

Planning and Zoning Commission
January 20, 2022
Agenda
Meeting Held Electronically due to COVID-19
5:30 P.M.

Electronic Meeting as Provided Under Iowa Code, Chapter 21*

***Please note that this Grimes Planning and Zoning Meeting will be an electronic meeting pursuant to Iowa Code Section 21.8 due to the national health emergency that makes it impossible or impractical for an in-person meeting.**

The public is welcome and encouraged to attend and participate in this meeting by either internet or phone as follows:

- 1. Internet- Meeting attendance may be obtained by “Join Zoom Meeting”. Simply enter the following internet address and ID:**

Join Zoom Meeting

<https://us06web.zoom.us/j/87559983411?pwd=MGZQb0M0azlGOGNtTzBIZWZENldRZz09>

Meeting ID: 875 5998 3411

Passcode: 1234

- 2. By Phone: 877 853 5257 US Toll-free.**

Hearing Assistance: If you are hearing impaired, Grimes will provide a sign language communicator on the internet Zoom meeting video presentation upon request. Please contact the Grimes City Clerk Rochelle Williams by email at rwilliams@grimesiowa.gov to request this service.

For any additional assistance or questions in attending the meeting, please call 515-986-3036 from 8 a.m. to 5 p.m., or contact the Grimes City Clerk Rochelle Williams by email at rwilliams@grimesiowa.gov.

For any additional assistance or questions in attending the meeting, please call 515-986-3036 from 8 a.m. to 5 p.m. Monday-Friday.

Meetings will be recorded

AGENDA

A GENERAL AGENDA ITEMS

1. Call to Order
2. Roll Call: Russ Lickteig, Craig Patterson, Scott Almeida, Danielle Smid, Courtney Strutt Todd
Council Liaison Andrew Borcharding
3. Approval of the Agenda
4. Approval of Previous Minutes

B. PUBLIC AGENDA ITEMS

1. Project # 20-1009: Autumn Park Plat 7 – Final Plat

C. **ADJOURNMENT**



101 NE Harvey Street, Grimes, Iowa 50111 | P: 515.986.3036

This meeting of the Grimes Planning and Zoning Commission was called to order Tuesday, January 4, 2022 at 5:30 P.M. and was held electronically due to the global health pandemic.

Roll Call: Present: Scott Almeida, Craig Patterson, Courtney Strutt-Todd, Danielle Smid, Council Liaison: Andrew Borcharding

Staff: Alex Pfaltzgraff, Rachel Greving

Absent: Amy Montford

A. GENERAL AGENDA ITEMS

1. APPROVAL OF THE AGENDA

Motion by Patterson, Second by Smid, to approve the agenda

Roll Call: Ayes-All; Nays-0 Motion passes: 5-0

2. APPROVAL OF THE MINUTES

Motion by Patterson, Second by Smid, to approve the minutes from the December 7, 2021 meeting

Roll call: Ayes-All: Nays-0 Motion passes: 5-0

B. PUBLIC AGENDA ITEMS

Project #21-1045: Destination Market Plat 7 – Final Plat

Staff member Pfaltzgraff presented the details of the project. Final plat is the location of the Panera Bread and Freddy's Steakburgers site, and the final plat proposes to split one parcel into two with Panera Bread on the western lot and Freddy's Steakburgers on the eastern lot.

Motion by Patterson, Second by Smid to approve Destination Market Plat 7 – Final Plat

Roll Call: Aye-All Nay-0 **Motion Passes 5-0**

Project #21-1048: Princeton Subdivision Plat 4 – Preliminary Plat

Staff member Pfaltzgraff presented the details of the project. The preliminary plat is proposed to split one lot into two lots. The proposal first went to Board of Adjustment for approval to have a lot less than an acre in size within the Highway 141 Corridor District.

Motion by Smid, Second by Strutt-Todd to approve Princeton Subdivision Plat 4 – Preliminary Plat

Roll Call: Aye-All Nay-0 **Motion Passes 5-0**

Project #21-1049: Princeton Subdivision Plat 4 – Final Plat

Staff member Pfaltzgraff presented the details of the project. The Final Plat is proposed to split one lot into two lots. The proposal first went to Board of Adjustment for approval to have a lot less than an acre in size within the Highway 141 Corridor District.

