

1. Agenda

Documents:

[030519 PZ AGENDA AMEND1.PDF](#)

2. Meeting Materials

Documents:

[030519 PZ PACKET.PDF](#)



Planning and Zoning Commission

March 5, 2019

Agenda

Grimes City Hall

5:30 P.M.

AGENDA

A. GENERAL AGENDA ITEMS

1. Call to Order
2. Roll Call: Amy Montford, Craig Patterson, Scott Almeida, Danielle Smid, Courtney Strutt Todd
Council Liaison Jill Altringer
3. Approval of the Agenda
4. Approval of Previous Minutes

B. PUBLIC AGENDA ITEMS

1. Preliminary Plat for Mustang Ridge Plat 1
2. Communication Data Link Site Plan Review

C. PUBLIC FORUM

D. REPORTS

1. Building Administrator Update
2. Zoning Administrator
3. Council Liaison Update
4. Old Business
5. New Business

E. ADJOURNMENT



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E. ADJOURNMENT



101 NE Harvey Street, Grimes, Iowa 50111 515.986.3036 Fax 515.986.3846

This meeting of the Grimes Planning and Zoning Commission was called to order on Tuesday February 5, 2019 at 5:38 P.M. at Grimes City Hall.

Roll Call: Present: Alex Pfaltzgraff, Scott Almeida, Craig Patterson, Council Liaison Jill Altringer, Building Administrator Scott Clyce, and City Engineer John Gade. Absent: Amy Montford, Danielle Smid,

A. GENERAL AGENDA ITEMS

1. APPROVAL OF THE AGENDA

Motion by Patterson, Second by Pfaltzgraff, to approve the agenda noting that items D, E & F be moved to the front of the agenda items.

Roll call: Ayes-All; Nays-0 Motion passes: 3-0

2. APPROVAL OF THE MINUTES

Motion by Pfaltzgraff, Second by Patterson, to approve the minutes from the January 3, 2019 meeting.

Roll call: Ayes-All; Nays-0 Motion passes: 3-0

B. PUBLIC AGENDA ITEMS

Item A moved from Item D. Dallas Center Grimes Plat 1 Preliminary Plat

Joel Jackson, Bishop Engineering, 3501 104th Street Des Moines IA addressed the board on behalf of Dallas Center Grimes School District to present plans for the new middle school. Jackson stated that they are proposing a new 7th and 8th grade facility to be located on 50 acres west of Grimes on SW County Line Road. Jackson said the site would have two separate parking lots with a total of 230 parking spaces. Jackson said for athletic amenities they will have an 8 lane running track and natural grass field and space for bleachers and two soccer fields on the north side of the track and eight tennis courts. He added there will be room to expand the building in the future on the south and west side of the school. City Engineer Gade stated that as part of this project, the city has entered into a developer's agreement with the school to install a sanitary sewer system to the property for the school to hook up to. He added that the city is also providing a 16 inch water main along SW Countyline Road as well as paving and infrastructure along SW Countyline Road. Gade said the final design had not been decided on yet and they are evaluating the benefits of adding both left and right turn lanes or installing round-a-bouts at the entrances to the school. Gade said that final decision could alter the final plat depending on the easements that would be needed depending on which improvements they decide to install. Gade also said a 10 foot trail would be installed along the east side of the project.

Motion by Patterson, Second by Pfaltzgraff to approve the Dallas Center Grimes Plat 1 Preliminary Plat per the FOX Engineering letter dated January 29, 2019.

Roll Call: Aye: All, Nay: 0 Motion Passes 3-0

Item B moved from Item E. Dallas Center-Grimes Plat 1 Final Plat

No additional comments were made.

Motion by Patterson, Second by Pfaltzgraff to approve the Dallas Center Grimes Plat 1 Preliminary Plat per the FOX Engineering letter dated January 29, 2019.
Roll Call: Aye: All, Nay: 0 Motion Passes 3-0

Item C moved from Item F. Dallas Center-Grimes Middle School-Site Plan

Dave Briden, FRK Architects, 2600 Westown Parkway, West Des Moines addressed the board with architectural details for the school. Briden stated there are several materials they are proposing for this building. First, a dark faced brick, and cast stone panel that will match a pre-cast sandblasted sand stone finish. He said there would be a series of aluminum composite panels in two colors combined with vertical windows and ribbed metal prefinished steel panels that would sit above the cast stone and a panel of red aluminum composite that would contain the signage for the school. Briden stated that the roof mechanicals would be screened by color coordinated panels. Council Liaison Altringer asked for more information about the parking lot design. Joel Jackson replied that having two separate parking lots would help ease congestion between bus traffic and car traffic. He added that while there is no open connection for regular traffic between them, they have designed it so that emergency vehicles can still pass between the two lots if needed. Jackson noted that the large volume of parking spaces is planned to accommodate event parking. Discussion continued regarding the landscaping to provide screening for a wet bottom detention pond on the north east portion of the parcel as well as providing a wind break for the tennis and soccer courts. Pfaltzgraff asked if there was landscaping or berms planned to minimize any issues with the lighting from the track affecting the future potential residential development to the west. Discussion also continued regarding the detention pond. Jackson stated the pond will be 12 feet deep and have two fountains to ensure aeration. Jackson also noted the open courtyard areas within the school and discussed how they intend to have several outdoor learning centers located in those open areas. City Engineer Gade advised the board that a traffic study had been performed on SW Countyline Road about the potential for stoplights at the school intersections. Gade stated that the study did not foresee the need for lighting, but did recommend either turn lanes or roundabouts to facilitate traffic flow.

Motion by Patterson, Second by Pfaltzgraff to approve the Dallas Center-Grimes Middle School Site Plan per the FOX Engineering letter dated January 29, 2019 with the request for additional berms or landscaping to be considered in the future between the athletic areas and adjacent property.

Roll Call: Aye: 3, Nay: 0 Motion passed 3-0

Item D moved from Item A. Walmart Site Plan Revision-Building Color Revisions

Dan Backstrom, SGA Design Group, addressed the Board on behalf of Walmart. Backstrom reviewed the previously discussed Walmart process where the stores are updated periodically with both internal and external updates. Backstrom stated that since the previous review, they have made a few adjustments and would like to submit their revised proposal. He added the new branding colors consist of several shades of grey, and a blue background to the signage and the orange is used to clearly designate pick-up locations. Backstrom stated that due to the current brown shades on the existing building, as well as trying to work with the city codes, the company has decided to forgo adding the grey tones and some of the orange accents and are asking instead for approval to use a 3M film product in the company blue color on the wall behind the name on the front of the building along Highway 44 and use the orange to clearly identify the existing canopy located at the designated pick-up area. City Engineer Gade said that he had reviewed the signage requirements and determined that the blue color behind the logo would be considered as part of the national branding signage. Gade also discussed the colors and usage proposed with several surrounding metro cities and determined that there was not any concern about the proposed changes meeting the code requirements.

Motion by Pfaltzgraff, Second by Patterson, to approve the Walmart site plan building color revision.

Roll call: Ayes-3, Nay-0. Motion passes: 3-0

Item E moved from Item C. Public Hearing request from Justin Frampton to rezone 6.3 acres located at 8021 NW 142nd Street from A-1 Agricultural property to R-1 Single family

Justin Frampton, 2408 NW Springbrook Drive addressed the board stating that he understood that when this land had been annexed into the city, the lot size did not meet the minimum requirement to be considered Agricultural and that the next option was to make it R1 Single Family zoning instead. City engineer Gade stated that this property currently consists of one single family home on a little over 6 acres. Gade said that to be zoned Agricultural, it would need to be 10 acres or more to fit that zoning. Gade added that it is the owner desire to split the acreage into two single family lots and to build a second home on the northern portion. Gade also noted that there is currently no sanitary sewer or water main available to this location at this time, but that would be installed in the future as development dictates. Gade said that the developer proposes as part of this rezone would be to hook up to the existing Xenia water line at this time and voluntarily convert to the city system when that becomes available. Gade added that the developer proposed to enter into an agreement with the City to address the maintenance and upkeep of the greenspace between the two lots. Gade noted that while the current comprehensive plan also shows a trail to be extended along the greenspace, he expressed concern about the location along the creek bed and that a trail in this location would have an unprotected mid-block road crossing as it goes across NW Countyline Road. Gade stated that possibly adjusting the trail to loop a little farther south, would allow for an intersection crossing which is considered safer and should be considered for future planning. Council Liaison Altringer and board member Patterson asked about the safety of driveways entering onto Countyline Road as that area continues to develop. Gade stated the entrances would be located over 300 feet apart and that is deemed to be a standard and safe distance apart.

Board Chair Almeida opened the Public Hearing at 6:45pm.

Resident Ben Fox supplied a letter, and Brenda Weeter, 2502 NW Rockwood Lane and John Nickell, 1712 NW 26th Lane addressed the board stating that they believed that area was not going to be developed when they purchased their lots and wanted the area to remain green space and natural habitat. Weeter also expressed concern about septic system usage in the proximity of the creek. City Engineer Gade said there is space to allow for a system, and Polk County had all the requirements in place to ensure such a system would be in compliance and the property would convert to the City system as soon as that would be available.

Board Chair Almeida closed the Public Hearing at 6:54.

Motion by Patterson, Second by Pfaltzgraff to approve the rezone of 6.3 acres located at 8021 NW 142nd Street from A-1 A to R-1.

Roll Call: Patterson & Almeida Aye; Pfaltzgraff- Nay Motion passes 2-1

Item F moved from Item B. Consideration of Approval of Plat of Survey for Justin Frampton

Justin Frampton, 2408 NW Springbrook Drive addressed the board requesting approval to divide the lot at 8021 NW 142nd Street into two single family lots. Frampton stated that one home already exists on the south portion of the lot, and he is proposing to divide the lot in half to create another single family home lot on the north portion. Frampton said he will work with City staff and attorneys to create a development agreement that will outline the easements, right of ways, and responsibilities of the owners including a future sidewalk to be installed by the owners at that time. Frampton stated it is his intent to keep the lot as natural as possible. City Engineer Gade said all the necessary easements, dedications, rights-of-way as well as the requirement to join the City water and septic system when it becomes available. Gade stated that the easements would be dedicated to the City in a separate document.

Motion by Patterson, Second by Pfaltzgraff to approve the rezone of 6.3 acres located at 8021 NW 142nd Street from A-1 A to R-1 with the recommendation to include a 30-35 foot green space buffer along the north portion of the lot.

Roll Call: Aye-All; Nay-0 Motion passes 3-0

G. Consideration of Plat of Survey for Hope K. Farms Development located southwest of County-Line Road and West 1st Street in Dallas County

Emily Harding, Civil Design Advantage, 3405 SE Crossroads Drive addressed the board on behalf of Hope K. Farms. Harding stated the purpose of this plat of survey is to create the lot to transfer ownership to the Dallas Center Grimes Schools to use for the new middle school site.

Motion by Pfaltzgraff, Second by Patterson to approve the Plat of Survey for Hope K. Farms Development located southwest of County Line Road and West 1st Street in Dallas County per the FOX letter dated January 30, 2019.

