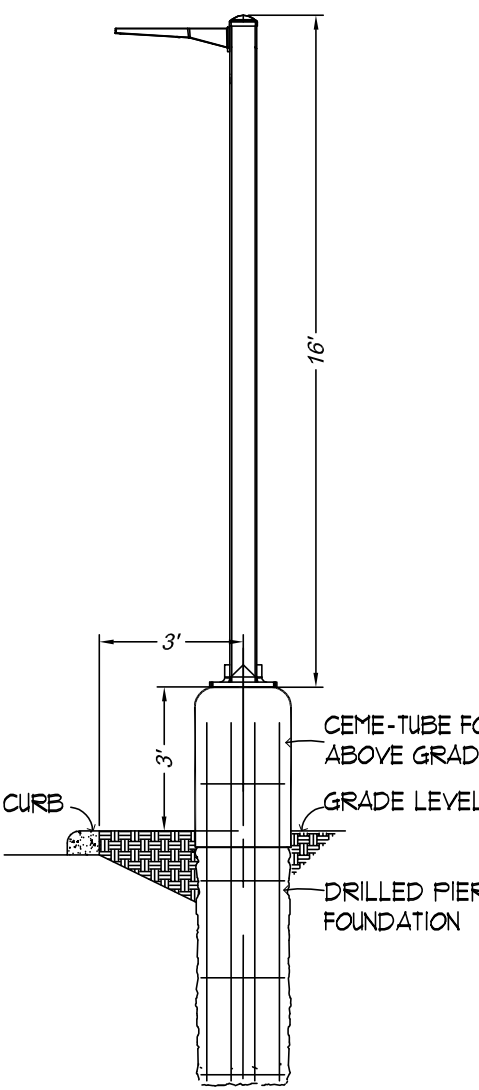
PROVIDE (10) 1/8" POLES.

FIXTURE SYMBOLS:

- A  LED FIXTURES UNDER FUEL CANOPY
B  LED STRIP LIGHT MOUNTED IN STORE GABLE
C  RECESSED LED DOWNLIGHT
D  POLE MOUNTED LED FIXTURE
E  LED SIGNAGE STRIP AROUND GAS CANOPY

FIXTURE TYPES:

- A - LSI LIGHTING: SCV-LED-23L-SCFT-UNV-50-WHT MOUNTED UNDER GAS CANOPY MOUNT FIXTURES WITH FORWARD THROW OPTIC AIMING AT STORE FRONT.
B - LED STRIP LIGHT MOUNTED IN GABLE LITHONIA -TLZLN-L96
C - RECESSED LED DOWNLIGHT GOTHAM EVO-35/30-BAR-WD-120-TRU
D - LSI LIGHTING: SCV-LED-18L-SC-UNV-50-WHT MOUNTED UNDER GAS CANOPY
E - LSI LIGHTING: SLM-LED-9L-SIL-2-UNV-50-10CRI-WHT
F - LSI LIGHTING: SLM-LED-9L-SIL-FT-UNV-50-10CRI-WHT-IL
G - LSI LIGHTING: SLM-LED-9L-SIL-FT-UNV-50-10CRI-WHT-IL
H - PRINCIPAL LED-FUSION CL 3 RED SERIES AROUND GAS CANOPY



LOT LIGHT ELEVATION DETAIL

NOT TO SCALE

**Kwik
TRIP**

**Kwik
Star**

KWIK TRIP, Inc.
P.O. BOX 2107
1626 OAK STREET
LA CROSSE, WI 54602-2107
PH. (608) 781-8988
FAX (608) 781-8960

S
SNYDER
& ASSOCIATES
5010 VOGES ROAD
MADISON, WISCONSIN 53718
608-838-0444

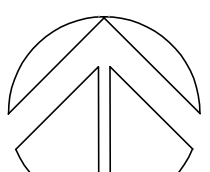
PHOTOMETRIC SITE PLAN
CONVENIENCE STORE #1055

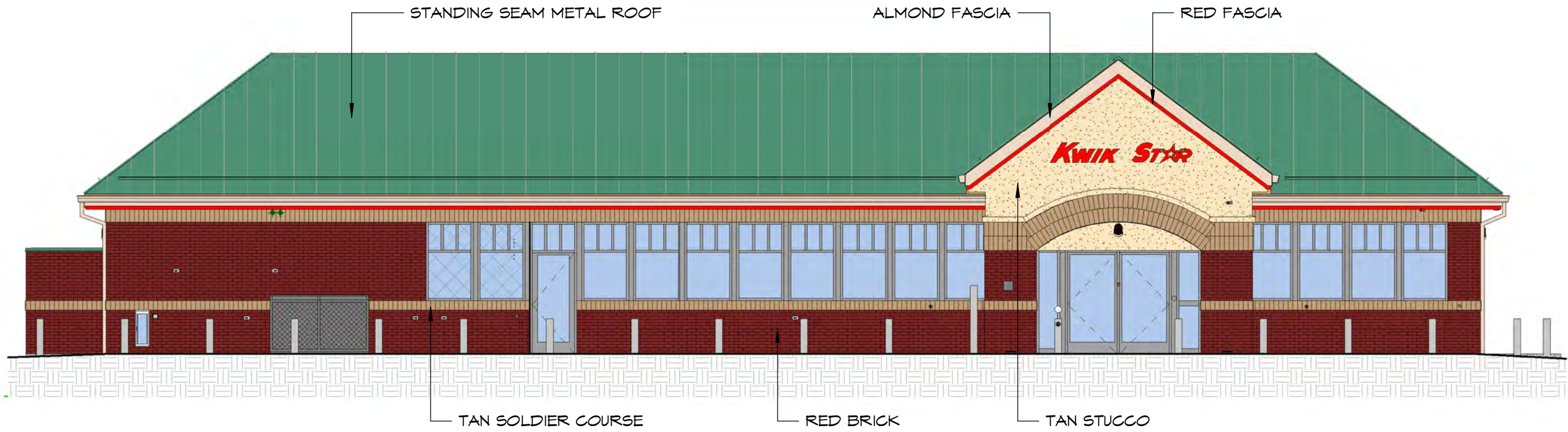
EAST 1ST STREET/HWY 44
GRIMES, IOWA

#	DATE	DESCRIPTION

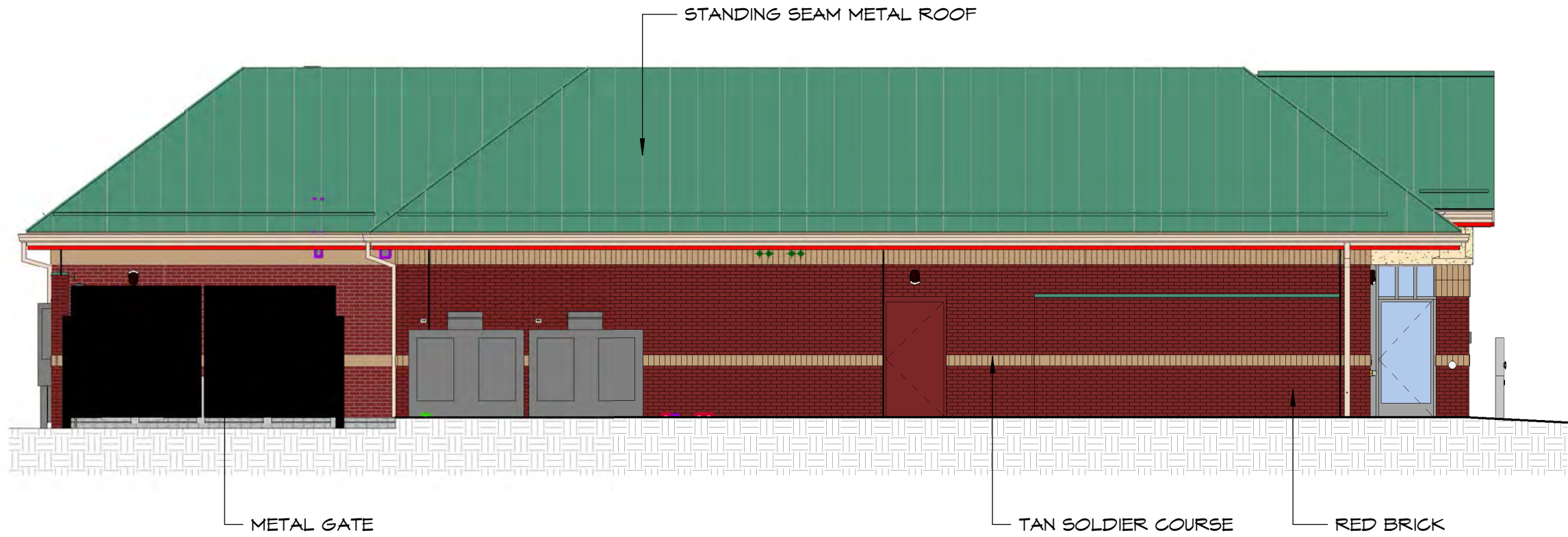
DRAWN BY	AVM
SCALE	NOTED
PROJ. NO.	118.0738.30
DATE	OCTOBER 1, 2018
SHEET	E1

2018-9123.00
GR&E
One Honey Creek Corporate Center
125 South 84th Street, Suite 401
Milwaukee, WI 53214-1470
414 / 259 1500
414 / 259 0037 fax

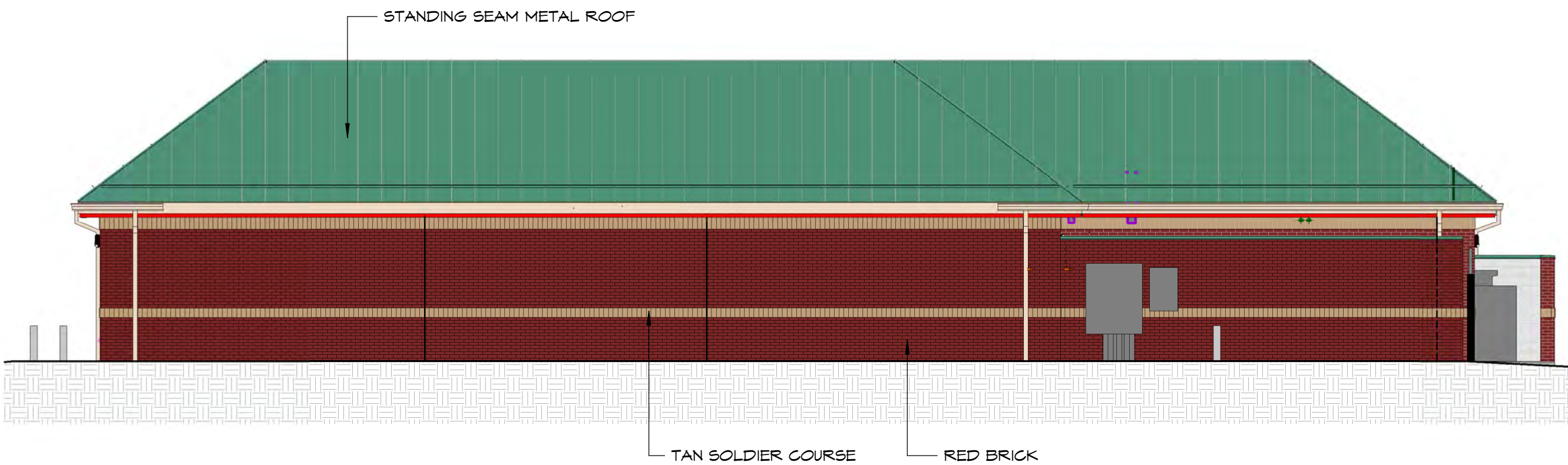
 **PHOTOMETRIC SITE PLAN**
SCALE: 1" = 20'-0"



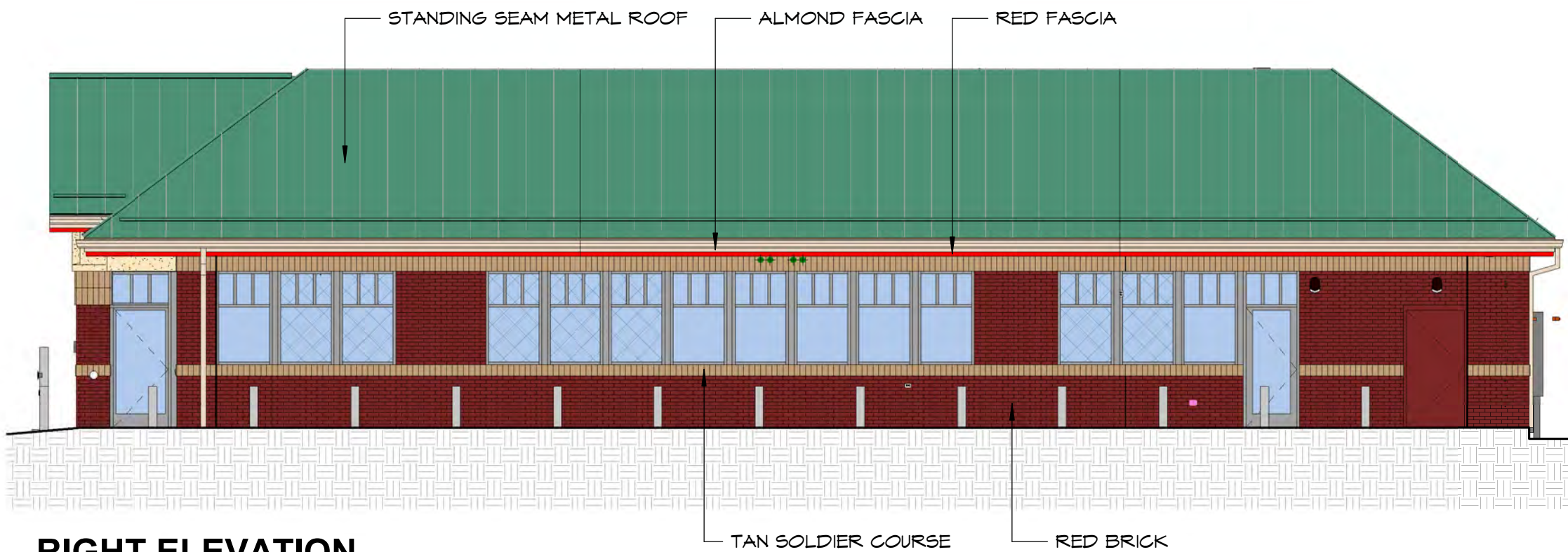
1 FRONT ELEVATION
1/8" = 1'-0"
67% GLAZING