Motion by Smid, Second by Strutt-Todd to approve Princeton Subdivision Plat 4 – Final Plat

Roll Call: Aye-All Nay-0 **Motion Passes 5-0**

Project #21-1046: Jordison Construction – Site Plan

Staff member Pfaltzgraff presented the details of the project. It is the last site to be developed in the Beisser industrial area. This site plan is for a warehouse distribution site with three buildings with one point of access off of the cul-de-sac. Landscaping will be provided on the east side of the site to screen the site from Highway 141. The site meets all minimum requirements.

The Commission questioned if the traffic flow would be okay with the single access off of the cul-de-sac. Pfaltzgraff commented that the single access is not ideal, but with the land to the north and south already developed, it gives no room for an additional access point. If the road had been extended further south, that would have provided the additional access point, but that is not practical at this time as Urbandale has no plans to extend the road through the R&R development.

Motion by Patterson, Second by Smid to approve Jordison Construction – Site Plan

Roll Call: Aye-All Nay-0 **Motion Passes 4-0**

C. PUBLIC FORUM – None

D. REPORTS

- 1. Department Update – Staff provided an update on development and capital projects around the City.**
- 2. Council Liaison Update – N/A**
- 3. Old Business – N/A**
- 4. New Business – N/A**
- 5. Next meeting February 1, 2022**

Meeting is adjourned at 5:54 p.m.

Signature

Planning & Zoning Staff Report



TO: Planning and Zoning Commission
FROM: Evann Martin, Assistant Planner
DATE: January 20, 2022
RE: Autumn Park Plat 7 – Final Plat

GENERAL INFORMATION:

Applicant:

Autumn Park of Grimes LLC

Requested Action

Final Plat

Location

NW Corner of NW Brookside Dr & W 1st St

SUPPORTING INFORMATION:



Location Map



Zoning Map

LAND USES & ZONING:

Location	Existing Land Use	Land Use Plan Designation	Current Zoning
Subject Site	Townhomes	Mixed Use-1	C-2
North	Single-Family	Low Density Residential	R-4
South	Commercial	Mixed Use -1	C-2
East	Residential	Low Density Residential / Civic	A-1/R-4
West	Agricultural	Mixed Use-1	A-1

BACKGROUND:

The applicant is requesting approval of a final plat, which will allow for the subdivision of the property located at the northwest corner of NW Brookside Drive and West 1st Street. The proposed final plat will provide for 78 townhome lots, one 1.74-acre development lot and one outlot.

ANALYSIS:

The final plat layout is consistent with the preliminary plat and will indicate the appropriate easements. The lots can be accessed from two driveways off of NW Brookside Drive. Pedestrian access will be provided along NW Brookside Drive and West 1st Street. Sanitary and water are provided off of NW Brookside Drive.

STAFF RECOMMENDATION:

Staff would recommend approval of the final plat for Autumn Park Plat 7, subject to any remaining staff comments and legal review.

CITY OF GRIMES

Evann Martin
Assistant Planner



Development Services

410 SE Main St, Suite 102

Grimes, IA 50111

(515)986-4050

www.grimesiowa.gov

August 21, 2020
November 9, 2021

Civil Design Advantage

Attn: Nikki Neal

3405 SE Crossroads Drive, Suite 6
Grimes, IA 50111

RE: Autumn Park Plat 7

Dear Ms. Neal:

The Development Services Department is in receipt of a proposed Site Plan, Preliminary Plat, Construction Drawings and Final Plat for 44 West. Based on the review of the provided submittal materials, staff have the following comments:

Final Plat Comments

- ~~1. Please label all easements and widths.~~
- ~~2. Please address the Overhead Electric Line Easement on Unit 8~~
- ~~3. Please provide an MPE sheet for all units impacted. No MPE's are shown or provided on separate sheet.~~

~~The grading plan was analyzed and the following concern remains. Said units involve a sub-basin involving drainage areas 12, 13, 15, 16, 17, 19, 20, 21, 22, & 23. Verify the controlling elevation is 973.92' (the high point in front of unit 45). In a catastrophic event, water should run down streets and out of the complex before inundating any units. Please rectify.~~

