

Planning and Zoning Commission

July 5, 2022

Agenda

Meeting Held Electronically

5:30 P.M.

Electronic Meeting as Provided Under Iowa Code, Chapter 21*

***Please note that this Grimes Planning and Zoning Meeting will be an electronic meeting pursuant to Iowa Code Section 21.8 due to the national health emergency that makes it impossible or impractical for an in-person meeting.**

The public is welcome and encouraged to attend and participate in this meeting by either internet or phone as follows:

- 1. Internet- Meeting attendance may be obtained by “Join Zoom Meeting”. Simply enter the following internet address and ID:**

Join Zoom Meeting

<https://us06web.zoom.us/j/87969131736?pwd=TmR1T3psVVBCZVExNWo3Wkkvbi9Jdz09>

Meeting ID: 879 6913 1736

Passcode: 1234

- 2. By Phone: 877 853 5257 US Toll-free.**

For any additional assistance or questions in attending the meeting, please call 515-986-4050 from 8 a.m. to 4:30 p.m. Monday-Friday.

Meetings will be recorded

AGENDA

A GENERAL AGENDA ITEMS

1. Call to Order
2. Roll Call: Russ Licktieg, Craig Patterson, Scott Almeida, Danielle Smid, Courtney Strutt Todd
Council Liaison Andrew Borcharding
3. Approval of the Agenda
4. Approval of Previous Minutes

B. PUBLIC AGENDA ITEMS

1. Project # 22-1023: Taco Bell – Site Plan
2. Project # 22-1024: Legacy at James Street Plat 1 – Preliminary Plat
3. Project # 22-1025: Legacy at James Street Plat 1 – Final Plat
4. Project # 22-1026: Donovan Marine Grimes – Site Plan

C. REPORTS

1. Department Update
2. Council Liaison Update
3. Old Business
4. New Business

D. ADJOURNMENT



101 NE Harvey Street, Grimes, Iowa 50111 | P: 515.986.3036

This meeting of the Grimes Planning and Zoning Commission was called to order Tuesday, June 7, 2022 at 5:30 P.M.

Roll Call: Present: Scott Almeida, Craig Patterson, Courtney Strutt-Todd, Russ Lickteig, Council Liaison: Andrew Borcharding

Staff: Alex Pfaltzgraff, Evann Martin, Molly Mannel, Rachel Greving

Absent: Danielle Smid

A. GENERAL AGENDA ITEMS

1. APPROVAL OF THE AGENDA

Motion by Patterson, Second by Lickteig, to approve the agenda

Roll Call: Ayes-All; Nays-0 Motion passes: 4-0

2. APPROVAL OF THE MINUTES

Motion by Lickteig, Second by Patterson, to approve the minutes from the May 4, 2022 meeting

Roll call: Ayes-All: Nays-0 Motion passes: 4-0

B. PUBLIC AGENDA ITEMS

Project #22-1021: Meadows Plat 1 – Final Plat

Staff member Martin presented the details of the plat. Located at the southwest corner of Highway 44 and SW County Line Road, it is zoned R-4 with a PUD. The purpose of the plat is to divide the property for apartments and townhomes for stage 1 of the project.

The Commission discussed the proposal and asked questions of staff.

Motion by Lickteig, Second by Strutt-Todd to approve Meadows Plat 1 – Final Plat

Roll Call: Aye-All Nay-0 **Motion Passes 4-0**

Project #22-1020: James Point – Site Plan

Staff member Martin presented the details of the project. Located at the southwest corner of NW 27th Street and North James Street, it was recently rezoned to R-3 Medium Zoning. The site

plan is consistent with what was previously seen as a concept plan. There is a detention pond to the south and landscape buffering to the south and west to provide some separation for the existing homes to the south and west.

The Commission discussed the proposal and asked questions of staff regarding the addressing, grading, and elevation.

Motion by Patterson, Second by Lickteig to approve James Point – Site Plan

Roll Call: Aye-All Nay-0 **Motion Passes 4-0**

Agenda Item: Urban Renewal Amendment Review – Rock Creek Investments

Staff member Pfaltzgraff presented the details of the Urban Renewal Amendment Review and project details for a medical office campus at SE 37th Street and NW 100th Street.

Motion by Strutt-Todd, Second by Patterson to recommend Urban Renewal Amendment Review – Rock Creek Investments

Roll Call: Aye-All Nay-0 **Motion Passes 4-0**

C. PUBLIC FORUM – None

D. REPORTS

- 1. Department Update – Staff provided an update on development and capital projects around the City.**
- 2. Council Liaison Update – N/A**
- 3. Old Business – N/A**
- 4. New Business – N/A**
- 5. Next meeting July 5, 2022**

Meeting is adjourned at 6:07 p.m.

Signature

Planning & Zoning Staff Report



TO: Planning and Zoning Commission
FROM: Evann Martin, Assistant Planner
DATE: July 5, 2022
RE: Taco Bell – Site Plan

GENERAL INFORMATION:

Applicant:

Black River Bells, LLC

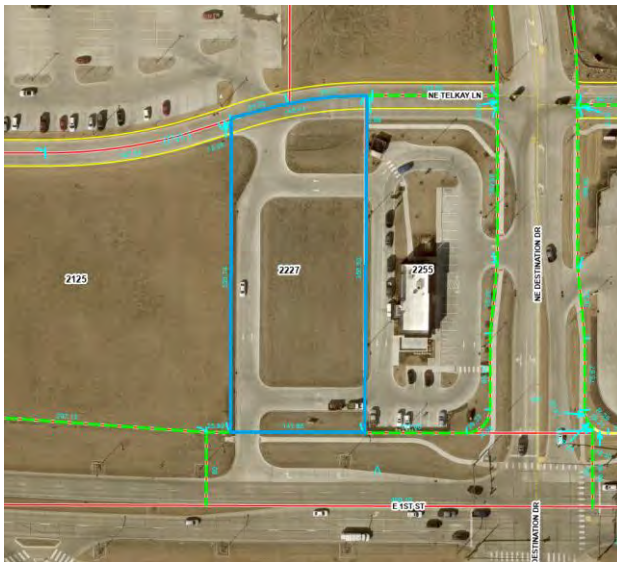
Requested Action

Site Plan

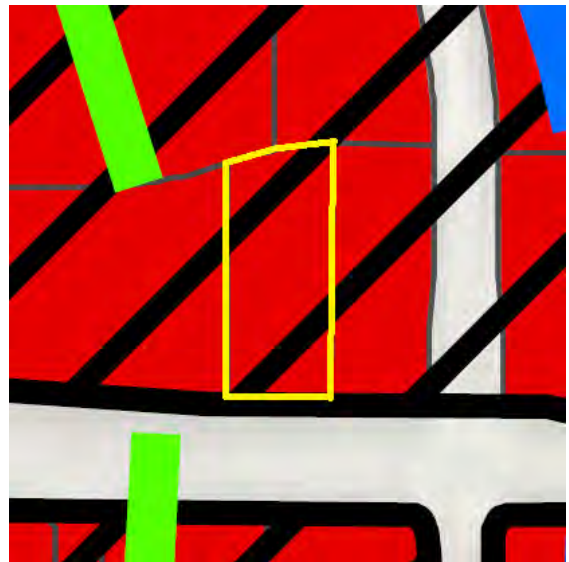
Location

2227 E 1st Street

SUPPORTING INFORMATION:



Location Map



Zoning Map

LAND USES & ZONING:

Location	Existing Land Use	Land Use Plan Designation	Current Zoning
Subject Site	Vacant	General Commercial	C-2
North	Commercial/Vacant	General Commercial	C-2
South	Commercial	General Commercial	C-2
East	Commercial	General Commercial	C-2
West	Commercial	General Commercial	C-2

BACKGROUND:

The applicant is requesting approval of the site plan for a 2,048 square foot Taco Bell restaurant with drive-thru and outdoor patio located at 2227 E. 1st Street.

The property is located within the C-2 zoning district and is within Zone 2 of the Highway 141 Mixed Use Development Corridor District and the Transportation Corridor Mixed Use Development District Overlay.

ANALYSIS:*Building/Elevations:*

The façade is proposed to be principally constructed of brick with metal panel accents. The dumpster enclosure will be constructed of poured concrete with embossed brick pattern to match the character of the building. The dumpster enclosure gates will be metal-framed with plastic lumber pickets. The elevations appear to meet all of the minimum architectural standards. Because the building is not completely constructed of masonry and is proposing some metal features, a 4/5 vote of approval from Council will be required.

Site Layout:

The site can be accessed from two existing driveways. Access off of E 1st Street is be right in/right out only. The driveway off of NE Telkay Lane is a full access. Pedestrian connectivity is provided along E 1st Street and NE Telkay Lane, with a pedestrian connection from E 1st Street to the building.

The restaurant will provide outdoor patio seating on the south side of the building and a dual lane drive-thru.

Parking:

The site provides more than the required number of parking spaces for the site with 24 total parking spaces provided. Appropriate drive-thru stacking has been provided with more than five stacking spaces behind the pick-up window.

Landscaping/Streetscape:

The site meets the minimum required number of plantings for the two overlay districts. Landscaping is provided along E 1st Street and NE Telkay Lane, within landscape islands throughout the site, and around the building foundation.

Utilities:

The sanitary sewer will connect to the existing 6" sanitary sewer service on the north side of the site and will run south to the building. A grease interceptor will be installed onsite to separate to keep food waste out of the sanitary sewer.

Water is provided from an existing 6" water service on the north side of the site.

Detention is handled within the regional detention basin located on the west side of the Menard's site along Highway 141. Storm sewer onsite will connect to the existing storm sewer along NE Telkay Lane and connect to the regional detention basin.

STAFF RECOMMENDATION:

Staff would recommend approval of the site plan for Taco Bell subject to any remaining staff comments.

CITY OF GRIMES

Evann Martin
Assistant Planner



Development Services

410 SE Main St, Suite 102

Grimes, IA 50111

(515)986-4050

www.grimesiowa.gov

~~June 2, 2022~~

~~June 9, 2022~~

June 24, 2022

Sundance, INC

Attn: Tim Krause

7915 Kensington Court

Brighton, MI 48116

RE: Taco Bell Site Plan

Dear Mr. Krause:

The Development Services Department is in receipt of a proposed Site Plan for the Taco Bell. Based on the review of the provided submittal materials, staff have the following comments:

General Comments:

- ~~1. Please update Grimes Standard Notes. A copy is attached.~~
- ~~2. Please add utility contacts.~~
- ~~3. Please include C-2 zoning, and Highway 141 Mixed Use Development Corridor District, Zone 2.~~
- ~~4. Please include site address and legal description. Provide legal description. Should be Lot 2 Destination Market Plat 5.~~
- ~~5. Please sod the site, per the Highway 141 ordinance.~~
6. Please provide \$1250 for SWMP and SWPPP review.

Sheet C1.0

- ~~1. Revise Note C under 31000 Erosion Control. Inspections after rain events are no longer required per GP2 that came out in 2018.~~
2. Erosion Control notes A – calls out for the site being exempt from the NPDES requires. Due to this site previously being developed under a NPDES general permit number 2, this site would be required to obtain their own NPDES General Permit Number 2. Provide copy of NPDES permit and SWPPP.

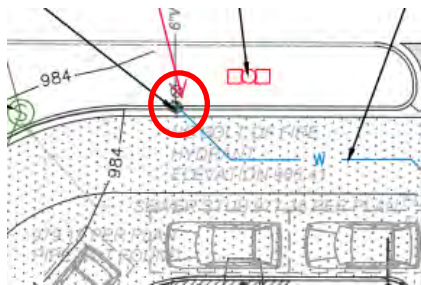
- ~~3. Building does not appear to have a fire sprinkler system, as the only water service shown to the building is a 2" domestic line. Per Section 903.2.1.2 of the City of Grimes Fire Code, a fire sprinkler is required for this building. The FDC shall be placed within 100 feet of a fire hydrant.~~
- ~~4. Please add utility contacts.~~

Sheet C1.1

- ~~1. Please curb and raise the landscaped bed where adjacent to the dumpster enclosure.~~
- ~~2. Please modify the drive through exit to 16 feet.~~
3. Please provide a geo-technical report with analysis and recommendations for HMA pavement thickness. Update plans with a section view of the pavement thickness. Please update the pavement detail to the correct SUDAS Standard. Table 8B-1.04 indicates three different pavement options, based upon the CBR (California Bearing Ratio). Depending on which option you choose, the contractor will need to provide test results for the CBR prior to paving. Generally speaking in Iowa, obtaining a CBR of 6 or above with standard compaction practices is not achievable. Typically, contractors must amend the soils with cement, fly ash or a geogrid to obtain a CBR of 6 or more. Even with a CBR of 9 and above, a 12" minimum subgrade preparation is required.
- ~~4. Please update the drive through passthrough lane to 12'.~~
- ~~5. Please provide detailing for Keynote 39 for the concrete.~~
- ~~6. Please provide detailing for Keynote 10 for the concrete flume.~~
- ~~7. Provide 5' sidewalk along the north side of the lot with ramps and truncated domes at the driveway. Line up the west side of the sidewalk to the sidewalk for the Freddy's site plan. Site plan is provided for reference.~~
8. Staff would like to see a sidewalk connection into the site if possible. Could a connection be provided from the sidewalk along E 1st St to the sidewalk running along the east side of the building? Please provide and island instead of the pavement striping in the parking space.

Sheet C1.3

1. ~~Fix “Hydrant and Valve Assembly” label.~~
2. ~~Please provide a Fire Department Connection (FDC) and locate a hydrant within 100 feet of said FDC.~~
3. ~~Please ensure southern hydrant is at least 5 feet away from the adjoining light pole structure.~~
4. ~~Show Hydrant route coverage. (150 foot routes)~~
5. ~~Please call out critical crossing of a watermain and storm sewer.~~
6. Please call out critical crossing of sanitary sewer and storm sewer. **If there is less than 18” separation between storm and sanitary sewer pipe, supports are required per SUDAS Section 3010. Label and provide detail.**
7. ~~Please provide a separate fire and domestic service line.~~
8. ~~Provide shut off valve 5’ outside of building connection for domestic 2 inch service.~~
9. ~~Please identify type and size of manhole for the sanitary manhole.~~
10. The 1250 Gallon grease interceptor will need to be sized to meet the WRA standards. Please contact Jason Merk at the WRA. **It does not look like the grease interceptor has been sized per WRA standards. Please provide WRA sizing decision.**
11. ~~Please place a hydrant near the north 6’ water main.~~



12. **Provide sidewalk ramp slope and cross slope details for the sidewalk on the north side of the site.**

Sheet C1.4

1. **Please ensure the tree next to the north hydrant is at least 5’ away from the hydrant.**

2. Please provide plantings along the building within the landscape stone area.

Sheet C2.0

1. Please provide spot elevations for the ADA Sidewalk Ramp Detail. On Sheet 1.2, please provide a detail labeling the slope and cross slopes for the ramp.

Sheet C2.1:

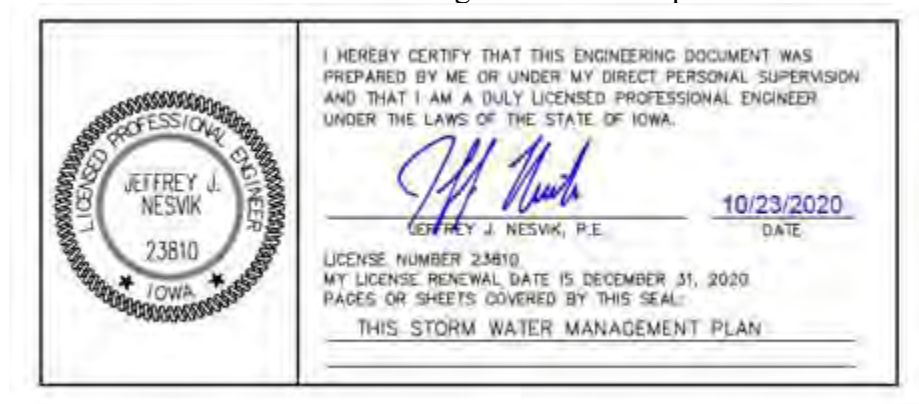
1. In the dumpster gate detail, please provide clarification that the gate framing will be metal.
2. Will the dumpster enclosure be tall enough to completely screen the dumpsters? The 6' height label appears to include the 8" concrete base. Please confirm that complete screening will be provided or revise height accordingly.