2 LEFT ELEVATION
1/8" = 1'-0"

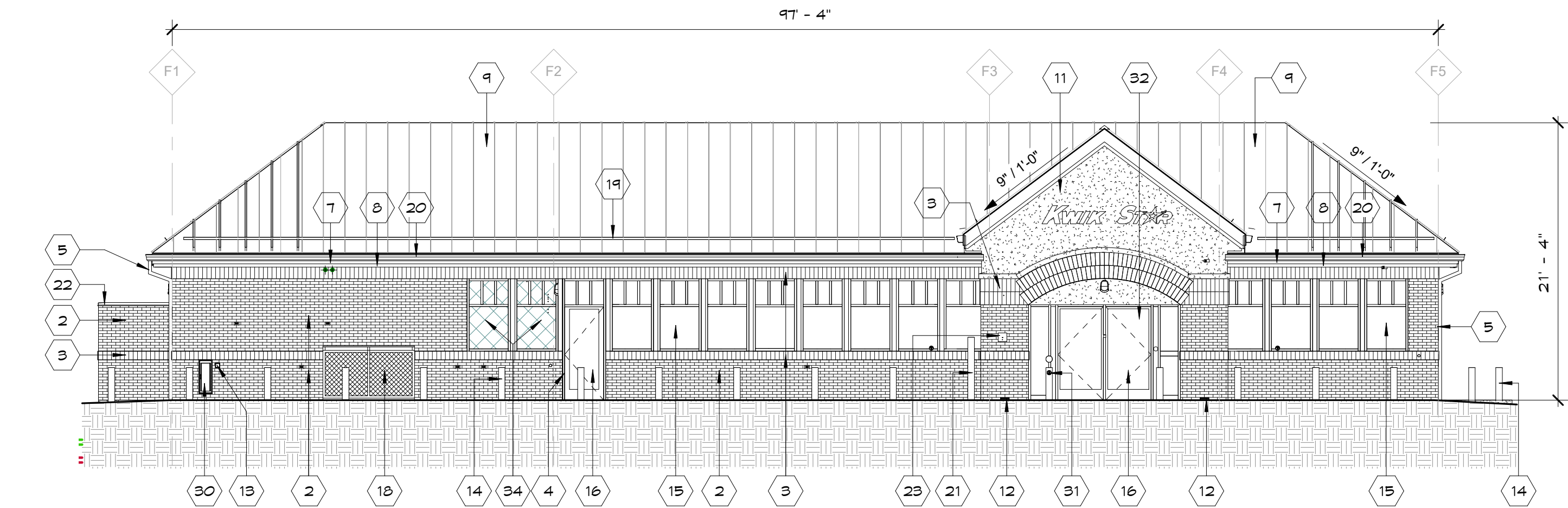


3 REAR ELEVATION
1/8" = 1'-0"

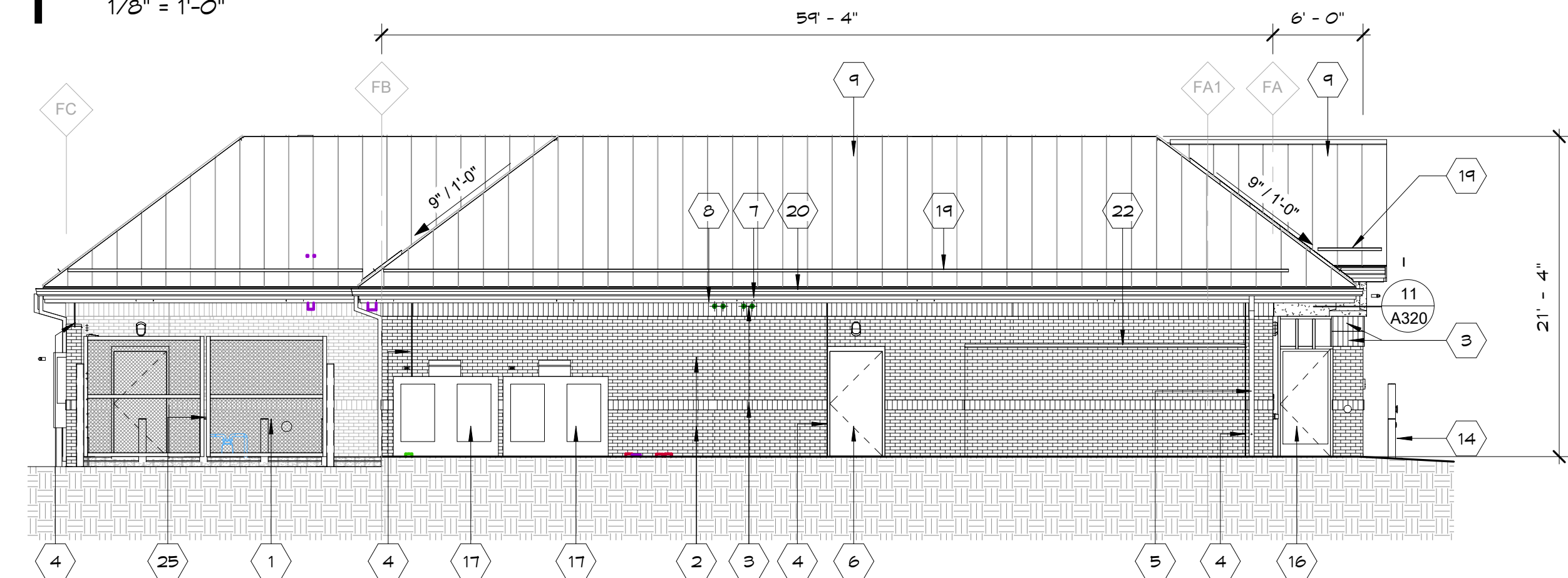


4 RIGHT ELEVATION
1/8" = 1'-0"
67% GLAZING

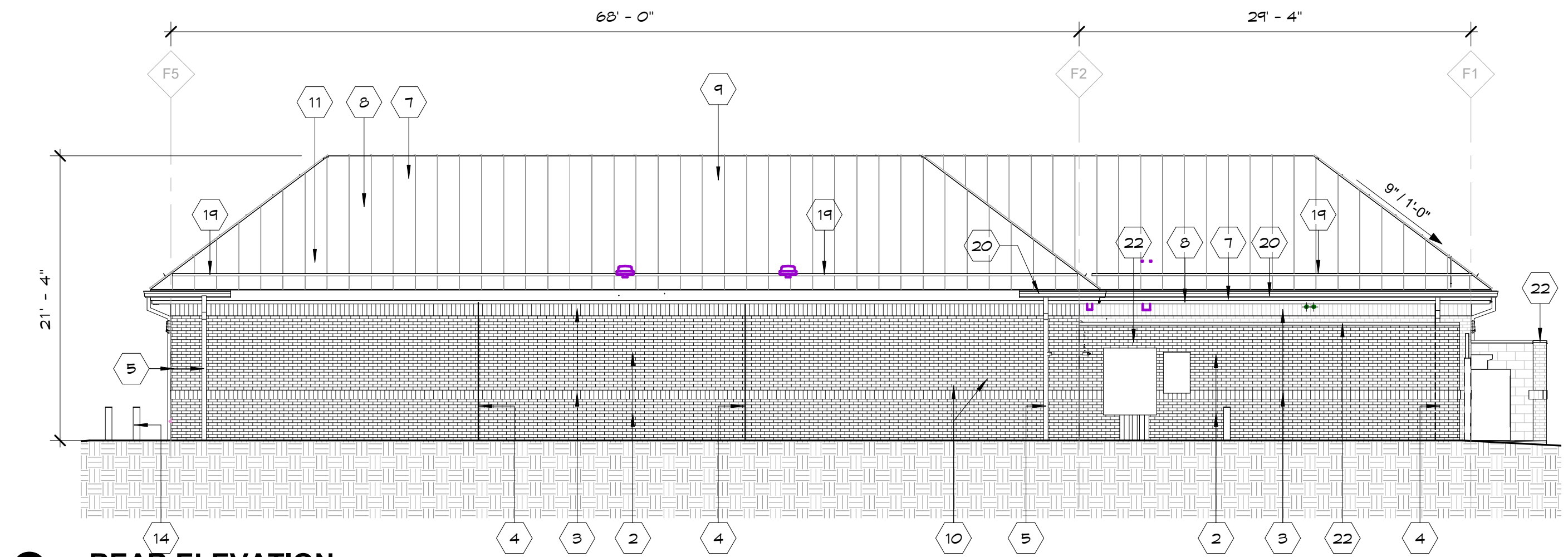
JOB #:	1081.352
DATE:	1.07.19
DRAWN BY:	JW
TYPE:	Permit Set
REVISIONS	
NO.	DATE



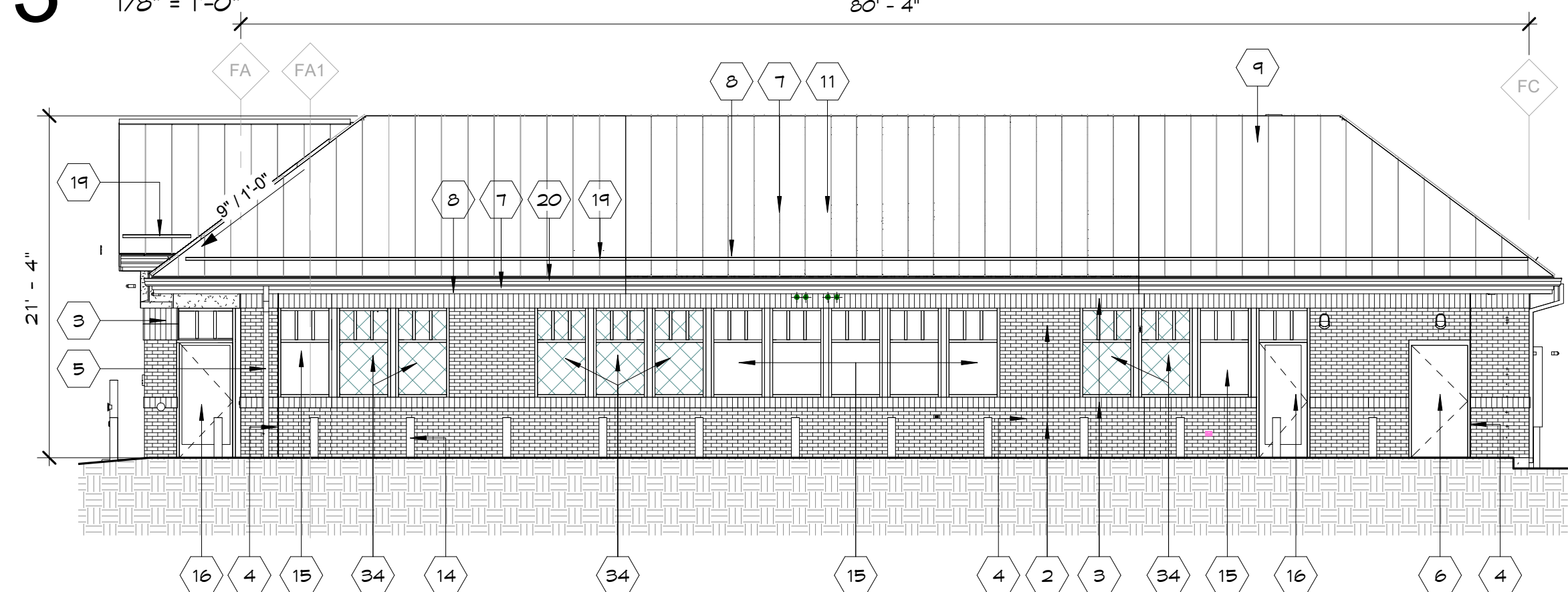
1 FRONT ELEVATION
1/8" = 1'-0"



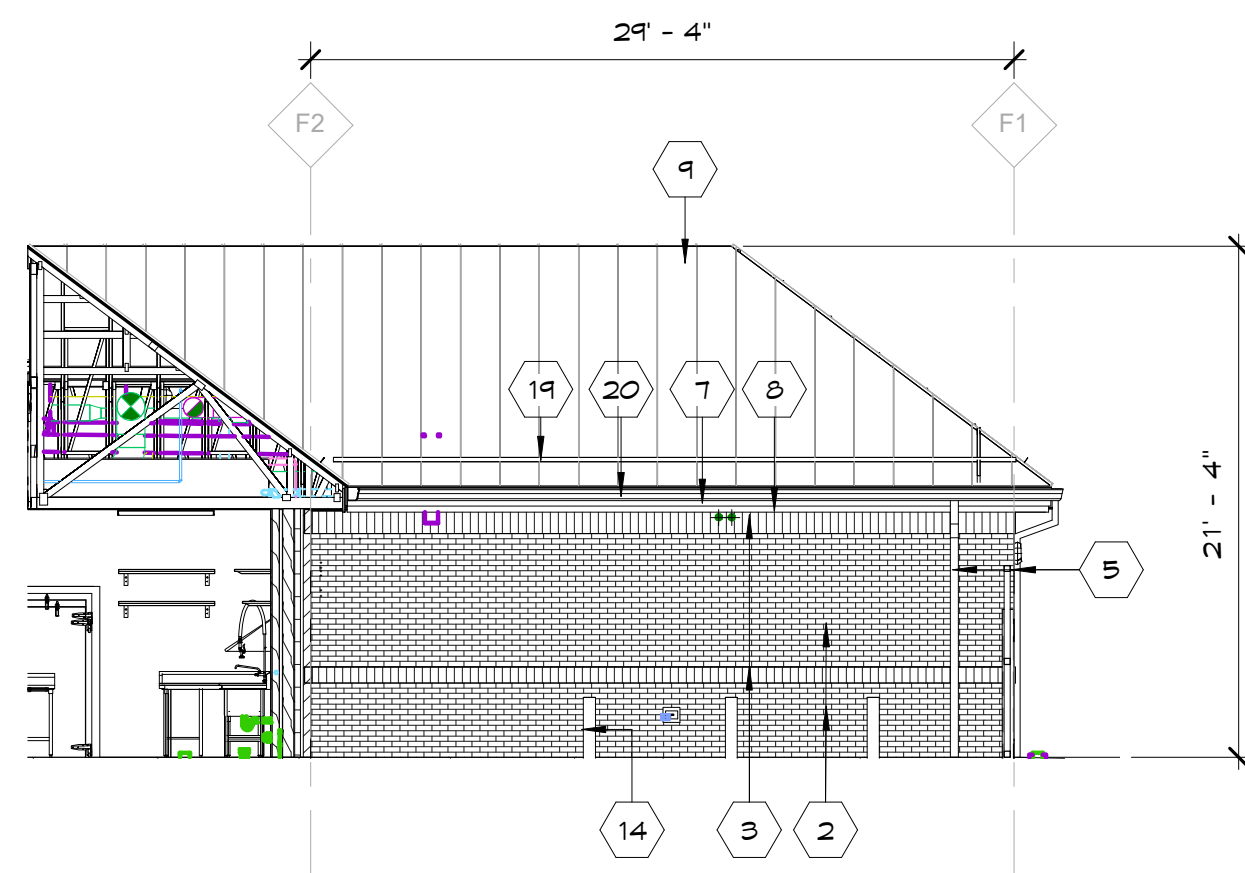
2 LEFT ELEVATION
1/8" = 1'-0"



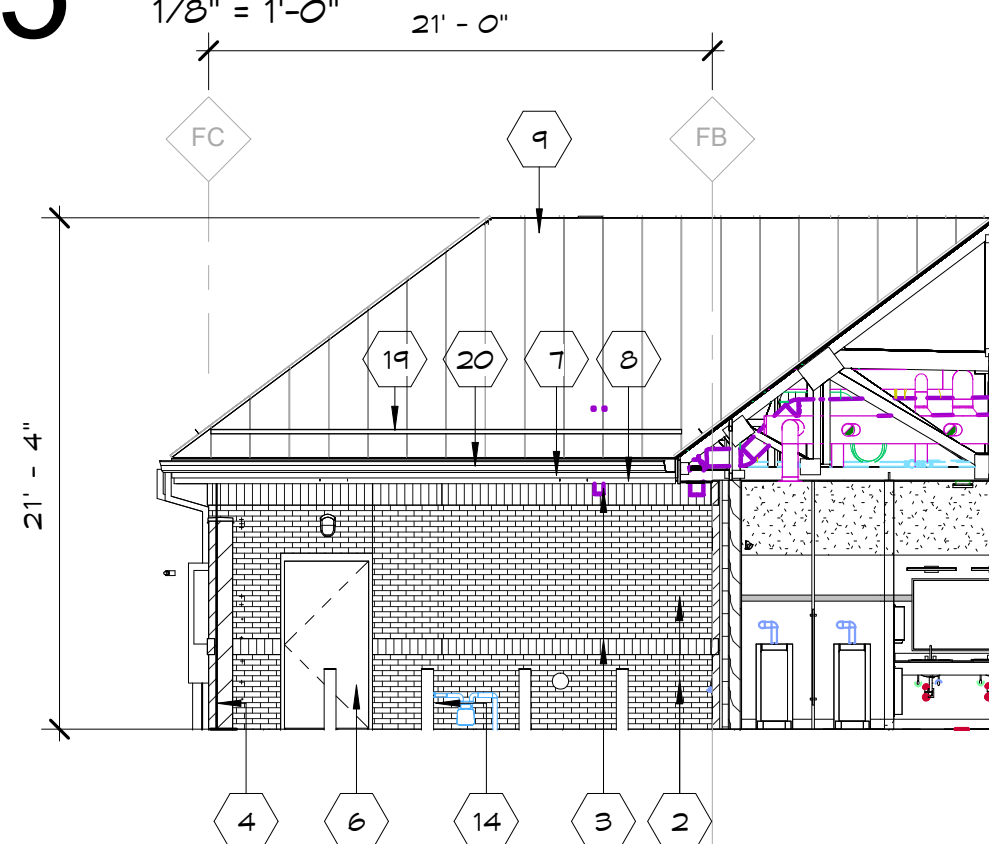
3 REAR ELEVATION
1/8" = 1'-0"



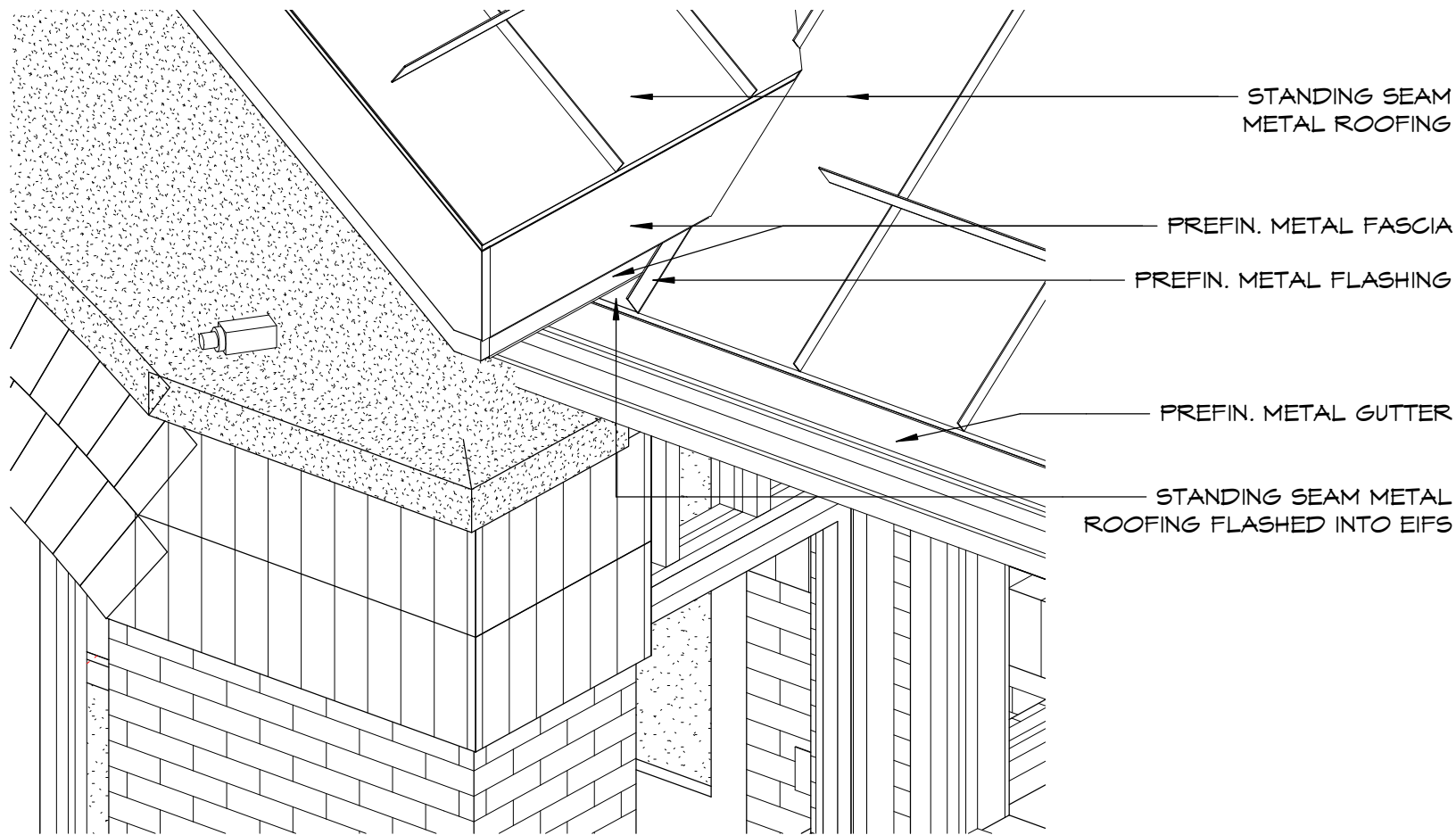
4 RIGHT ELEVATION
1/8" = 1'-0"



5 REAR INSIDE ENCLOSURE
1/8" = 1'-0"



6 LEFT INSIDE ENCLOSURE
1/8" = 1'-0"



7 VESTIBULE EAVE TO ROOF FLASHING DETAIL

EXTERIOR ELEVATION NOTES

- A. SEE FLOOR PLAN FOR WINDOW TYPE KEYS.
B. CONTROL JOINT SEALANT TO MATCH VENEER COLOR.
C. ALL DOWNSPOUTS TO CONNECT W/ BELOW GRADE DRAIN.