 - ~~a. Units 48-53 (FFE = 973.80') have MPE's below 973.92'. Please rectify to have 1.0' of freeboard.~~
 - ~~b. Units 2-5 and 54-57 (FFE = 974.80') have MPE's with 0.88' freeboard. Please rectify to have 1.0' of freeboard.~~
 - ~~c. Assign MPE's for units 45-47.~~

~~Units 69-70 and 29-30 (FFE = 974.80') have MPE's with 0.97' of freeboard associated with a street high point of 973.83'. Please rectify to have 1.0' of freeboard.~~
- ~~4. Please modify the northern Overland flowage Easement, to Overland Flowage and Detention Easement.~~

~~5. The following legal documents need to be provided for review:~~

- ~~• Title Opinion~~
- ~~• Consent(s) to Plat~~
- ~~• Treasure's Certificate~~
- ~~• County Subdivision Name Approval~~
- Easement (documents)

~~6. A copy of the Declaration of Covenants, Restrictions and Easements will need to be provided for review.~~

~~7. A copy of the HOA Declaration and Bylaws will need to be provided for review.~~

8. A copy of the executed Mid-American Energy electric and Black Hills gas distribution agreement will need to be provided.
9. 4-year maintenance bonds for all of the public improvements, including public trail, water main, and sanitary sewer will need to be provided prior to acceptance of the project.
10. All of the public improvements will need to be complete and ready for acceptance prior to Council approval. If there are remaining punch list items to complete prior Council approval, staff will prepare an Agreement to Complete. Provided performance bond. The Agreement to Complete needs to reflect Phase 2 lot numbers. See attached.
11. On the plat, please provide a curve table.
12. Label the street names and addresses.
13. Provide landscape buffer easement document.
14. Please adjust the title of the easements so they match on both the easement documents and on the plat. For example, the plat says access/utility easement and the easement document says public access and utility easement.
15. On the plat, at Lot 39, please label the water main easement as 10.00' water main easement.
16. On the PUE easement document, the legal description doesn't quite match the plat.

A PART OF OUTLOT 'Z', AUTUMN PARK PLAT 7, AN OFFICIAL PLAT IN THE CITY OF GRIMES, POLK COUNTY, IOWA AND MORE PARTICULARLY DESCRIBED AS A 10.00-FOOT-WIDE EASEMENT BEING 5.00 FEET ON EACH SIDE OF THE FOLLOWING CENTERLINE:

COMMENCING AT THE NORTHWEST CORNER OF SAID OUTLOT 'Z'; THENCE SOUTH 0°12'00" EAST ALONG THE WESTERLY LINE OF SAID OUTLOT 'Z', 80.70 FEET; THENCE SOUTH 0°10'32" WEST CONTINUING ALONG SAID WESTERLY LINE, 11.43 FEET TO THE POINT OF BEGINNING; THENCE NORTH 89°44'26" EAST, 322.28 FEET; THENCE SOUTH 00°15'34" EAST, 433.50 FEET; THENCE NORTH 89°44'26" EAST, 140.55 FEET; THENCE NORTH 00°15'34" WEST, 432.70 FEET; THENCE NORTH 85°21'38" EAST, 323.64 FEET TO THE EASTERLY LINE OF SAID OUTLOT 'Z' AND THE POINT OF TERMINUS. SAID EASEMENT CONTAINS 0.38 ACRES (16,627 SQUARE FEET). THE SIDELINES OF SAID EASEMENT SHALL SHORTEN OR EXTEND TO THE LOT LINES AT THE POINT OF BEGINNING AND POINT OF TERMINUS.

17. Label private storm sewer and overland flowage easements to match the proposed changes to the site plan.

18. Provide private storm sewer and overland flowage easement document.

Please provide a letter addressing all comments on this comment letter and/or state what was modified on the site plan to address said comments.