Roll Call: Aye- 3; Nay-0 Motion passes 3-0

8. Review of Amended Ordinances for Review and Comment

C. PUBLIC FORUM - None

D. Reports

a. Building Administrator Update

Building Administrator Clyce stated there had been 6 single family and 3 commercial permits in January. He stated that he had also provided the full annual report on building permits for 2018.

b. Zoning Administrator Report- Gade discussed the various ordinances that were being reviewed for updates and asked if there were any comments or concerns from the board.

c. Council Liaison Update- None

d. Old Business- None

e. New Business- Board Member Alex Pfaltzgraff stated that he has accepted the position of Development Services Director for the City of Grimes and would not be able to remain on the Board.

f. A Next meeting March 5, 2019

Meeting is adjourned at 7:26 pm

Signature

February 28, 2019

**Planning & Zoning Commission
Mayor & City Council**

City of Grimes
101 NE Harvey Street
Grimes, Iowa 50111

Mustang Ridge Plat 1 – Preliminary Plat

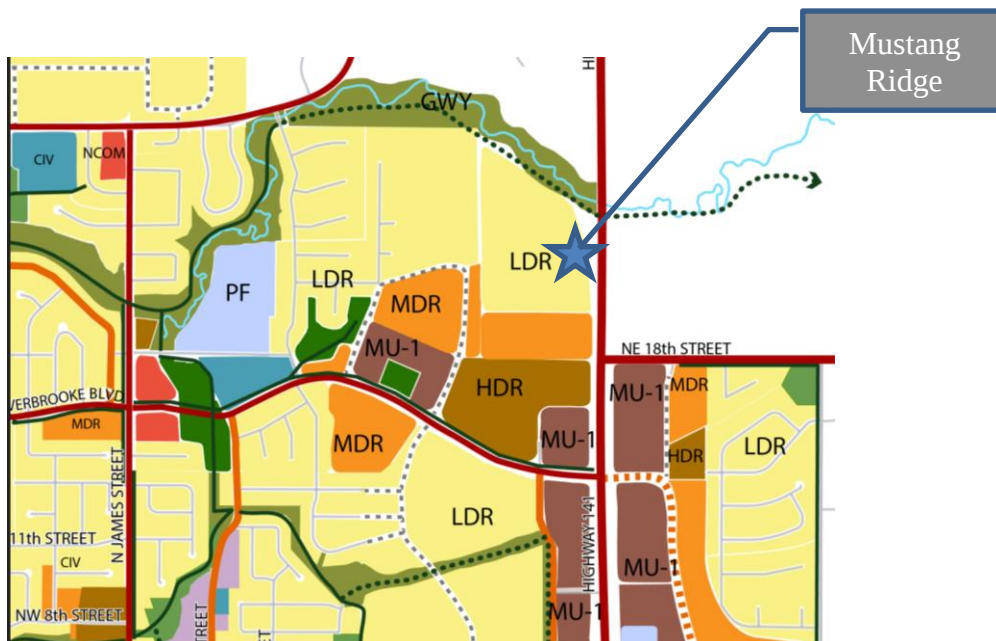
Polk County, IA
FOX Ref No: 8630-18C.201

FOX Engineering and City Staff have completed the first review for the Mustang Ridge Preliminary Plat dated December 5, 2018. Please address the following comments:

SUMMARY:

The Developer has designated this area “Mustang Ridge Plat 1”. The existing parcel is currently outside the City of Grimes corporate limits, but within the 2-mile annexation limits. The proposed preliminary plat request consists of Lot 1 (7.84 acres for one large estate lot) and Outlot X consisting of 21.89 acres. This area is generally located northeast of the Heritage at Grimes Development, being north of NE Station Crossing and the Heritage Apartments, east of NE Heritage Drive, and west of Highway 141.

The Grimes Land Use Plan designates this area as LDR (Low Density Residential), therefore the proposed land use for an estate lot is consistent with the Grimes Land Use Plan. See the proposed Land Use Plan below:



The existing zoning classification in Polk County for this property is Low Density Residential. The following are existing zoning classifications adjacent to this plat:

- West: Low Density Residential (Polk County)
- North: Low Density Residential (Polk County)
- South: Low Density Residential (Polk County)
- East: The zoning along the east side of Highway 141, across from this development is Mixed Use and Estate Residential (Polk County).

There is an existing sanitary sewer (8-inch) stub street of NE 21st Street (with capacity of up to 70 gpm). There is sufficient downstream sanitary sewer capacity to service the proposed plat. Lot 1 cannot be served by gravity sewer due to topography and will need to have a private septic system or a grinder pump (lift station) and force main to discharge into the existing gravity sewer system. If Lot 1 desires to connect onto the City of Grimes Sanitary Sewer System, a Development Agreement will be necessary for this Polk County lot to connect to the Grimes system.

There is an 8-inch water main available for connection at the existing east end of NE 21st Street and along the north side of NE Station Crossing. A proposed 6-inch water main (minimum) will be required to service this lot for domestic water service and fire protection. Lot 1 will likely have their own private water well and not connect onto City of Grimes Water System since the parcel will be in the County. If Lot 1 desires to connect onto the City of Grimes Water System, a Development Agreement will be necessary for this Polk County lot to connect to the Grimes system.

It is assumed that the proposed storm sewer will discharge directly into the existing intermittent stream channel adjacent to the development and/or HWY 141 ROW. The subject parcel will have its own storm water detention. It is unknown whether gas, phone, and electrical is available to this site.

The Parks & Trail Plans do not show any proposed parks or trails within the proposed preliminary plat. It is assumed that Outlot X will eventually be annexed into the City of Grimes and parkland dedication will be addressed during the platting process. Lot 1 is planned to remain in Polk County and Grimes ordinance does not require trails and/or parkland dedication for Polk County Developments. Lot 1 is not proposing to a trail and/or sidewalk connection to the City of Grimes due to existing terrain, cost, and Polk County does not require sidewalks.

The preliminary plat is within the City of Grimes planned annexation area. The City of Johnston has plans to annex the adjacent property to the east, thus making this parcel an “island” which is not allowed per Iowa Code. The Mustang Ridge Developer had previously submitted a development and annexation concept plan which included this lot within the city limits. The Developer has recently entered into a Development Agreement with the City of Grimes regarding future annexation.

PRELIMINARY PLAT SCHEDULE:

PLANNING & ZONING:	March 5, 2019 at 5:30 pm at the Grimes City Hall
COUNCIL MEETING:	March 12, 2019 at 5:30 at the Grimes City Hall

If you have any questions or concerns, please contact John Gade at (515) 233-0000.

FOX ENGINEERING ASSOCIATES, INC.

John Gade, P.E.

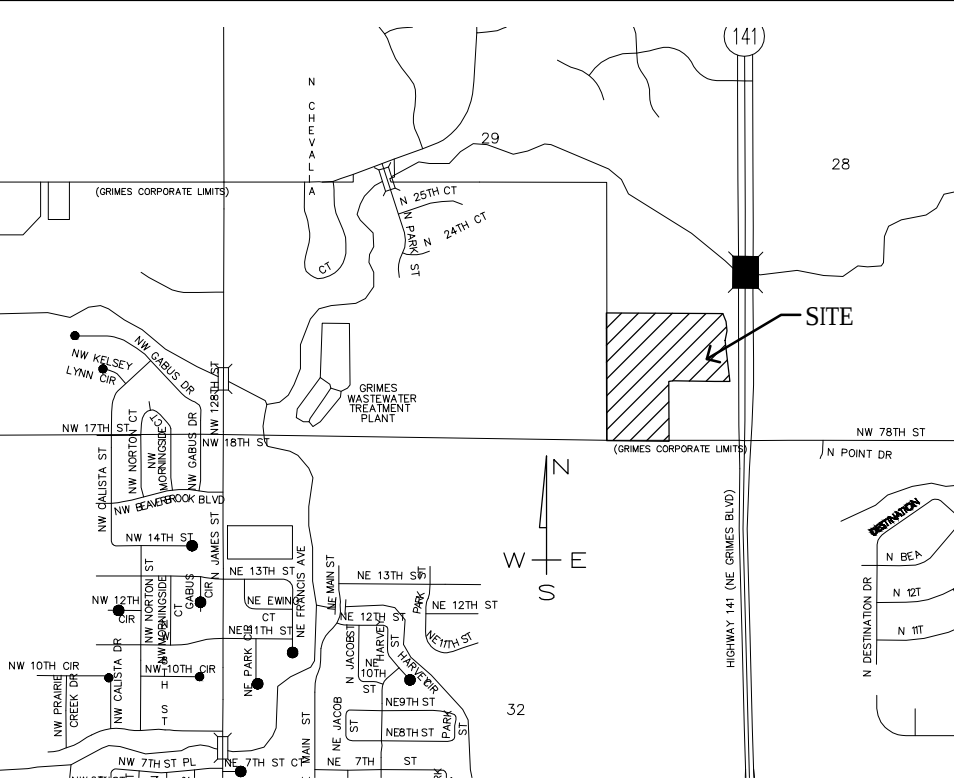
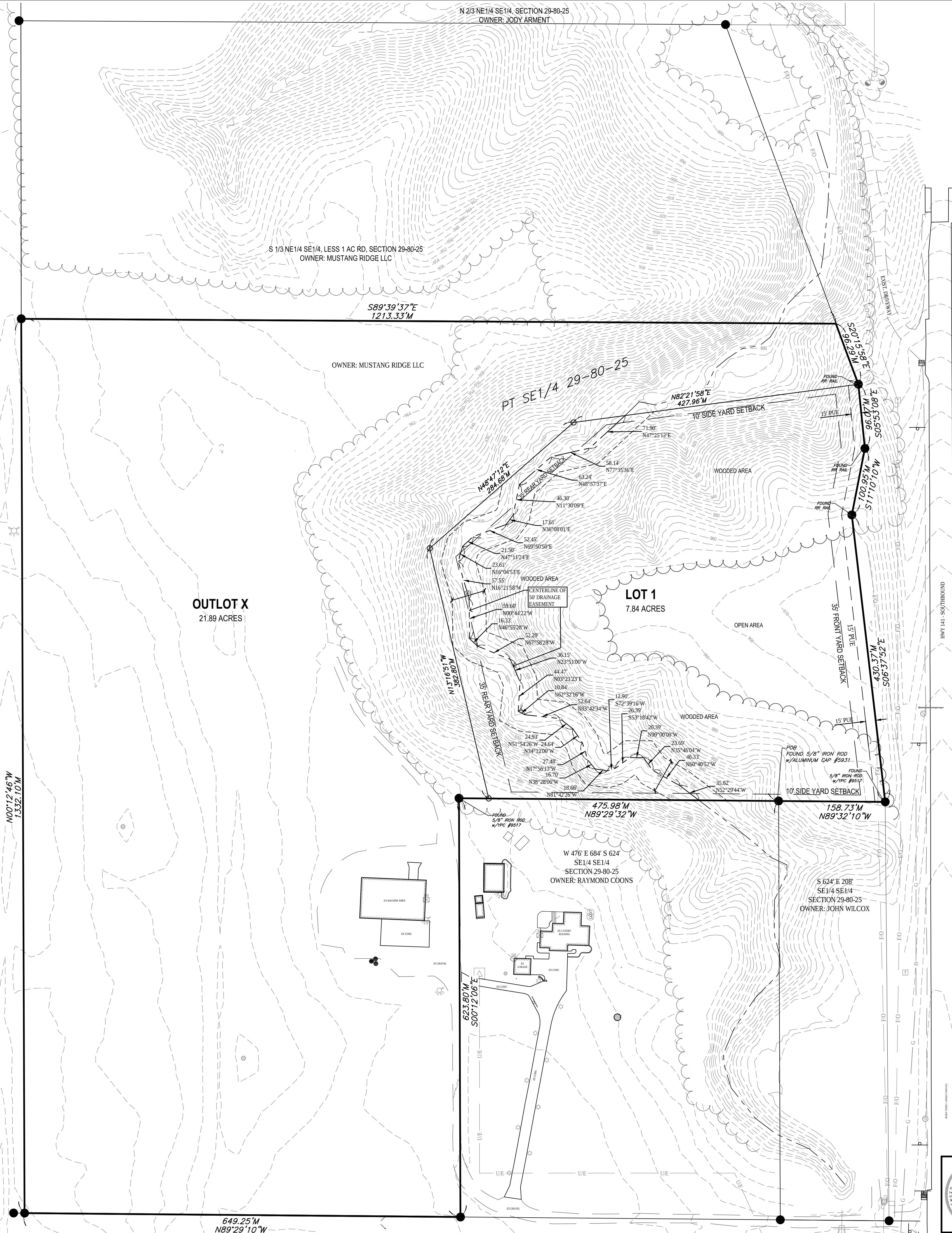
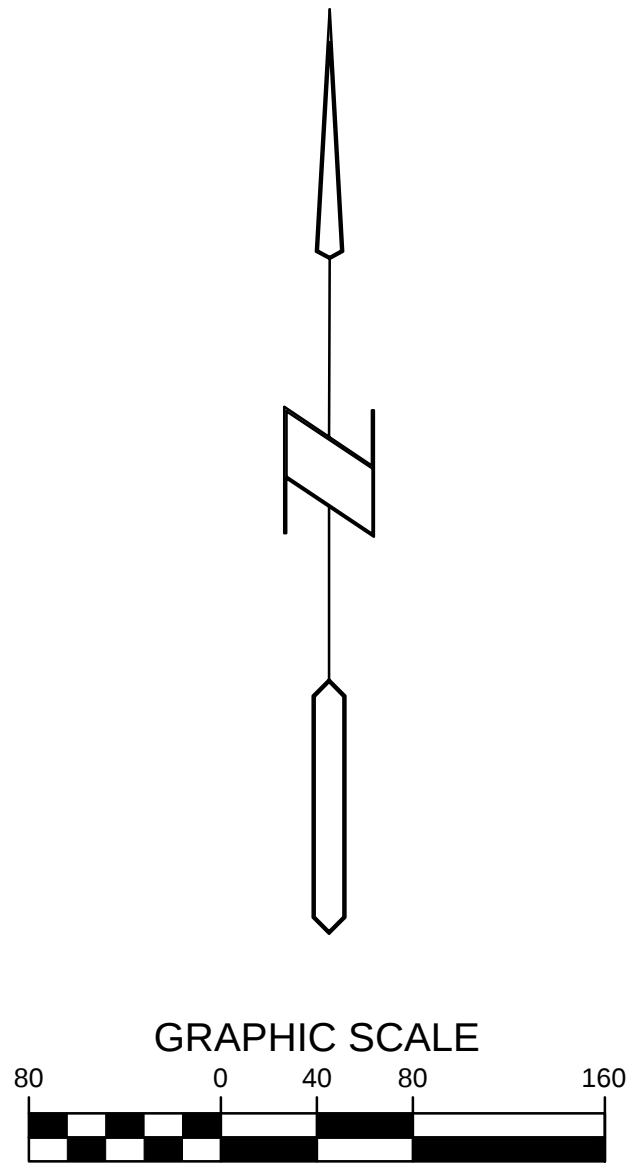
John Gade, P.E.