EXTERIOR ELEVATION KEYNOTES

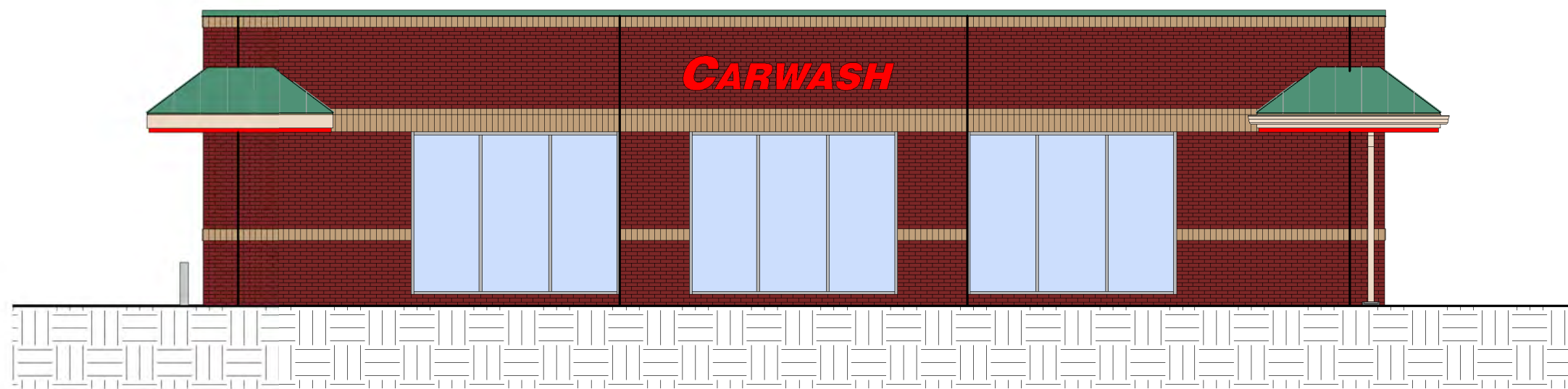
MARK	DESCRIPTION
1	TRASH ENCLOSURE.
2	MODULAR BRICK VENEER (RED).
3	UTILITY BRICK SOLDIER COURSE (TAN).
4	BRICK CONTROL JOINT. SEALANT COLOR TO MATCH BRICK COLOR.
5	ALUMINUM DOWNSPOUT.
6	HOLLOW METAL DOOR & FRAME. PAINT. CAULK COLOR TO MATCH BRICK.
7	ALUMINUM FASCIA - ALMOND.
8	ALUMINUM FASCIA - RED.
9	PREFINISHED STANDING SEAM METAL ROOFING.
10	OT CABINET AND ELECTRICAL METER. RE: ELECT. PLANS.
11	EIFS. COLOR: TAN.
12	CAST ALUMINUM BRICK VENT - HOHMANN & BARNARD #C825, 8" X 2 1/4".
13	EMERGENCY FUEL SHUT OFF. RECESS FLUSH W/ WALL.
14	6" BOLLARD W/ 40" PLASTIC SLEEVE. SEE SHEET A124.
15	ALUMINUM STOREFRONT FRAMING W/ INSULATED GLAZING. CAULK COLOR GRAY DYMONIC.
16	ALUMINUM STOREFRONT ENTRANCE. CAULK COLOR GRAY DYMONIC.
17	ICE MERCHANTISER
18	LP CAGE
19	SNOW RETENTION BAR
20	PREFINISHED METAL GUTTER
21	BLUE HDCP. BOLLARD. REFER TO SITE PLANS.
22	PREFINISHED METAL WALL CAP.
23	KNOX BOX LOCATION WHEN NEEDED. OWNER PROVIDED.
24	SPLASH BLOCK
25	PROVIDE LOCK BOLT FOR EACH LEAF
26	INSULATED POLYCARBONATE DOOR
27	12 X 12 GLASS BLOCK
28	6 X 6 GLASS BLOCK
29	SUPPLY FAN. SEE HVAC PLANS.
30	FIRE EXTINGUISHER CABINET
31	HANDICAP PUSH PLATE. SE ELECTRICAL SHEETS FOR MOUNTING HEIGHTS.
32	STREET ADDRESS NUMBERS TO BE LOCATED ON ENTRANCE DOOR. VERIFY WITH OWNER BEFORE APPLYING.
33	UTILITY BRICK SOLDIER COURSE FIELD COLOR - (RED).
34	ALUMINUM STOREFRONT FRAMING W/ INSULATED SPANDREL GLAZING. CAULK COLOR GRAY DYMONIC.

EXTERIOR COLOR SCHEDULE

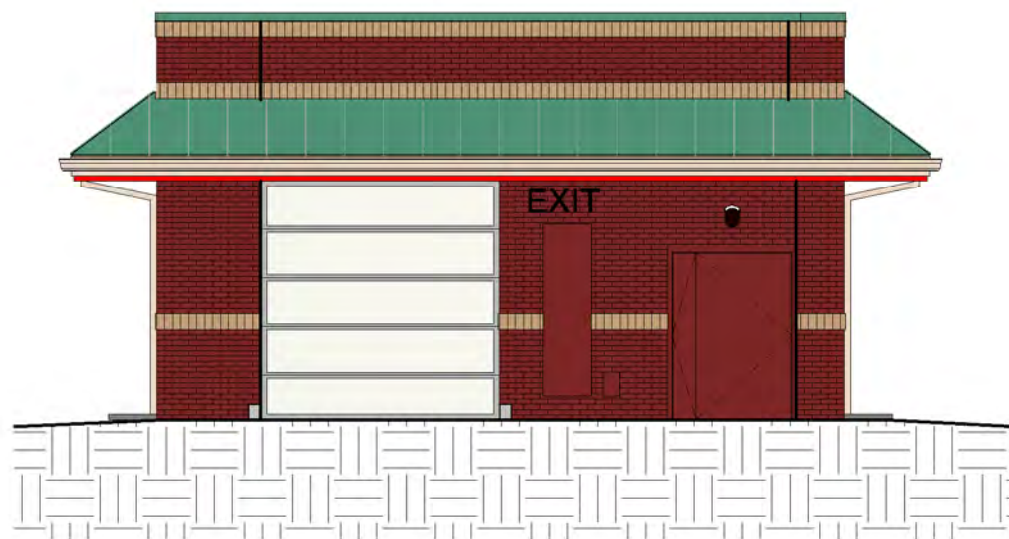
MATERIAL	MANUFACTURER	COLOR
BOLLARDS	--	BLACK, GLOSS
FASCIA	UNA-CLAD 24 GA.	REGAL RED ALMOND
GUTTERS & DOWNSPOUTS	--	ALMOND
SOFFIT	UNA-CLAD	WHITE
METAL ROOF	UNA-CLAD	HEMLOCK GREEN
MORTAR	--	GREY
SEALANT		
RED BRICK	TREMCO DYMONIC	REDWOOD TAN
TAN BRICK	TREMCO DYMONIC	LIMESTONE
ROOF CAP CAR WASH	UNA-CLAD	HEMLOCK GREEN
TAN BRICK	LEGENDARY	CLEAR BUFF
RED BRICK	LEGENDARY	CABERNET BURGUNDY
EIFS	TOTAL WALL	MORNING MIST SWIRL TEXTURE
TRASH ENCLOSURE CAP	UNA-CLAD	HEMLOCK GREEN

Exterior Door Color Code

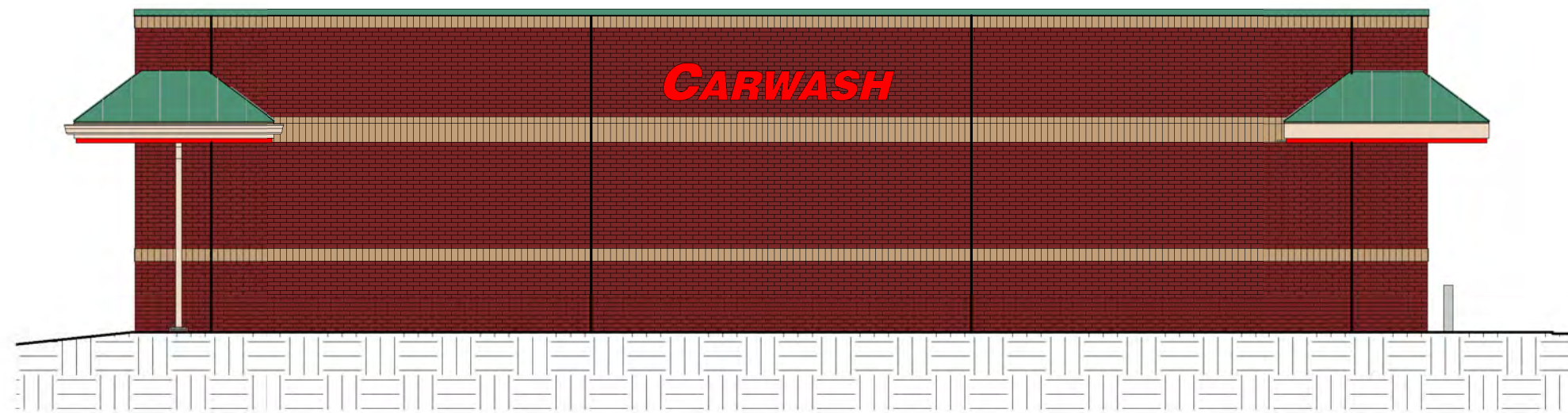
BAC Blend-a-Color	02	32	64	120
W1 White	-	12	1	-
B1 Black	-	24	1	-
R2 Maroon	-	19	-	-
R3 Magenta	-	26	1	1



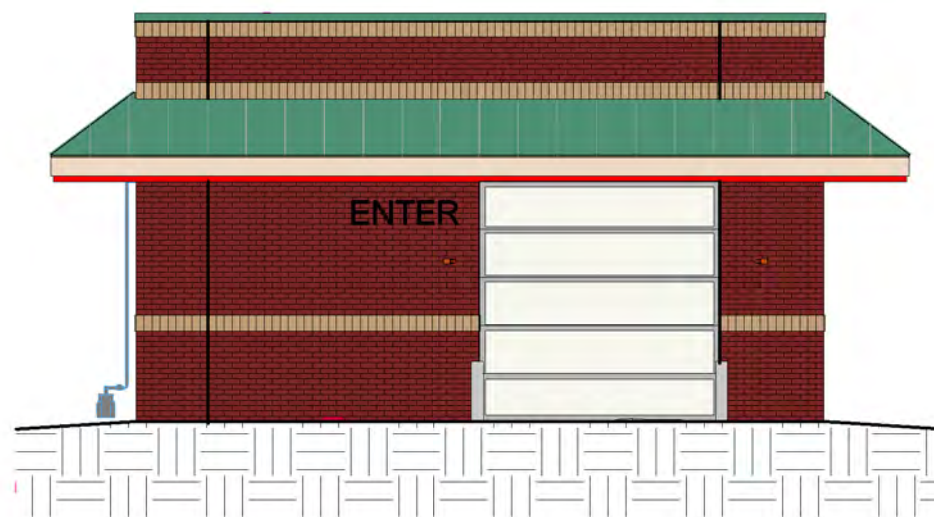
1 NORTH ELEVATION
1/8" = 1'-0"
GLAZING 52%



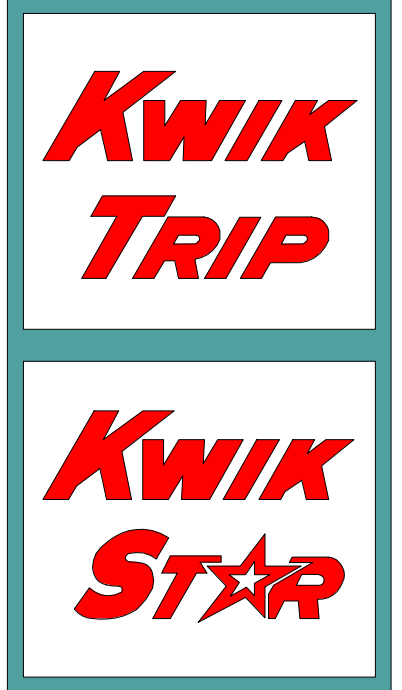
2 EAST ELEVATION
1/8" = 1'-0"



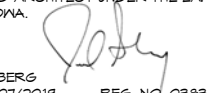
3 SOUTH ELEVATION
1/8" = 1'-0"

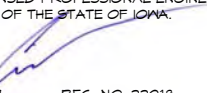


4 WEST ELEVATION
1/8" = 1'-0"



KWIK TRIP, Inc.
P.O. BOX 2107
1628 OAK STREET
LA CROSSE, WI 54602-2107
PH. (608) 781-8988
FAX (608) 781-8960

I HEREBY CERTIFY THAT THIS PLAN,
SPECIFICATION, OR REPORT WAS PREPARED
BY ME OR MY DIRECT SUPERVISION AND THAT I AM
A FULLY LICENSED ARCHITECT UNDER THE LAWS OF
THE STATE OF IOWA.
SIGNATURE: 
DATE: 1/07/2018 REG. NO. 03804

I HEREBY CERTIFY THAT THIS PLAN,
SPECIFICATION, OR REPORT WAS PREPARED
BY ME OR MY DIRECT SUPERVISION AND THAT I AM
A FULLY LICENSED PROFESSIONAL ENGINEER
UNDER THE LAWS OF THE STATE OF IOWA.
SIGNATURE: 
DATE: 1/07/2018 REG. NO. 22018

PROJECT TITLE:
#1055 Gen 2-LH-1CW-Detached
Kwik Trip Inc.
PROJECT LOCATION:
East 1st. Street & HWY 44
Grimes, IA

JOB #: 1081.352
DATE: 1.07.19
DRAWN BY: ams
TYPE: Permit Set

REVISIONS	
NO.	DATE

SHEET TITLE
Exterior Elevations

SHEET NO.
A830



1 FRONT ELEVATION



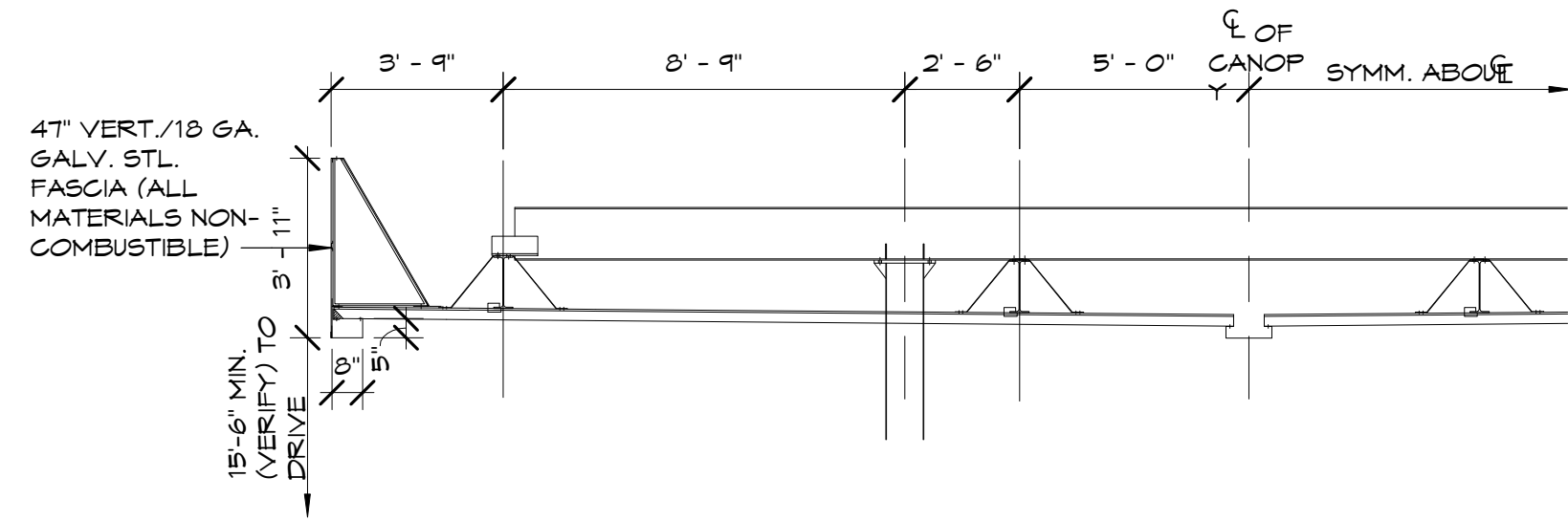
KWIK TRIP, Inc.
P.O. BOX 2107
1626 OAK STREET
LA CROSSE, WI 54602-2107
PH. (608) 781-8988
FAX (608) 781-8960