Sheet C2.2

1. ~~Please provide details patio railing dimensions and materials.~~
2. Pylon signs are not permitted. Where is this GO Mobile sign intending to be placed? On the proposed monument, is the black portion a message board? Electronic and manual change message boards are not permitted. Monument signs require a masonry base and surround to hide the sign cabinet from the ROW. All signage will need to be reviewed and approved with a separate sign permit.

Stormwater Management Plan (SWMP)

1. Cover Sheet: Use correct signature block as per State of Iowa. Below is an example.



2. Page 1: Rainfall depth is 7.12 inches.

3. Page 1: Assumed impervious cover on original report is 85%, not 84%.
4. Provide Intake Spread spreadsheets.

Construction Drawings (CDs)

1. Sheet C1.3: Provide critical crossing labels on ST Pipe 2 and water; and ST Pipe 4 and sanitary.

Elevations

- ~~1. Staff would suggest adding corner elements to the rear elevation to help break up wall height.~~
- ~~2. Are the grey areas that display the vertical signage/artwork panels, offset or recessed? Staff finds this would add a nice element to break up the wall plane.~~

Photometrics

- ~~1. Please provide a photometric plan.~~
2. Provide lighting cut sheets for the pole light and building lighting fixtures. Lights to be shaded and hooded. Provide uplighting on the south façade.
3. Provide all proposed lighting details. We will need to present what is proposed to P&Z and Council. Are there any colored lights proposed? If so, what color and will it change colors? Lighting changes after P&Z/Council approval may need to return to P&Z/Council for approval.

Please provide a letter addressing all comments on this comment letter and/or state what was modified on the site plan to address said comments.

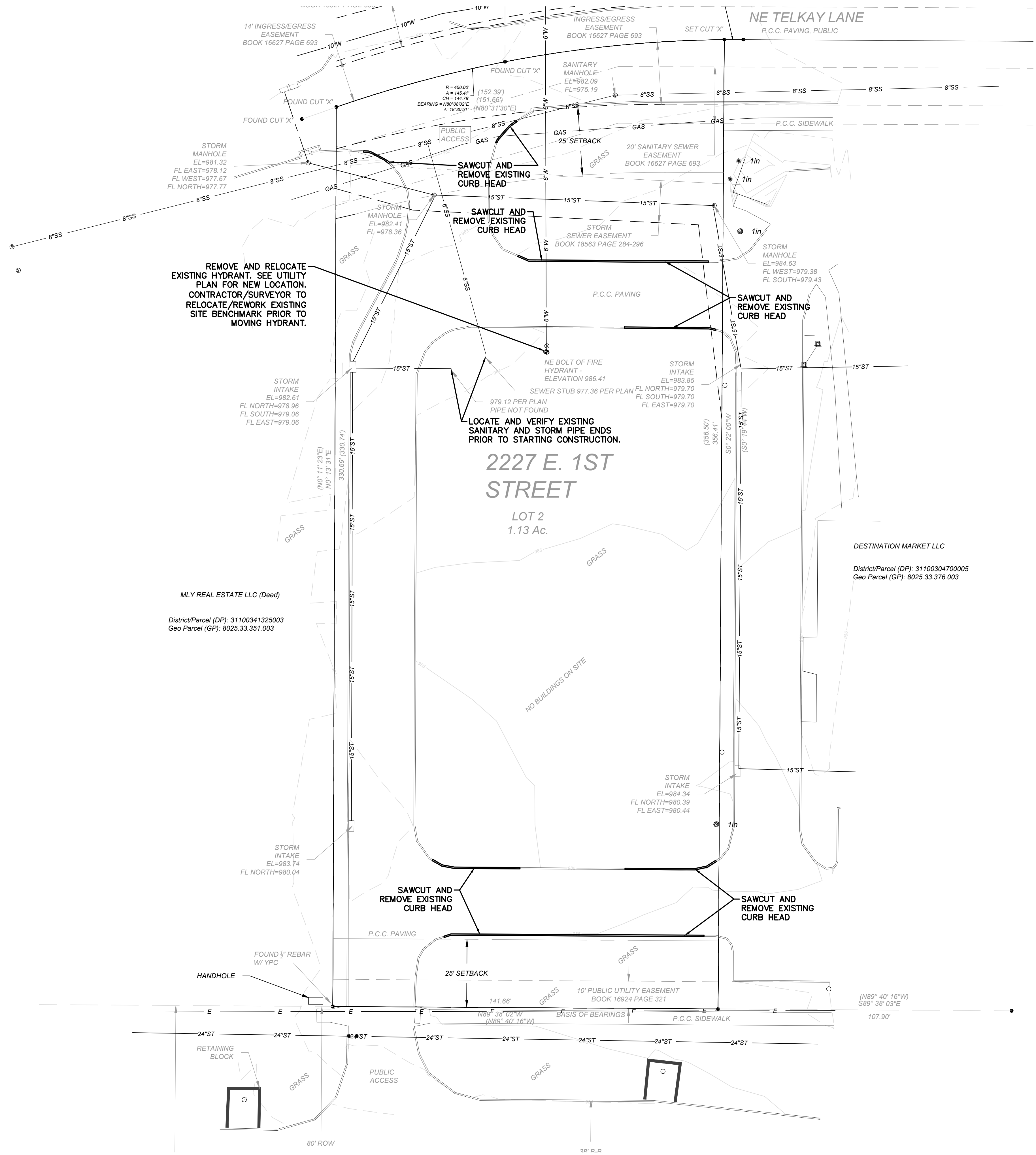
SITE PLAN SUBMITTAL SCHEDULE:

SUBMITTAL DATE:	June 8, 2022 June 30, 2022 (1 PDF of Site plan with Elevation Plan included)
PLANNING & ZONING:	July 5, 2022 at 5:30
COUNCIL MEETING:	July 12, 2022 at 5:30

Please feel free to contact me at emartin@grimesiowa.gov or at (515) 986-4050 if you have any questions or need additional information.

Sincerely,

Evann Martin
Assistant Planner



SPECIFICATION NOTE:
SEE SHEET C0.1 FOR PLAN
SPECIFICATIONS AND REQUIREMENTS

Legend of Symbols & Abbreviations

- | | | | |
|-----|----------------------|-----|-------------------------------|
| ○ | Power Pole | ⊗ | Gas Meter |
| □ | Sign | ⊙ | Sanitary Clean Out |
| ⊕ | Electric Transformer | ⊗ | Water Valve |
| ⊕ | Telephone Manhole | ⊙ | Fire Hydrant |
| ⊕ | Telephone Pedestal | ⊙ | Manhole |
| ⊕ | Electric Meter | ● | Property Corner Found |
| ○ | Light Pole | ○ | Property Corner Set |
| N. | North | ⊕ | Benchmark |
| S. | South | ♿ | Indicates Handicapped Parking |
| E. | East | PCC | Concrete |
| W. | West | ACC | Asphalt |
| ° | Degrees | W | Water Main |
| ' | Feet or Minutes | () | Recorded as |
| " | Inches or Seconds | L/S | Landscaped |
| Sq. | Square | BH | Building Height |
| | | ROW | Right of Way |
| | | CL | Centerline |
| | | E | Underground Electric Line |
| | | RCP | Reinforced Concrete Pipe |
| | | YPC | Yellow Plastic Cap |
| | | B-B | Back to Back |
| | | SS | Sanitary Sewer |
| | | TEL | Telephone |
| | | ST | Storm Sewer |
| | | T | Underground Telephone |

SURVEY NOTE:
EXISTING CONDITIONS SURVEY HAS BEEN PROVIDED BY
BRAIN ENGINEERING, INC. CONTACT BRAIN ENGINEERING
WITH ANY QUESTIONS RELATING TO THE EXISTING SURVEY.

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Fond du Lac, WI 54935
Phone: (920) 926-9800
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PROJECT INFORMATION

NEW BUILDING FOR:
TACO BELL - BLACK RIVER BELLS
2227 E. 1ST STREET • GRIMES, IA 50111

PROFESSIONAL SEAL

PRELIMINARY DATES

MAY 23, 2022
JUNE 8, 2022
JUNE 30, 2022

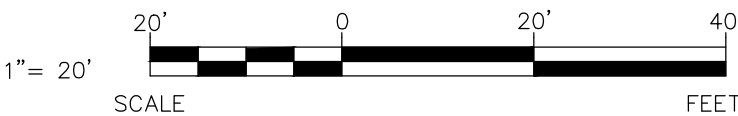
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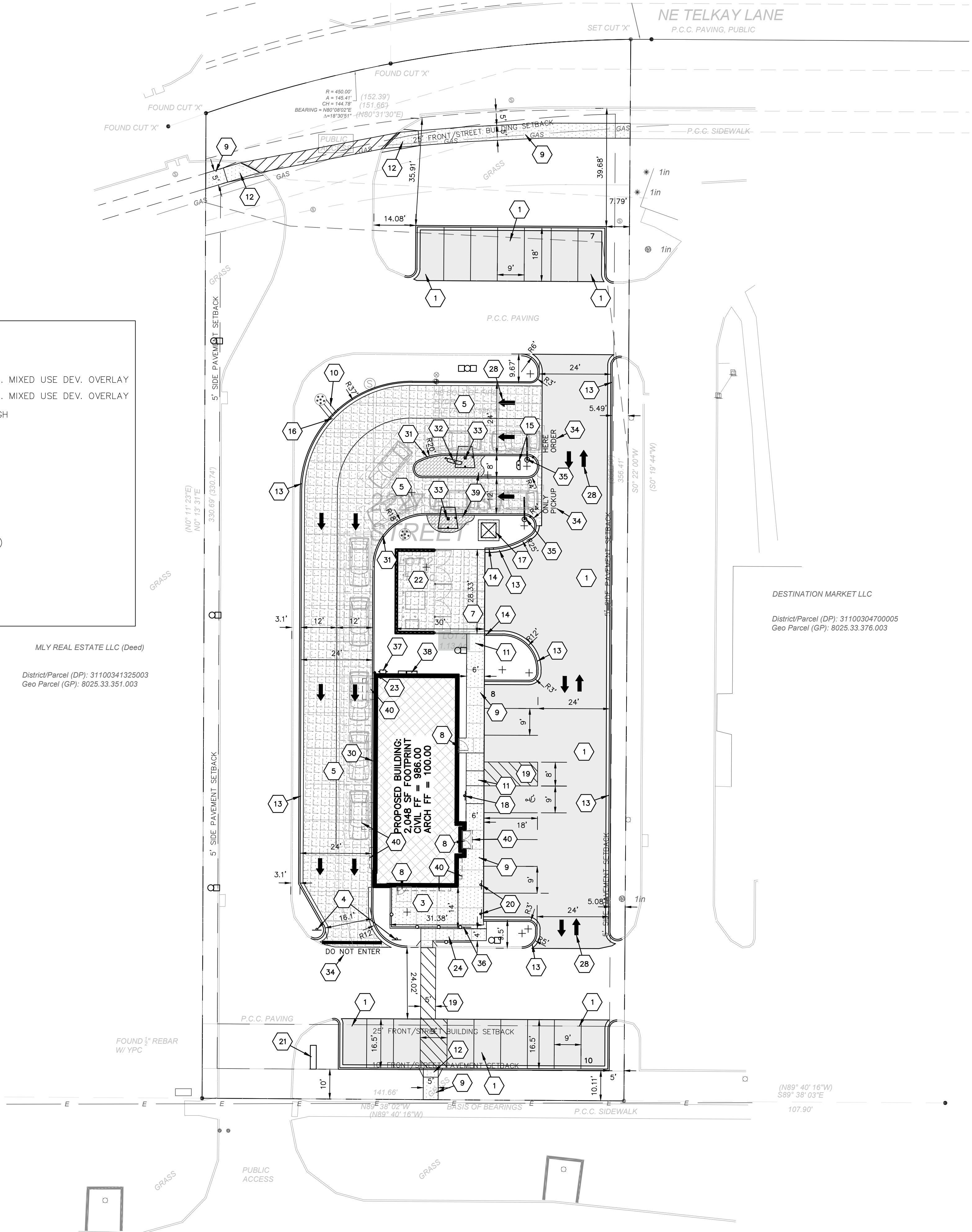
2217320

SHEET NUMBER

C1.0



CIVIL EXISTING SITE AND DEMOLITION PLAN



SITE INFORMATION:

PROPERTY AREA: AREA = 1.13 ACRES
EXISTING ZONING: C-2 W/ HWY 141 ZONE 2 AND TRANS. CORR. MIXED USE DEV. OVERLAY
PROPOSED ZONING: C-2 W/ HWY 141 ZONE 2 AND TRANS. CORR. MIXED USE DEV. OVERLAY
PROPOSED USE: QUICK SERVE RESTAURANT W/ DRIVE THROUGH
AREA OF SITE DISTURBANCE: 0.60 ACRES

SETBACKS: BUILDING: FRONT = 25'
SIDE = NONE

PAVEMENT: FRONT = 10'
SIDE = 5'

PROPOSED BUILDING HEIGHT: 23' (MAX. HEIGHT ALLOWED: 45')
PARKING REQUIRED: 10 SPACES PER 1,000 S.F. (22 SPACES REQ.)
PARKING PROVIDED: 24 SPACE (1 H.C. ACCESSIBLE)
HANDICAP STALLS REQUIRED: 1, HANDICAP STALLS PROVIDED: 1
GREENSPACE REQUIRED: 15% MINIMUM
GREENSPACE PROVIDED: 24%

EXISTING SITE DATA

	AREA (AC)	AREA (SF)	RATIO
PROJECT SITE	1.13	49,379	
BUILDING FLOOR AREA	0.00	0	0.0%
PAVEMENT (ASP. & CONC.)	0.39	17,073	34.6%
TOTAL IMPERVIOUS	0.39	17,073	34.6%
LANDSCAPE/ OPEN SPACE	0.74	32,306	65.4%

PROPOSED SITE DATA

	AREA (AC)	AREA (SF)	RATIO
PROJECT SITE	1.13	49,379	
BUILDING FLOOR AREA	0.05	2,048	4.1%
PAVEMENT (ASP. & CONC.)	0.81	35,401	71.7%
TOTAL IMPERVIOUS	0.86	37,449	75.8%
LANDSCAPE/ OPEN SPACE	0.27	11,930	24.2%

MLY REAL ESTATE LLC (Deed)

District/Parcel (DP): 31100341325003
Geo Parcel (GP): 8025.33.351.003

DESTINATION MARKET LLC

District/Parcel (DP): 31100304700005
Geo Parcel (GP): 8025.33.376.003

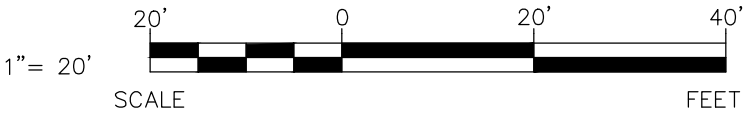
SPECIFICATION NOTE:
SEE SHEET C0.1 FOR PLAN
SPECIFICATIONS AND REQUIREMENTS

SITE PLAN KEYNOTES

- 1 STANDARD ASPHALT SECTION (TYP.).
- 3 CONCRETE PATIO (TYP.).
- 4 "DO NOT ENTER" SIGN
- 5 HEAVY DUTY/DRIVE-THRU CONCRETE (TYP.). HEAVY DUTY CONCRETE WITHIN THE ROW SHALL BE INSTALLED PER LOCAL STANDARDS
- 7 DUMPSTER PAD/APRON CONCRETE (TYP)
- 8 CONCRETE STOOP (TYP.) SEE ARCH. PLANS FOR DETAILS.
- 9 RAISED WALK (TYP.).
- 10 CONCRETE FLUME (TYP.)
- 11 ADA SIDEWALK RAMP (TYP.)
- 12 CURB RAMP WITH TRUNCATED DOMES. SEE DETAIL. (TYP.)
- 13 18" CURB & GUTTER (TYP.)
- 14 TAPER CURB
- 15 DRIVE-THRU MENU PREVIEW BOARD
- 16 CURB CUT
- 17 CONCRETE TRANSFORMER PAD BY UTILITY SUPPLIER (CONTRACTOR TO VERIFY FINAL LOCATION & DESIGN PRIOR TO CONSTRUCTION)
- 18 HANDICAP SIGN (TYP.)
- 19 HANDICAP STALL & STRIPING PER STATE CODES.
- 20 "GO MOBILE PICKUP" SIGN (2 TYP.)
- 21 PROPOSED GROUND MONUMENT SIGN LOCATION W/ GO-MOBILE SIGN (DETAILS, FINAL LOCATION, & APPROVAL BY SIGN VENDOR)
- 22 DUMPSTER ENCLOSURE (SEE SHEET C2.2 FOR DETAILS)
- 23 6" CONCRETE BOLLARDS (SEE DETAIL ON C2.0)
- 24 1:12 ADA RAMP WITH RAILING. SEE DETAIL.
- 28 TRAFFIC FLOW ARROWS. COLOR TO MATCH PARKING STALL STRIPING.
- 30 DRIVE-THRU BUILDING VERTICAL CURB (SEE DETAIL ON C2.0)
- 31 DRIVE-THRU 6" VERTICAL CURB. (SEE DETAIL ON C2.0)
- 32 MENU BOARD.
- 33 SPEAKER POST, CANOPY, AND BOLLARD.
- 34 PAVEMENT LETTERING (TYP.)
- 35 CLEARANCE BAR AND BOLLARD WITH DRIVE THRU SIGN.
- 36 PATIO RAILING SYSTEM. SEE SHEET C2.1 FOR EXAMPLE.
- 37 GAS METER.
- 38 ELECTRIC METER.
- 39 4" CONCRETE. STAMPED AND STAINED. COORDINATE W/ OWNER FOR DESIRED COLOR/TEXTURE.
- 40 BUILDING CANOPY. (TYP.) (SEE ARCH PLANS.)