SITE PLAN SUBMITTAL SCHEDULE:

SUBMITTAL DATE: December 23, 2019
(1 PDF of Site plan with Elevation Plan included)

PLANNING & ZONING: TBD at 5:30 at the Grimes City Hall

COUNCIL MEETING: TBD at 5:30 at the Grimes City Hall

Please feel free to contact me at apfaltzgraff@grimesiowa.gov or at (515) 986-4050 if you have any questions or need additional information.

Sincerely,



Alex Pfaltzgraff
Development Services Director

INDEX LEGEND

LOCATION: PARCEL 'O', PLAT OF SURVEY
BOOK 15425 PAGE 780

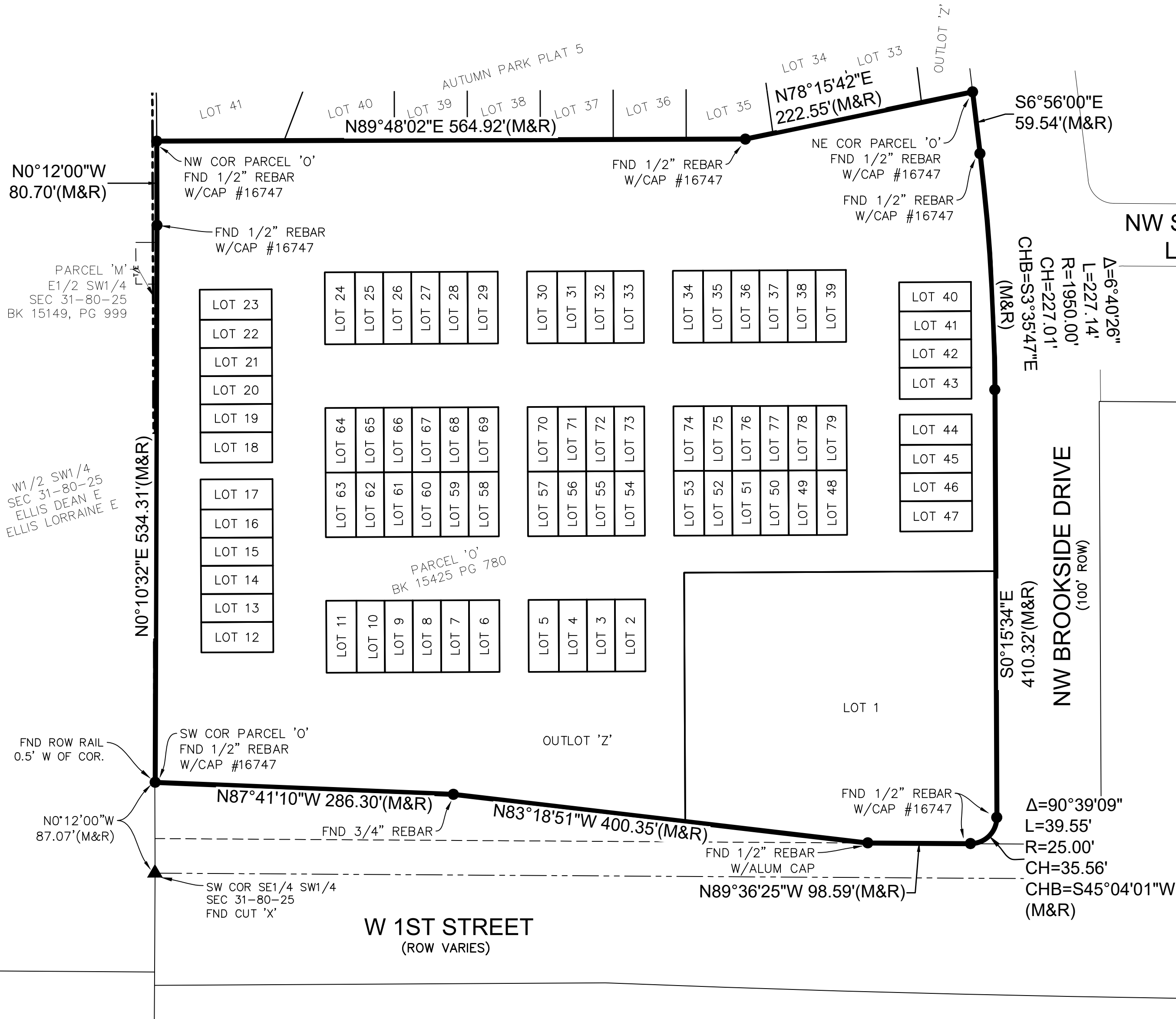
REQUESTOR: AUTUMN PARK OF GRIMES LLC

PROPRIETOR: AUTUMN PARK OF GRIMES LLC
1300 50TH ST. STE 105
WEST DES MOINES, IA 50266

SURVEYOR: MICHAEL A. BROONER

RETURN TO: CIVIL DESIGN ADVANTAGE
3405 SE CROSSROADS DRIVE, SUITE G
GRIMES, IOWA 50111
PH: 515-369-4400

AUTUMN PARK PLAT 7
FINAL PLAT



OWNER / DEVELOPER

DRAKE HOMES
CONTACT: KRISTY DRAKE
1300 50TH ST.
WEST DES MOINES, IOWA 50266
PH: (515) 202-9500

ENGINEER / SURVEYOR

CIVIL DESIGN ADVANTAGE
3405 SE CROSSROADS DRIVE, SUITE G
GRIMES, IOWA 50111

ZONING