10 MPD

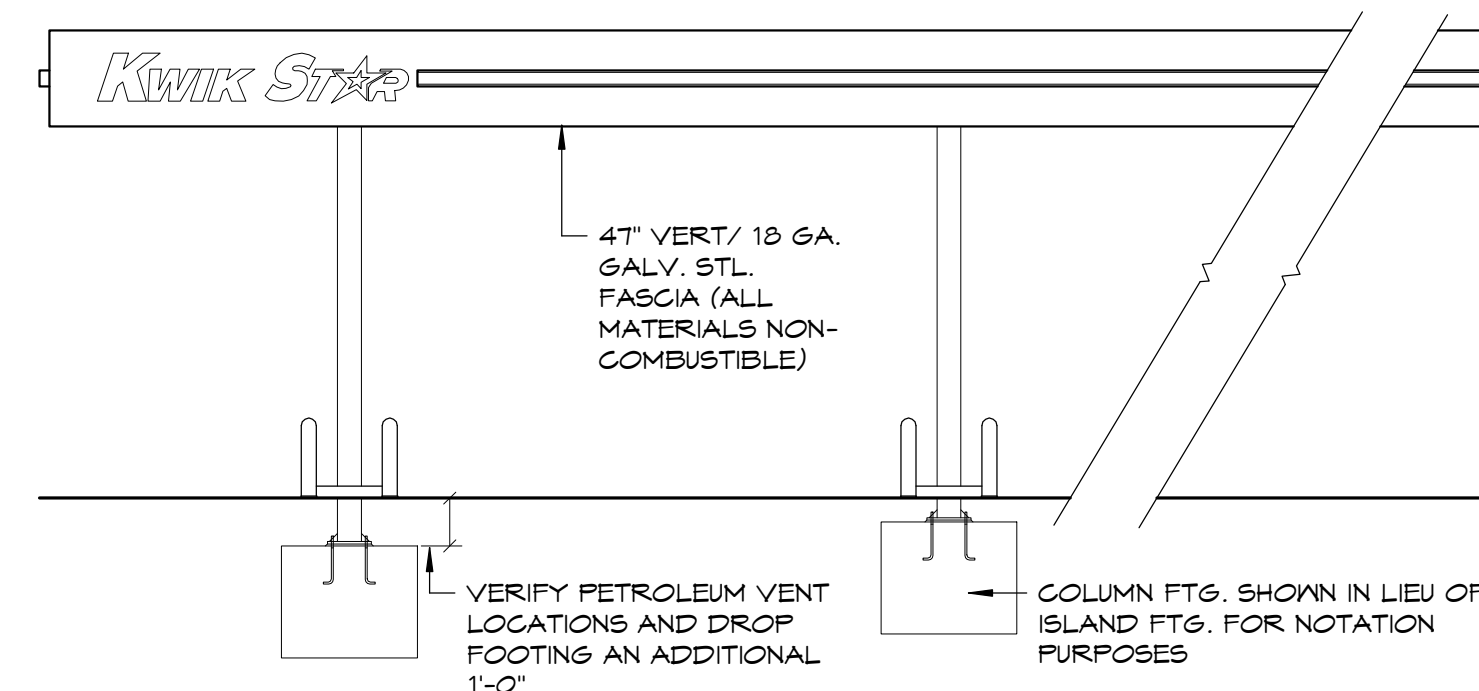


2 SIDE ELEVATION

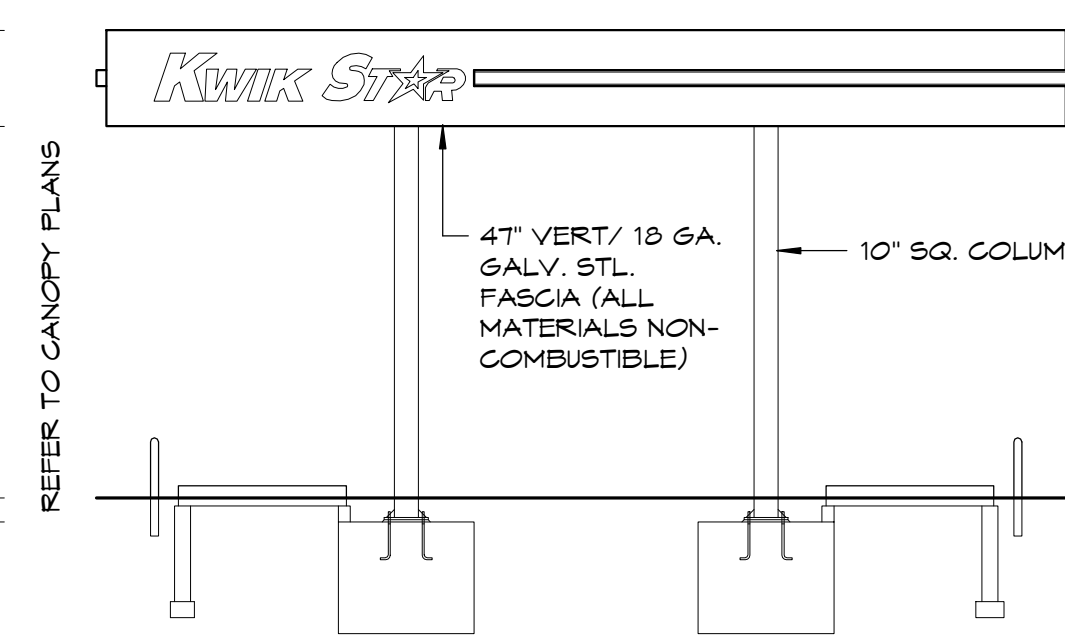
1 CANOPY SECTION
1/4" = 1'-0"



2 SIDE CANOPY ELEVATION
1/8" = 1'-0"



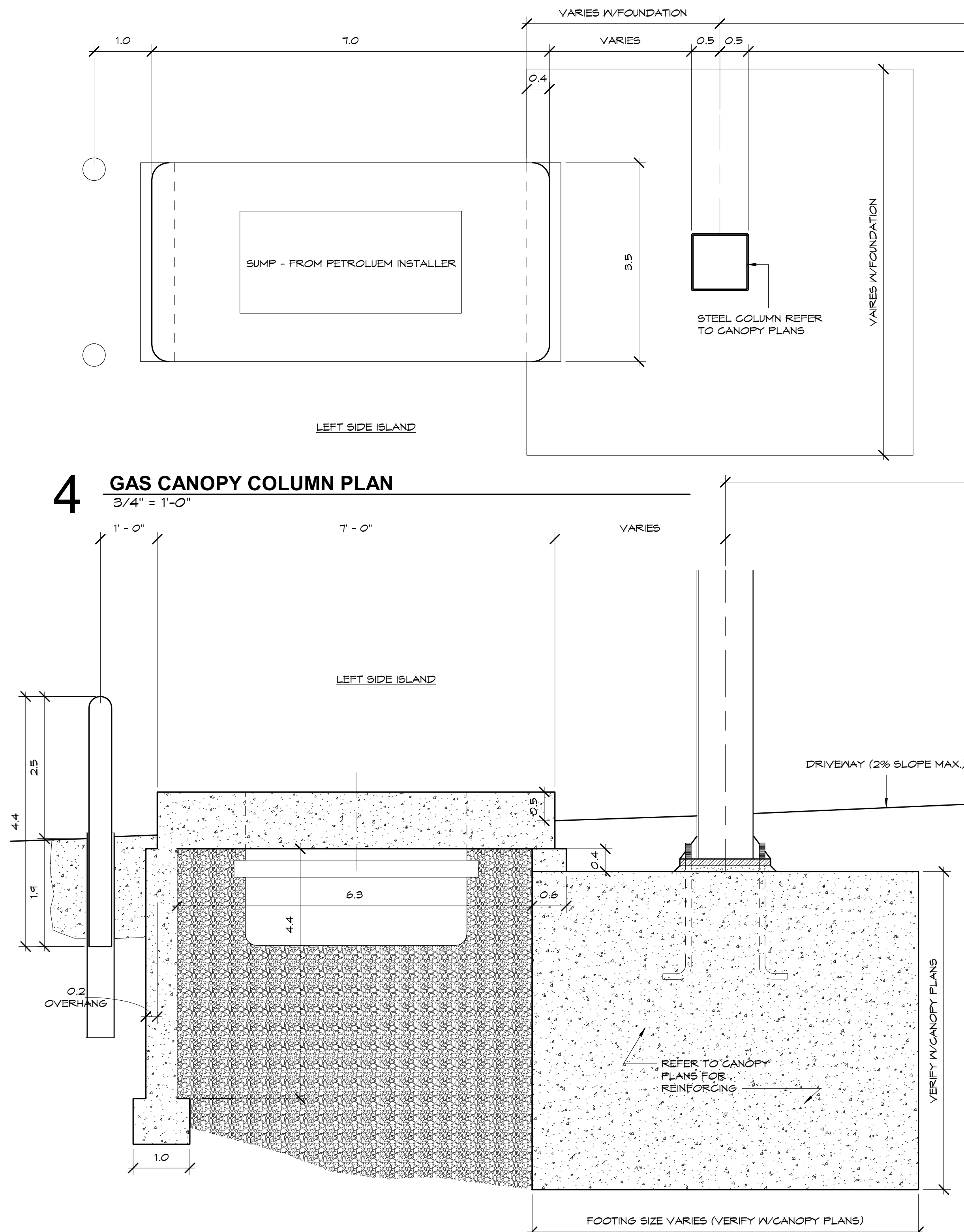
3 END CANOPY ELEVATION
1/8" = 1'-0"



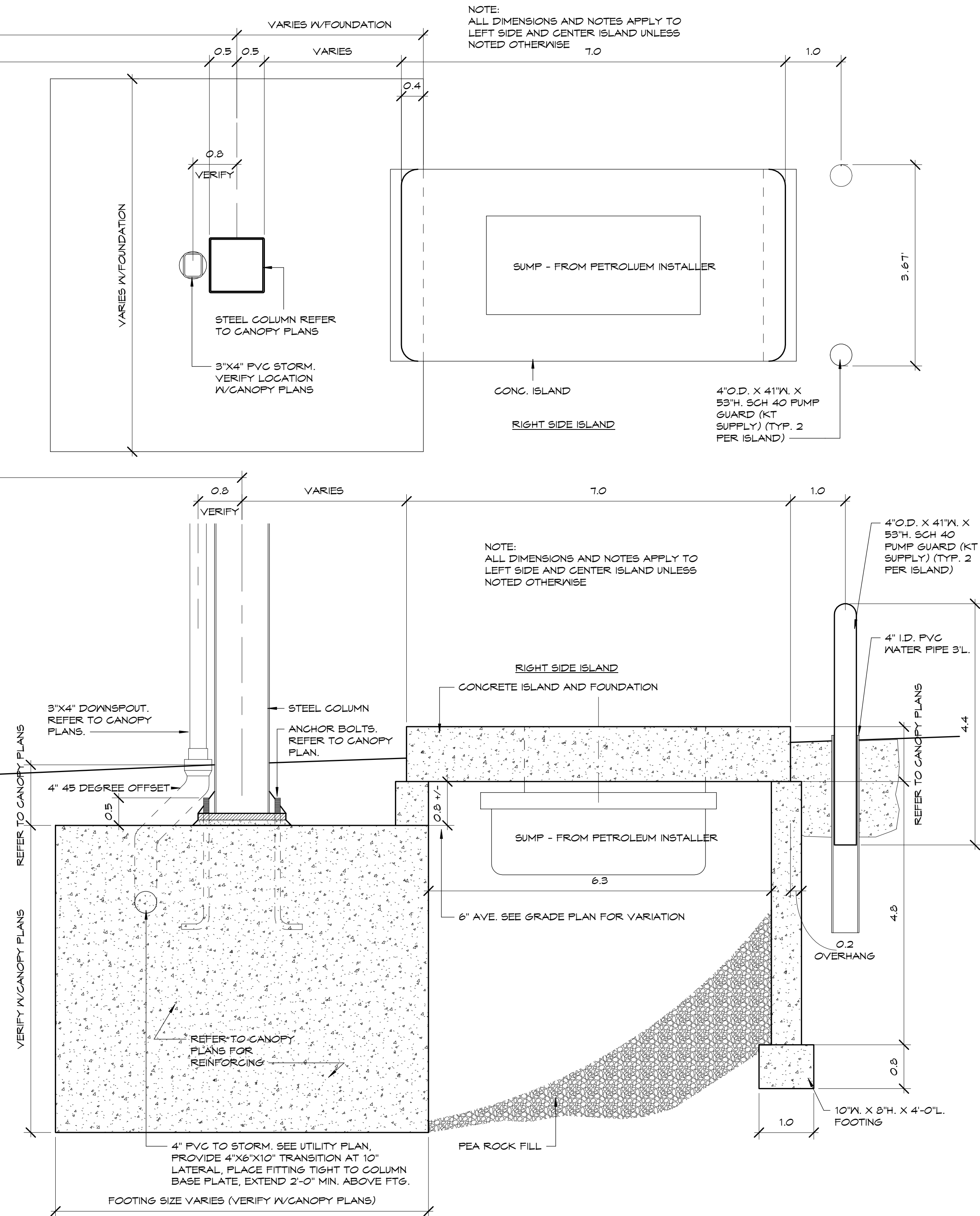
GENERAL NOTES

- A. ALL DIMENSIONS & NOTES APPLY TO LEFT SIDE & CENTER ISLAND UNLESS NOTED OTHERWISE.
B. ISLAND HEIGHTS VARY TO MATCH GRADE. CANOPY FOOTING SET AT SAME ELEVATION EXCEPT FOR 1-2 FOOTINGS WHICH HAVE AN ADDITIONAL 1'-0" SUBSET FOR PETROLEUM VENTS. VERIFY WITH CANOPY PLANS.
C. THIS SHEET IS FOR REFERENCE ONLY. REFER TO CANOPY PLANS.

4 GAS CANOPY COLUMN PLAN
3/4" = 1'-0"



5 GAS CANOPY COLUMN SECTION
3/4" = 1'-0"



Fusion™ CL Series

The Fusion CL Series is Principal LED's original Chip-On-Board (COB) system for channel letter applications.

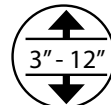
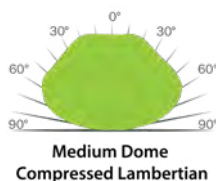
SPECIFICATIONS

Beam Angle	170° Medium Dome, Compressed Lambertian
Certifications	UL & cUL Recognized (SAM Manual), CE, CSA, RoHs
Dimension	0.65"W x 1.5"L x 0.25"H
Fastening	Peel & stick / Mechanical screw hole
Input	12VDC
Max Mods (Series)	Full 60W load
Operating Temp.	-40° to +60°C
Packaging	Fusion 2 Fusion 170 Fusion 260 25 ft. (50 mods) per bag or 100 ft. (200 mods) per box or 500 ft. per case
	Fusion 3 25 ft. (75 mods) per bag or 100 ft. (300 mods) per box or 500 ft. per case
	Fusion 4 25 ft. (100 mods) per bag or 100 ft. (400 mods) per box or 500 ft. per case
Power Supply	P-LED 12VDC
Protection Grade	IP66
Run Footage	See Product Options
Spacing	Fusion 2 Fusion 170 Fusion 260 2 mods/ft. (fully stretched)
	Fusion 3 3 mods/ft. (fully stretched)
	Fusion 4 4 mods/ft. (fully stretched)
Warranty	5-Year Product / 5-Year Limited Labor

RECOMMENDED COVERAGE CHART

Depth	Max. Stroke	Spacing	Product
	Single Row	Multi-Rows O.C.	
3"	5"	3"	FS4
4"	6"	4"	FS3/ FS4
5"	8"	5"	FS2/F170/F260/FS3/FS4
6"	10"	6"	FS2/F170/F260/FS3/FS4
7"	12"	8"	FS2/ F170/F260/FS3/FS4
8"	12"	10"	FS2/ F170/F260/FS3/FS4
9"	12"	12"	FS4/260
10-12"	12"	18"	FS4/260

Note: Product and depth may vary depending on face material and desired brightness.



FEATURES

- Zero light loss after 6,000 hours of third-party testing
- Patented COB technology for maximum lifetime performance
- Available in custom CCTs of white and all colors
- Solder-free connections
- Save time with our Qwik Release Tabs

WIRING DETAILS

White	Positive
White/Black	Negative



Fusion 3™

PRODUCT OPTIONS

Color	Wavelength / CCT	Efficacy	Intensity	Power	Run Footage (60W Supply)	Part Number (3 modules per foot)
Red	625nm	23 LM/W	14 LM/mod (42 LM/ft.)	0.6W/mod (1.8W/ft.)	33'	PL-FS3-RD1-P (M-FSTX0-RD)
Ruby Red	633nm	23 LM/W	14 LM/mod (42 LM/ft.)	0.6W/mod (1.8W/ft.)	33'	PL-FS3-RR1-P (M-FSTX0-RR)
Amber	592nm	21 LM/W	12.3 LM/mod (37 LM/ft.)	0.6W/mod (1.8W/ft.)	33'	PL-FS3-AM1-P (M-FSTX0-AM)
Orange	609nm	25 LM/W	15 LM/mod (45 LM/ft.)	0.6W/mod (1.8W/ft.)	33'	PL-FS3-OR1-P (M-FSTX0-OR)
Blue	460nm	10 LM/W	4 LM/mod (12 LM/ft.)	0.42W/mod (1.26W/ft.)	46'	PL-FS3-BL1-P (M-FSTX0-BL)
Green	525nm	36 LM/W	15 LM/mod (45 LM/ft.)	0.42W/mod (1.26W/ft.)	46'	PL-FS3-GR1-P (M-FSTX0-GR)
Sign White*	6500K	107 LM/W	80 LM/mod (240 LM/ft.)	0.75W/mod (2.25W/ft.)	26'	PL-FS3-WH1-P (M-FSTX0-65)
Med. White	4300K	107 LM/W	80 LM/mod (240 LM/ft.)	0.75W/mod (2.25W/ft.)	26'	PL-FS3-MW1-P (M-FSTX0-43)
Warm White	3500K	100 LM/W	75 LM/mod (225 LM/ft.)	0.75W/mod (2.25W/ft.)	26'	PL-FS3-WW1-P (M-FSTX0-35)

*Sign White Fusion 3 has two bin codes: C6B and C6Y. The code will vary based on geographical location.