PAVEMENT HATCH KEY:

[Hatch]	STANDARD ASPHALT
[Hatch]	SIDEWALK CONCRETE
[Hatch]	HEAVY DUTY CONCRETE



CIVIL SITE PLAN

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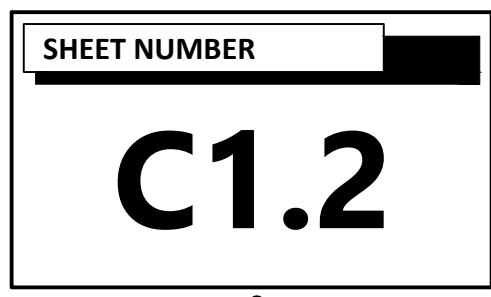
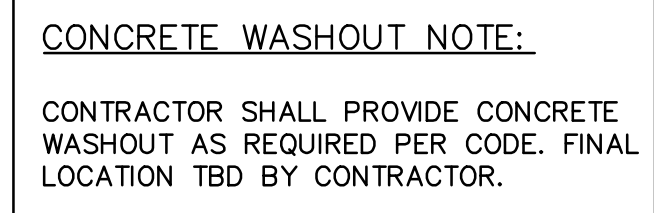
APR. 18, 2022
APR. 20, 2022
MAY 23, 2022
JUNE 8, 2022
JUNE 30, 2022

JOB NUMBER

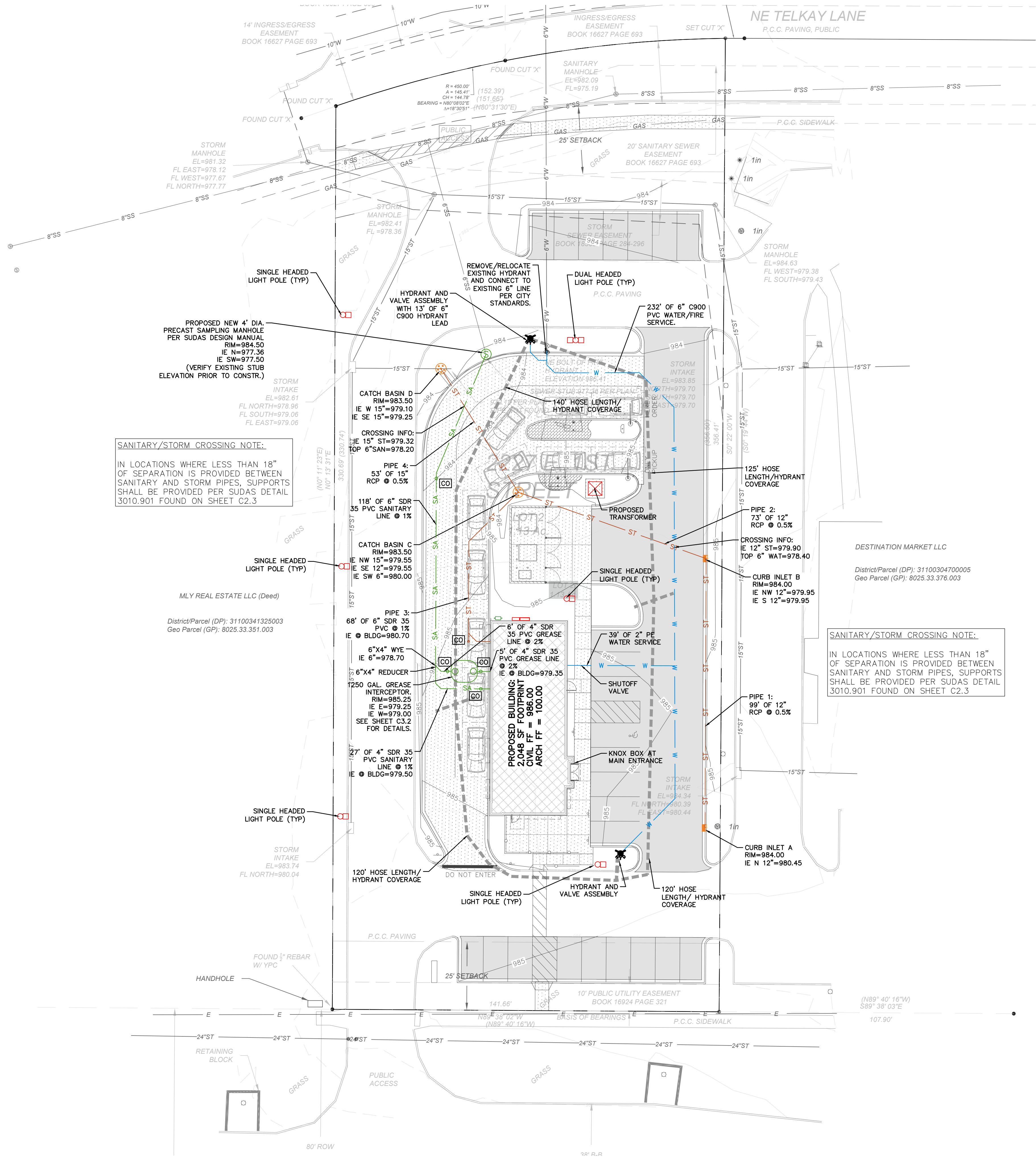
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C1.1



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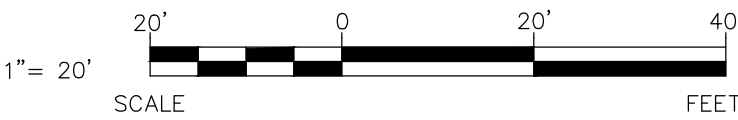
SPECIFICATION NOTE:
SEE SHEET C0.1 FOR PLAN
SPECIFICATIONS AND REQUIREMENTS

CLEANOUT NOTE:
[Symbol] = DENOTES LOCATIONS WHERE
CONTRACTOR SHALL INSTALL CLEANOUTS, SEE
C0.1 FOR SPECIFICATION.

SANITARY/STORM CROSSING NOTE:
IN LOCATIONS WHERE LESS THAN 18"
OF SEPARATION IS PROVIDED BETWEEN
SANITARY AND STORM PIPES, SUPPORTS
SHALL BE PROVIDED PER SUDAS DETAIL
3010.901 FOUND ON SHEET C2.3

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3010.901 FOUND ON SHEET C2.3

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CIVIL UTILITY PLAN

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C1.3

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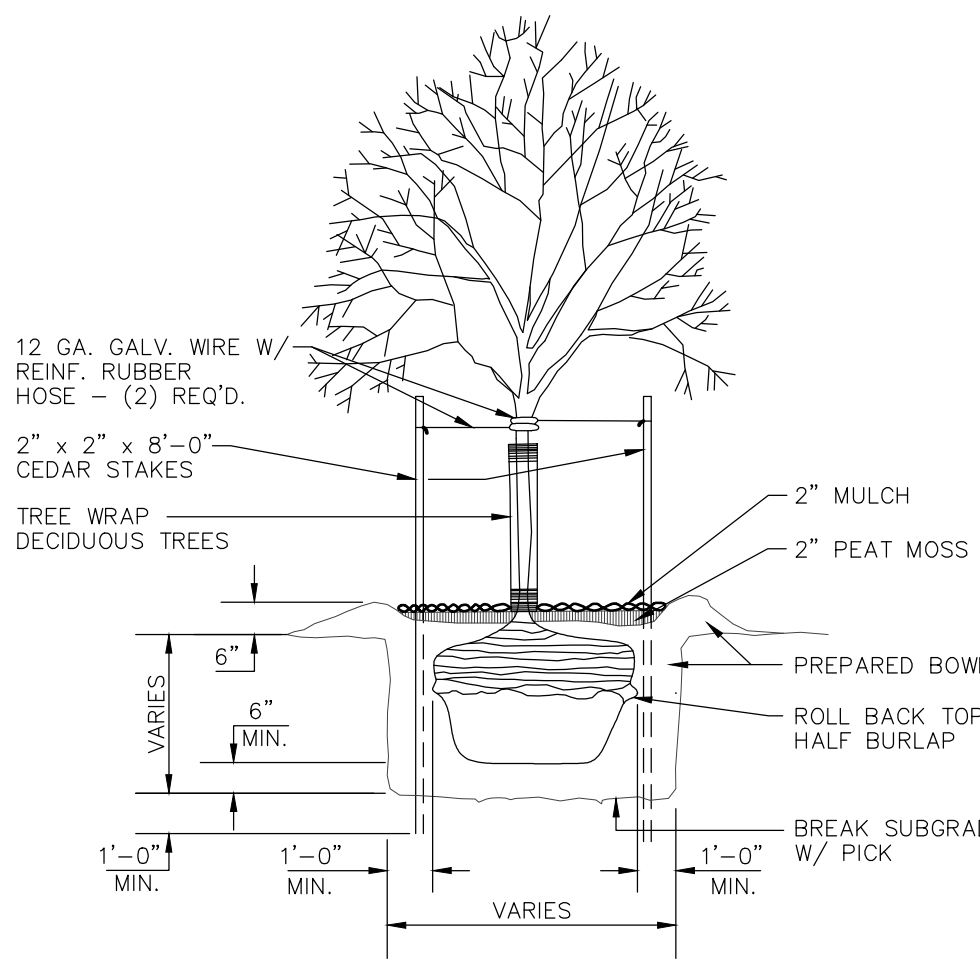
SHEET NUMBER
C1.4

SPECIFICATION NOTE:
SEE SHEET C0.1 FOR PLAN
SPECIFICATIONS AND REQUIREMENTS

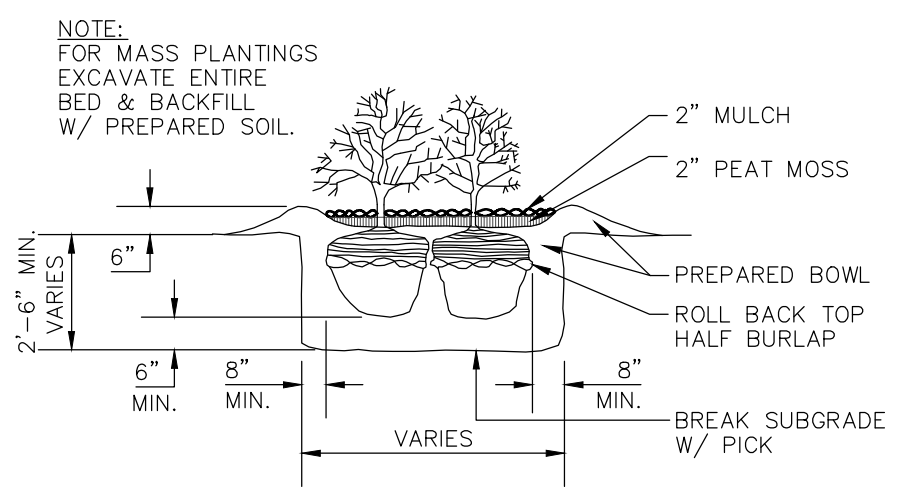
LAWN NOTE:
ALL LAWN AREAS TO BE SODDED
PER THE SPECIFICATIONS ON C0.1

LANDSCAPING PLANTING SCHEDULE				
SYMBOL	COMMON NAME	BOTANICAL NAME	PLANTED SIZE	QUANTITY
DECIDUOUS TREES				
	Skyline Honeylocust	Gleditsia triacanthos 'Skyline'	1.5"	6
	Redmond Linden	Tilia americana	1.5"	5
	Autumn Blaze Maple	Acer x freemanii 'Jeffersred'	2"	3
	Sugar Maple	Acer saccharum	2"	6
DECIDUOUS SHRUBS				
	Dwarf Korean Lilac	Syringa meyeri pallbin	15"-18"	18
	Red Twigged Dogwood	Cornus baileyi	30"-36"	14
PERENNIALS				
	Karl Foerster Reed Grass	Clamagrostis x acutiflora 'Karl Foerster'	1 gal pot	45
	Daylilies 'Stella de Oro'	Hemerocallis 'Stella de Oro'	1 gal pot	19

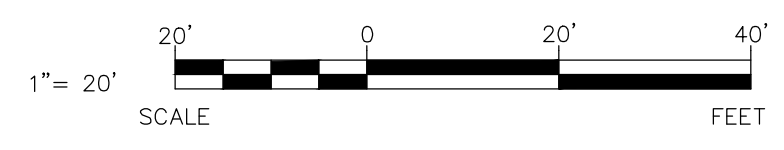
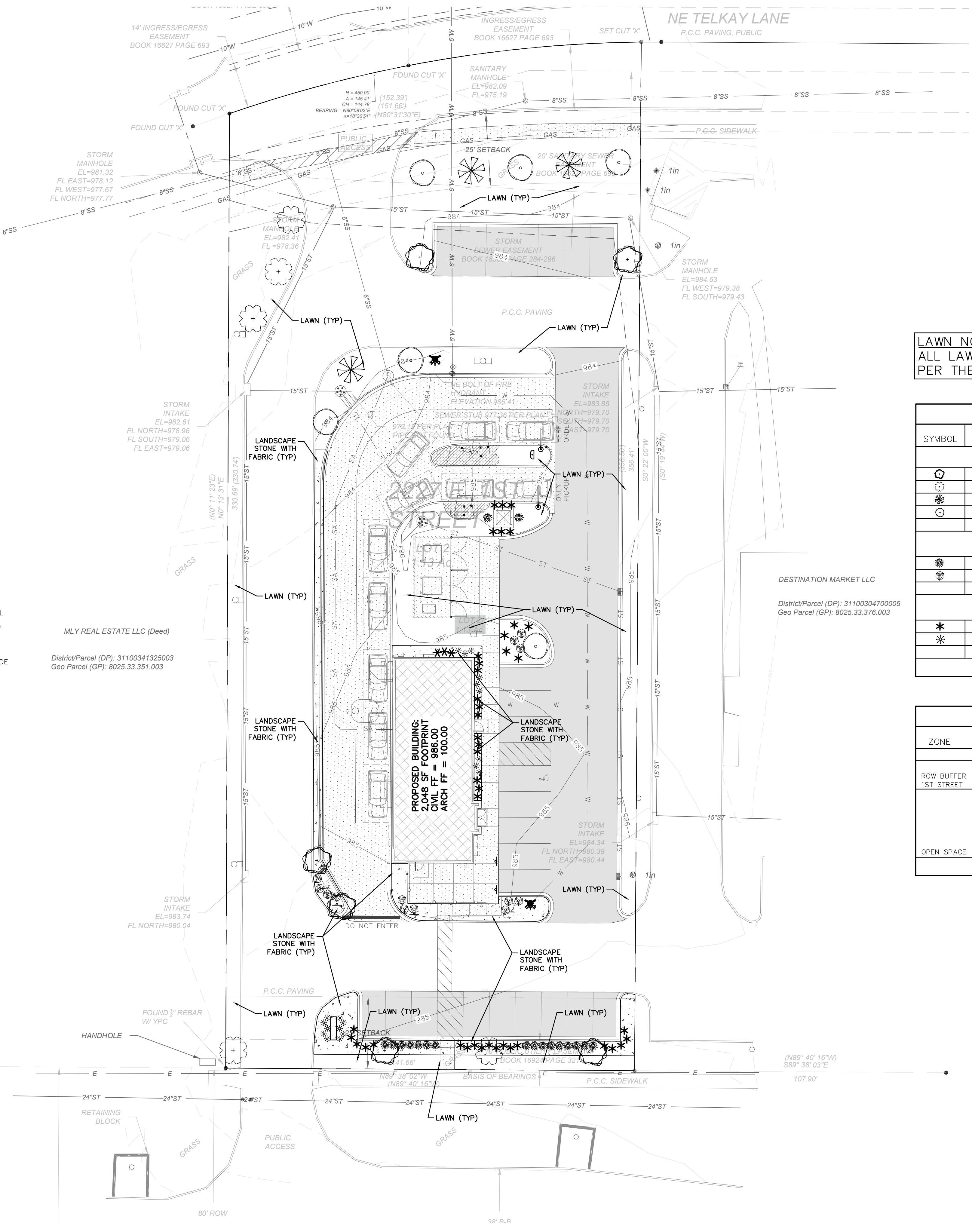
LANDSCAPING CALCULATIONS		
ZONE	REQ. PLANTS	PLANTS PROVIDED
ROW BUFFER 1ST STREET	1 TREE / 40 L.F. FRONTAGE = 4 TREES 1 SHRUB / 4 L.F. FRONTAGE = 36 SHRUBS	4 TREES PROVIDED 45 SHRUBS PROVIDED
OPEN SPACE	49,379 SF SITE AREA X 15% = 7407 SF OPEN SPACE REQUIRED 2 TREES / 1000 SF OPEN SPACE = 15 TREES MINIMUM 50% 2" CALIPER = (8) 2" TREES 1 SHRUB / 500 SF OPEN SPACE = 15 SHRUBS	16 TREES PROVIDED (8) 2" TREES PROVIDED 51 SHRUBS PROVIDED