Copy to: *Jake Anderson, City Administrator*
Jennifer Ellison, Planner - Public Works - Polk County



MUSTANG RIDGE
PLAT 1
PRELIMINARY PLAT

12/6/2018 11:09:31 AM McLAND PROJECTS 2016160408DWGPRELIM PLAT POLK COUNTY 80 SC.DWG



PROPERTY DESCRIPTION:

AN IRREGULAR SHAPED PORTION OF THE SOUTHEAST QUARTER OF SECTION 29, TOWNSHIP 80 NORTH, RANGE 25 WEST OF THE 5TH P.M., POLK COUNTY, IOWA IS DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHWEST CORNER OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 29; THENCE N00°12'46"W ALONG THE WEST LINE OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 29, A DISTANCE OF 1332.10 FEET TO THE NORTHWEST CORNER OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 29; THENCE S89°39'37"E ALONG THE NORTHLINE OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 29, A DISTANCE OF 1213.33 FEET TO THE WEST RIGHT OF WAY LINE OF IOWA HIGHWAY 141 AS IT IS PRESENTLY ESTABLISHED; THENCE S20°16'01"E ALONG SAID WEST RIGHT OF WAY LINE, A DISTANCE OF 96.29 FEET; THENCE S05°53'08"E ALONG SAID WEST RIGHT OF WAY LINE, A DISTANCE OF 96.07 FEET; THENCE S11°10'10"W ALONG SAID WEST RIGHT OF WAY LINE, A DISTANCE OF 100.95 FEET; THENCE S06°37'52"E ALONG SAID WEST RIGHT OF WAY LINE, A DISTANCE OF 430.37 FEET; THENCE N89°32'10"W, A DISTANCE OF 158.73 FEET; THENCE S00°12'06"E, A DISTANCE OF 623.80 FEET TO THE SOUTH LINE OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 29; THENCE N89°29'10"W ALONG SAID SOUTH LINE, A DISTANCE OF 649.25 FEET TO THE POINT OF BEGINNING.

SAID TRACT OF LAND BEING SUBJECT TO AND TOGETHER WITH ANY AND ALL EASEMENTS OF RECORD.

SAID TRACT OF LAND CONTAINS 29.73 ACRES. (1,295.039 SQUARE FEET)

OWNER:

MUSTANG RIDGE LLC
NW 121ST STREET STE A
CLIVE, IA 50325

515-202-4449

PREPARED FOR:

RAYMOND COONS
7922 NW 114TH ST
GRIMES, IA 50111
515-202-4449

PREPARED BY:

LARRY HYLER PLS
BISHOP ENGINEERING
3501 104TH ST
URBANDALE, IA 50322
PH: 515-276-0467

GENERAL NOTES:

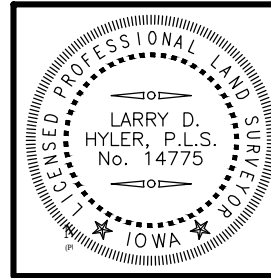
- MAILBOXES WITHIN THE ROAD RIGHT-OF-WAY SHALL BE OF BREAKAWAY DESIGN.
- ACCESS TO HIGHWAY 141 MUST BE APPROVED BY THE IOWA DEPARTMENT OF TRANSPORTATION.
- ANY SUBSURFACE DRAINAGE FACILITIES THAT ARE DISTURBED MUST BE RESTORED OR REROUTED BY THE PROPERTY OWNER.
- SERVICES TO ALL UTILITIES LOCATED ON THE OPPOSITE SIDE OF THE ROADWAY MUST BE BORED UNDER THE ROADWAY AT THE LOT OWNER'S EXPENSE.
- MAINTENANCE OF ALL DRAINAGE EASEMENTS SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
- CULVERTS TO BE USED FOR CROSSING DRAINAGE EASEMENTS MUST BE DESIGNED BY A LICENSED PROFESSIONAL ENGINEER.
- POST-DEVELOPMENT RUNOFF WILL NOT ADVERSELY AFFECT DOWNSTREAM DRAINAGE FACILITIES OR PROPERTY OWNERS.
- DUE TO SOIL TYPES, LIMITATION, AND DISTURBANCE, ALTERNATIVE SEPTIC SYSTEMS MAY BE REQUIRED. INDIVIDUAL WASTEWATER TREATMENT SYSTEMS SHALL BE DESIGNED BY AN ENGINEER.
- THE MATURE WOODLANDS ON EACH LOT SHALL BE PROVIDED WITH 75 PERCENT PROTECTION (RETAINED) PER POLK COUNTY ZONING ORDINANCE REQUIREMENT.
- WATER WILL BE PROVIDED BY PRIVATE ON-SITE WELL.
- WASTEWATER TREATMENT WILL BE PROVIDED BY AN ON-SITE WASTEWATER TREATMENT SYSTEM.
- THE EXISTING MACHINE SHED SHOWN ON OUTLOT X SHALL BE REMOVED PRIOR TO RECORDING OF THE FINAL PLAT.

LEGEND:

- PROPERTY CORNER - FOUND AS NOTED
- PROPERTY CORNER - PLACED 3/4" IRON PIPE WITH YELLOW PLASTIC CAP ID # 14775 OR AS NOTED
- ROW RIGHT OF WAY
- POC POINT OF COMMENCEMENT
- POB POINT OF BEGINNING
- YPC YELLOW PLASTIC CAP
- EXISTING CONTOUR
- TREELINE

UTILITY MAPS PROVIDED BY:

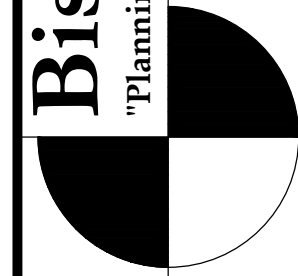
- ELECTRIC (MIDAMERICAN/515-252-6632)
- STORM AND SANITARY (CITY OF GRIMES/515-822-2320)
- FIBER OPTIC (CENTURYLINK/720-578-8090)
- CABLE (MEDIACOM/515-246-2252)
- GAS (BLACK HILLS ENERGY/888-890-5554)
- WATER (KENIA RURAL WATER DIST./515-676-2117)



HEREBY CERTIFY THAT THIS LAND SURVEYING DOCUMENT WAS PREPARED AND THE RELATED SURVEY WORK WAS PERFORMED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF IOWA.

SIGNED: LARRY D. HYLER, P.L.S. 14775 DATE: _____
LICENSE RENEWAL DATE: DEC. 31, 2018
PAGES OR SHEETS COVERED BY THIS SEAL: _____

Bishop Engineering
"Planning Your Successful Development"



3501 104th Street
Des Moines, Iowa 50322-3825
Phone: (515)276-0467 Fax: (515)276-0217

Established 1959

Civil Engineering & Land Surveying

MUSTANG RIDGE PLAT 1

GRIMES, IOWA

PRELIMINARY PLAT

REFERENCE NUMBER:

DRAWN BY:
CEJ

CHECKED BY:
EBG

REVISION DATE:
3rd County Subm 9-14-18
4th County Subm 12-05-18

PROJECT NUMBER:
160408

SHEET NUMBER:

C0.1

February 28, 2019

Patrick Shepard, PE
CIVIL ENGINEERING CONSULTANTS, INC.
2400 86th Street, Suite 12
Des Moines, IA 50322

Communication Data Link – Site Plan
Grimes Industrial Park – Parcel 2018-10 of Lot 11
1255 SW 37th Street
FOX P.N. 8630-04F.284

FOX Engineering has completed the third review of the Communication Data Link Site Plan, dated January 15, 2019 (and delivered to FOX Engineering via email on February 26, 2019) and offer the following comments.

General Comments

1. The Developer has submitted an application and paid the required fee (\$1,800).
2. Note that the Fire Chief has yet to review. Fire Department Comments may be forthcoming separately.