C-2 (GENERAL AND HIGHWAY SERVICE COMMERCIAL DISTRICT)
-GRANTED SPECIAL USE PERMIT FOR R-3 USE IN C-2 DISTRICT

*SITE WITHIN CITY OF GRIMES TRANSPORTATION OVERLAY CORRIDOR

BULK REGULATIONS

LOT AREA:	80,000 SF
LOT WIDTH:	200 SF
SETBACKS	
FRONT:	25'
SIDE:	NONE, 25' WHEN ABUTTING R DISTRICT
REAR:	25', ADJUSTABLE PROPORTIONALLY TO FRONT YARD INCREASE, 10' MINIMUM
MAXIMUM HEIGHT:	45'
MAXIMUM NUMBER OF STORIES:	3 STORIES

DATE OF SURVEY

AUGUST 13, 2018

PLAT DESCRIPTION

PARCEL 'O' AS SHOWN ON THE PLAT OF SURVEY
RECORDED IN BOOK 15425 PAGE 780, POLK
COUNTY, IOWA, AN OFFICIAL SURVEY IN THE CITY
OF GRIMES, POLK COUNTY, IOWA AND CONTAINING
12.00 ACRES (522,603 SQUARE FEET).

NOTES

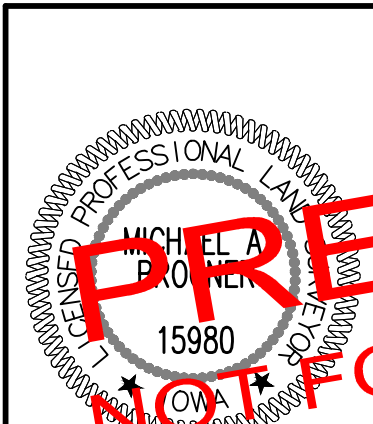
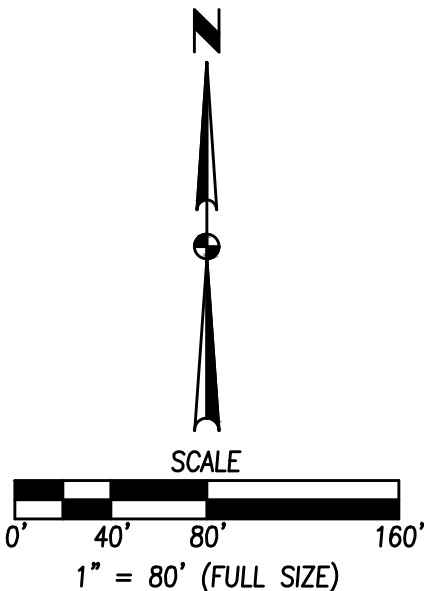
- ANY SET MONUMENTATION SHOWN ON THIS PLAT WILL BE COMPLETED WITHIN ONE YEAR FROM THE DATE THIS PLAT WAS RECORDED.
- LOTS MAY BE SUBJECT TO MINIMUM PROTECTION ELEVATIONS AND OTHER ELEVATION RESTRICTIONS NOT SHOWN ON THIS PLAT. REFER TO THE APPROVED PROJECT ENGINEERING DOCUMENTS FOR ANY ELEVATION RESTRICTIONS.