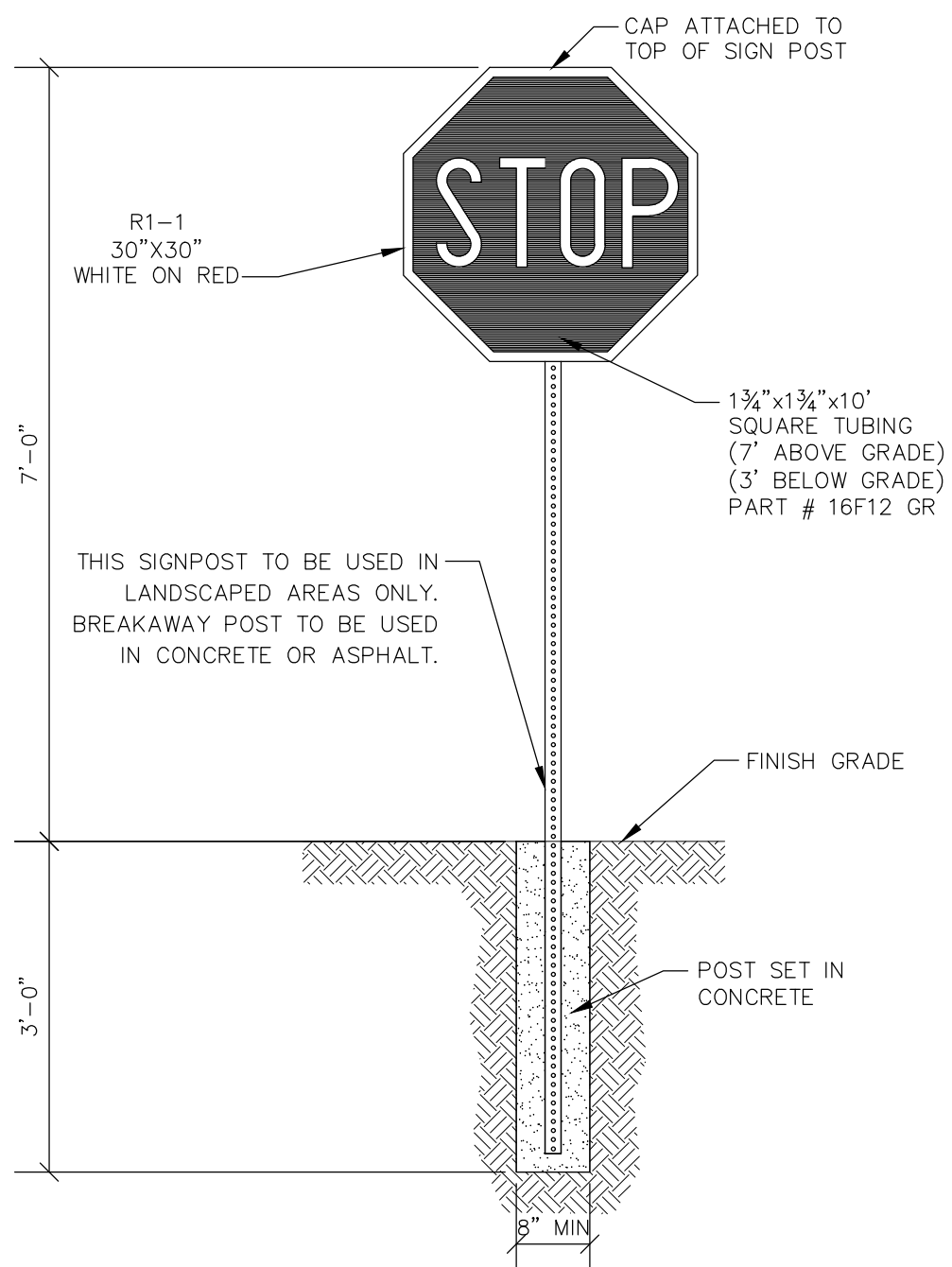


TREE PLANTING DETAIL
NO SCALE

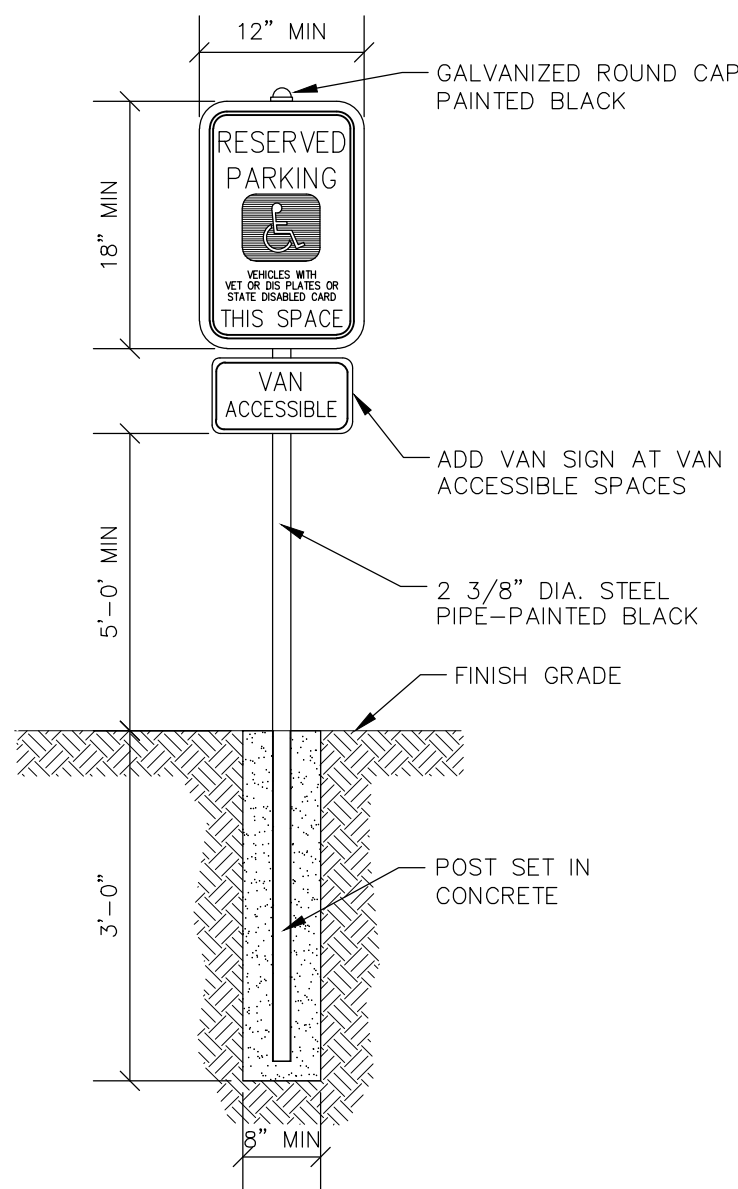


SHRUB PLANTING DETAIL
NO SCALE

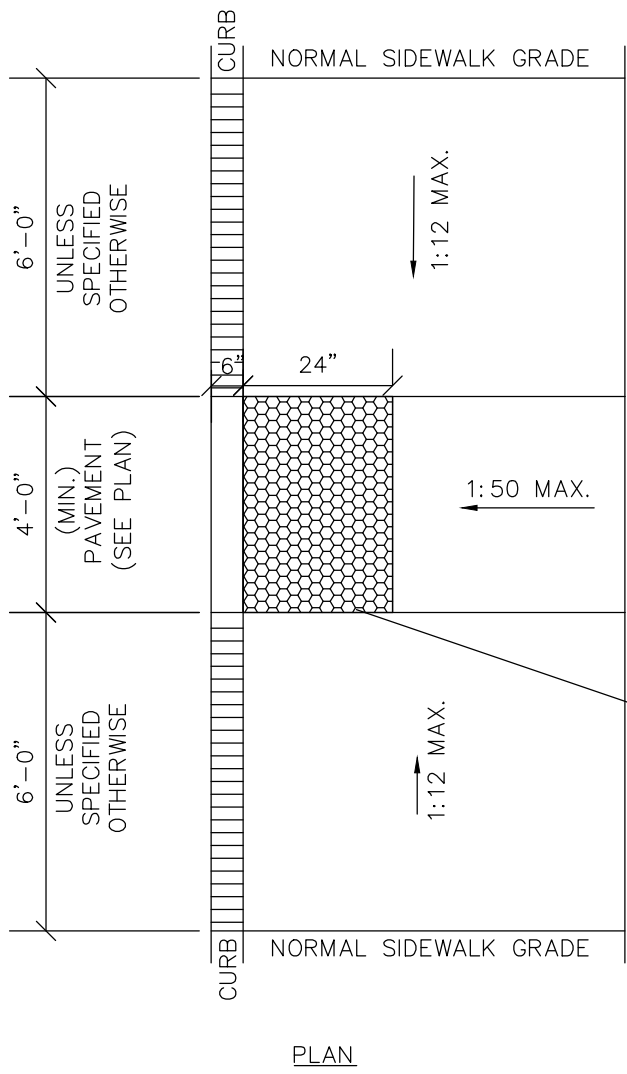




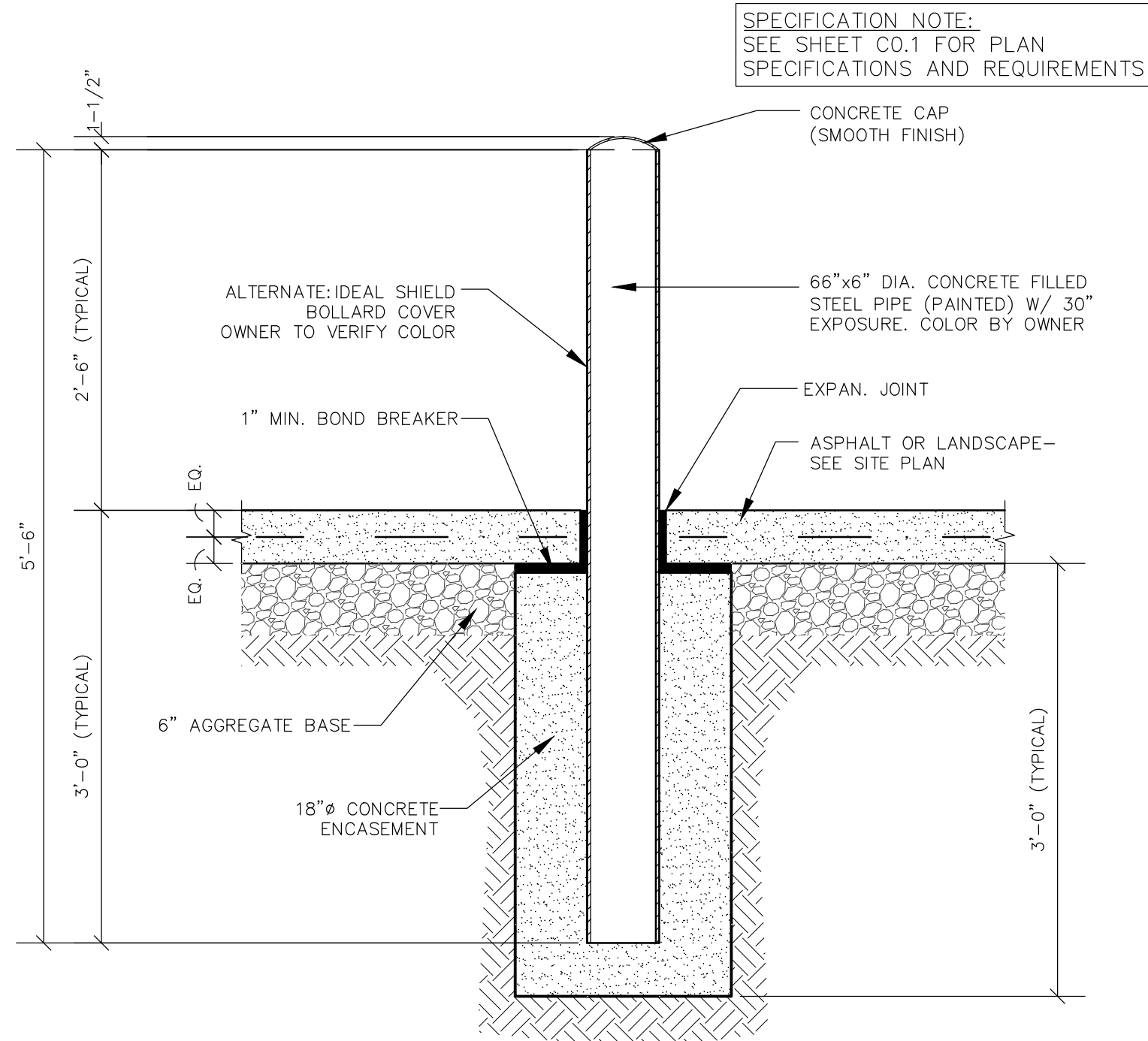
STOP SIGN WITH CONCRETE BASE DETAIL
NO SCALE



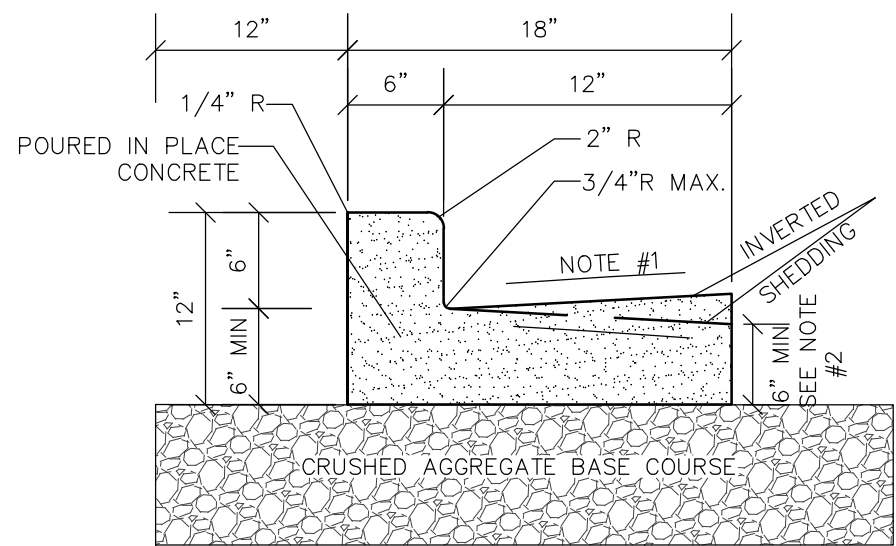
HANDICAP SIGNAGE WITH CONCRETE BASE DETAIL
NO SCALE