Landscape Plan – Sheet 4

3. Please provide screening of mechanical units from right of way (165.51, 3, A (2))

Elevation Plan

4. Please attach the Elevation Plans to the Site Plan (1 full document is required).
5. It appears that the elevations provided meet or exceed the architectural standards listed in the Grimes Code 165.51.
6. It is highly recommended that you bring detailed building materials and color schemes with you to P & Z.

Stormwater Pollution Prevention Plan

7. There is an open G.P. #2 that was part of the construction on the west side of the roadway. Will assume that permit is transferred to this site. Please confirm.
8. Please submit a current Grimes Grading Development Application (attached).
9. The following are comments for the SWPPP Drawings:
 - a. Sheet 1 of 2 –
 - i. Preparer's certification needs to be signed.
 - ii. Owner's certification needs to be signed.

Stormwater Management Plan

10. The SWMP dated September 26, 2018 for Phase I accounted for the future buildings that are now being constructed. Therefore, no additional calculations are necessary since the Phase II improvements match what was contemplated in the SWMP report completed for Phase I.

Post Construction Stormwater Agreement

11. A Stormwater Post Construction Easement will not be required for this site as it drains to a regional detention facility.

Please provide a letter addressing all comments on this comment letter and/or state what was modified on the site plan to address said comments.

SITE PLAN SUBMITTAL SCHEDULE:

PLANNING & ZONING: March 5, 2019 at 5:30 at the Grimes City Hall

COUNCIL MEETING: March 12, 2019 at 5:30 at the Grimes City Hall

If you have any questions or concerns, please contact John Gade or Mitch Holtz at (515) 233-0000.

FOX ENGINEERING ASSOCIATES, INC.



Mitch Holtz, P.E.

Copy to: Scott Clyce, Grimes Building Administrator

1. ALL INTERIOR DIMENSIONS ARE MEASURED TO FACE OF GYPSUM BOARD U.N.O.
2. SEE SHEET A--- FOR DOOR AND WINDOW SCHEDULES
3. PROVIDE BLOCKING FOR GRAB BARS, CABINETS, SHELVING, ETC. AS REQUIRED.

1. REFER TO ADDITIONAL NOTES AND REQUIREMENTS ON ALL OTHER DOCUMENTS AND OTHER DISCIPLINES DOCUMENTS.

2. DIMENSIONS ARE TO FACE OF GYPSUM WALL BOARD
OR CENTER OF STRUCTURE UNLESS OTHERWISE
SPECIFIED.

3. ALL SITE INFO, FIXTURES AND EQUIPMENT SHOWN ON THIS SHEET IS PROVIDED FOR COORDINATION PURPOSES ONLY. THE LAYOUT IS CONSIDERED CONCEPTUAL. REFER TO CIVIL, MECHANICAL, ELECTRICAL, PLUMBING, FIRE SPRINKLER, LIFE-SAFETY, ETC. DOCUMENTS FOR SPECIFIC DESIGN INFORMATION.

4. ALL CONDUITS, PIPES, WIRING, ROUGH-IN, ETC. SHOULD BE HELD AS TIGHT AS POSSIBLE TO THE ROOF OR FLOOR DECK OR SHOULD BE KEPT WITHIN INTERIOR WALL CAVITIES. NOTHING SHALL BE BELOW THE BOTTOM EDGE OF MAIN BUILDING FRAMES, NOTHING SHALL BE EXPOSED IN FINISHED SPACES, NOTHING SHALL PREVENT A SMOOTH CONTINUOUS FINISHED WALL OR CEILING AS NOTED ON THE DRAWINGS AND NO PLUMBING RAN IN EXTERIOR WALLS UNLESS PRIOR APPROVAL IS GRANTED BY THE DESIGNER OR OWNER. PLACEMENT COORDINATION BETWEEN TRADES IS REQUIRED.

5. INSTALL VERTICAL EXPANSION JOINT MINIMAL AT COLUMN/GRID LINES AND AT THE HEAD OF DOOR JAMBS/OPENINGS OR AS OTHERWISE NOTED OR WHERE REQUIRED PER STANDARD MATERIAL PRACTICE TO REDUCE STRESS CRACKING. NO CONTROL JOINT/EXPANSION JOINT AT MAIN STRUCTURAL BEARING, KEEP AWAY 2'-6" MIN.

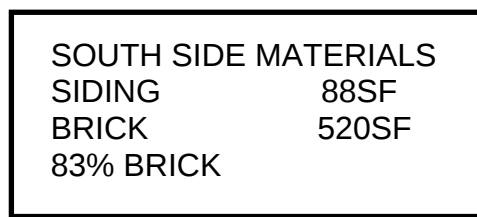
6. CAULK & SEAL ALL CONTROL-EXPANSION, SAWCUT JOINTS AT ALL INTERIOR & EXTERIOR MASONRY & CONCRETE.

1. REFER TO ADDITIONAL NOTES AND REQUIREMENTS
ON ALL OTHER DOCUMENTS AND OTHER DISCIPLINE
DOCUMENTS.

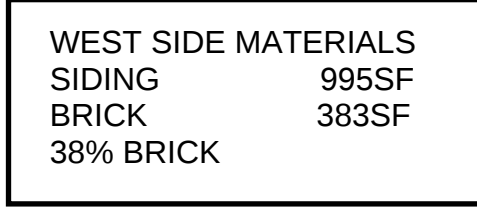
2. ALL GYPSUM BOARD SURFACES TO BE SANDED SMOOTH AND READY FOR PAINT. PROVIDE INTEGRAL METAL REINFORCED G.W.B CORNERS, TYP. PROVIDE MOISTURE RESISTANT DRYWALL AT ALL WET WALL LOCATIONS AND ENTIRE REST ROOM, TYP.

3. PROVIDE VERTICAL & HORIZONTAL EXPANSION JOINTS AS REQUIRED TO PREVENT CRACKS IN WALLS. TRY TO LOCATE AT COLUMN/GRID LINES AND AT THE HEAD OF DOOR JAMBS/OPENINGS OR AS OTHERWISE NOTED OR WHERE REQUIRED PER STANDARD MATERIAL PRACTICE TO ELIMINATE STRESS CRACKING.

4. PROVIDE ADEQUATE WOOD BLOCKING FOR MILLWORK, FIXTURES, EQUIPMENT, PLUMBING FIXTURES AND ACCESSORIES, ELECTRIC PANELS, ROOF ACCESS LADDER, FUTURE OR BY OWNER ITEMS, ETC.



SCALE: 1/4" = 1'-0"



SCALE: 1/4" = 1'-0"

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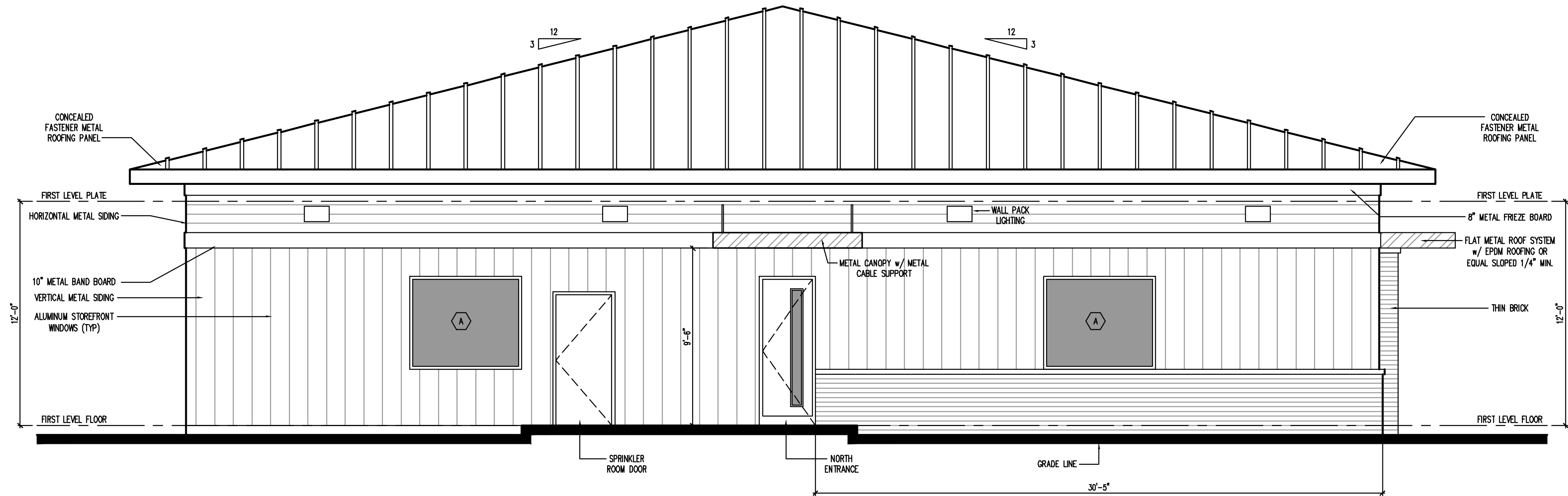
Communication Data Link
1255 SW 37th Street, Grimes, Iowa 50111

PROJ NO.	11200118
ISSUE DATE:	
DRAWN BY:	TK
REVISIONS:	

SHEET TITLE:
SOUTH SIDE ELEVATION
WEST SIDE ELEVATION

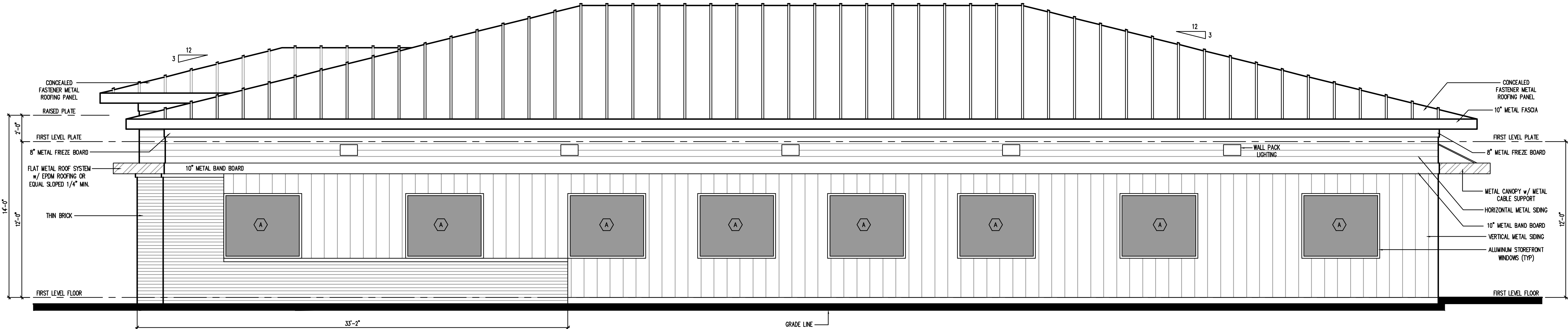
SHEET NO.

A3.00



NORTH SIDE ELEVATION

SCALE: 1/4" = 1'-0"



EAST SIDE ELEVATION

SCALE: 1/4" = 1'-0"

FLOOR PLAN NOTES

1. ALL INTERIOR DIMENSIONS ARE MEASURED TO FACE OF GYPSUM BOARD U.N.O.
2. SEE SHEET A-1-1-1 FOR DOOR AND WINDOW SCHEDULES
3. PROVIDE BLOCKING FOR GRAB BARS, CABINETS, SHELVING, ETC. AS REQUIRED.