LEGEND

SECTION CORNER AS NOTED
1/2" REBAR, YELLOW CAP #15980
(UNLESS OTHERWISE NOTED)

MEASURED BEARING & DISTANCE
RECORDED BEARING & DISTANCE
DEEDED BEARING & DISTANCE
PUBLIC UTILITY EASEMENT
CURVE ARC LENGTH
LOT ADDRESS
CENTERLINE
SECTION LINE
EASEMENT LINE
BUILDING SETBACK LINE
PLAT BOUNDARY

FOUND	SET
▲	△
●	○
M	
R	
D	
P.U.E.	
AL	
(1234)	



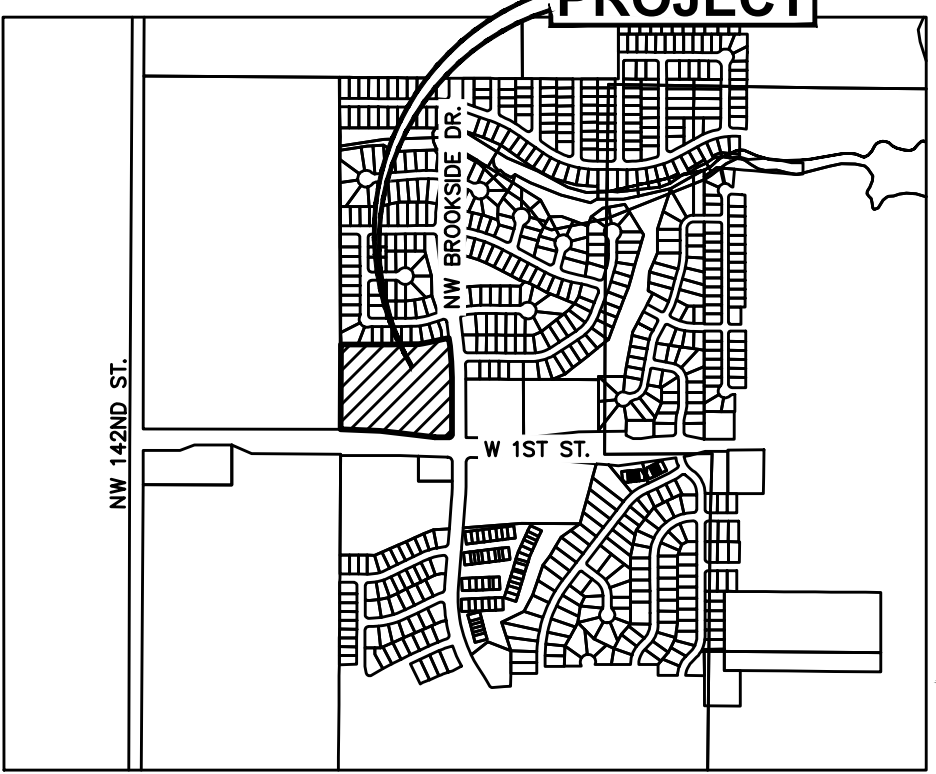
I HEREBY CERTIFY THAT THIS LAND SURVEYING DOCUMENT WAS
PREPARED AND THE RELATED SURVEY WORK WAS PERFORMED
BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND
THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR
UNDER THE LAWS OF THE STATE OF IOWA.