ADA SIDEWALK RAMP DETAIL
NO SCALE

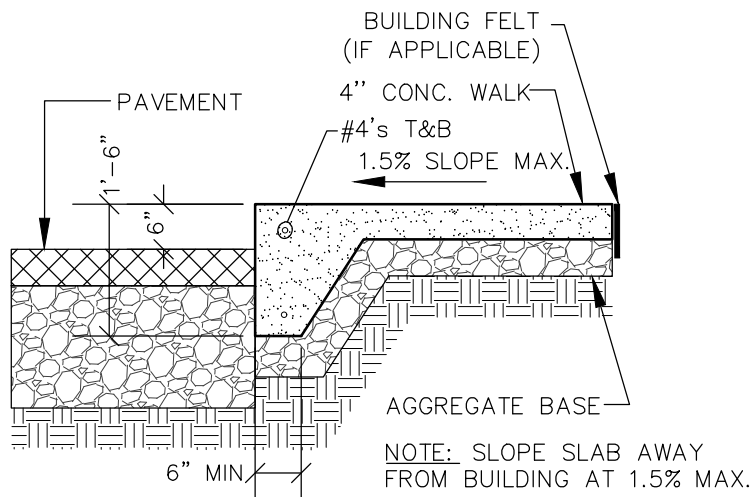


6" PIPE BOLLARD DETAIL
NO SCALE

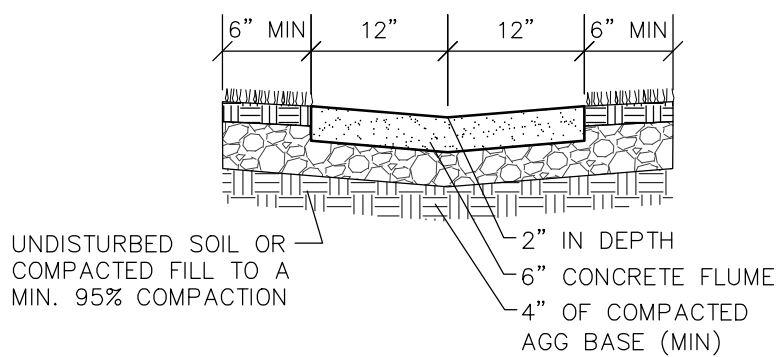


- NOTE:
1. USE 4% GUTTER CROSS SLOPE UNLESS OTHERWISE NOTED IN THE PLANS.
 2. THE BOTTOM OF CURB AND GUTTER MAY BE CONSTRUCTED EITHER LEVEL OR PARALLEL TO THE SLOPE OF THE SUBGRADE OR BASE AGGREGATE PROVIDED A 6" MIN. GUTTER THICKNESS IS MAINTAINED.
 3. SEE SITE PLAN & GRADING PLAN FOR INVERTED & SHEDDING CURB LOCATIONS

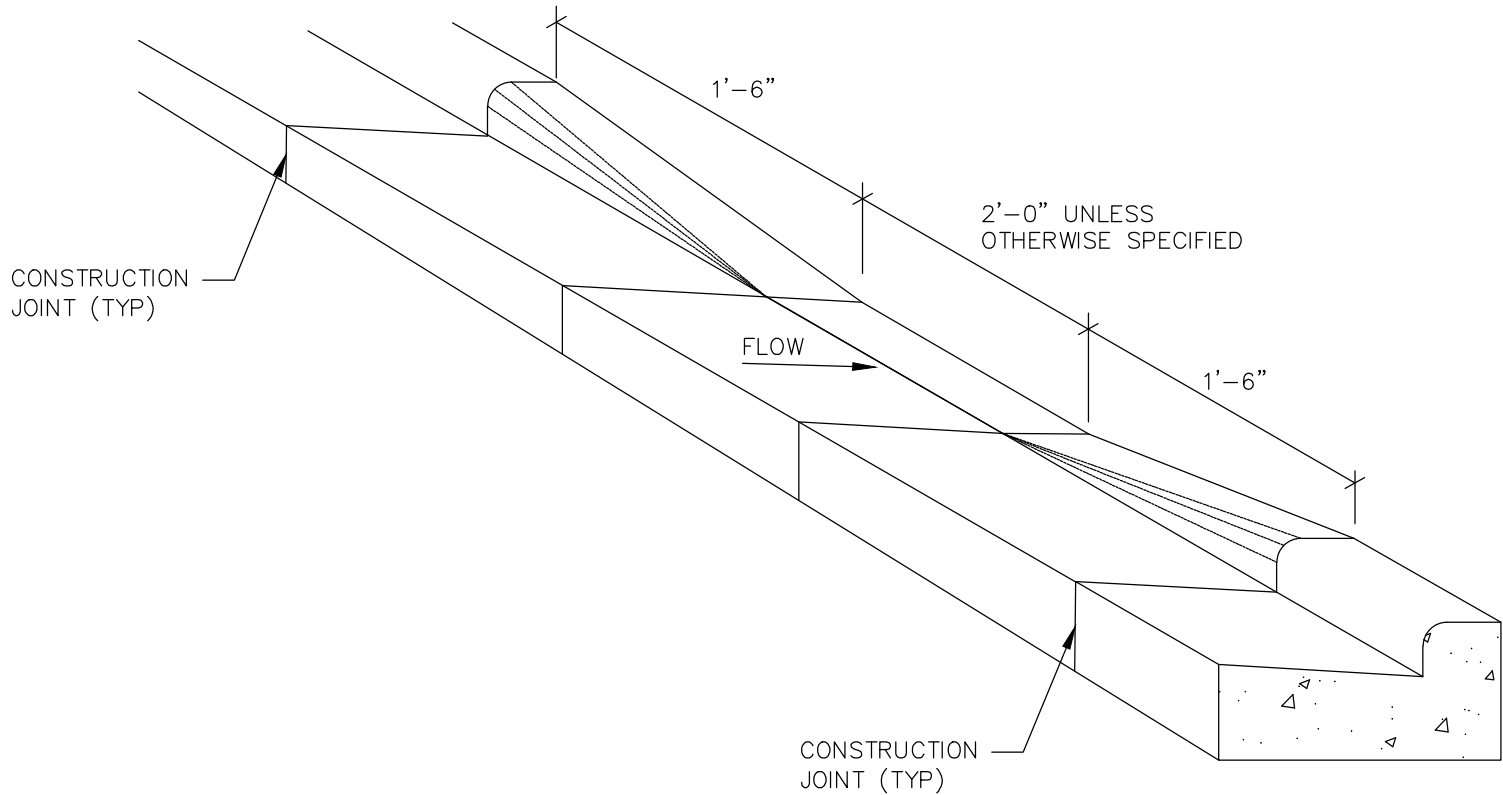
18" CONCRETE CURB & GUTTER DETAIL
NO SCALE