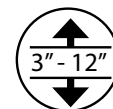
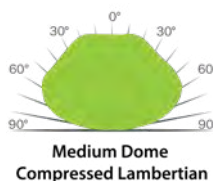
Fusion 4™

PRODUCT OPTIONS

Color	CCT	Efficacy	Intensity	Power	Run Footage (60W Supply)	Part Number (4 modules per foot)
Sign White	6500K*	107 LM/W	80 LM/mod (320 LM/ft.)	0.75W/mod (3W/ft.)	20'	PL-FS4-WH1-P (M-FSQX0-65)

*Custom CCTs available from (3000-12000K)

Principal LED is adopting new Part Numbers as of June 4, 2018. These new numbers are in parenthesis, i.e. (x). We will happily work with either part number to serve our customers until further notice.



Principal LED's Fusion Series is designed to have the best possible heat dissipation by utilizing P-LED's proprietary Chip-On-Board (COB) technology. It also has specialized optics for even illumination in any sign type through a proprietary die encapsulated optic.

Fusion 2™

PRODUCT OPTIONS

Color	Wavelength / CCT	Efficacy	Intensity	Power	Run Footage (60W Supply)	Part Number* (2 modules per foot)
Red	625nm	23 LM/W	14 LM/mod (28 LM/ft.)	0.6W/mod (1.2W/ft.)	50'	PL-FS2-RD1-P (M-FSDX0-RD)
Ruby Red	633nm	23 LM/W	14 LM/mod (28 LM/ft.)	0.6W/mod (1.2W/ft.)	50'	PL-FS2-RR1-P (M-FSDX0-RR)
Amber	592nm	21 LM/W	12.5 LM/mod (25 LM/ft.)	0.6W/mod (1.2W/ft.)	50'	PL-FS2-AM1-P (M-FSDX0-AM)
Orange	609nm	25 LM/W	15 LM/mod (30 LM/ft.)	0.6W/mod (1.2W/ft.)	50'	PL-FS2-OR1-P (M-FSDX0-OR)
Blue	460nm	10 LM/W	4 LM/mod (8 LM/ft.)	0.42W/mod (0.84W/ft.)	70'	PL-FS2-BL1-P (M-FSDX0-BL)
Green	525nm	36 LM/W	15 LM/mod (30 LM/ft.)	0.42W/mod (0.84W/ft.)	70'	PL-FS2-GR1-P (M-FSDX0-GR)
Sign White*	6500K	107 LM/W	80 LM/mod (160 LM/ft.)	0.75W/mod (1.5W/ft.)	40'	PL-FS2-WH1-P (M-FSDX0-65)
Med. White	4300K	107 LM/W	80 LM/mod (160 LM/ft.)	0.75W/mod (1.5W/ft.)	40'	PL-FS2-MW1-P (M-FSDX0-43)
Warm White	3500K	100 LM/W	75 LM/mod (150 LM/ft.)	0.75W/mod (1.5W/ft.)	40'	PL-FS2-WW1-P (M-FSDX1-35)

*Sign White Fusion 2 has two bin codes: C6B and C6Y. The code will vary based on geographical location.

Fusion 170™

PRODUCT OPTIONS

Color	Wavelength	Efficacy	Intensity	Power	Run Footage	Part Number
Sign White	6500K	109 LM/W	85 LM/mod (170 LM/ft.)	0.78W/mod (1.56 W/ft.)	38'	PL-FS2-WH170-P (M-FSD17-65)
True White	7000K	109 LM/W	85 LM/mod (170 LM/ft.)	0.78W/mod (1.56 W/ft.)	38'	PL-FS2-TW170-P (M-FSD17-70)
Snow White	7500K	109 LM/W	85 LM/mod (170 LM/ft.)	0.78W/mod (1.56 W/ft.)	38'	PL-FS2-WS170-P (M-FSD17-75-C7B)

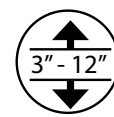
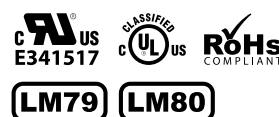
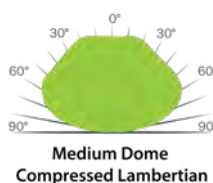
Fusion 260™

PRODUCT OPTIONS

Color	Wavelength	Efficacy	Intensity	Power	Run Footage	Part Number
Sign White	6500K	108 LM/W	130 LM/mod (260 LM/ft.)	1.2W/mod (2.4 W/ft.)	25'	PL-FS2-WH260-P (M-FSD26-65-C6Y)
True White	7000K	108 LM/W	130 LM/mod (260 LM/ft.)	1.2W/mod (2.4 W/ft.)	25'	PL-FS2-TW260-P (M-FSD26-70-C7Y)

Principal LED is adopting new Part Numbers as of June 4, 2018. These new numbers are in parenthesis, i.e. (x). We will happily work with either part number to serve our customers until further notice.

FUSION





One Honey Creek Corporate Center
125 South 84th Street, Suite 401
Milwaukee, WI 53214-1470
414 / 259 1500
414 / 259 0037 fax
www.graef-usa.com

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Alan Czarnecki *PE*

Electrical Engineer

Alan has 45 years of experience as an electrical engineer. His areas of expertise include telecommunications, special systems, power distribution and architectural lighting, specializing in renovation and adaptive reuse projects. Alan has a broad range of experience and has worked with public and private sector clients on studies, reports, facility prototypes and nearly every type of construction project. Alan recognizes lighting design as a specialty service. He provides unique design solutions from concept through construction. He works closely with architects to insure integration of the lighting with the architecture. Alan has received multiple IESNA awards for his lighting design projects.

Registration

Professional Engineer – AL, AZ, CA, CO, FL, GA, ID, IL, IN, IA, KS, KY, MI, MN, MS, MO, NE, NC, OH, OK, OR, SC, SD, TN, TX, VA, WA, WI, WY

Education

B.S., Electrical Engineering, 1973, Marquette University, Milwaukee, WI

Affiliations

National Fire Protection Association (NFPA)

Milwaukee Area Technical College, North Campus, Mequon, WI - Project Manager:

The campus was constructed in 1977 and the original parking lot lighting was still in use. The fixtures were in poor physical shape, uniformity was poor and lighting levels did not meet current City of Mequon requirements. Projects in 2011 and 2013 reconditioned the original steel poles and replaced high pressure sodium luminaires with metal halide cutoff fixtures with segmented optics. Minimum lighting levels were increased from 0.1 foot candles to 0.5 foot candles, uniformity improved from near infinity to 5.6:1 average to minimum, and the average lighting level was improved to 2.8 foot candles, exceeding the Mequon requirement. The 2011 project relit 5 acres of parking lots. The 2013 project relit 1900 feet of roadway.

Nicolet High School, Glendale, WI -- Project Manager: Project replaced all the exterior lighting on campus. The replacement fixtures were all LED. Pole mounted fixtures included motion sensors and dimming to conserve energy during off-hours. A total of 4.5 acres of paved area was relighted. Conduits were included inside the poles for security camera cabling. The budget was approximately \$350,000.00.

Case High School, Racine, WI -- Project Manager: Case High School planned to improve their parking areas in 2013. Their existing parking was partially paved and partially lighted. On football game nights, the lot would completely fill and the school would rent truck mounted temporary floodlighting for the unlit areas, The lighted portions



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had refractors mounted on wood poles which were leased from the electric utility. In conjunction with a paving project, we provided cutoff luminaires on twenty-foot poles to light the five-acre parking lot. Poles were located, and fixtures selected to meet the Pleasant Prairie outside lighting ordinance. Conduits were included in the poles for security camera cabling. A project currently under design will relight 2200 feet of roadway.

March 28, 2019

Keith Weggen

Civil Design Advantage, LLC
3405 SE Crossroads Drive, Suite G
Grimes, IA 50111

**3401 SE Destination Drive Site Plan
Lot 3 & 4 – Crossroads Business Park of Grimes Plat 4
Grimes, IA 50111**

FOX Ref No: 8630-04K.

FOX Engineering has completed the second review of 3401 SE Destination Drive Site Plan dated March 27, 2019. Please address the following comments:

General Comments;

1. Please submit an application fee of \$500 to the City of Grimes for the Post Construction Stormwater Agreement. Please include a revised application form. We understand this will be submitted at a future date.
2. FOX has forwarded the 2nd submittal of the site plan to the Fire Department for Review. We will forward Fire Marshal comments if/when we receive them.
3. We understand that the Developer intends to provide a lot tie agreement between Lots 3 & 4 to allow the parking lot for outside storage on Lot 4 without a primary structure on said Lot 4.
4. We understand that the Developer intends to store construction related equipment within the parking lots. Please state this on the site plan.
5. We understand that the Developer has sent permit applications to the IDNR and Army Corps of Engineers (ACOE) for work within the floodplain. Approval documents shall be sent to the city of Grimes once permission is granted. Grimes will issue a floodplain development permit once approvals are verified from IDNR, ACOE and/or FEMA if applicable.
6. The site plan shows proposed lot lines by others. This assumes adoption of the contemplated Crossroads Business Park of Grimes Plat 7. While the submitted site plan is not subject to approval of said Plat 7, it will be subject to FEMA floodplain insurance requirements since Lot 3 and Lot 4 are within the FEMA 100-yr floodplain. This is for the Developer/Owner's information.
7. We understand that the NPDES Permit will be provided upon completion under separate cover.

Topo Survey & Demo Plan - C1.1:

8. Please list the Base Flood Elevations (BFE) per the CDA Flood Study for Crossroads.

Dimension Plan – C2.1:

9. Please provide a detail for the Fine Amount on the ADA sign (\$200).
10. Discussion is necessary regarding the lack of 6-inch curb around the Lot 4 parking lot.
11. Please dimension the integral sidewalk along the south side of the building (north side of the Lot 3 parking lot).

Grading Plan – C3.1:

12. The detention plan for the Lot 3 parking lot shows substantial cut over the existing sanitary sewer force main. Please provide exploratory potholing of the existing force main to verify that the force main will retain a 5-ft (minimum) bury depth.
13. Parking Lot 4: Please provide additional spot elevations and/or percent slopes around the ADA stalls. Please include driveway crossing slope/elevation labels with enough information to verify that the future sidewalks will meet ADA guidelines (cross slopes <2%). Please include slope labels at the north/south extremes of the pedestrian crossings. It looks like the north edge cross slope of the Lot 3 driveway and the south edge cross slopes for both Lot 4 driveways are pushing the extremes of what is allowed by ADA.
14. Please show/label/dimension the emergency overflow for the Lot 3 detention area. Please dimension the emergency overflow width for the Lot 4 detention area. Please include spot elevations for both spillways to verify spillway elevations. It appears that the Lot 4 spillway elevation does not match what is in the SWPPP narrative. The emergency overflows shall be sized for the 100-yr proposed condition in the event that the outlet is plugged.

Erosion & Sediment Control Plan – C3.2:

15. As per the response letter, dated 3.27.2019, and as per note 24 on sheet C2.1, there will be clearing and grubbing and grading in the flowage easement. Please provide a comment about providing appropriate erosion and sediment control and re-vegetation for work in the flowage easement.

Utility Plan – C4.1:

16. Fire Hydrant Coverage: The proposed fire hydrant projection is greater than 150-ft. The fire chief will need to review and comment.
17. Discussion is necessary as to whether the building will be a single or multi-tenant structure. The following comments are from Thorpe Water Development Company and should be addressed:
 - a. If this is a single tenant building: Thorpe Water would require one meter, based on fixture loads, not based on service line size.
 - b. If this is a multi-tenant facility: Thorpe Water will require separate curb valves outside of the building. For each additional meter, Thorpe requires to be able to terminate water service for nonpayment of sewer or water without gaining access to the interior of the multi-tenant building.
18. Please show the proposed working limits along the west side of the SE Destination Drive ROW and how the area will be stabilized. Discussion is necessary if the connection to the sanitary sewer should be from the existing sanitary sewer east of the building (off-site property in easement).

Landscape Plan - L1.1:

19. Discussion is necessary regarding whether the landscaping in front of the chainlink fence is adequate for screening of the parking/storage areas.

Elevation Plans:

20. Please revise the percentage of brick shown for the west building elevation. Percentage of brick should account for windows (thus making the area of brick less than 100%).
21. Please revise the south and north building elevation brick calculations to clarify what the percentage of brick is provided in the western 30-ft of the building (accounting for doors and windows). Grimes code requires that a minimum of 30-ft along the side walls that are adjacent to public street fronting walls shall be comprised of no less than 25% earth-tone colored brick, marble, etc...
22. The west side of the building (facing Destination) exceeds the brick requirement, thank you! Discussion is necessary at P&Z whether the provided architectural banding and color variation meets the intent of the Grimes Code.
23. It is highly recommended that you bring detailed building materials and color schemes with you to P & Z.

Storm Water Pollution Prevention Plan:

24. Page 31 of 127 - Detention Pond, description - please verify the emergency spillway overflow elevations are correct.

Lighting Plan:

25. Please provide a photometric plan. The plan should include the locations for wall packs if not shown on the elevation plans.

Storm Water Management Plan:

26. Please provide a detail of ST-2, on the CD's, to ensure a correct structure is sent to the site.
27. Please provide an emergency spillway location for the Lot 3 detention ponds. It is recommended to provide TRM or other means for erosion protection for both spillways.
28. Please provide a detail of ST-11, on the CD's, to ensure a correct structure is sent to the site.

Post Construction Stormwater Agreement

29. Please submit a Post Construction Stormwater Agreement. We understand that this will be submitted under separate cover.

SITE PLAN SCHEDULE:

PLANNING & ZONING: April 2, 2019 at 5:30 at the Grimes City Hall

COUNCIL MEETING: April 9, 2019 at 5:30 at the Grimes City Hall

Please provide a letter addressing all comments on this comment letter and/or state what was modified on the site plan to address said comments. If you have any questions or concerns, please contact John Gade at (515) 233-0000.

FOX ENGINEERING ASSOCIATES, INC.

John Gade, P.E.

John Gade, P.E.

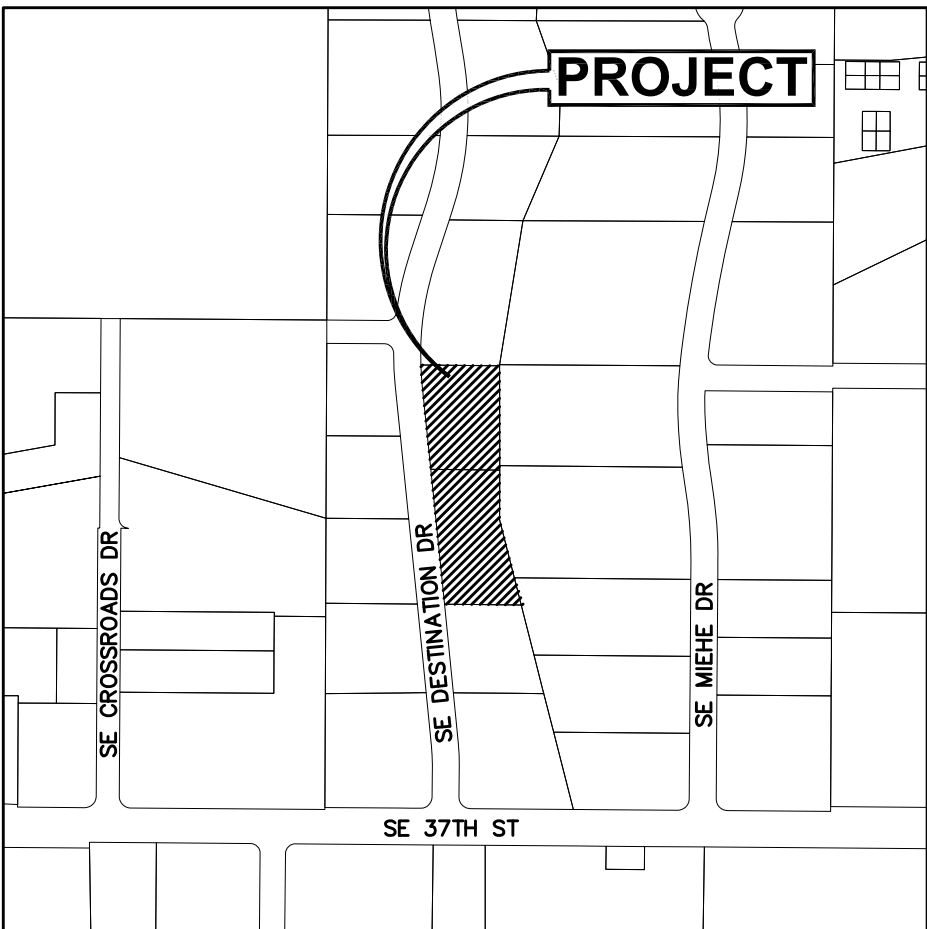
Copy to: Scott Clyce, City of Grimes
Alex Pfaltzgraff, City of Grimes

SITE PLAN FOR:
3401 SE DESTINATION DRIVE

3401 SE DESTINATION DRIVE
GRIMES, IOWA

VICINITY MAP

NOT TO SCALE



OWNER/APPLICANT

3301 & 3401 SE DESTINATION LLC
CONTACT: AJDIN NADAREVIC
580 NE BOWMAN DRIVE
WAUKEE, IOWA 50263

ENGINEER/ SURVEYOR

CIVIL DESIGN ADVANTAGE, LLC
CONTACT: KEITH WEGGEN
3405 SE CROSSROADS DRIVE, SUITE G
GRIMES, IOWA 50111
PH. (515) 369-4400
FX. (515) 369-4410