GENERAL FL. PLAN NOTES

1. REFER TO ADDITIONAL NOTES AND REQUIREMENTS ON ALL OTHER DOCUMENTS AND OTHER DISCIPLINES DOCUMENTS.

2. DIMENSIONS ARE TO FACE OF GYPSUM WALL BOARD OR CENTER OF STRUCTURE UNLESS OTHERWISE SPECIFIED.

3. ALL SITE INFO, FIXTURES AND EQUIPMENT SHOWN ON THIS SHEET IS PROVIDED FOR COORDINATION PURPOSES ONLY. THE LAYOUT IS CONSIDERED CONCEPTUAL. REFER TO CIVIL, MECHANICAL, ELECTRICAL, PLUMBING, FIRE SPRINKLER, LIFE-SAFETY, ETC. DOCUMENTS FOR SPECIFIC DESIGN INFORMATION.

4. ALL CONDUITS, PIPES, WIRING, ROUGH-IN, ETC. SHOULD BE HELD AS TIGHT AS POSSIBLE TO THE ROOF OR FLOOR DECK OR SHOULD BE KEPT WITHIN INTERIOR WALL CAVITIES. NOTHING SHALL BE BELOW THE BOTTOM EDGE OF MAIN BUILDING FRAMES. NOTHING SHALL BE EXPOSED IN FINISHED SPACES. NOTHING SHALL PREVENT A SMOOTH CONTINUOUS FINISHED WALL OR CEILING AS NOTED ON THE DRAWINGS AND NO PLUMBING RAN IN EXTERIOR WALLS UNLESS PRIOR APPROVAL IS GRANTED BY THE DESIGNER OR OWNER. PLACEMENT COORDINATION BETWEEN TRADES IS REQUIRED.

5. INSTALL VERTICAL EXPANSION JOINT MINIMAL AT COLUMN/GRID LINES AND AT THE HEAD OF DOOR JAMBS/OPENINGS OR AS OTHERWISE NOTED OR WHERE REQUIRED PER STANDARD MATERIAL PRACTICE TO REDUCE STRESS CRACKING. NO CONTROL JOINT/EXPANSION JOINT AT MAIN STRUCTURAL BEARING, KEEP AWAY 2'-6" MIN.

6. CAULK & SEAL ALL CONTROL-EXPANSION, SAWCUT JOINTS AT ALL INTERIOR & EXTERIOR MASONRY & CONCRETE.

WALL TYPE NOTES

1. REFER TO ADDITIONAL NOTES AND REQUIREMENTS ON ALL OTHER DOCUMENTS AND OTHER DISCIPLINES DOCUMENTS.

2. ALL GYPSUM BOARD SURFACES TO BE SANDED SMOOTH AND READY FOR PAINT. PROVIDE INTEGRAL METAL REINFORCED G.W.B CORNERS, TYP. PROVIDE MOISTURE RESISTANT DRYWALL AT ALL WET WALL LOCATIONS AND ENTIRE REST ROOM, TYP.

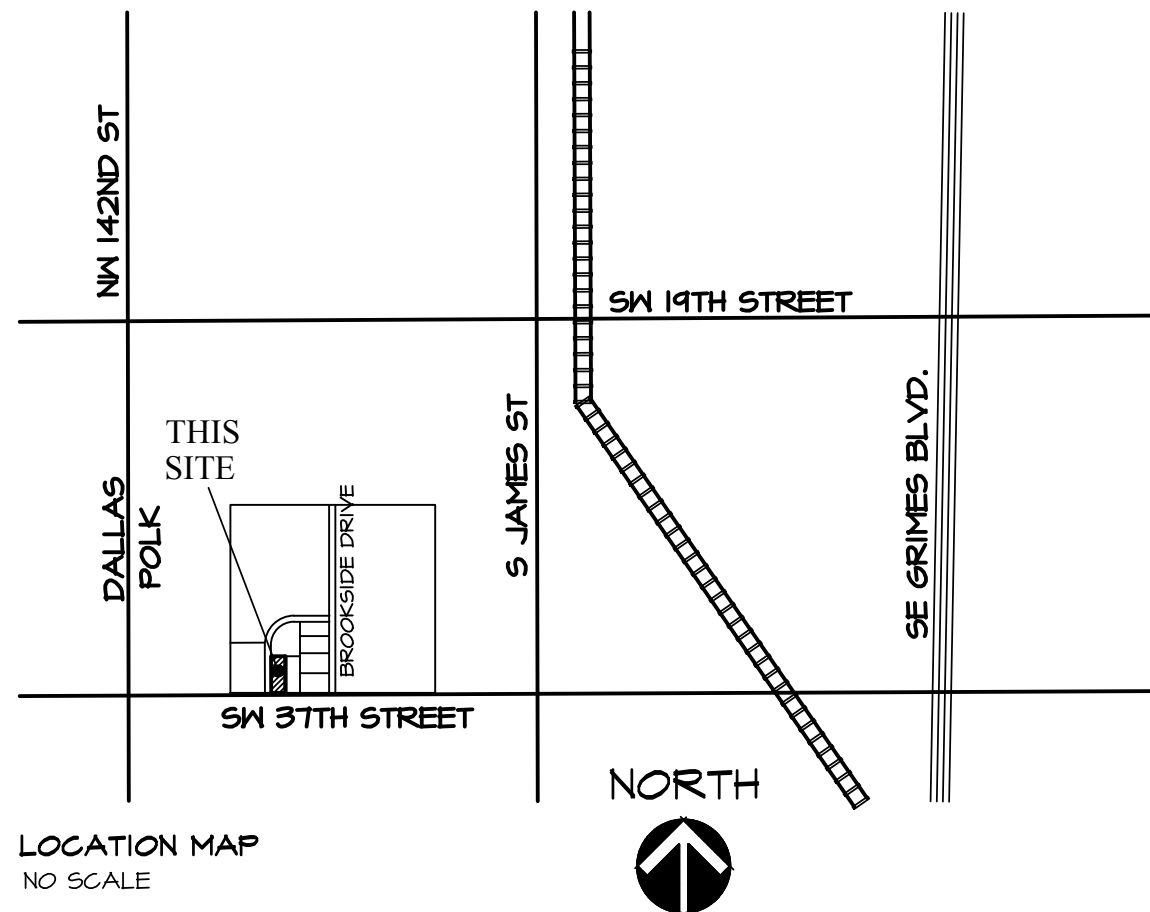
3. PROVIDE VERTICAL & HORIZONTAL EXPANSION JOINTS AS REQUIRED TO PREVENT CRACKS IN WALLS. TRY TO LOCATE AT COLUMN/GRID LINES AND AT THE HEAD OF DOOR JAMBS/OPENINGS OR AS OTHERWISE NOTED OR WHERE REQUIRED PER STANDARD MATERIAL PRACTICE TO ELIMINATE STRESS CRACKING.

4. PROVIDE ADEQUATE WOOD BLOCKING FOR MILLWORK, FIXTURES, EQUIPMENT, PLUMBING FIXTURES AND ACCESSORIES, ELECTRIC PANELS, ROOF ACCESS LADDER, FUTURE OR BY OWNER ITEMS, ETC.



SITE PLAN
COMMUNICATION DATA LINK

PARCEL 2018-10 OF LOT 11
GRIMES INDUSTRIAL PARK PLAT 1
1255 SW 37TH STREET GRIMES, IOWA



SHEET INDEX	
SHEET #	TITLE
1	COVER
2	DIMENSION & UTILITY PLAN
3	GRADING PLAN
4	LANDSCAPE PLAN
5	BUILDING ELEVATIONS

OPEN SPACE (TOTAL SITE)
REQUIRED - 10% OF 65,330 SQ. FT.
PROVIDED - 33% = 21,336 SQ. FT.

SITE AREAS - (TOTAL)	
INFERTIOUS	43,144 SQ. FT. 67 %
OPEN SPACE	21,336 SQ. FT. 33 %
TOTAL	65,330 SQ. FT. 100.00%

SITE DISTURBED (TOTAL)
1.35 ACRES

SETBACKS
FRONT YARD: 25 FEET
SIDE YARDS: NONE REQUIRED, EXCEPT WHEN ADJACENT TO ANY "R" DISTRICT OR STREET RIGHT-OF-WAY LINE, IN WHICH CASE - 25 FEET
REAR YARD: 25 FEET; HOWEVER, FOR EVERY FOOT THE FRONT YARD IS INCREASED OVER 25 FEET, THE REAR YARD MAY BE DECREASED IN DIRECT PROPORTION THERTO, BUT IN NO CASE SHALL THE REAR YARD BE LESS THAN 10 FEET

PARKING
OFFICE 1 SPACE /400 SF.
6,206 SF./400=16 SPACES

REQUIRED =16 SPACES
PROVIDED =21 SPACES INCLUDING 2 HANDICAP.

LIGHTING NOTES
1. ALL WALL PACKS SHALL BE SHARP CUT-OFF STYLE 40 WATT LED.
2. PERIMETER LIGHTS SHALL BE DOWN CAST 150 WATT SHOE BOX STYLE ON 25' POLES WITH 3' BASE.
3. NO OFFSITE SPILLAGE ALLOWED.

UTILITY NOTES
1. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES AND STRUCTURES. DAMAGE TO UTILITIES AND STRUCTURES SHALL BE REPAIRED BY THE CONTRACTOR, AT THE CONTRACTOR'S EXPENSE, TO THE SATISFACTION OF THE UTILITY OWNER.
2. ALL SERVICES SHALL BE CONSTRUCTED TO WITHIN 5 FEET OF THE OUTSIDE OF THE BUILDING WALLS.
3. THE SIZE AND MATERIALS OF THE SANITARY SEWER SERVICE SHALL COMPLY WITH THE PLUMBING CODE.
4. ALL EXISTING TILE LINES ENCOUNTERED SHALL BE RESTORED OR ROUTED TO A STORM SEWER WHETHER ACTIVE OR NOT.
5. THE SITE UTILITY CONTRACTOR SHALL COORDINATE THE BUILDING SERVICE CONNECTIONS WITH THE BUILDING MECHANICAL CONTRACTOR.

PCC PAVEMENT NOTES
1. SEE PLAN VIEW FOR SPECIFIC PAVEMENT DEPTHS. ALL PAVING SHALL BE NON-REINFORCED P.C.C.
2. DRIVENWAY APPROACHES FROM STREET CURB TO BACK OF SIDEWALK SHALL BE 7-INCH P.C.C. AND NEW SIDEWALKS MUST HAVE DETECTABLE WARNING PANELS.
3. ALL PAVING SHALL BE IN ACCORDANCE WITH SUDAS STANDARD SPECIFICATIONS, 2017 VERSION.
4. CURBS SHALL BE 6" IN HEIGHT AND CAST INTEGRAL WITH CONCRETE PAVEMENT UNLESS NOTED OTHERWISE. EDGES SHALL BE ROUNDED BUT NOT ROLLED.
5. THE CONTRACTOR SHALL ACCESS THE SITE AT THE ENTRANCE LOCATION AFTER THE CURB IS GROUND AND IS NOT ALLOWED TO CURB-JUMP INTO THE SITE.