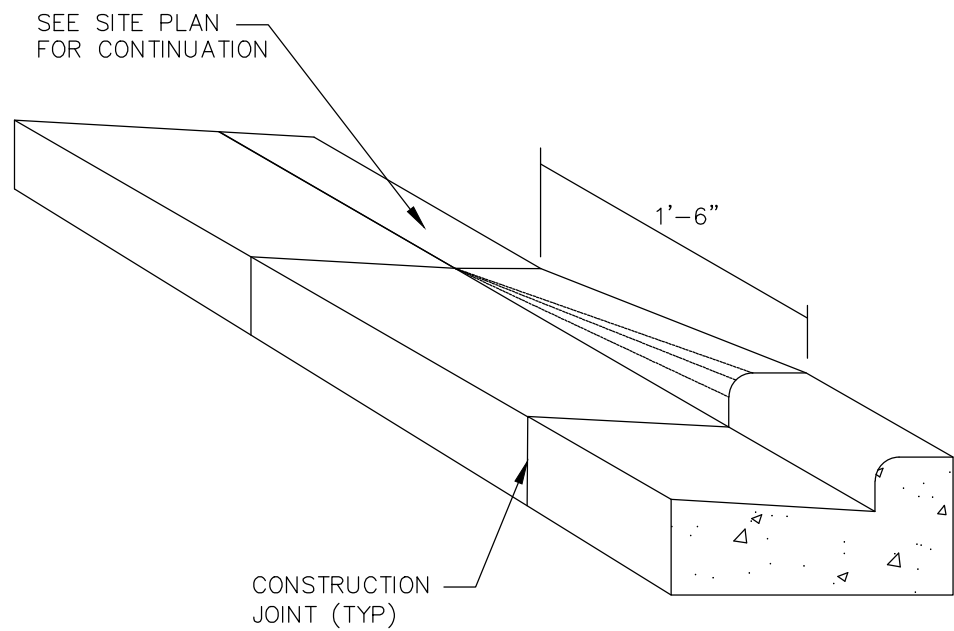
RAISED WALK DETAIL
NO SCALE



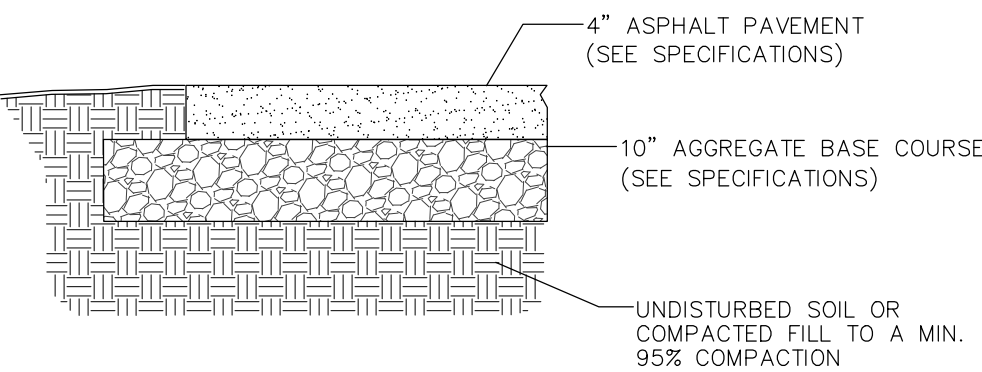
CONCRETE FLUME DETAIL (LAWN)
NO SCALE



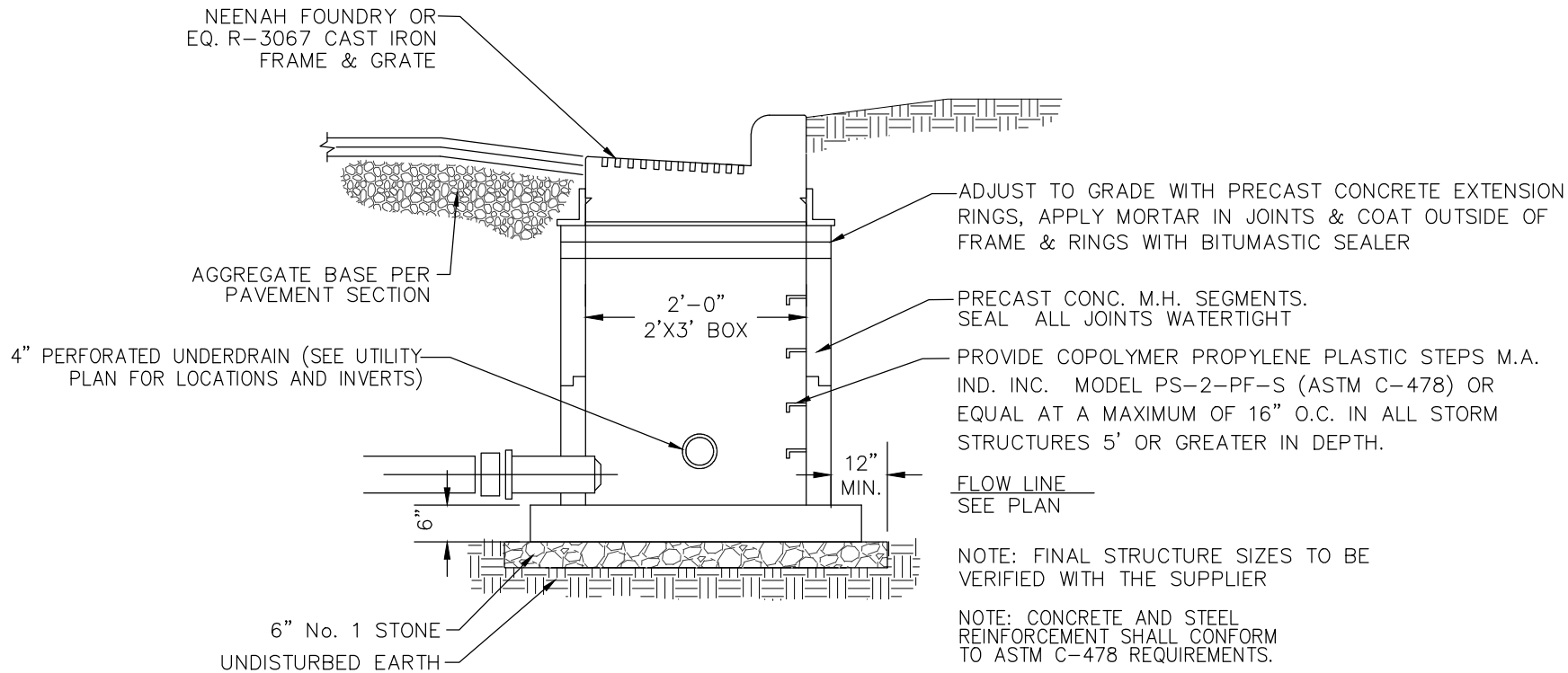
CURB CUT DETAIL
NO SCALE



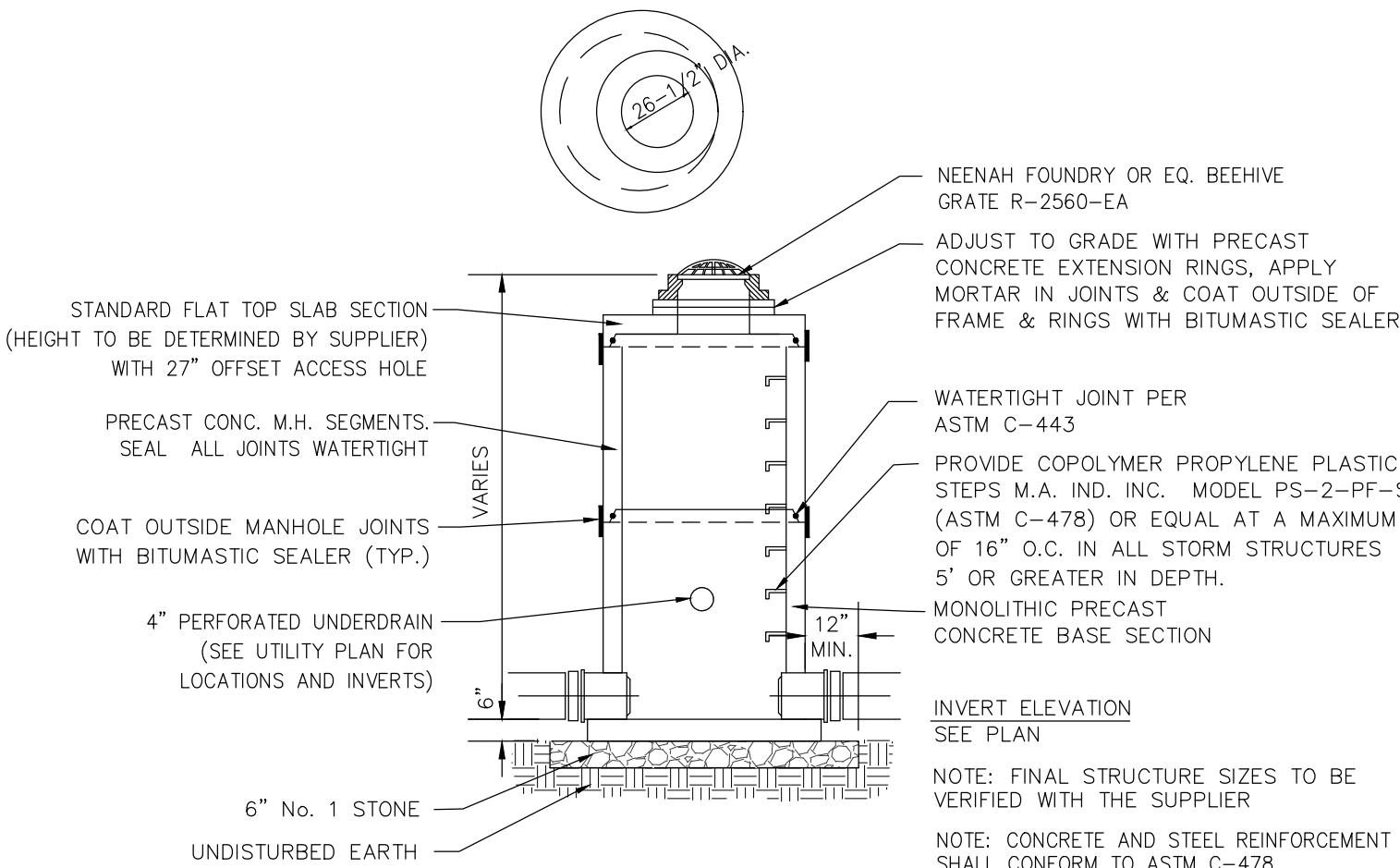
CURB TAPER DETAIL
NO SCALE



PAVING DETAIL
NO SCALE



STORM CURB INLET DETAIL
NO SCALE



**STORM CATCH BASIN W/
DOME GRATE DETAIL**
NO SCALE

CONSTRUCTION SEQUENCE	
PHASE	TYPE OF ACTION
1. PRE-CONSTRUCTION ACTION	1. CONTRACTOR TO CALL DIGGERS HOTLINE AT A MINIMUM OF 3 DAYS PRIOR TO CONSTRUCTION.
	2. PLACE ALL SILT FENCE.
2. CONSTRUCTION ACTION	3. CONSTRUCT TRACKING STONE ENTRANCES AND ANY TEMPORARY CONSTRUCTION ROADWAYS AS NEEDED.
	4. CONSTRUCT PERMANENT STORMWATER CONVEYANCE SYSTEMS.
3. POST CONSTRUCTION ACTION	5. CONSTRUCT ANY TEMPORARY STORMWATER CONVEYANCE SYSTEMS AS NEEDED.
	6. STABILIZE ALL TEMPORARY AND PERMANENT EROSION CONTROL AND STORMWATER CONVEYANCE SYSTEMS BEFORE TOPSOIL CAN BE STRIPPED.
1. PRE-CONSTRUCTION ACTION	1. SITE DEMOLITION AS REQUIRED.
	2. STRIP AND RELOCATE TOPSOIL TO THE DESIGNATED TOPSOIL STOCKPILE. FINAL LOCATION BY CONTRACTOR (VERIFY W/ OWNER). PROVIDE PERIMETER SILT FENCE UNTIL STABILIZED.
2. CONSTRUCTION ACTION	3. BEGIN MASS EARTH WORK FOR THE BUILDING PAD AND PAVEMENT AREAS.
	4. CONSTRUCT ANY REMAINING STORMWATER CONVEYANCE SYSTEMS, AND INSTALL ALL OTHER UTILITIES ON SITE.