ARCHITECT

STAR BUILDING SYSTEMS
8600 SOUTH INTERSTATE 35
OKLAHOMA CITY, OKLAHOMA 73149

DATE OF SURVEY

JANUARY 15, 2019

BENCHMARKS

BURY BOLT ON HYDRANT EAST OF SE DESTINATION DRIVE, 80 FEET +/- SOUTH OF STONE RIDGE DRIVE.
ELEVATION=933.04

BURY BOLT ON HYDRANT EAST OF OLD GATOR BUILDING.
ELEVATION=941.99

LEGAL DESCRIPTION

LOT 3 AND LOT 4 OF CROSSROADS BUSINESS PARK OF GRIMES PLAT 4

ZONING

M-2: LIGHT INDUSTRIAL DISTRICT

EXISTING/ PROPOSED USE

EXISTING: UNDEVELOPED
PROPOSED: COMMERCIAL

DEVELOPMENT SUMMARY

SITE AREA:
LOT 3: 52,173 SF (1.20 ACRES)
LOT 4: 62,553 SF (1.44 ACRES)
114,726 SF (2.64 ACRES)

SETBACKS
FRONT: 25'
SIDE: 100'
REAR: 25'

BUILDING AREA
OFFICE: 2,500 SF
WAREHOUSE/STORAGE: 5,150 SF
7,650 SF

PARKING REQUIRED
OFFCE (50% OF OFA): 7 SPACES
WAREHOUSE/STORAGE (1/2,000 SF): 3 SPACES
10 SPACES

PARKING PROVIDED
STANDARD: 12 SPACES
ACCESSIBLE: 1 SPACE
13 SPACES

IMPERVIOUS AREA
BUILDING: 7,650 SF
PAVING: 21,414 SF
SIDEWALK: 426 SF
61,392 SF

OPEN SPACE
REQUIRED: 11,473 SF (10.0%)
PROVIDED: 85,236 SF (74.3%)

CONSTRUCTION SCHEDULE

ANTICIPATED START DATE = APRIL 2019
ANTICIPATED FINISH DATE = DECEMBER 2019

SUBMITTAL DATES

SITE PLAN SUBMITTAL #1: 03/05/2019
SITE PLAN SUBMITTAL #2: 03/27/2019

INDEX OF SHEETS

NO.	DESCRIPTION
C0.0	COVER SHEET
C1.1	TOPOGRAPHIC SURVEY/ DEMOLITION PLAN
C2.1	DIMENSION PLAN
C3.1	GRADING PLAN
C3.2	EROSION & SEDIMENT CONTROL PLAN
C4.1	UTILITY PLAN
L1.1	LANDSCAPE PLAN
A1.1	BUILDING ELEVATIONS

GENERAL LEGEND

PROPOSED	EXISTING
LOT LINE	SANITARY MANHOLE
PERMANENT EASEMENT	WATER VALVE BOX
TYPE SW-501 STORM INTAKE	FIRE HYDRANT
TYPE SW-513 STORM INTAKE	WATER CURB STOP
HDPE INTAKE BASIN	STORM SEWER MANHOLE
STORM APRON	STORM SEWER SINGLE INTAKE
TYPE SW-301 SANITARY MANHOLE	STORM SEWER DOUBLE INTAKE
STORM/SANITARY CLEANOUT	FLARED END SECTION
WATER VALVE	ELECTRIC POWER POLE
FIRE HYDRANT ASSEMBLY	GUY ANCHOR
SIGN	STREET LIGHT
DETECTABLE WARNING PANEL	POWER POLE W/ TRANSFORMER
SANITARY SEWER WITH SIZE	UTILITY POLE W/ LIGHT
SANITARY SERVICE	ELECTRIC BOX
STORM SEWER	ELECTRIC TRANSFORMER
STORM SERVICE	ELECTRIC MANHOLE OR VAULT
WATERMAIN WITH SIZE	TRAFFIC SIGN
WATER SERVICE	TELEPHONE JUNCTION BOX
SAWCUT (FULL DEPTH)	TELEPHONE MANHOLE/VAULT
SILT FENCE	TELEPHONE POLE
	GAS VALVE BOX
	CABLE TV JUNCTION BOX
	CABLE TV MANHOLE/VAULT
	BENCHMARK
	SOIL BORING
	UNDERGROUND TV CABLE
	GAS MAIN
	FIBER OPTIC
	UNDERGROUND TELEPHONE
	OVERHEAD ELECTRIC
	UNDERGROUND ELECTRIC
	SANITARY SEWER W/ SIZE
	STORM SEWER W/ SIZE
	WATER MAIN W/ SIZE



1-800-292-8989

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UTILITY WARNING

ANY UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY AND RECORDS OBTAINED BY THIS SURVEYOR. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL THE UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION SHOWN.



CIVIL DESIGN ADVANTAGE

3405 SE CROSSROADS DR. SUITE G, GRIMES, IOWA 50111

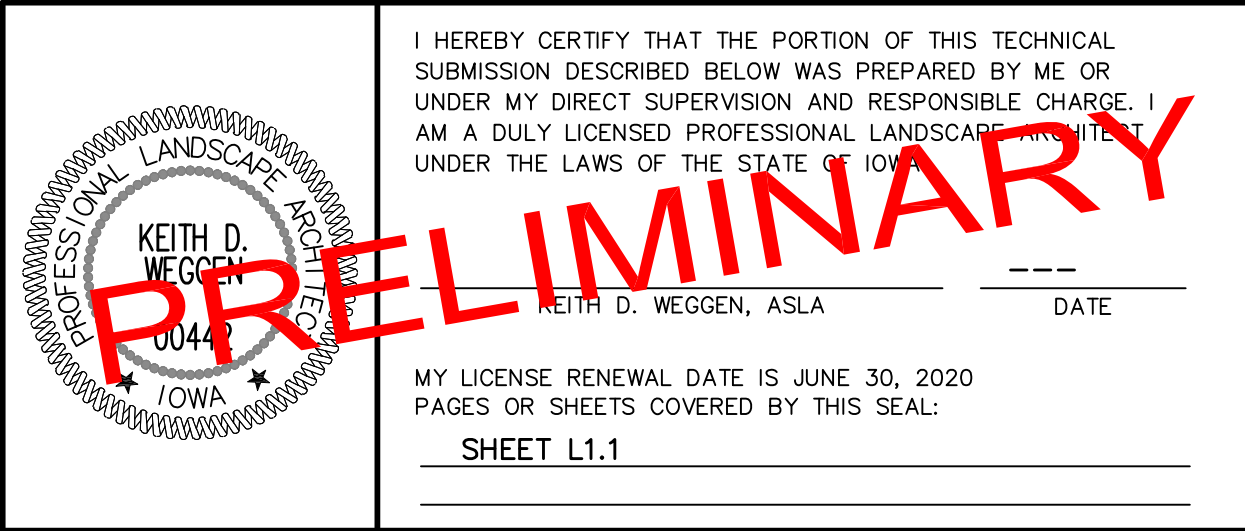
PH: (515) 369-4400 Fax: (515) 369-4410

PROJECT NO. 1901.005

THE PROJECT REQUIRES AN IOWA NPDES PERMIT #2 AND CITY OF GRIMES GRADING PERMIT. CIVIL DESIGN ADVANTAGE WILL PROVIDE THE PERMITS AND THE INITIAL STORM WATER POLLUTION PREVENTION PLAN (SWPPP) FOR THE CONTRACTORS USE DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR UPDATING THE SWPPP THROUGHOUT CONSTRUCTION AND MEETING LOCAL, STATE AND FEDERAL REQUIREMENTS.

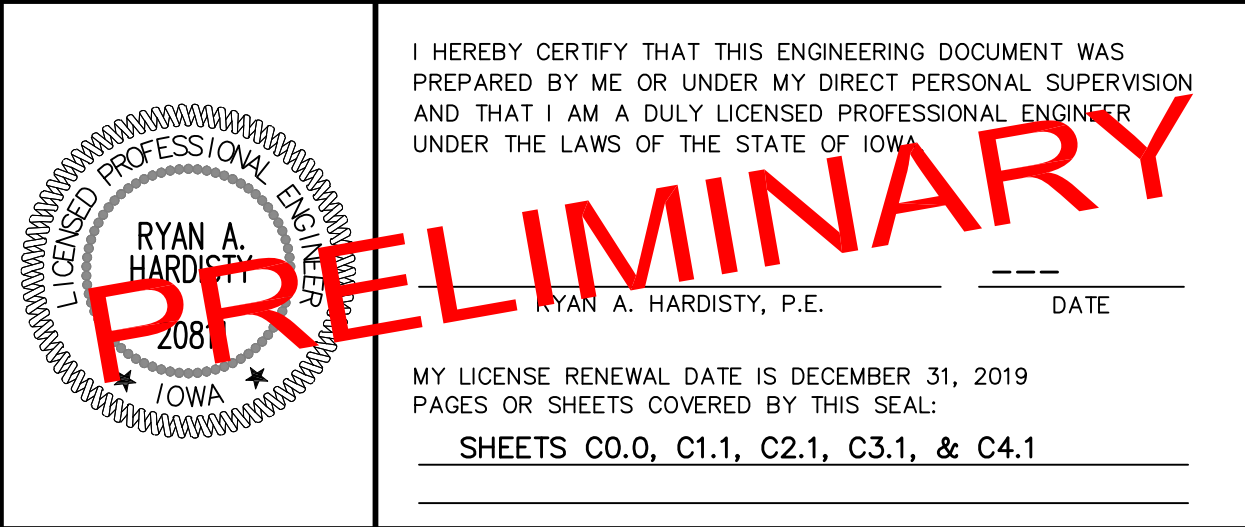
ALL CONSTRUCTION MATERIALS, DUMPSTERS, DETACHED TRAILERS OR SIMILAR ITEMS ARE PROHIBITED ON PUBLIC STREETS OR WITHIN THE PUBLIC R.O.W.

THE MOST RECENT EDITION OF THE SDAS STANDARD SPECIFICATIONS, THE PUBLIC RIGHTS-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG) AND ALL CITY SUPPLEMENTALS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.



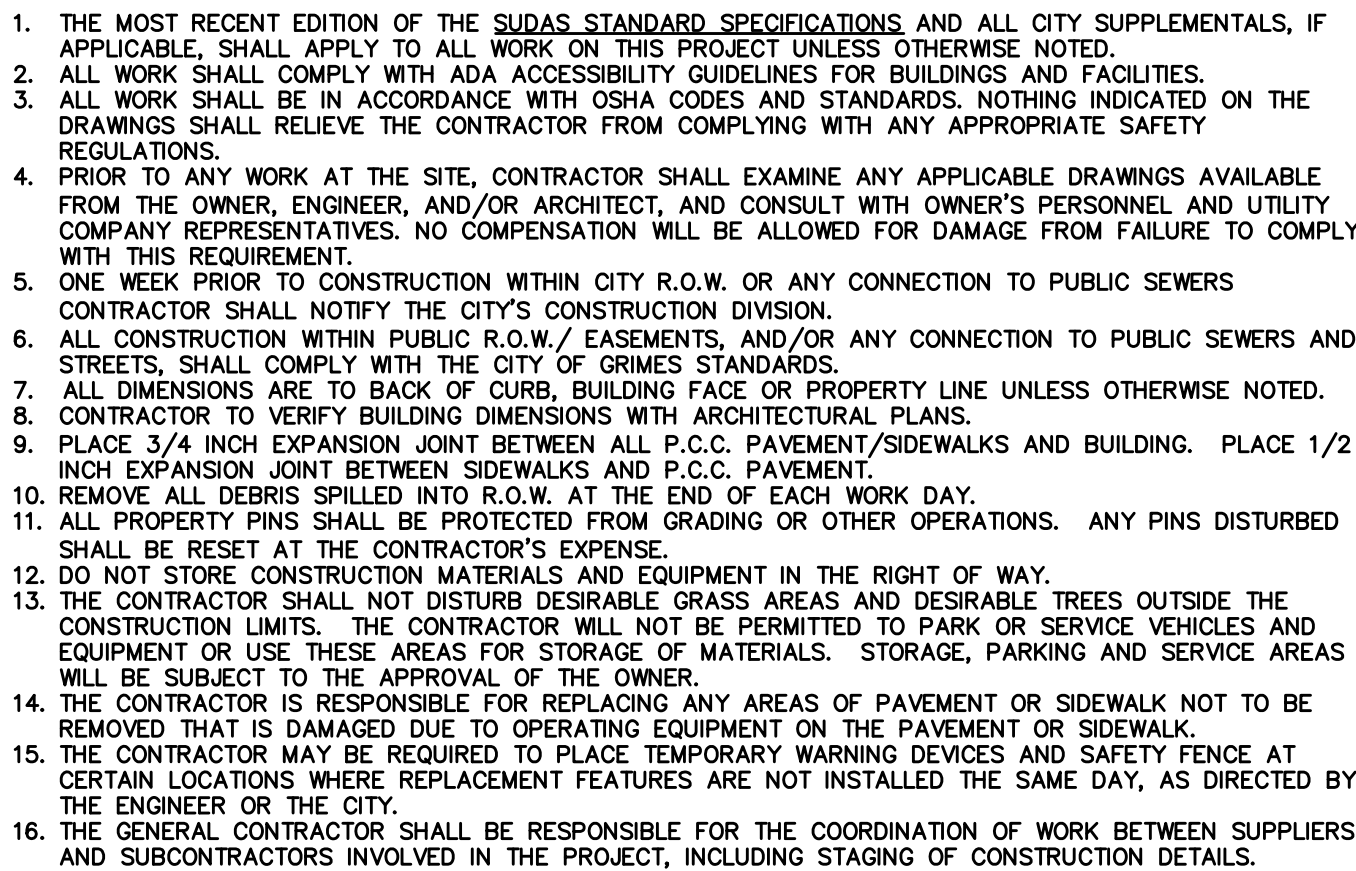
I HEREBY CERTIFY THAT THE PORTION OF THIS TECHNICAL SUBMISSION DESCRIBED BELOW WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND RESPONSIBLE CHARGE. I AM A DULY LICENSED PROFESSIONAL LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF IOWA.
KEITH D. WEGGEN, ASLA
DATE

MY LICENSE RENEWAL DATE IS JUNE 30, 2020
PAGES OR SHEETS COVERED BY THIS SEAL:
SHEET L1.1



I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.
RYAN A. HARDISTY, P.E.
DATE

MY LICENSE RENEWAL DATE IS DECEMBER 31, 2019
PAGES OR SHEETS COVERED BY THIS SEAL:
SHEETS C0.0, C1.1, C2.1, C3.1, & C4.1



1. SIDEWALKS	4" P.C.C.
2. STANDARD DUTY PAVING	6" P.C.C.
3. RIGHT-OF-WAY PAVING	8" P.C.C. OR MATCH EXISTING (WHICHEVER IS GREATER)

1. GENERAL NOTES:

a. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CURRENT VERSION OF THE URBAN STANDARDS SPECIFICATIONS FOR PUBLIC IMPROVEMENTS ON THE DATE OF APPROVAL AND THE CITY OF GRIMES SUPPLEMENTAL SPECIFICATIONS.

b. A RECORD DRAWING SHALL BE SUBMITTED AND REQUIRED PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE THIS MEETING. CONTRACT BRANDT WILLIAMSON WITH FOX ENGINEERING (515.233.0000).

c. ALL PERMITS (DNR, IDOT, ARMY CORP., ETC.) SHALL BE OBTAINED PRIOR TO THE START OF CONSTRUCTION.

d. THE DEVELOPER AND/OR CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE THE CITY OF GRIMES WITH RECORD DRAWINGS OF ALL IMPROVEMENTS AS PER CITY STANDARD PROCEDURES.

e. THE CITY OF GRIMES IS THE DEPARTMENT AND SHALL BE OBTAINED AT CITY HALL.

f. ALL SITE LIGHTING SHOULD NOT SPILL ONTO ADJACENT PROPERTIES OR RIGHT-OF-WAYS.

g. IN ZONE 1 OF THE HIGHWAY 141 MIXED USE CORRIDOR DISTRICT, ALL HEATING, VENTILATION, AND AIR CONDITIONING MECHANICAL UNITS SHALL BE SCREENED FROM PUBLIC VIEW BY AN OPAQUE FENCE OR CONSTRUCTION OF WOOD OR BRICK.

h. COUNCIL HAS APPROVED THE DUMPSITER LOCATION TO BE OUTSIDE THE 100 FOOT BUILDING SETBACK.

2. SANITARY SEWER NOTES:

a. THE CONTRACTOR IS REQUIRED TO PLACE A TEMPORARY PLUG IN THE EXISTING DOWNSTREAM SANITARY SEWER MANHOLE PRIOR TO THE START OF CONSTRUCTION. THE PLUG SHALL BE REMOVED FOLLOWING APPROVAL OF CONSTRUCTION BY THE CITY OF GRIMES.

b. SANITARY GRAVITY PIPE MATERIAL SHALL BE PVC SD 26 OR TRUSS (8" TO 15").

c. SANITARY GRAVITY SERVICE PIPE MATERIAL SHALL BE PVC SD 23.5 (4" TO 6").

d. ALL SANITARY SEWER MANHOLES SHALL HAVE STEPS.

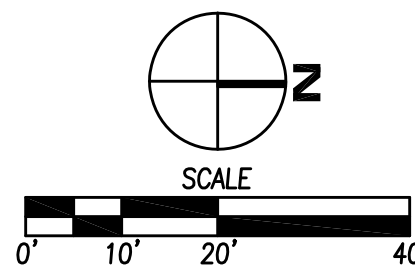
e. ALL SANITARY SEWER MANHOLES CASTINGS SHALL BE SEALED WITH INTERIOR CHIMNEY SEALS.