GRADING & EROSION CONTROL NOTES
1. STRIP TOPSOIL (6") FROM ALL AREAS WHICH ARE TO BE FILLED OR CUT FOR BORROW.
2. ALL AREAS TO RECEIVE STRUCTURAL FILL SHALL BE BENCHED.
3. PREPARE BOTTOM OF BENCH FOR FILL BY DISCING TO A DEPTH OF 4 INCHES AND COMPACT. ANY LOCALIZED AREAS WHICH CANNOT BE SATISFACTORILY COMPACTED OR WHICH SHOW EVIDENCE OF PUMPING ACTION SHALL BE UNDERCUT AND RECOMPACTED WITH ONSITE FILL MATERIALS.
4. ALL FILL SHALL BE COMPACTED TO A DENSITY THAT IS NOT LESS THAN 95.0%.
5. ALL AREAS WHICH ARE TO RECEIVE PAVING SHALL HAVE THE TOP 12-INCHES DISCED AND COMPACTED TO 95% STANDARD PROCTOR DENSITY.
6. MAINTAIN ALL CUT AND FILL AREAS TO ACCOMMODATE SURFACE DRAINAGE.
7. GRADING CONTRACTOR SHALL STOCKPILE TOP SOIL FOR SHOULDERING.
8. FINISHED GRADE ON ALL NON-PAVED AREAS SHALL BE WITHIN 0.20 FOOT OF PLAN GRADE. PARKING LOTS AND STREETS SHALL BE WITHIN 0.10 FOOT.
9. THE CONTRACTOR SHALL PROTECT ALL STRUCTURES AND UTILITIES. ANY DAMAGE SHALL BE REPAIRED BY THE CONTRACTOR TO THE SATISFACTION OF THE OWNER OF THE UTILITIES.
10. MAXIMUM ALLOWABLE GRADE ON ALL PROPOSED SLOPES IS 3:1.
11. TOPSOIL SHALL BE SPREAD TO A MINIMUM THICKNESS OF 6 INCHES ON ALL DISTURBED AREAS.
12. BACKFILL TO TOP OF ALL CURBS.
13. MOISTURE CONTENT SHALL NOT DEVIATE FROM OPTIMUM BY MORE THAN 2% IN STRUCTURAL FILL.
14. ALL ELEVATIONS ARE TO THE GUTTER UNLESS NOTED OTHERWISE.
15. EROSION CONTROL BY USE OF SILT FENCES OR FILTER SOCKS SHALL BE MAINTAINED AROUND STORM INTAKES AND OTHER LOCATIONS AS SHOWN ON PLAN UNTIL PAVING AND SEEDING ARE COMPLETED.

OWNER
COMMUNICATION DATA LINK
1305 SW 37TH ST.
GRIMES, IA 50111

APPLICANT / DEVELOPER
COMMUNICATION DATA LINK
1305 SW 37TH ST.
GRIMES, IA 50111

LEGAL DESCRIPTION
PARCEL 2018-10, LOT 11, GRIMES INDUSTRIAL PARK PLAT 1, AN OFFICIAL PLAT, CITY OF GRIMES, POLK COUNTY, IOWA, CONTAINING 1.50 ACRES.

ZONING
M-2 LIGHT INDUSTRIAL DISTRICT

PLANNED LAND USE
6,206 SF OFFICE BUILDING
4 OFFICE PARKING LOT

UTILITIES
WATER SUPPLY - CITY OF GRIMES WATER WORKS
SEWAGE DISPOSAL PROVISION - CITY OF GRIMES
ALL UTILITIES SHALL BE UNDERGROUND

SCHEDULE
GRADING/UTILITIES = OCTOBER 2018
PAVING= NOVEMBER 2018

GENERAL NOTES
1. ONE WEEK PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL NOTIFY:
a. CITY OF GRIMES PUBLIC WORKS
b. COMMUNICATION DATA LINK
c. CIVIL ENGINEERING CONSULTANTS, INC. PHONE: 515.276.4884
d. IOWA ONE-CALL
2. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CURRENT VERSION OF THE URBAN STANDARDS SPECIFICATIONS FOR PUBLIC IMPROVEMENTS ON THE DATE OF APPROVAL AND THE CITY OF GRIMES SUPPLEMENTAL SPECIFICATIONS.
3. TRACER WIRE SHALL BE ADDED TO ALL WATER MAIN AND STORM SEWER SERVICES. A GROUNDING ROD SHALL BE PLACED AS PER THE URBAN SPECIFICATIONS.
4. THE LOCATIONS AND DIMENSIONS SHOWN ON THE PLANS FOR EXISTING FACILITIES ARE IN ACCORDANCE WITH AVAILABLE INFORMATION WITHOUT UNCOVERING AND MEASURING. THE ENGINEER DOES NOT GUARANTEE THE ACCURACY OF THIS INFORMATION OR THAT ALL EXISTING UNDERGROUND FACILITIES ARE SHOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT ALL PUBLIC AND/OR PRIVATE UTILITIES SERVING THE AREA TO DETERMINE THE PRESENT AND EXACT LOCATION OF THEIR FACILITIES BEFORE BEGINNING WORK.
5. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES OR STRUCTURES AT THE SITE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE OWNERS OF UTILITIES OR STRUCTURES CONCERNED BEFORE STARTING WORK. THE CONTRACTOR SHALL NOTIFY THE PROPER UTILITY IMMEDIATELY UPON BREAKING OR DAMAGE TO ANY UTILITY LINE OR APPURTENANCE, OR THE INTERRUPTION OF THEIR SERVICE. IF EXISTING UTILITY LINES ARE ENCOUNTERED THAT CONFLICT IN LOCATION WITH NEW CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT MAY BE RESOLVED.
6. CIVIL ENGINEERING CONSULTANTS, INC. IS NOT A GEOTECHNICAL ENGINEER AND RECOMMENDS THAT THIS SET OF PLANS BE REVIEWED BY A GEOTECHNICAL ENGINEER AND A GEOTECHNICAL SOILS REPORT BE PREPARED PRIOR TO CONSTRUCTION OF THIS PROJECT.
7. ALL INTERIOR BUILDING CODES ARE NOT PART OF THIS REVIEW AND WILL BE ADDRESSED AT THE TIME OF BUILDING PERMIT SUBMITTAL AFTER SITE PLAN APPROVAL.
8. THIS FACILITY SHALL BE SPRINKLED AND INCLUDE A MONITORING SYSTEM. THE LOCATION OF THE KNOX BOX WILL BE DETERMINED WITH THE BUILDING PERMIT.
9. ALL LIGHT FROM THIS SITE SHALL NOT SPILL OUT ONTO ADJACENT PROPERTIES.
10. ALL DIMENSIONS ARE TO BACK OF CURB, OUTSIDE OF BUILDING WALL, AND TO PROPERTY LINES.
11. PROVIDE 2' CONCRETE BOXOUT AROUND ALL INTAKES AND MANHOLES WITHIN PAVED AREAS.
12. ALL DEBRIS SPILLED ON CITY R.O.W. AND ADJOINING PROPERTY SHALL BE REMOVED BY OWNER/CONTRACTOR IMMEDIATELY.
13. VERIFY COORDINATES AND BUILDING CORNERS WITH ARCHITECTURAL DRAWINGS PRIOR TO CONSTRUCTION.
14. ALL ELEVATIONS ARE PROPOSED GRADE AT TOP OF SLAB UNLESS OTHERWISE NOTED.
15. ALL ELEVATIONS ARE TO THE CITY OF GRIMES DATUM.
16. OWNER WILL BE REQUIRED TO INSTALL THE LABELED FUTURE 5 FOOT SIDEWALK WITHIN 90 DAYS AFTER RECEIVING NOTIFICATION BY THE CITY COUNCIL.

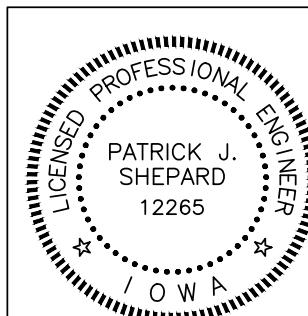
BENCHMARKS
SITE BM#1
BURY BOLT ON HYDRANT @ 300' NORTH OF SW 37TH STREET AND SW BROOKSIDE DRIVE ON EAST SIDE OF SW BROOKSIDE CIRCLE. ELEVATION=1001.81 (CITY DATUM)

CITY OF GRIMES BM
641-003: BURY BOLT ON HYDRANT AT NW CORNER OF PARKING LOT FOR 3801 S JAMES ST ELEVATION=1000.67

641-002: BURY BOLT ON HYDRANT NORTH SIDE OF SE 37TH AT ADDRESS 4015 ELEVATION=1001.83

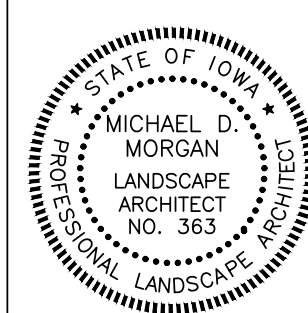
GENERAL LEGEND	
PROPOSED	EXISTING
--- PLAT BOUNDARY	--- LOT LINE
--- SECTION LINE	○ SANITARY/STORM MANHOLE
--- LOT LINE	⊗ WATER VALVE
--- CENTERLINE	⊕ FIRE HYDRANT
--- EASEMENT LINE	□ STORM SEWER SINGLE INTAKE
▷ FLARED END SECTION	□ STORM SEWER DOUBLE INTAKE
⊗ TYPE SW-501 STORM INTAKE	⊗ STORM SEWER ROUND INTAKE
⊗ TYPE SW-502 STORM INTAKE	▷ FLARED END SECTION
⊗ TYPE SW-503 STORM INTAKE	○ DECIDUOUS TREE
⊗ TYPE SW-504 STORM INTAKE	⊗ CONIFEROUS TREE
⊗ TYPE SW-505 STORM INTAKE	○ SHRUB
⊗ TYPE SW-506 STORM INTAKE	⊗ POWER POLE
⊗ TYPE SW-511 STORM INTAKE	⊗ STREET LIGHT
⊗ TYPE SW-512 STORM INTAKE	⊗ LIGHT POLE
⊗ TYPE SW-513 STORM INTAKE	⊗ GUY ANCHOR
⊗ TYPE SW-401 STORM MANHOLE	⊗ ELECTRIC TRANSFORMER
⊗ TYPE SW-402 STORM MANHOLE	⊗ GAS METER
⊗ TYPE SW-403 STORM MANHOLE	⊗ TELEPHONE RISER
⊗ TYPE SW-403 STORM MANHOLE	⊗ CATV
⊗ TYPE SW-301 SANITARY MANHOLE	--- UNDERGROUND TELEVISION
⊗ TYPE SW-302 SANITARY MANHOLE	--- UNDERGROUND ELECTRIC
⊗ TYPE SW-304 SANITARY MANHOLE	--- UNDERGROUND GAS
⊗ STORM/SANITARY CLEANOUT	--- UGFO --- UNDERGROUND FIBER OPTIC
⊗ WATER VALVE	--- UGT --- UNDERGROUND TELEPHONE
⊗ FIRE HYDRANT ASSEMBLY	--- OHN --- OVERHEAD ELECTRIC
⊗ BLOW-OFF HYDRANT	--- SAN 15" --- SANITARY SEWER WITH SIZE
⊗ DETECTABLE WARNING PANEL	--- SAN --- SANITARY SERVICE
--- SAN 15" --- SANITARY SEWER WITH SIZE	--- ST 12" --- STORM SEWER WITH SIZE
--- SAN --- SANITARY SERVICE	--- ST --- STORM SERVICE
--- ST 12" --- STORM SEWER WITH SIZE	--- W 8" --- WATER SEWER WITH SIZE
--- ST --- STORM SERVICE	--- W --- WATER SERVICE
--- W 8" --- WATER SEWER WITH SIZE	--- PROPOSED CONTOUR
--- W --- WATER SERVICE	+ (1006.00) PROPOSED SPOT ELEVATION
⊗ PROPOSED CONTOUR	○ LIGHT POLE
+ (1006.00) PROPOSED SPOT ELEVATION	□ 40W LED WALLPACK
○ LIGHT POLE	⊗ RAMP
□ 40W LED WALLPACK	⊗ RIP RAP
⊗ RAMP	--- SILT FENCE
⊗ RIP RAP	
--- SILT FENCE	

CERTIFICATION



I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

PATRICK J. SHEPARD, IOWA LIC. NO. 12265 DATE MY LICENSE RENEVAL DATE IS DECEMBER 31, 2019 PAGES OR SHEETS COVERED BY THIS SEAL: SHEETS 1-3



I HEREBY CERTIFY THAT THE PORTION OF THIS TECHNICAL SUBMISSION DESCRIBED BELOW WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF IOWA.