3. POST CONSTRUCTION ACTION	5. DIG AND POUR ALL BUILDING FOOTINGS.
	6. PLACE GRAVEL FOR ALL PROPOSED PAVEMENT AREAS, INCLUDING FIRE LANES.
1. PRE-CONSTRUCTION ACTION	7. TOPSOIL, SEED, AND MULCH ALL DISTURBED AREAS OUTSIDE THE BUILDING AND PROPOSED PAVEMENT AREAS.
	8. CONSTRUCT BUILDING.
2. CONSTRUCTION ACTION	9. PAVE DRIVEWAYS AND PARKING AREAS.
	10. TOPSOIL, SEED, AND MULCH ALL OTHER DISTURBED AREAS. PLACE EROSION MATTING AND RIP RAP.
3. POST CONSTRUCTION ACTION	1. CONTRACTOR TO REMOVE TEMPORARY EROSION CONTROL MEASURES UPON SITE STABILIZATION.
	2. SEE THE POST CONSTRUCTION MAINTENANCE PLAN FOR PERMANENT STORMWATER MANAGEMENT SYSTEMS.

CONTRACTOR TO FOLLOW THE EROSION CONTROL SPECIFICATIONS FOR CONSTRUCTION EROSION CONTROL INSPECTION AND MAINTENANCE.



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Fond du Lac, WI 54935
Phone: (920) 926-9800
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PROJECT INFORMATION

NEW BUILDING FOR:

TACO BELL - BLACK RIVER BELLS

2227 E. 1ST STREET • GRIMES, IA 50111

PROFESSIONAL SEAL

PRELIMINARY DATES

MAY 23, 2022

JUNE 8, 2022

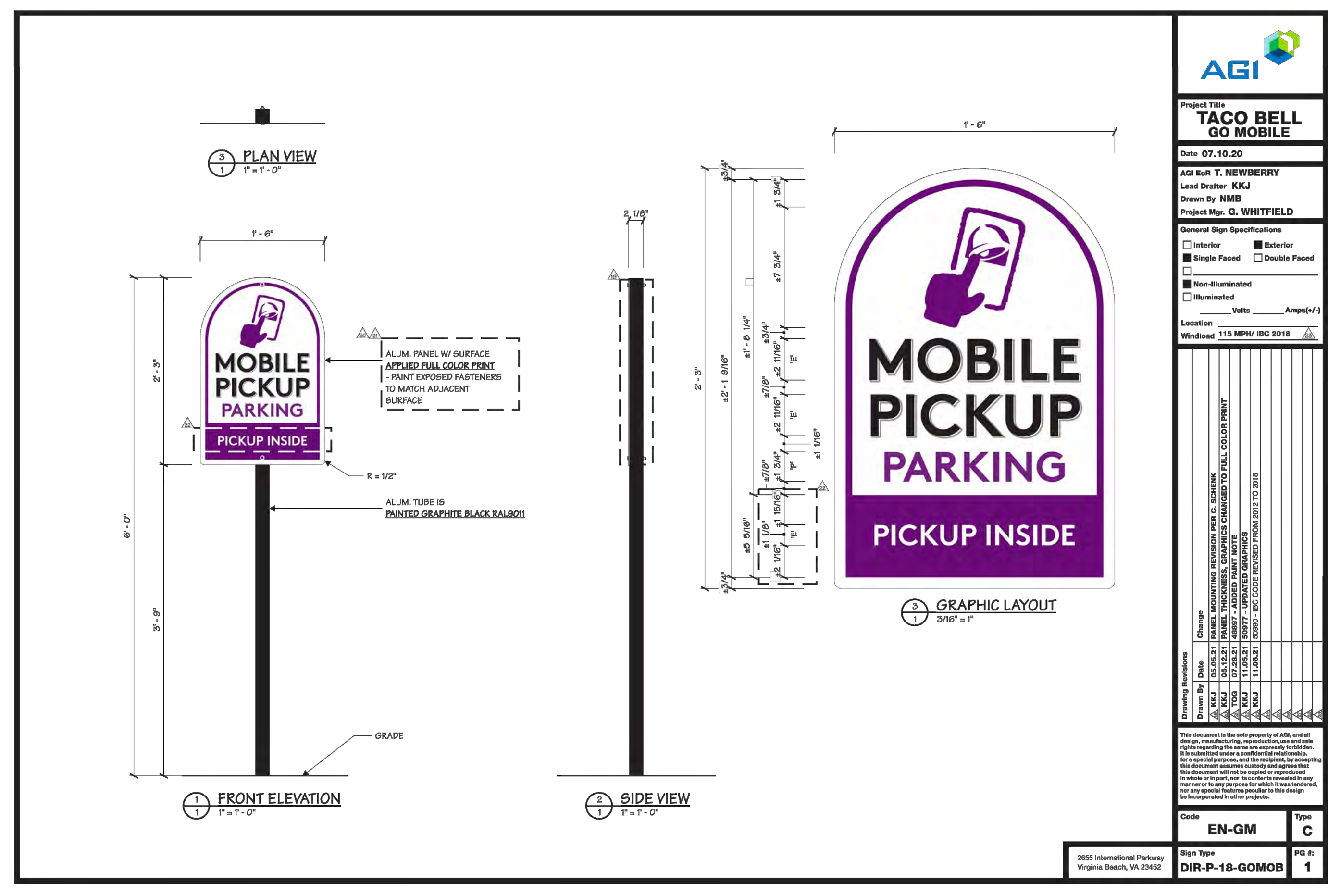
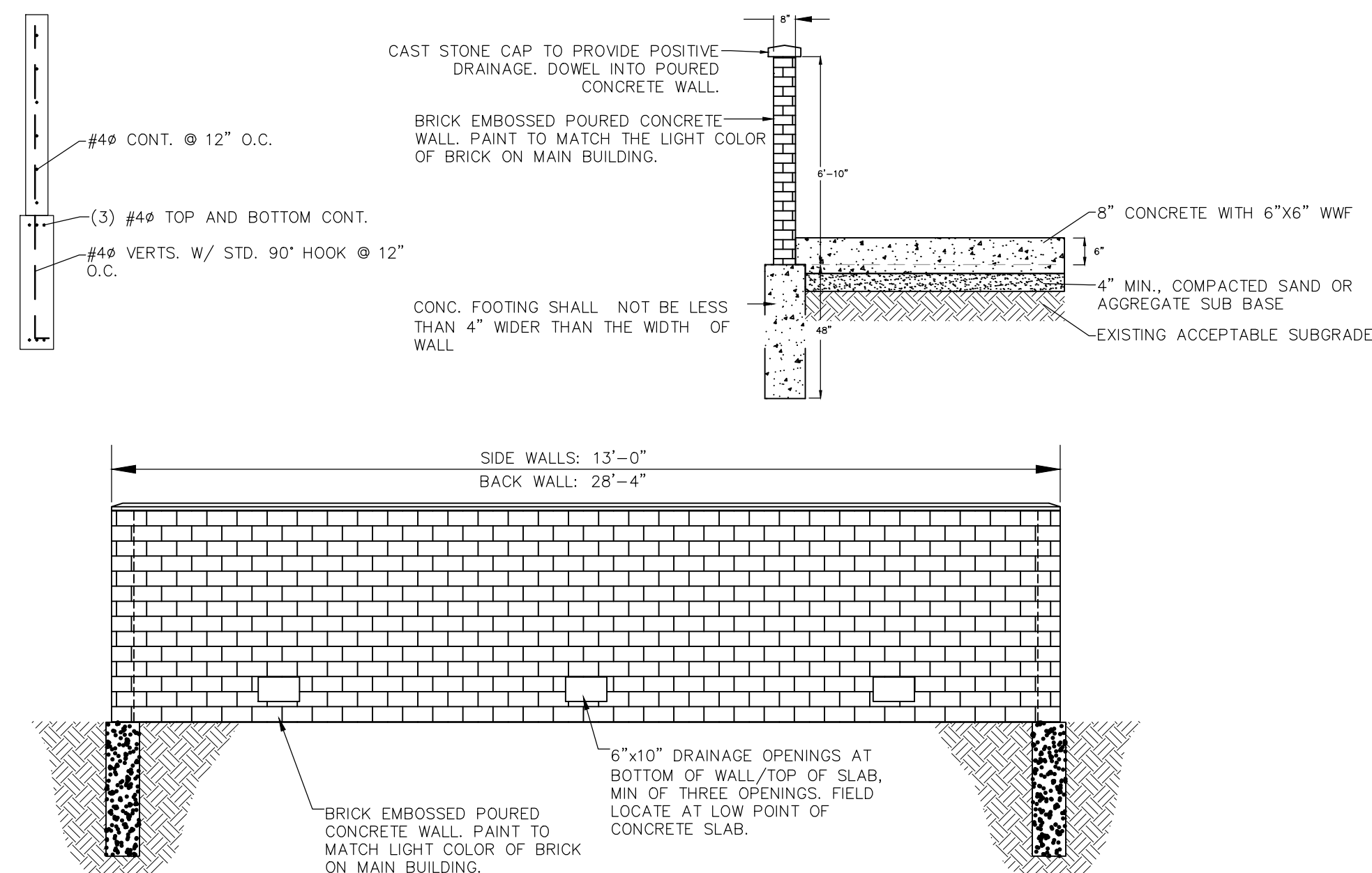
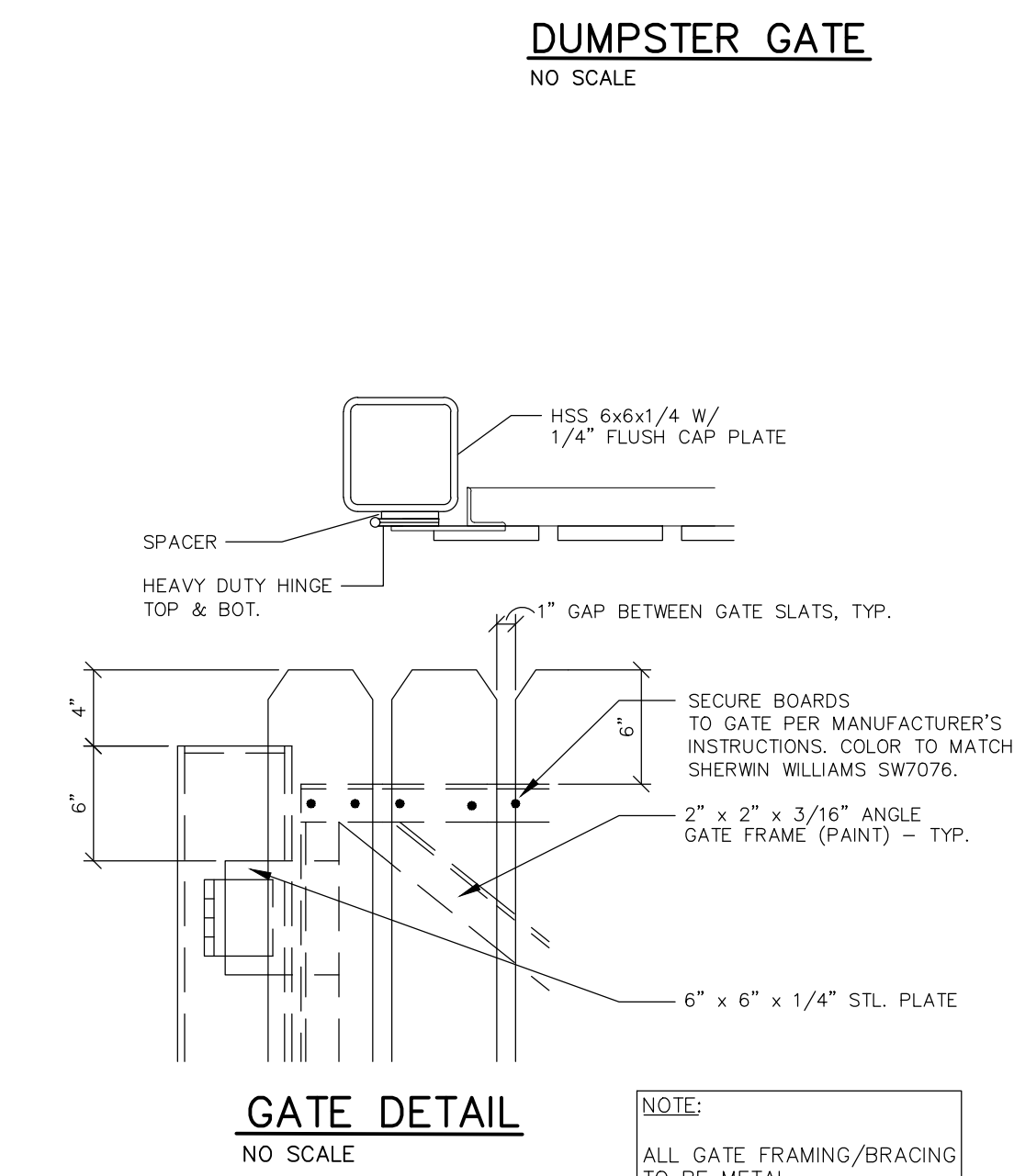
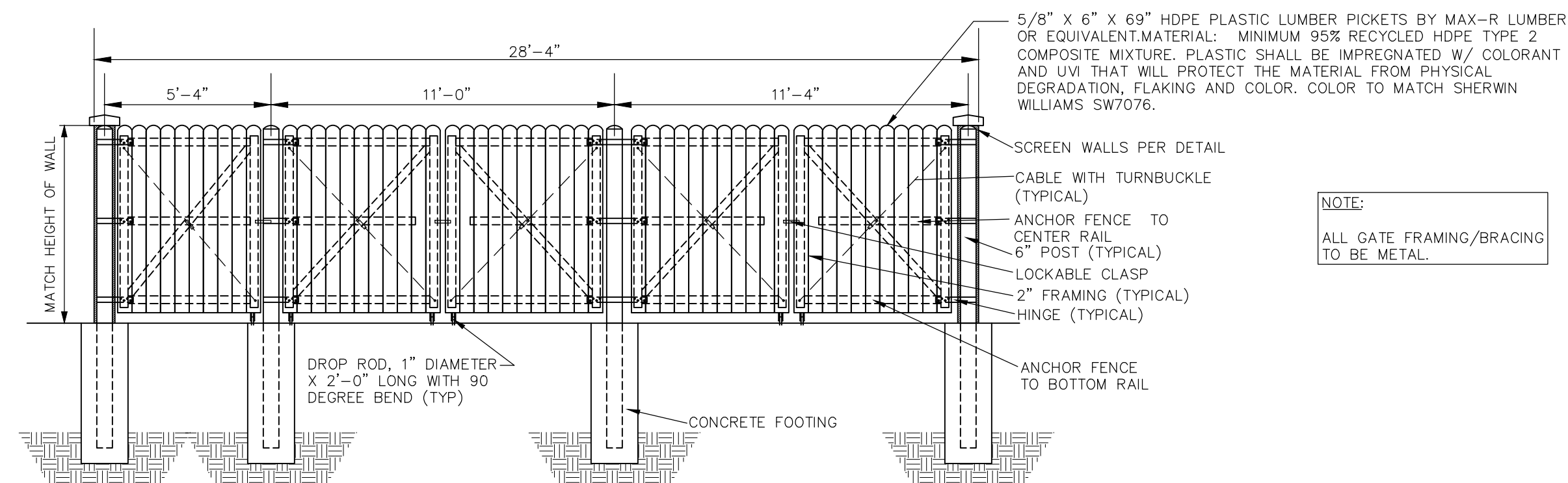
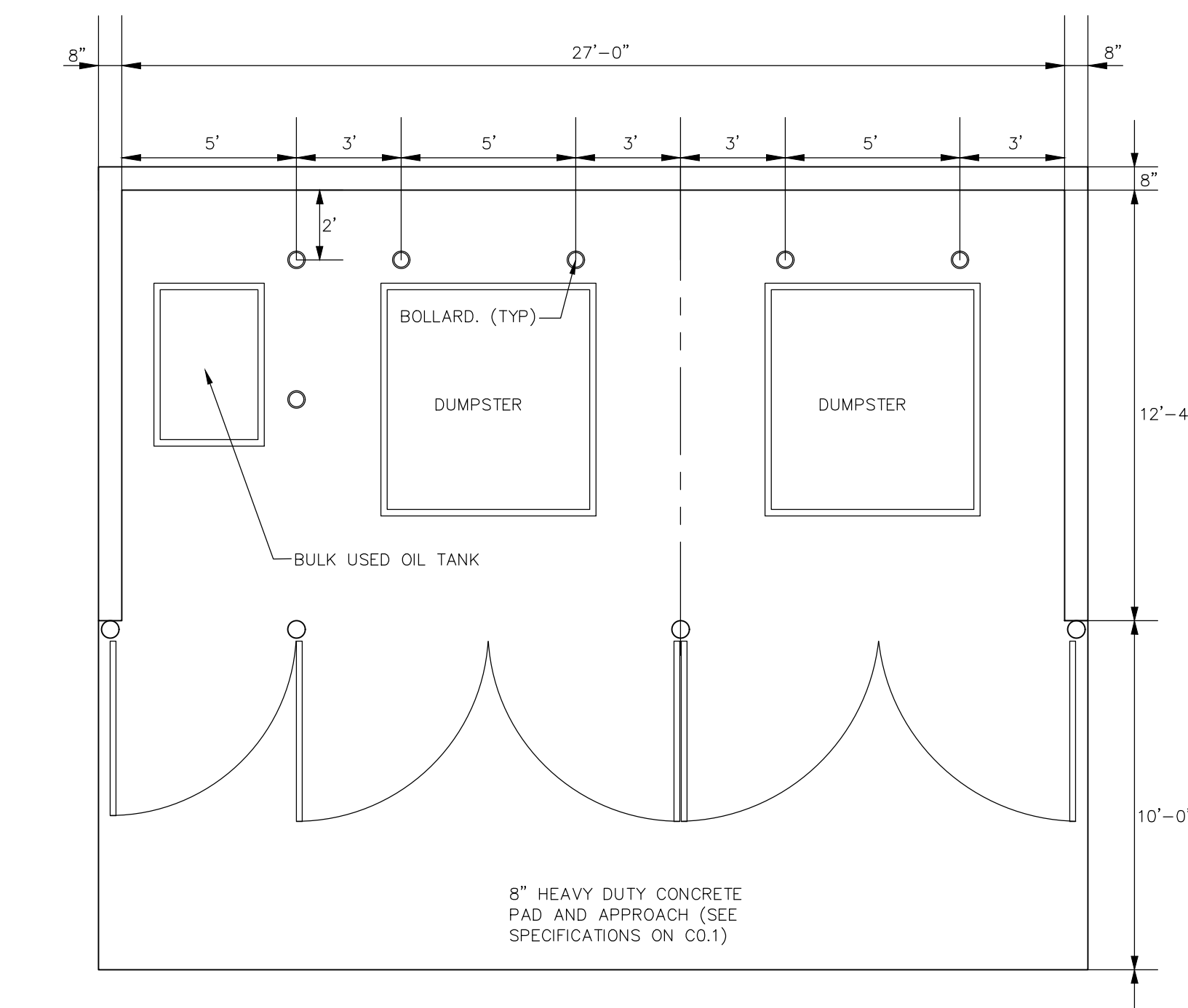
JUNE 30, 2022