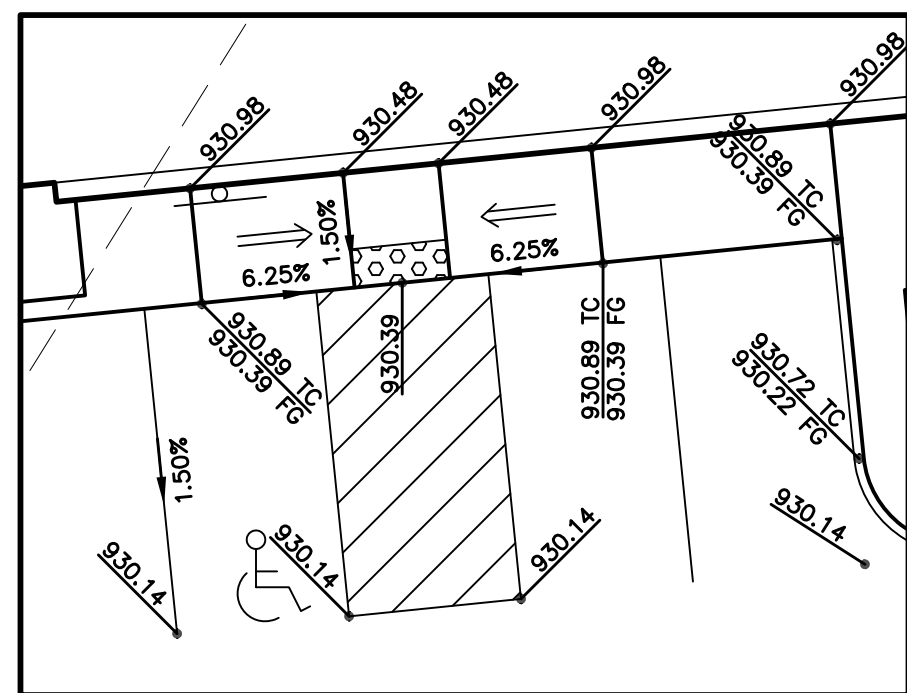
f. ALL SANITARY SEWER MANHOLE CASTINGS LOCATED WITHIN PAVEMENT SHALL BE BOXED OUT.

g. DOWNSTREAM SEWER MANHOLE CASTINGS SHALL BE SEALED AND THE MANHOLE PRIOR TO PAVING. THE SEWER SYSTEM SHALL BE FLUSHED WITH WATER PRIOR TO TELEVIEWING.

1. ALL FIRE HYDRANTS SHALL BE AMERICAN FLOW CONTROL-WATERPAC PLUMB WORKS-67-250, MUELLER SUPER CENTURION 250 (3-WAY A-423), OR CLOW MEDALLION F-2545. ALL HYDRANTS SHALL HAVE THE FOLLOWING: 6" SJ SHOE, 2-1/4" HOSE NOZZLE, 4-1/2" STEAMER NOZZLE, NUTTED RED PENNANT OUTRING NUT, 1" CAP, 6" GATE. THE MINIMUM HOSE LENGTH SHALL BE 200'. THE MINIMUM SPOOL PIPE LENGTH FROM HYDRANT TO WATER SHOCK SHALL BE 2.0".
 2. ALL HYDRANTS WILL IMMEDIATELY BE COVERED WITH A BLACK PLASTIC BAG (OR EQUIVALENT) ONCE THE HYDRANT IS INSTALLED. THE CITY OF GRIMES WILL NOTIFY THE CONTRACTOR WHEN THE BAGS CAN BE REMOVED.
 3. A TRACER WIRE RECEPTACLE SHALL BE INSTALLED AT EACH COMPANY.
 4. THE WATER SERVICE SHALL BE RESISTENT WEDGE GATE VALVE.
 5. WATER SERVICE SHALL BE 1-INCH MINIMUM TYPE K COPPER.
 6. PRESSURE TEST AND DISINFECTION OF THE WATER SERVICE/MAIN IS REQUIRED. THE FILLING OF THE WATER SERVICE SHALL BE DONE BY THE CONTRACTOR.
 7. SUBMITTAL OF TEST TO TAB SHALL BE DONE BY THE DEVELOPER AND RESULTS PROVIDED BY FAX TO US WATER AT 515-986-7300. IF THE TEST DOES NOTE PASS, THE CONTRACTOR WILL BE REQUIRED TO PAY FOR A RE-TEST. A WAIVER OF THE TEST. A COPY OF THE BACTERIA RESULTS SHALL BE SENT TO THORPE WATER DEVELOPMENT COMPANY.

- a. ALL STORM SEWER IN THE ROW SHALL BE RCP, UNLESS OTHERWISE APPROVED BY THE CITY.
- b. ALL FLARED END SECTIONS SHALL HAVE FOOTINGS AND APRON GRATES. THE LAST 3 PIPE SECTIONS AND THE FLARED END SECTION ON ALL CULVERTS SHALL BE TIED. ALL STORM SEWER JOINTS SHALL BE WRAPPED WITH ENGINEERING FABRIC.
- c. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY FIELD TILE DAMAGED DURING CONSTRUCTION. THE TILE SHOULD BE DIRECTED TO PUBLIC STORM SEWER IF POSSIBLE. THE CONTRACTOR SHALL RECORD THE ELEVATION AND LOCATION OF ALL TILES.
- d. ALL SUMP SERVICE LINES SHALL HAVE TRACER WIRE.

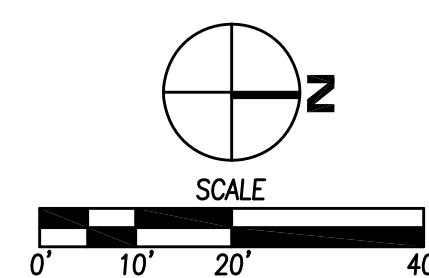




SCALE: 1"=10'

1. PRIOR TO ANY GRADING, A COPY OF THE NPDES PERMIT SHALL BE PROVIDED TO THE CITY OF GRIMES' BUILDING DIVISION.
2. THE PROJECT REQUIRES AN IOWA NPDES PERMIT #2 AND CITY OF GRIMES GRADING PERMIT. CIVIL DESIGN ADVANTAGE WILL PROVIDE THE PERMITS AND THE INITIAL STORM WATER POLLUTION PREVENTION PLAN (SWPPP) FOR THE CONTRACTORS USE DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR UPDATING THE SWPPP THROUGHOUT CONSTRUCTION AND MEETING LOCAL, STATE AND FEDERAL REQUIREMENTS.
3. CONTRACTOR SHALL STRIP ALL DELETERIOUS MATERIAL. THE TOP 6" OF TOPSOIL IS TO BE STOCKPILED AND USED AFTER GRADING IS COMPLETE. CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING A SUITABLE TOPSOIL STOCKPILE SITE.
4. EXCAVATION SHALL BE IN ACCORDANCE WITH THE MOST CURRENT EDITION OF THE SDAS STANDARD SPECIFICATIONS AND ALL CITY OF ALTOONA SUPPLEMENTALS, IF APPLICABLE.
5. ALL EXISTING ADJACENT AT PROPERTY LINES AND/OR CONSTRUCTION LIMITS.
6. ALL SPOOT ELEVATIONS ARE FORM GRADE (FG) OR TOP OF FINISHED SURFACES UNLESS OTHERWISE NOTED.
7. SITE SHALL BE GRADED TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS.
8. SLOPES IN PAVEMENT SHALL BE UNIFORM TO AVOID PONDING.
9. THE CONTRACTOR SHALL CONFINE ALL ACTIVITIES TO WITHIN THE CONSTRUCTION LIMITS AND EASEMENTS SHOWN ON THE PLANS. ANY DAMAGE TO PROPERTIES OUTSIDE THE SITE BOUNDARY SHALL BE AT THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
10. THE CONTRACTOR SHALL APPLY NECESSARY MOISTURE CONTROL TO THE CONSTRUCTION AREA AND HAUL ROADS TO PREVENT THE SPREAD OF DUST.
11. REFER TO SEPARATE STORM WATER POLLUTION PREVENTION PLAN FOR DETAILS ON EROSION CONTROL.
12. THE CATCH GRADING SHALL BE DONE BY THE ARCHITECT AND CIVIL ENGINEER, MATCH EXISTING GRADES AT THE INTERFACE OF NEW AND EXISTING GRADE, OR PAVERS.

SIDEWALKS:
MAINTAIN 1% MINIMUM AND .5% MAXIMUM LONGITUDINAL SLOPES ON ALL PAVED WALKWAYS. ALL WALKS TO HAVE 2.0% TRANSVERSE SLOPE IN THE DIRECTION OF NATURAL DRAINAGE. SAW CUT JOINTS AS SOON AS CONCRETE HAS SET. SAW CUTS TO BE 1/8" TO 1/4" DEPTH; LONGITUDINAL 1/3, TRANSVERSE 1/4.



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PLOTTED BY: NICOLE NEAL
ENG:

SUBMITTALS & REVISIONS	DATE
SUBMITTAL #2	03-27-19
SUBMITTAL #1	03-05-19

3405 S.E. CROSSROADS DRIVE, SUITE G
GRIMES, IOWA 50111
PHONE: (515) 369-4400 FAX: (515) 369-4410

ENGINEER:	TECH:
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GRIMES, IOWA

CA

CIVIL DESIGN ADVANTAGE

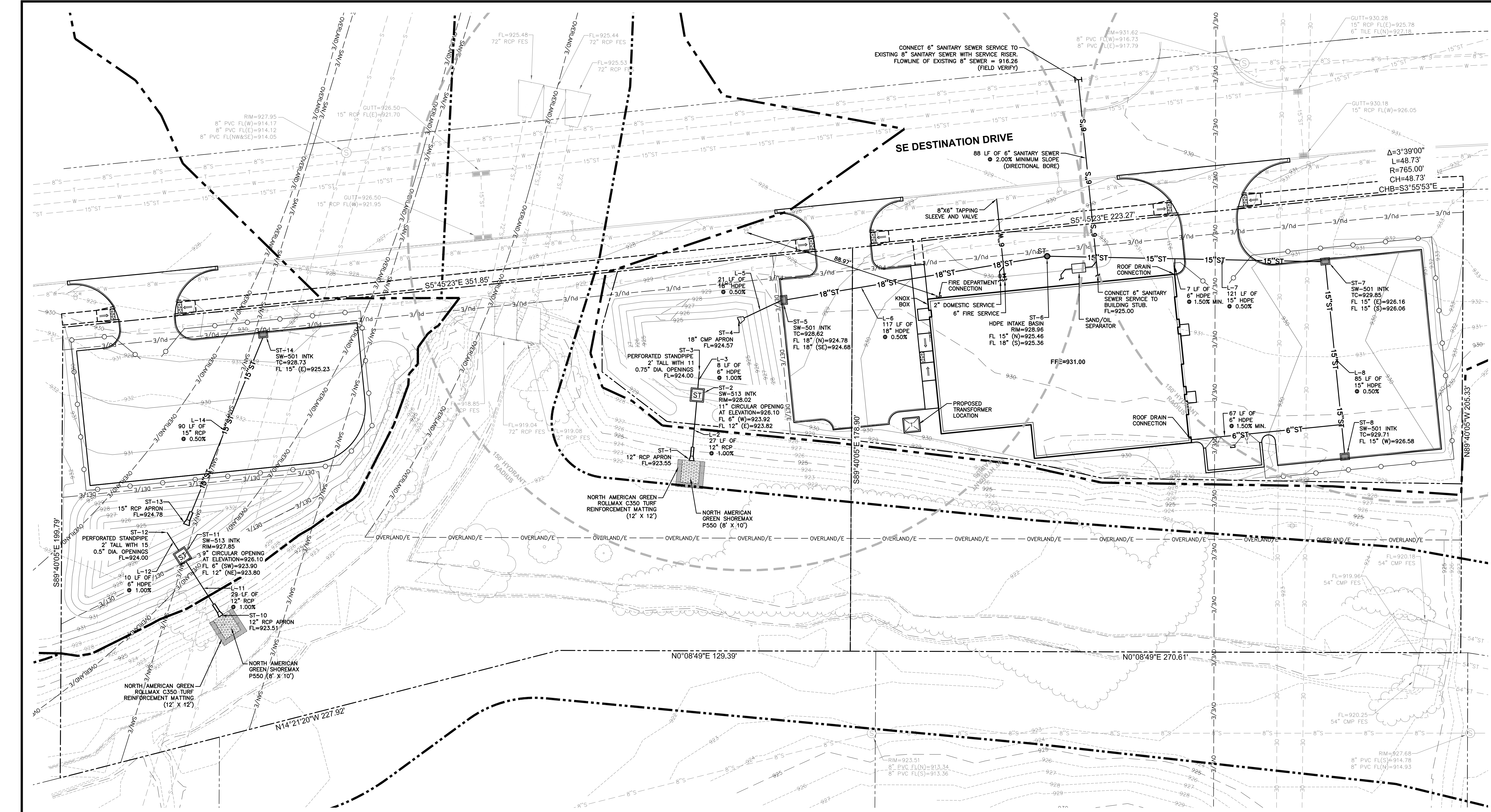
3401 SE DESTINATION DRIVE

GRADING PLAN

C3.1

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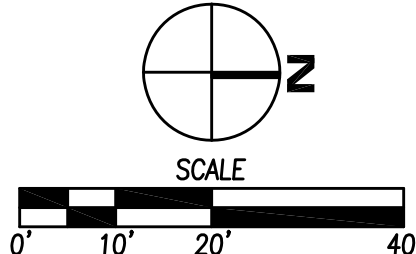
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TECH: ENG



UTILITY NOTES

1. REFER TO MECHANICAL, ELECTRICAL AND PLUMBING PLANS FOR UTILITY SERVICE SIZES AND EXACT LOCATIONS. REFER TO ELECTRICAL PLANS FOR ELECTRIC AND TELEPHONE SERVICE CONSTRUCTION DETAILS. REFER TO MECHANICAL PLANS FOR GAS SERVICE CONSTRUCTION DETAILS.
2. FIELD VERIFY ELEVATIONS AND LOCATIONS OF ALL CONNECTIONS TO EXISTING UTILITIES PRIOR TO COMMENCING CONSTRUCTION.
3. PROVIDE TEMPORARY SUPPORT FOR EXISTING UTILITY LINES THAT ARE ENCOUNTERED DURING CONSTRUCTION UNTIL BACKFILLING IS COMPLETE.
4. BACKFILL ALL UTILITY TRENCHES ACCORDING TO THE MOST RECENT EDITION OF THE SUDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS. MAINTAIN A MINIMUM OF 5.5' COVER OVER ALL WATERMAINS.
5. ALL UTILITIES SHALL BE STUBBED TO 5 FEET FROM BUILDINGS. REFER TO MEP PLANS FOR DESIGN FROM 5' OUTSIDE OF BUILDING FACE.
6. ADJUST ALL MANHOLES AND INTAKES TO FINISHED GRADES.
7. ALL SANITARY SEWER AND WATER SERVICES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY'S PLUMBING CODE.
8. 18" MINIMUM VERTICAL CLEARANCE BETWEEN STORM SEWER AND SANITARY SEWER PIPES. 18" MINIMUM VERTICAL CLEARANCE BETWEEN SANITARY SEWER AND WATER MAIN.
9. MAINTAIN A MINIMUM OF 10' HORIZONTAL SEPARATION BETWEEN SANITARY SEWER LINES AND WATER MAINS.
10. WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE, THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTORS RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATIONS AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK. THE CONTRACTOR IS REQUIRED TO UTILIZE THE UTILITY ONE-CALL SERVICE AT 800-292-8989 AT LEAST 48 HOURS PRIOR TO EXCAVATING ANYWHERE ON THE PROJECT.
11. ALL WATERMAIN WORK, PUBLIC OR PRIVATE SHALL BE DONE IN ACCORDANCE WITH THE MOST RECENT EDITION OF THE SUDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS.
12. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF WORK OF ALL SUBCONTRACTOR(S) INVOLVED IN THE PROJECT.
13. PRIVATE UTILITIES TO BE INSTALLED PER THE CITY'S STANDARD CONSTRUCTION SPECIFICATIONS FOR PUBLIC

- IMPROVEMENTS AND THE 2009 UNIFORM PLUMBING CODE. CONTACT BUILDING INSPECTION A MINIMUM OF 24 HOURS IN ADVANCE FOR UTILITY INSTALLATION INSPECTIONS.
14. OWNER IS RESPONSIBLE FOR MAINTENANCE OF PRIVATE RETENTION FACILITIES AND PRIVATE UTILITIES.
15. CONTRACTOR SHALL PREVENT ENTRY OF MUD, DIRT, DEBRIS AND OTHER MATERIAL INTO NEW AND EXISTING SEWER SYSTEMS. SHOULD ANY CONTAMINATION OCCUR DURING CONSTRUCTION, THE CONTRACTOR SHALL CLEAN AT NO COST TO THE OWNER. INSTALL SILT FENCE AT ALL PERMANENT STORM SEWER INLETS.
16. ALL LIGHT FIXTURES SHALL BE SHARP CUT-OFF AND LIGHT SHALL NOT SPILL OVER THE PROPERTY LINE.