BY: MICHAEL D. MORGAN, IOWA REG. NO. 363 DATE: MY LICENSE RENEVAL DATE IS: JUNE 30, 2019 PAGES OR SHEETS COVERED BY THIS SEAL: SHEET 4



Civil Engineering Consultants, Inc.
2400 86th Street, Unit 12 Des Moines, Iowa 50322
515.276.4884 Fax: 515.276.7084 mail@cecinc.com



REVISIONS		COMMENTS
DATE	REVISIONS	COMMENTS
JAN. 15 2019	1	
	2	
	3	
	4	
	5	PJS
	6	JDS

COMMUNICATION DATA LINK
1255 SW 37TH STREET GRIMES, IOWA

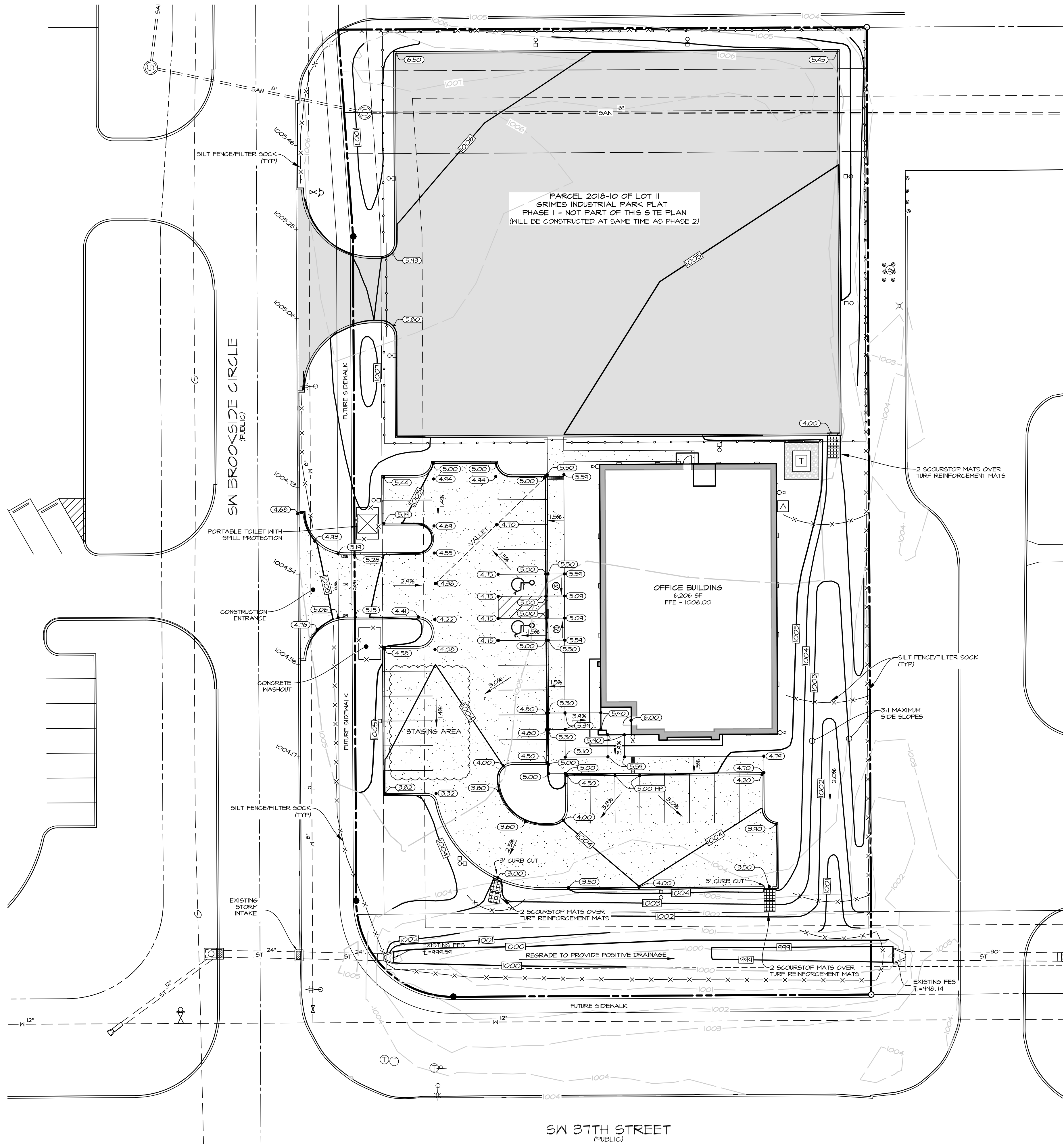
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OF 4

E-8107

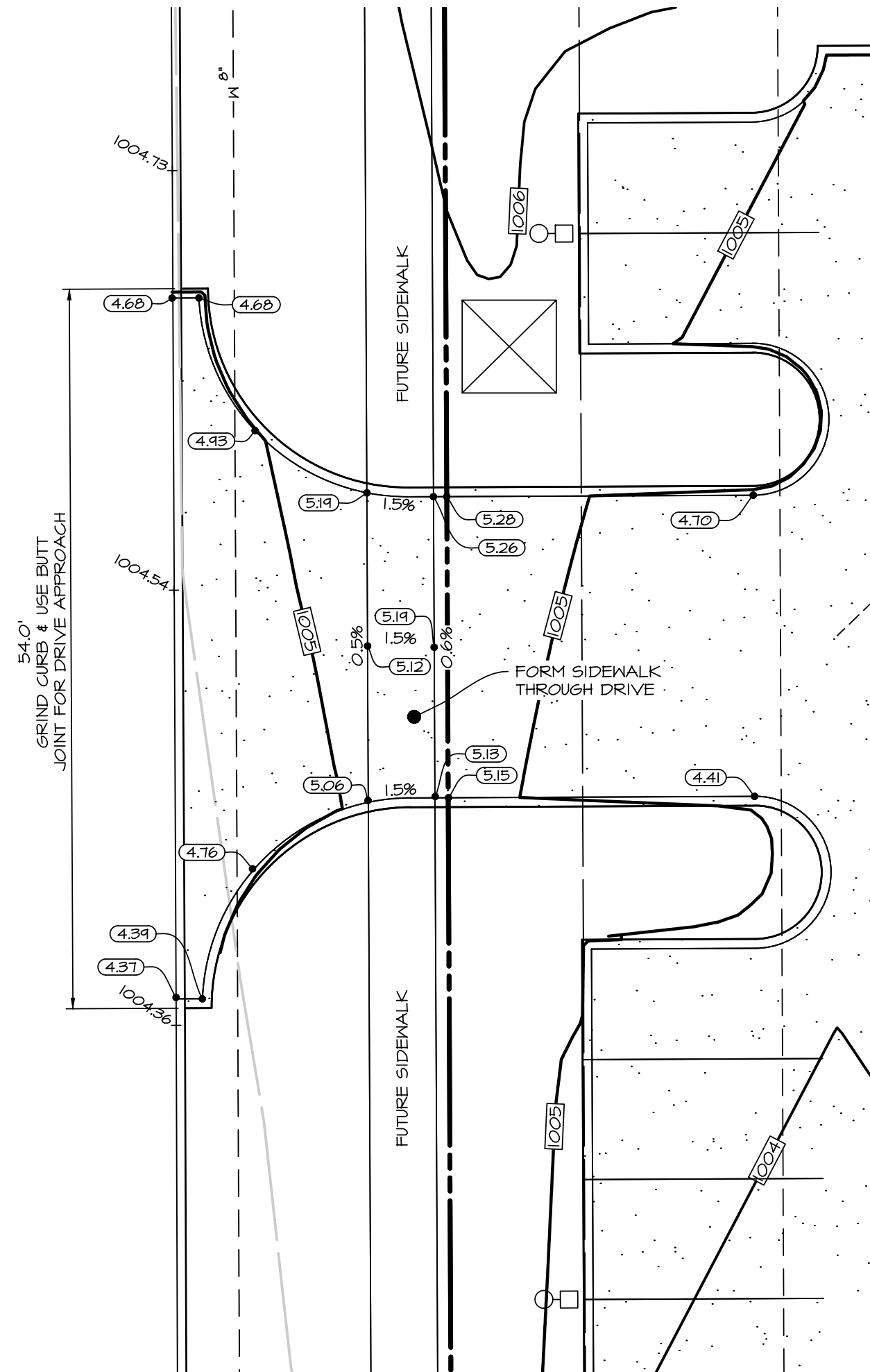
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SW BROOKSIDE CIRCLE (PUBLIC)

DRIVE & SIDEWALK DETAIL



GRADING & EROSION CONTROL NOTES

1. STRIP TOPSOIL (6") FROM ALL AREAS WHICH ARE TO BE FILLED OR CUT FOR BORROW.
2. ALL AREAS TO RECEIVE STRUCTURAL FILL SHALL BE BENCHED.
3. PREPARE BOTTOM OF BENCH FOR FILL BY DISCING TO A DEPTH OF 4 INCHES AND COMPACT. ANY LOCALIZED AREAS WHICH CANNOT BE SATISFACTORILY COMPACTED OR WHICH SHOW EVIDENCE OF PUMPING ACTION SHALL BE UNDERCUT AND RECOMPACTED WITH ONSITE FILL MATERIALS.
4. ALL FILL SHALL BE COMPACTED TO A DENSITY THAT IS NOT LESS THAN 95.0%.
5. ALL AREAS WHICH ARE TO RECEIVE PAVING SHALL HAVE THE TOP 12-INCHES DISCED AND COMPACTED TO 95% STANDARD PROCTOR DENSITY.
6. MAINTAIN ALL CUT AND FILL AREAS TO ACCOMMODATE SURFACE DRAINAGE.
7. GRADING CONTRACTOR SHALL STOCKPILE TOP SOIL FOR SHOULDERING.
8. FINISHED GRADE ON ALL NON-PAVED AREAS SHALL BE WITHIN 0.20 FOOT OF PLAN GRADE. PARKING LOTS AND STREETS SHALL BE WITHIN 0.10 FOOT.
9. THE CONTRACTOR SHALL PROTECT ALL STRUCTURES AND UTILITIES. ANY DAMAGE SHALL BE REPAIRED BY THE CONTRACTOR TO THE SATISFACTION OF THE OWNER OF THE UTILITIES.
10. MAXIMUM ALLOWABLE GRADE ON ALL PROPOSED SLOPES IS 3:1.
11. TOPSOIL SHALL BE SPREAD TO A MINIMUM THICKNESS OF 6 INCHES ON ALL DISTURBED AREAS.
12. BACKFILL TO TOP OF ALL CURBS.
13. MOISTURE CONTENT SHALL NOT DEVIATE FROM OPTIMUM BY MORE THAN 2% IN STRUCTURAL FILL.
14. ALL ELEVATIONS ARE TO THE GUTTER UNLESS NOTED OTHERWISE.
15. EROSION CONTROL BY USE OF SILT FENCES OR FILTER SOCK SHALL BE MAINTAINED AROUND STORM INTAKES AND OTHER LOCATIONS AS SHOWN ON PLAN UNTIL PAVING AND SEEDING ARE COMPLETED.