MICHAEL A. BROONER, P.L.S. DATE

MY LICENSE RENEWAL DATE IS DECEMBER 31, 2020
PAGES OR SHEETS COVERED BY THIS SEAL:
SHEETS 1 AND 2

VICINITY MAP

NOT TO SCALE



FILE: H:\2018\1803102\DWG\1803102-FINAL PLAT.DWG
FILE DATE: 8/5/20 DATE PLOTTED: 8/6/2020 8:36 AM

3405 S.E. CROSSROADS DRIVE, SUITE G
GRIMES, IOWA 50111
PHONE: (515) 369-4400 FAX: (515) 369-4410

ENGINEER:

TECH:

AUTUMN PARK PLAT 7
FINAL PLAT

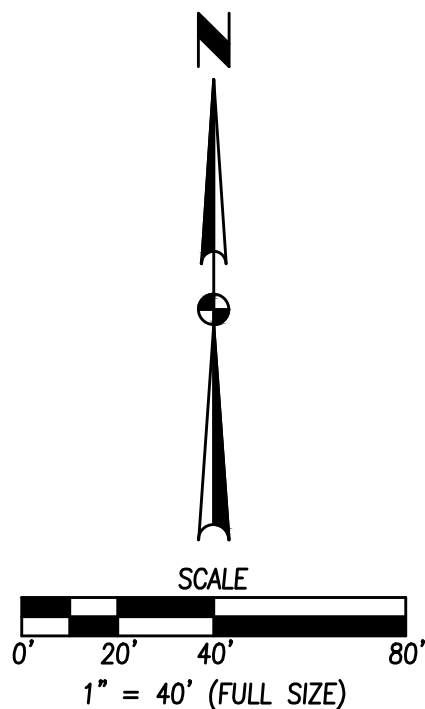
1
2
1803.102

FILE: H:\2018\1803102\DWG\1803102-FINAL PLAT.DWG
DATE: 8/5/20 DATE PLOTTED: 8/6/2020 8:36 AM

LEGEND

SECTION CORNER AS NOTED
1/2" REBAR, YELLOW CAP #15980
(UNLESS OTHERWISE NOTED)
MEASURED BEARING & DISTANCE
RECORDED BEARING & DISTANCE
DEEDED BEARING & DISTANCE
PUBLIC UTILITY EASEMENT
CURVE ARC LENGTH
LOT ADDRESS
CENTERLINE
SECTION LINE
EASEMENT LINE
BUILDING SETBACK LINE
PLAT BOUNDARY

FOUND SET
▲ △
● ○
M
R
D
P.U.E.
AL
(1234)



AUTUMN PARK PLAT 7

FINAL PLAT

N0°12'00"W
80.70'(M&R)

FND 1/2" REBAR
W/CAP #16747

PARCEL 'M'
E1/2 SW1/4
SEC 31-80-25 BK
15149, PG 999

S89°44'26"W 83.75'
10.00' P.U.E.

W1/2 SW1/4
SEC 31-80-25
ELLIS DEAN E
ELLIS LORRAINE E

5.00' LANDSCAPE
BUFFER EASEMENT

FND 1/2" REBAR
W/CAP #16747
FND ROW RAIL
0.5' W OF COR.

SW COR SE1/4 SW1/4
SEC 31-80-25
FND CUT 'X'

W 1ST STREET
(ROW VARIES)

OUTLOT 'Z'
303505 SF
(COMMON AREA)
(200' NE BROOKSIDE DR)

LOT 1
75860 SF
(100' NE BROOKSIDE DR)

Δ=90°39'09"
L=39.55'
R=25.00'
CH=35.56'
CHB=S45°04'01"W
(M&R)

NW SUNSET
LANE

NW BROOKSIDE DRIVE
(100' ROW)

AUTUMN PARK PLAT 7
FINAL PLAT

2/2
1803.102

3405 S.E. CROSSROADS DRIVE, SUITE G
GRIMES, IOWA 50111
PHONE: (515) 369-4400 FAX: (515) 369-4410

CIVIL DESIGN ADVANTAGE

GRIMES, IOWA

ENGINEER:

TECH: JAE

REVISIONS	DATE
FINAL PLAT SUBMITTAL #4	07/08/20
FINAL PLAT SUBMITTAL #3	01/23/20
FINAL PLAT SUBMITTAL #2	12/20/19
FINAL PLAT SUBMITTAL #1	12/11/19

REVISIONS	DATE
FINAL PLAT SUBMITTAL #4	07/08/20
FINAL PLAT SUBMITTAL #3	01/23/20
FINAL PLAT SUBMITTAL #2	12/20/19
FINAL PLAT SUBMITTAL #1	12/11/19