DATE

SUBMITTALS & REVISIONS

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3401 SE DESTINATION DRIVE
UTILITY PLAN

C4.1
1901.005

TECH: ENGINEER:

GRIMES, IOWA

CIVIL DESIGN ADVANTAGE

3401 SE DESTINATION DRIVE, SUITE G
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PHONE: (515) 369-4400 FAX: (515) 369-4410

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TECH: ENGINEER:

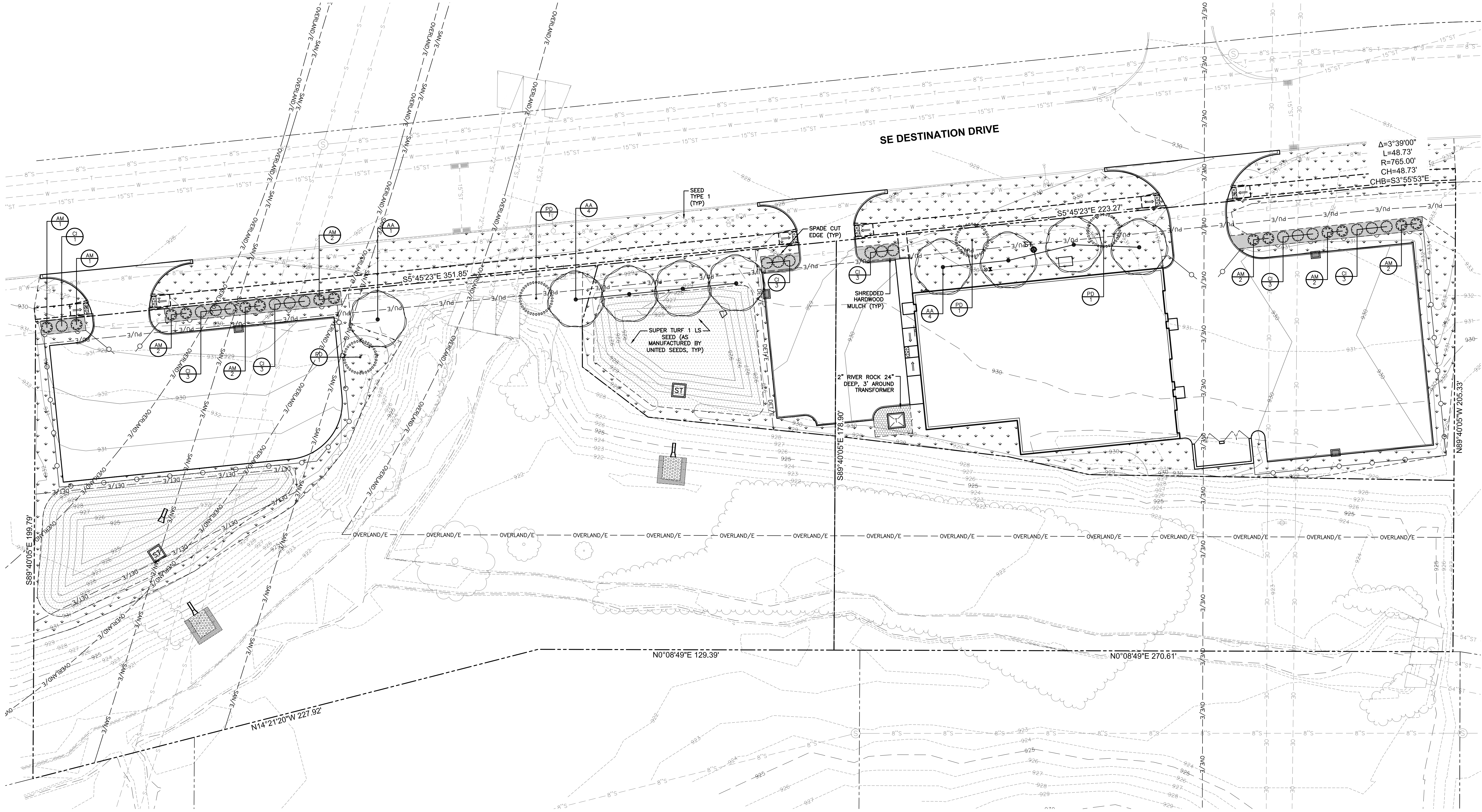
GRIMES, IOWA

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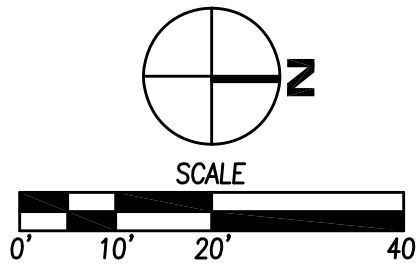
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LANDSCAPE NOTES

1. LOCATE ALL UTILITIES BEFORE ANY PLANTING BEGINS.
2. THE MOST RECENT EDITION OF THE SUDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.
3. TYPE, SIZE, AND QUALITY OF PLANT MATERIAL SHALL CONFORM TO THE MOST CURRENT EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1
4. ALL PLANT MATERIAL SHALL BE HEALTHY SPECIMENS WITHOUT DEFORMITIES, VOIDS AND OPEN SPACES, WITH WELL DEVELOPED BRANCH AND ROOT SYSTEMS; TRUE TO HEIGHT, SHAPE AND CHARACTER OF GROWTH OF THE SPECIES OR VARIETY.
5. SEED (TYPE 1) ALL DISTURBED AREAS AS DIRECTED BY OWNER.
6. BACKFILL TO TOP OF CURB. (MINUS 1 1/2\"/>

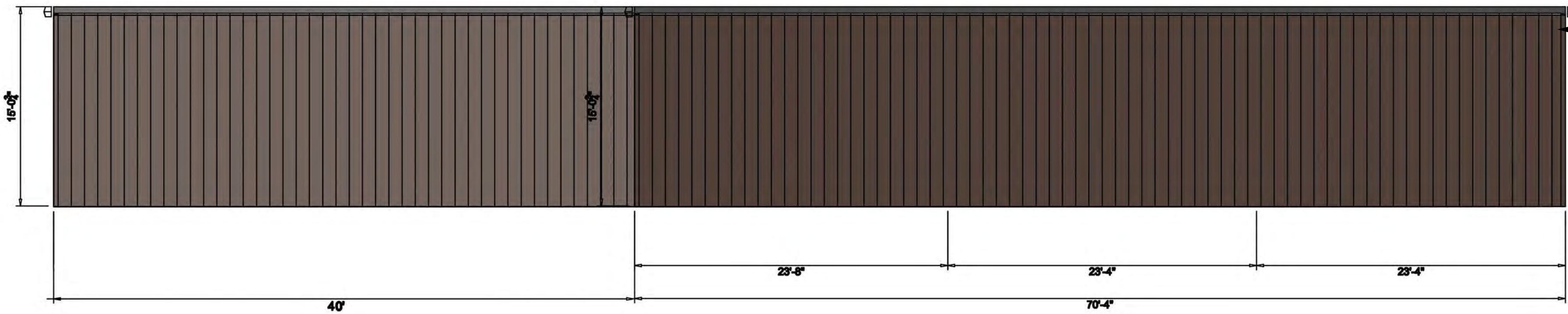
PLANT SCHEDULE SITE PLAN				
DECIDUOUS TREES	QTY	COMMON NAME	BOTANICAL NAME	CONT
AA	9	AUTUMN BLAZE RED MAPLE	ACER RUBRUM 'AUTUMN BLAZE'	B&B, 2\"/>
EVERGREEN TREES	QTY	COMMON NAME	BOTANICAL NAME	CONT
PD	4	BLACK HILLS SPRUCE	PICEA GLAUCA 'DENSATA'	B&B, 6\"/>
SHRUBS	QTY	COMMON NAME	BOTANICAL NAME	SIZE
AM	14	GLOSSY BLACK CHOKEBERRY	ARONIA MELANOCARPA ELATA	3 GAL
CI	19	TATARIAN DOGWOOD	CORNUS ALBA 'IVORY HALO'™	3 GAL



BUILDING ELEVATIONS FOR:

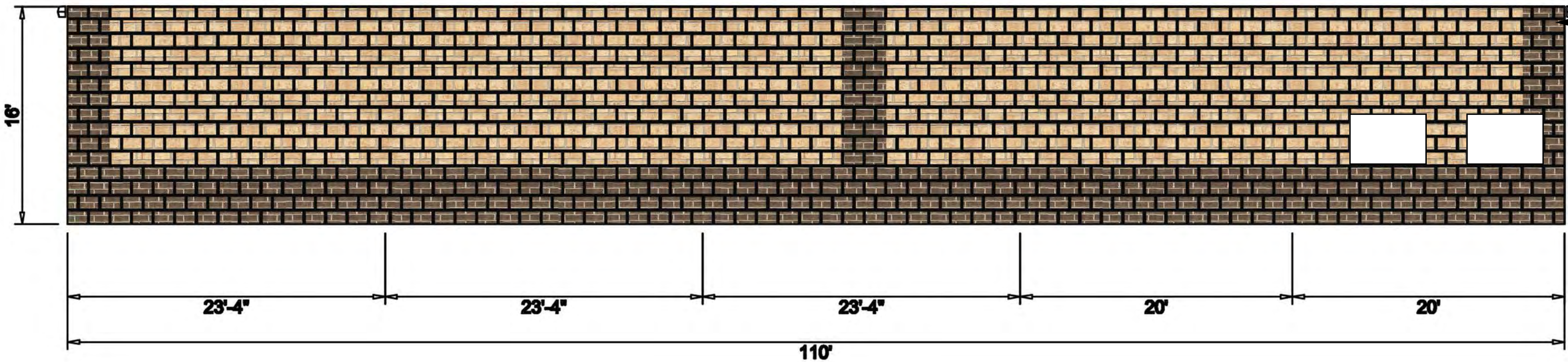
3401 SE DESTINATION DRIVE

GRIMES, IOWA



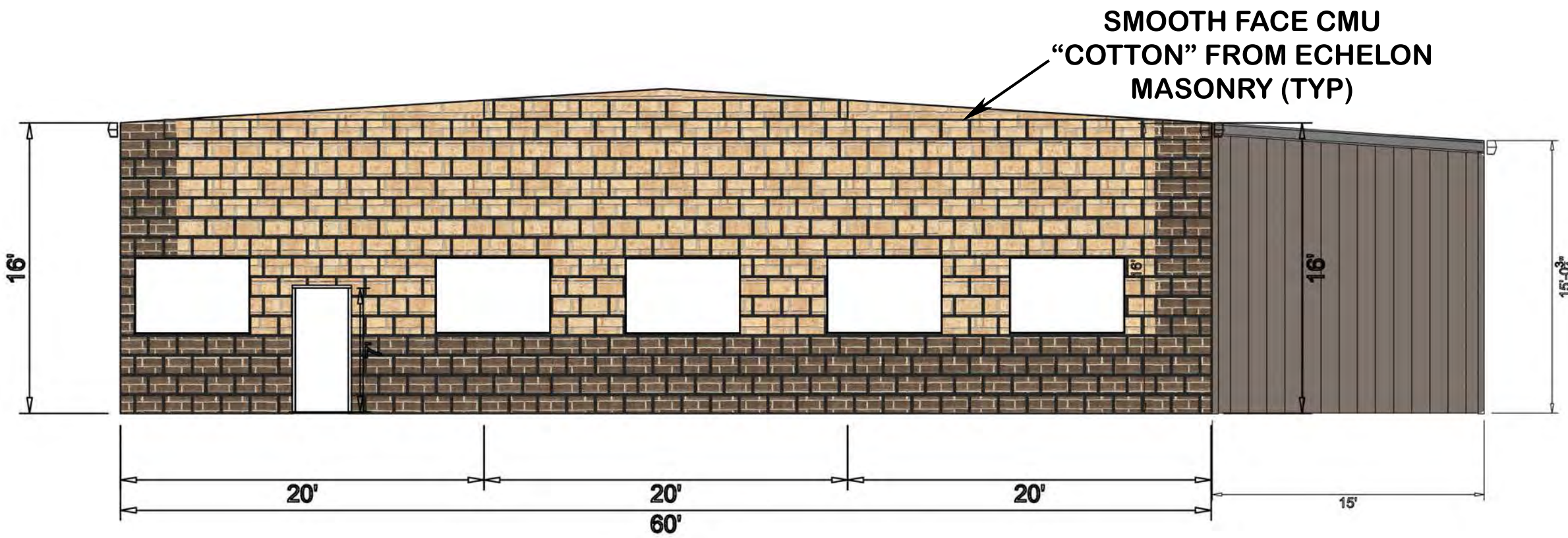
METAL PANEL
"KOKO BROWN" FROM
STAR BUILDING SYSTEMS

**EAST BUILDING
ELEVATION**
(100% METAL)



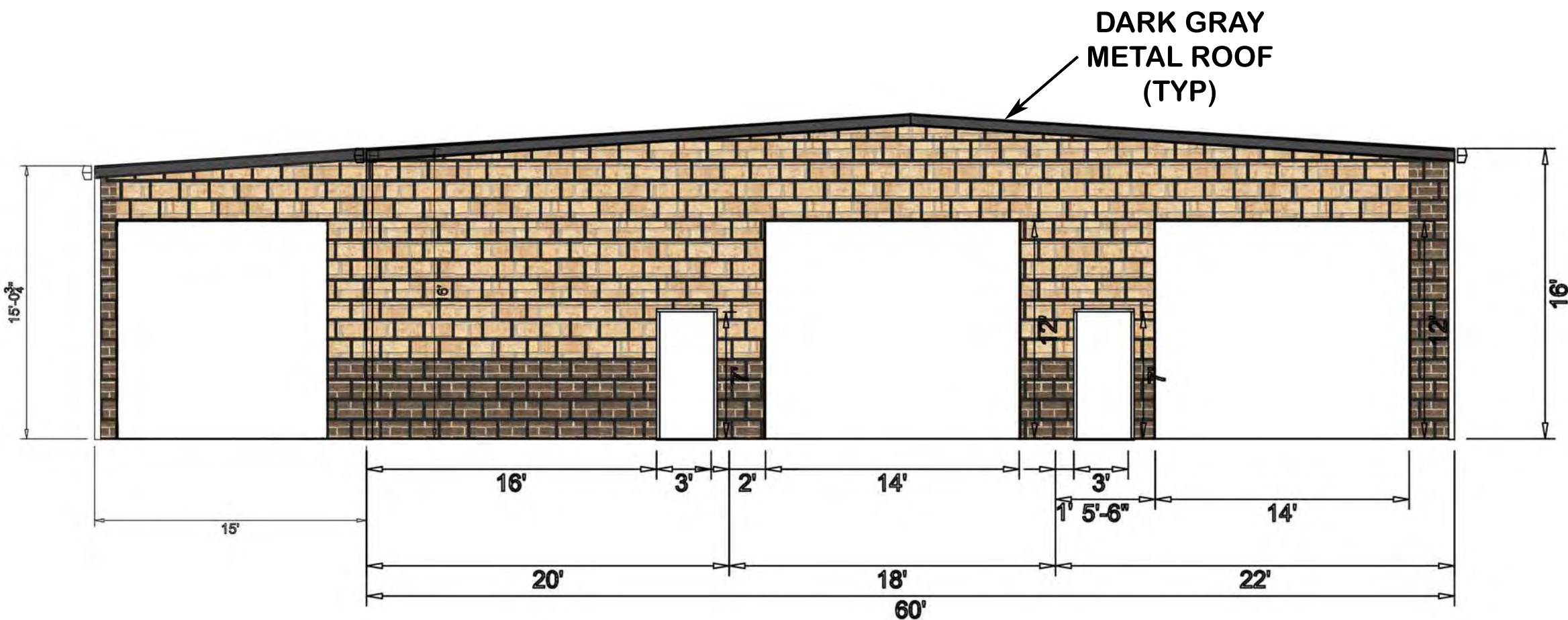
SPLIT FACE CMU
"CHOCOLATE" FROM
ECHELON MASONRY
(TYP)

**WEST BUILDING
ELEVATION**
(100% BRICK)



SMOOTH FACE CMU
"COTTON" FROM ECHELON
MASONRY (TYP)

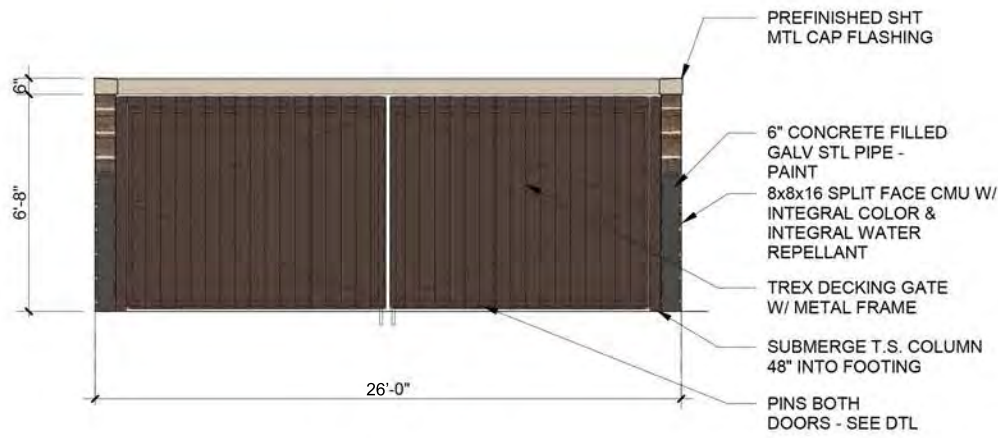
**SOUTH BUILDING
ELEVATION**
(80% BRICK & 20% METAL)



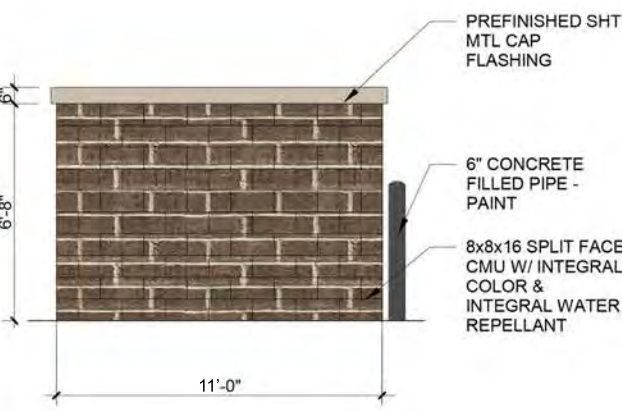
DARK GRAY
METAL ROOF
(TYP)

**NORTH BUILDING
ELEVATION**
(100% BRICK)

TRASH ENCLOSURE



TRASH ELEVATION



TRASH SIDE ELEVATION