SITE DISTURBED AREA

1.35 ACRES (TOTAL SITE INCLUDED FOR SWPPP & NPDES)

SCALE: 1"=20'



COMMUNICATION DATA LINK
1255 SW 37TH STREET GRIMES, IOWA

GRADING PLAN

SHEET
03
OF 4

E-8107

DATE: JAN. 15, 2014

REVISIONS

COMMENTS

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DESIGNED BY: PJS

DRAWN BY: JDS

DATE OF SURVEY: 4

DATE: JAN. 15, 2014

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DESIGNED BY: PJS

DRAWN BY: JDS

DATE OF SURVEY: 4

DATE: JAN. 15, 2014

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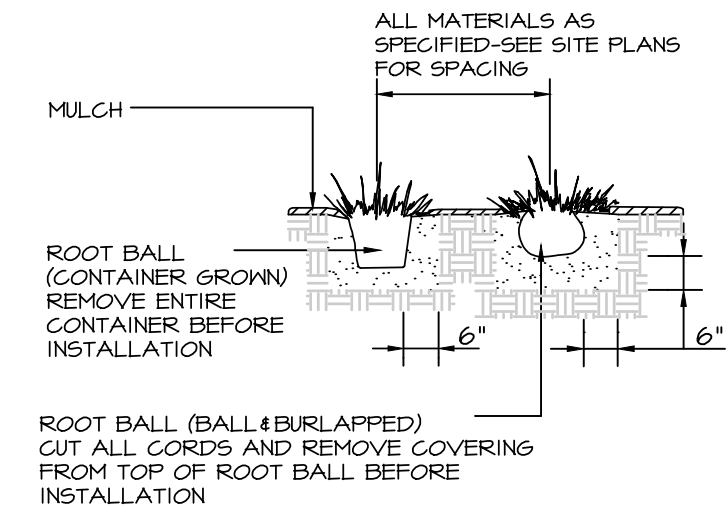
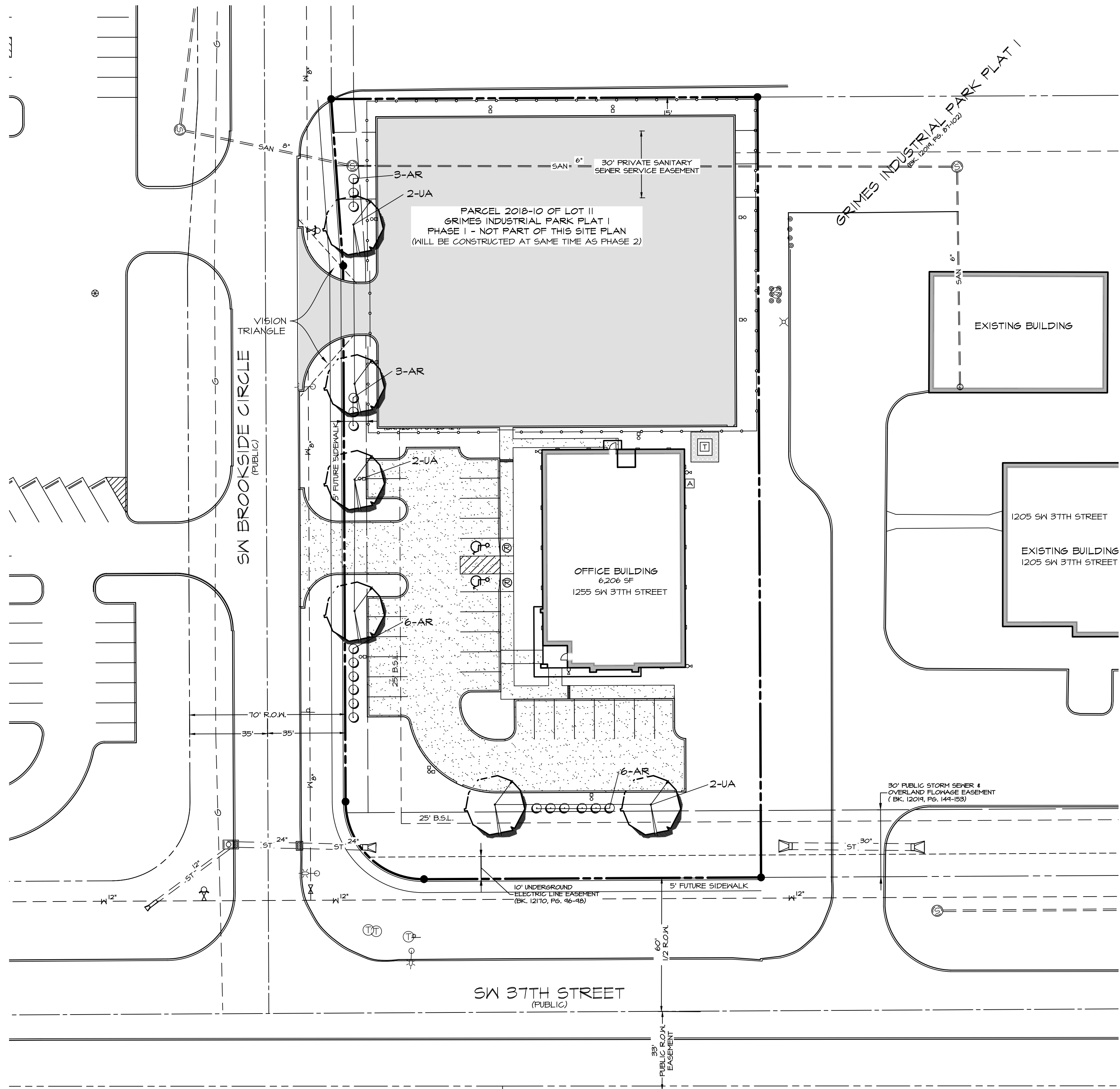
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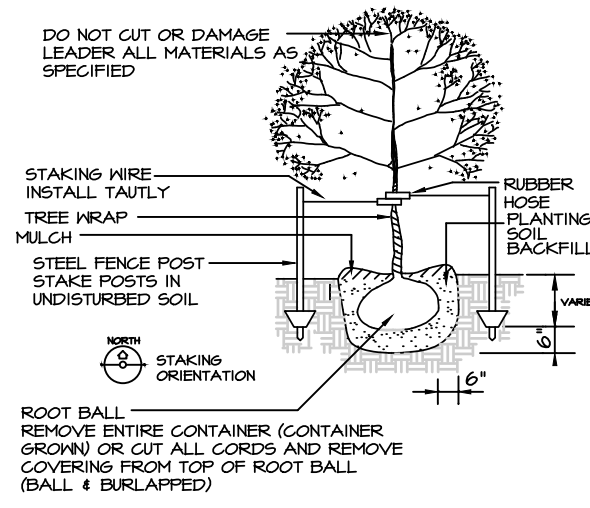
DESIGNED BY: PJS

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PLOT BY: _JEFF 9/11/16 ANSI FULL BLEED D (84.00 X 22.00 INCHES) 2014-02-26 11 AUTOCAD PDF (GENERAL DOCUMENTATION)P23 G:\E-FILES\800618107_CED Drawing\Construction Documents\Site Plan\04 LAND.dwg



SHRUB PLANTING DETAIL
NO SCALE



DECIDUOUS TREE PLANTING AND STAKING DETAIL
NO SCALE

LANDSCAPE NOTES

- NOTES AND PLANTING SCHEDULE APPEAR ON THIS PLAN BECAUSE LANDSCAPING HAS NOT BEEN INSTALLED AS SHOWN ON 2007 SITE PLAN.
- LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIALS FOR A PERIOD OF ONE YEAR FROM DATE OF INSTALLATION.
- ALL PLANT MATERIAL SHALL AT LEAST MEET MINIMUM REQUIREMENTS SHOWN IN THE "AMERICAN STANDARD FOR NURSERY STOCK" (ANSI Z60.1-1986).
- NO PLANT MATERIAL SHALL BE SUBSTITUTED WITHOUT AUTHORIZATION OF LANDSCAPE ARCHITECT OR THE CITY OF GRIMES.
- ALL TREES, SHRUBS & GROUND COVERS SHALL BE MULCHED WITH AT LEAST 3" SHREDDED BARK MULCH.
- PLANT QUANTITIES ARE FOR CONTRACTORS CONVENIENCE. DRAWINGS SHALL PREVAIL WHERE CONFLICT OCCURS.
- THE CONTRACTOR SHALL VERIFY THE LOCATION AND PROTECT ALL UTILITIES AND STRUCTURES. DAMAGE TO UTILITIES AND STRUCTURES SHALL BE REPAIRED BY THE CONTRACTOR TO THE SATISFACTION OF THE OWNER.
- ONE WEEK PRIOR TO INSTALLATION, THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT AT CIVIL ENGINEERING CONSULTANTS, INC., 276-4884.
- THE CONTRACTOR SHALL STAKE LOCATIONS OF PLANTS FOR LANDSCAPE ARCHITECTS APPROVAL BEFORE DIGGING HOLES.
- SEED ALL DISTURBED AREAS W/ SUDAS TYPE 1 MIX.

BUFFER PLANTING SCHEDULE (INCLUDES PHASE 1 & 2)

UA	6	Ulmus americana AMERICAN ELM	2 1/2" Cal.	T5/B4B	See Plan
AN	18	Spiraea x bumalda 'Anthony Waterer' ANTHONY WATERER SPIREA	#2	Cont.	See Plan

SCALE: 1"=30'
0' 10' 20' 30' 60'



COMMUNICATION DATA LINK
1255 SW 37TH STREET GRIMES, IOWA

LANDSCAPE PLAN

SHEET
04
OF 4

E-8107

DATE:	JAN. 15, 2019	REVISIONS	COMMENTS
		1	
		2	
		3	
		4	
		5	MDM
		6	JDS

DATE OF SURVEY:
DESIGNED BY:
DRAWN BY:

Civil Engineering Consultants, Inc.
2400 86th Street, Unit 12 Des Moines, Iowa 50322
515.276.4884 Fax: 515.276.7084 mail@cecinc.com