JOB NUMBER

2217320

SHEET NUMBER

C2.0



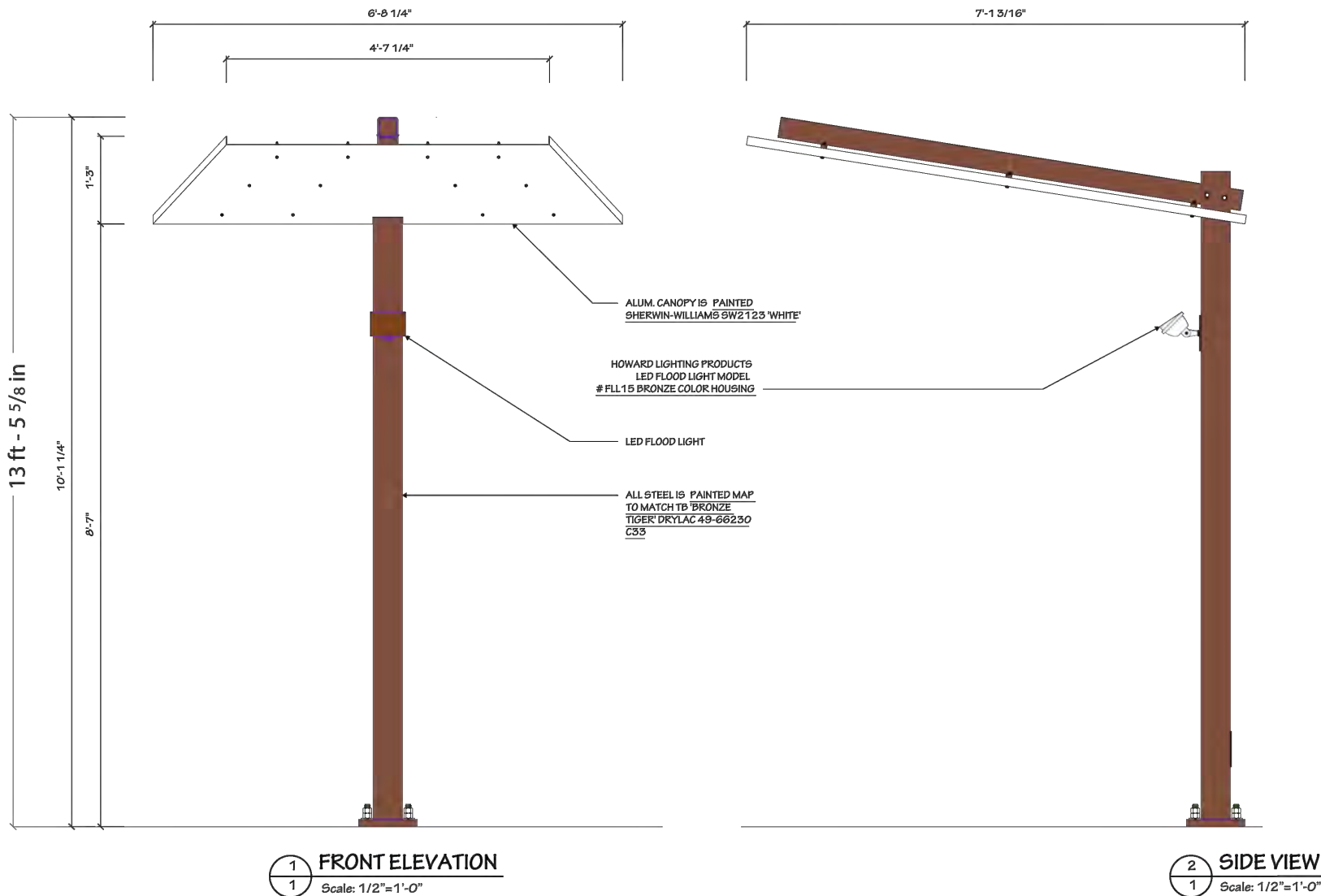


CLEARANCE BAR DETAIL
NO SCALE

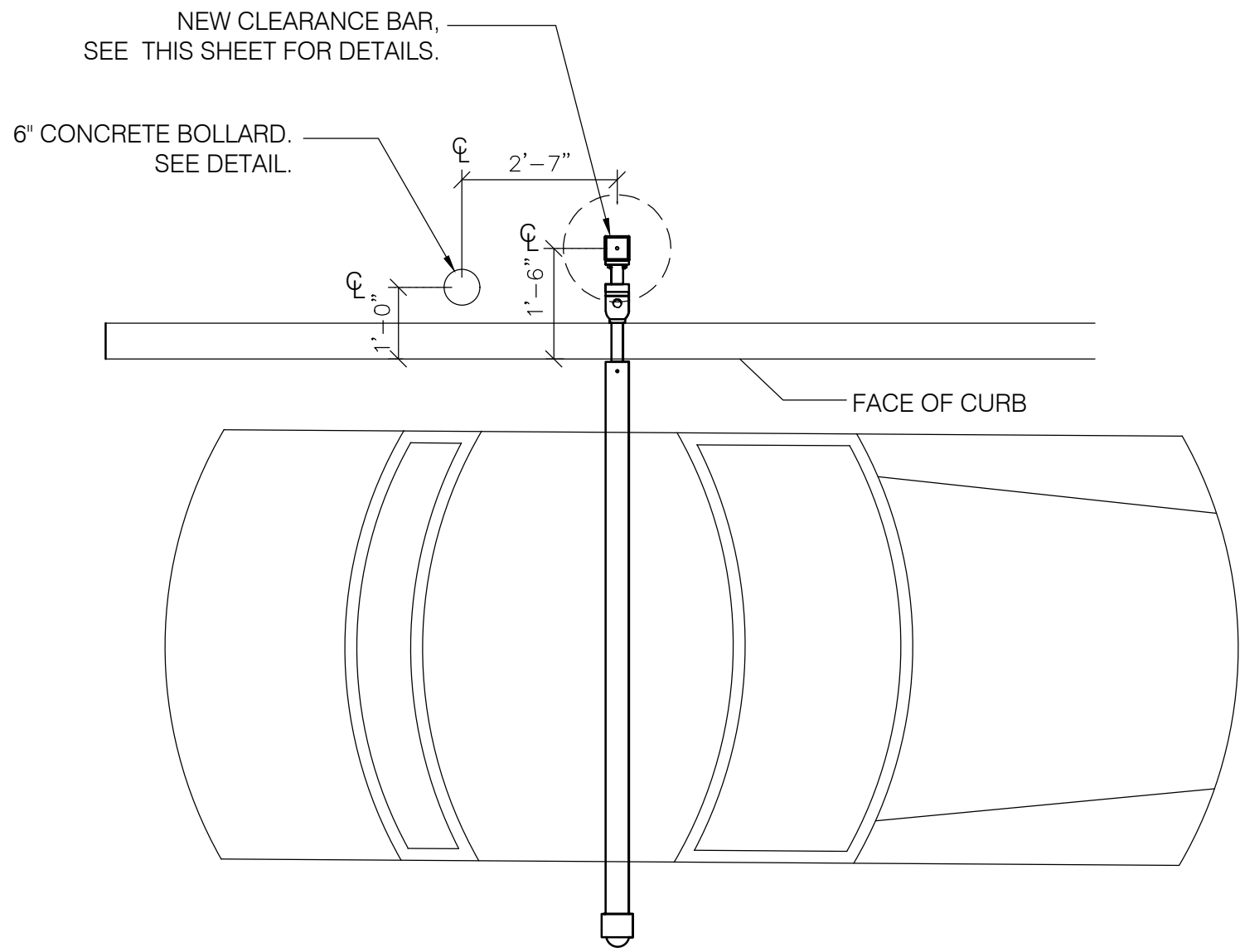


PATIO RAILING SYSTEM
NO SCALE

V-1070



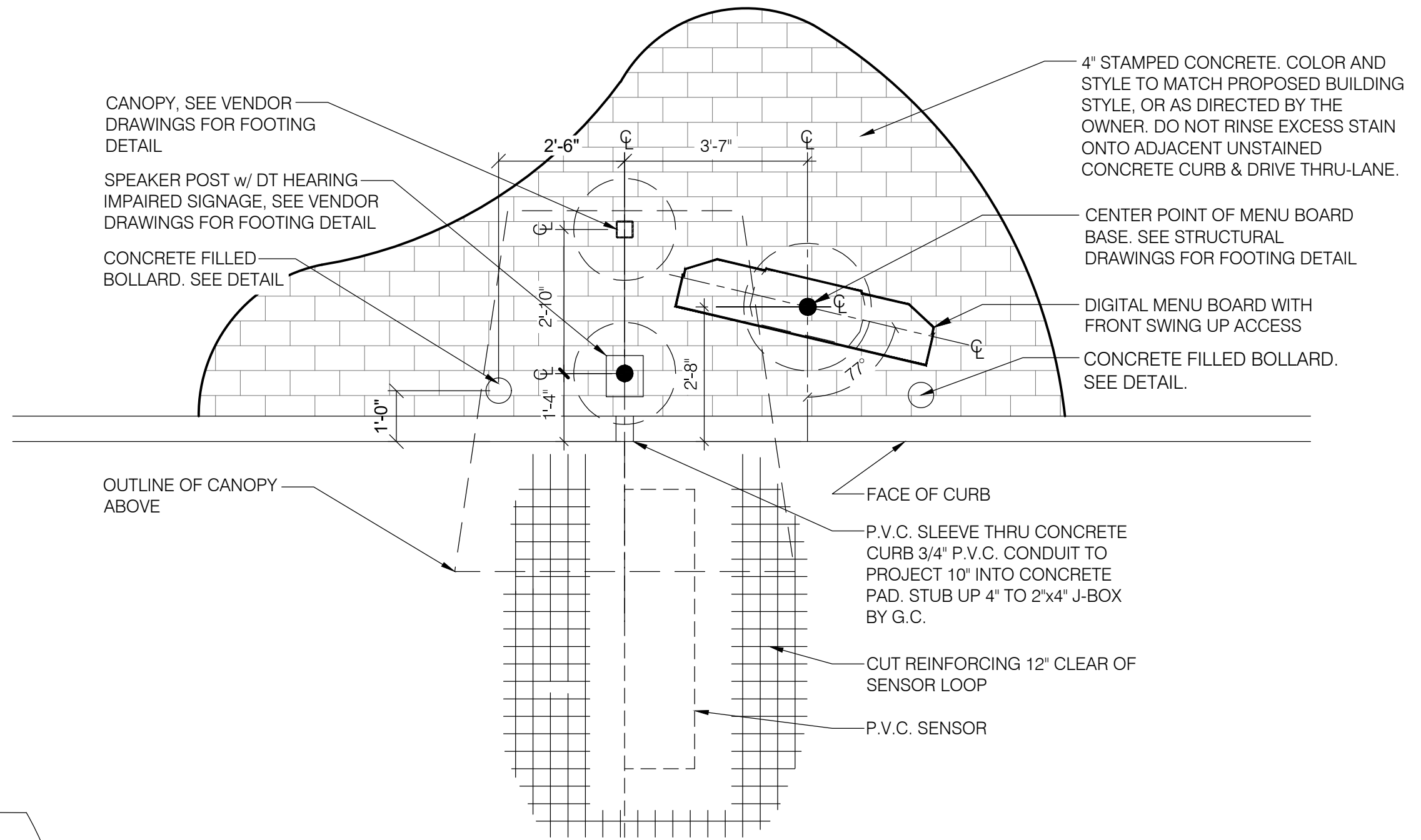
CANOPY DETAIL
NO SCALE



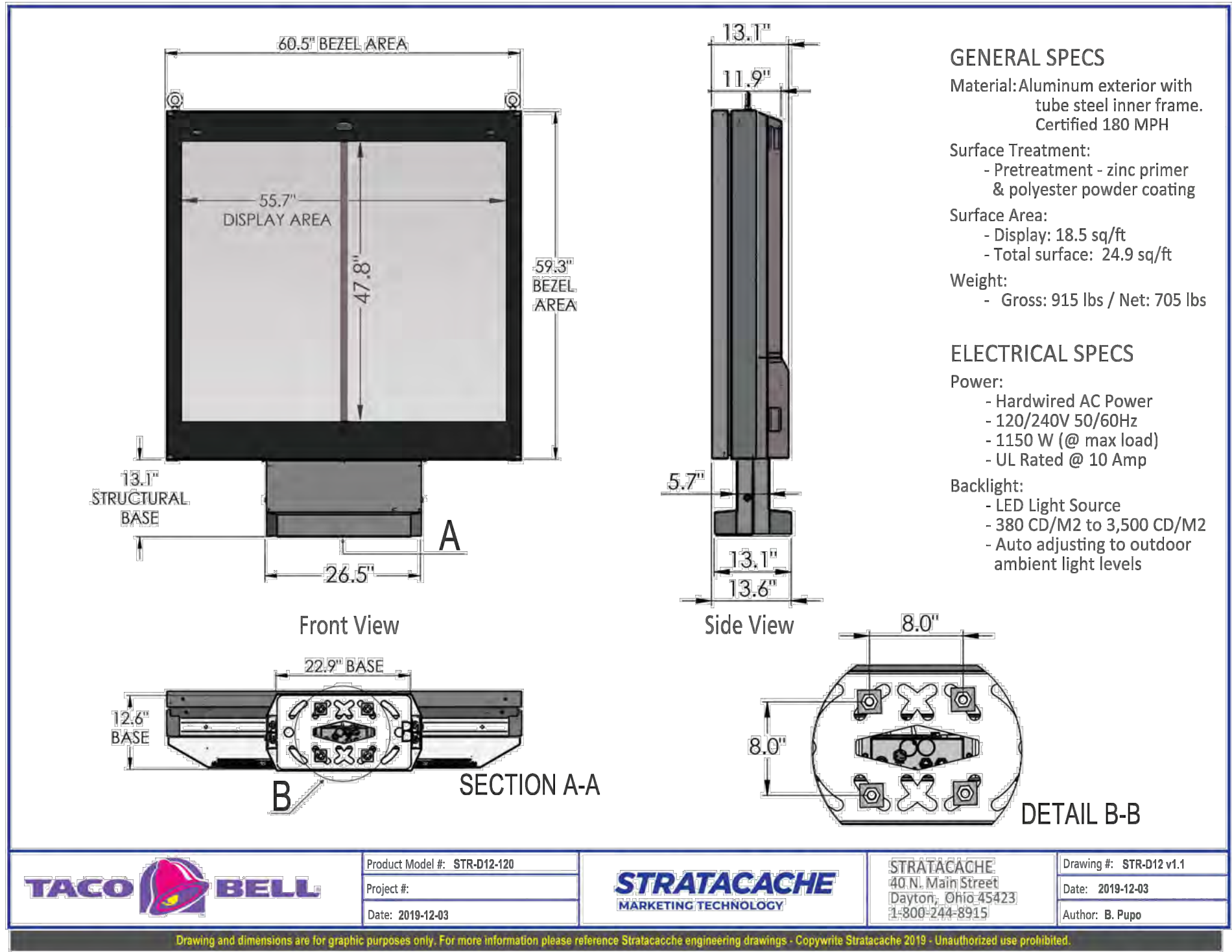
CLEARANCE BAR DETAIL
NO SCALE



EXAMPLE MENU BOARD
NO SCALE



MENU BOARD DETAIL
NO SCALE



MENU BOARD DETAIL
NO SCALE

SPECIFICATION NOTE:
SEE SHEET C0.1 FOR PLAN
SPECIFICATIONS AND REQUIREMENTS



PROJECT INFORMATION

NEW BUILDING FOR:
TACO BELL - BLACK RIVER BELLS
2227 E. 1ST STREET • GRIMES, IA 50111

PROFESSIONAL SEAL

PRELIMINARY DATES

MAY 23, 2022
JUNE 8, 2022
JUNE 30, 2022

JOB NUMBER

2217320

SHEET NUMBER

C2.2

CIVIL DETAILS

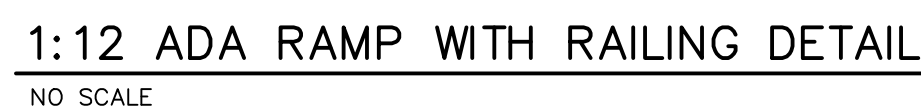
NOT FOR CONSTRUCTION

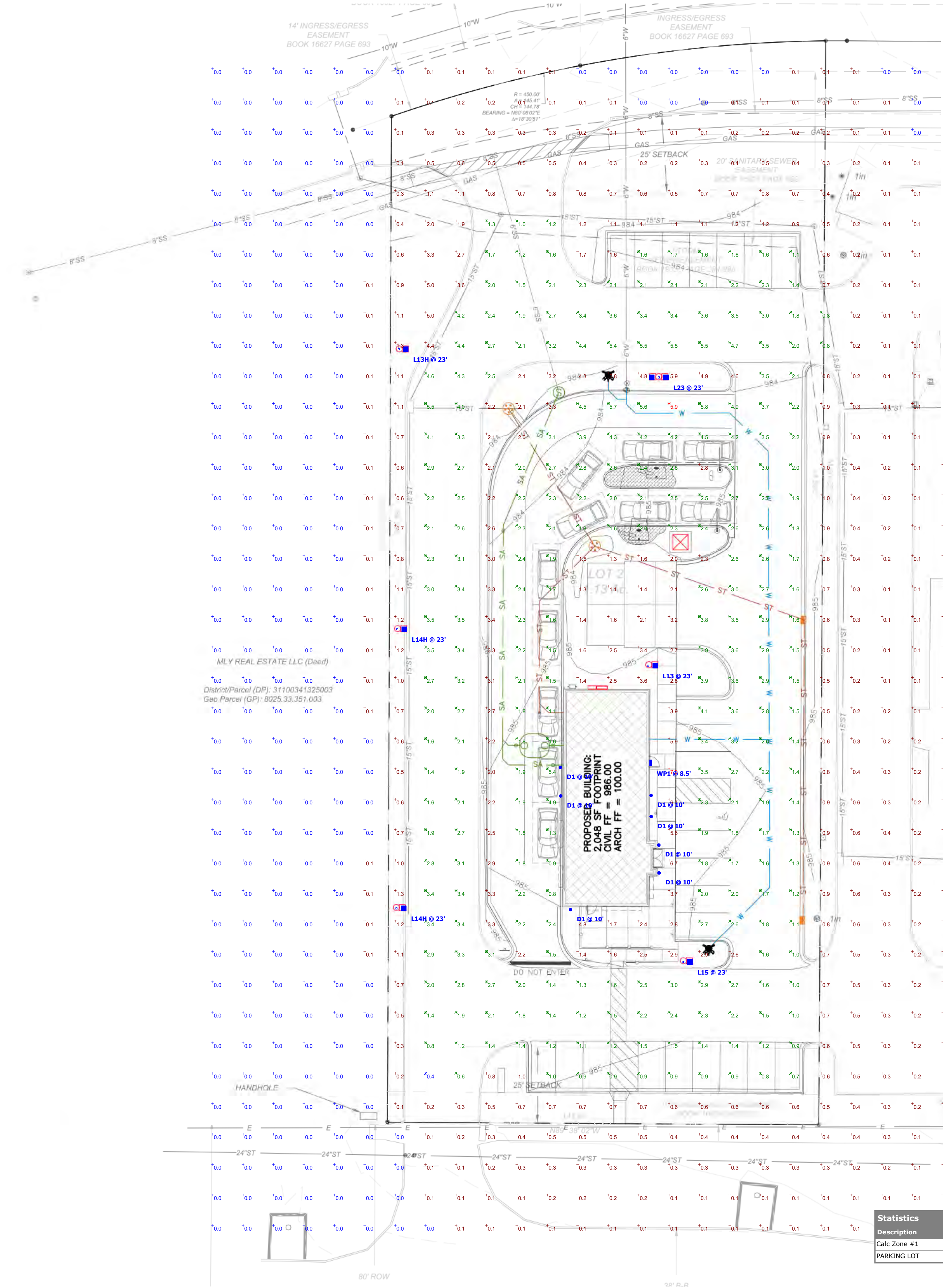


NOT FOR CONSTRUCTION

SHEET NUMBER

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Lumark

DESCRIPTION

The Lumark WP Pak wall luminaire provides traditional architectural style with high performance energy efficient illumination. Rugged die-cast aluminum construction, die-cast and powder coated with a weather and pollution resistant finish. The WP Pak luminaire is available in two sizes, 20" and 24". Both sizes are available in standard and high pressure sodium. The WP Pak luminaire is ideal for pathway illumination, building entrances, vehicle ramps, sidewalks, tennis, recreation and loading docks.

FEATURES

- Rugged die-cast aluminum housing
- Features over-voltage, under-voltage, short circuit and over temperature protection
- Custom lumens and wattage packages available
- Designed to mount to square or round poles
- Fixtures are finished with Lumark's DuraGrip™ polyester powder coat finishing process. The DuraGrip finish withstands extreme weather changes without cracking or peeling. Other standard LSI finishes available. Consult factory.
- Shipping weight: 37 lbs in carton.

Optical System

- State-of-the-art one piece silicone optic shell delivers industry leading optical control with an integrated gasket to provide IP66 rated sealed optical chamber in 1 component.
- Proprietary silicone reflector optic provides exceptional coverage and uniformity inIES Types 2, 3, 5W, FT, FTA and AM.
- Silicone optical material does not yellow or crack with age and provides a typical light transmission of 95%.
- Zero spillage.
- Available in 5000K, 4000K and 3000K color temperatures per ANSI C78-37. Also available in Phosphor Converted Amber (PCA) or Clear.
- Integral driver (L) and house-side shield (H) options available for improved backlight control without sacrificing street side performance. See page 3 for more details.

Efficiency Standards Notice

Saled luminaires are manufactured to USA and California efficiency regulations.

WP WAL-PAK

27.32 and 46W
250 - 400W
Price Start Metal Halide
250 - 400W
High Pressure Sodium

WALL MOUNT LUMINAIRE

TECHNICAL DATA

LSI Industries Inc. 10001 Alameda Dr. Cincinnati, OH 45242-1200
www.lsiindustries.com

PROGRESS LIGHTING

P5642-20 Cylinder

DEST

Distric Geo P

Category: Outdoor

Public: In-house Bronze (Powder Coat Finish)
Construction: cast aluminum construction

SHIPPING DATA

Approximate Weight: 22.0 lbs (10.0 kg)

701 Millennium Blvd, Greenville, South Carolina 29607

www.progresslighting.com

Rev. 07/20

Mirada Medium (MRM) Outdoor LED Area Light

IP66 IK08

OVERVIEW

Lumen Package: 7000 - 48,000
Voltage Range: 48 - 480
Output (Average Lumens): 50 - 100
Weight (lb): 30 (15.0)

QUICK LINKS

Offering Guide | Performance | Photometric | Dimensions

FEATURES & SPECIFICATIONS

Construction

- Rugged die-cast aluminum housing
- Features over-voltage, under-voltage, short circuit and over temperature protection
- Custom lumens and wattage packages available
- Designed to mount to square or round poles
- Fixtures are finished with Lumark's DuraGrip™ polyester powder coat finishing process. The DuraGrip finish withstands extreme weather changes without cracking or peeling. Other standard LSI finishes available. Consult factory.
- Shipping weight: 37 lbs in carton.

Electrical

- High performance programmable driver
- Features over-voltage, under-voltage, short circuit and over temperature protection
- Custom lumens and wattage packages available
- C-20V dimming (100% - 100%) standard
- Standard Universal Voltage (120-277 Vac) Input 50/60 Hz or optional High Voltage (347-480 Vac)
- L80 Calculated Life: >100K Hours (See Lumen Maintenance on Page 5)
- Total harmonic distortion: <20%
- Operating temperature: -40°C to +50°C (-40°F to +122°F) CUL and AEL lumens packages rated to +40°C.
- Power factor: >0.9
- Input power stays constant over life.
- Field replaceable 30W surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2).
- High efficiency LEDs mounted to metal-core circuit board to maximize heat dissipation
- Components are fully encapsulated in potting material for moisture resistance. Driver and key electronic components can easily be accessed.

Installation

- Designed to mount to square or round poles
- A single fastener secures the hinged door. Underneath the housing and provides quick & easy access to the electrical compartment
- Included terminal block accepts up to 12 ga wire
- Utilizes LSI's traditional "T" drill pattern B8 for easy fastening of LSI products. (See drawing on page 9)

Warranty

- LSI LED Fixtures carry a 5-year warranty

Listings

- Listed to UL 1599 and UL 8750.
- Meets Bay Area Air Quality Management District (BAAQMD) requirements.
- DA compliant, with 3000K color temperature selection
- Title 24 Compliant - see local ordinance for qualification information
- Suitable for wet locations.
- ENEC rated Luminaire per IEC 60598
- 30 rated for ANSI C83.3 high vibration applications are qualified
- Patented Silicone Optics (US Patent NO. 10,895,962 B2)
- IK08 rated luminaires per IEC 60682
- mechanical impact code

Light Pole Detail

23" Ø OVERALL HEIGHT

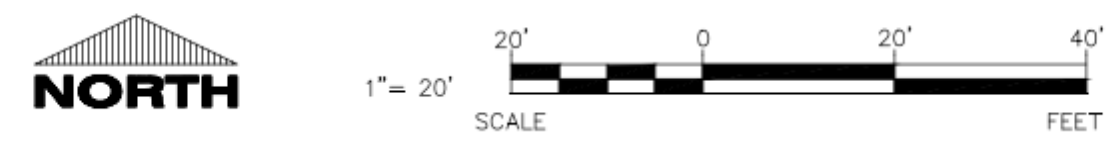
24"

3'-0"

GRADE

Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	1.0 fc	7.0 fc	0.0 fc	N/A	N/A
PARKING LOT	X	2.4 fc	5.9 fc	0.4 fc	14.8:1	6.0:1



CIVIL SITE PHOTOMETRIC PLAN & DETAILS

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PROJECT INFORMATION

NEW BUILDING FOR:

TACO BELL - BLACK RIVER BELLS

2227 E. 1ST STREET • GRIMES, IA 50111

PROFESSIONAL SEAL

PRELIMINARY DATES

MAY 23, 2022
JUNE 29, 2022

JOB NUMBER

2217320

SHEET NUMBER

C3.1

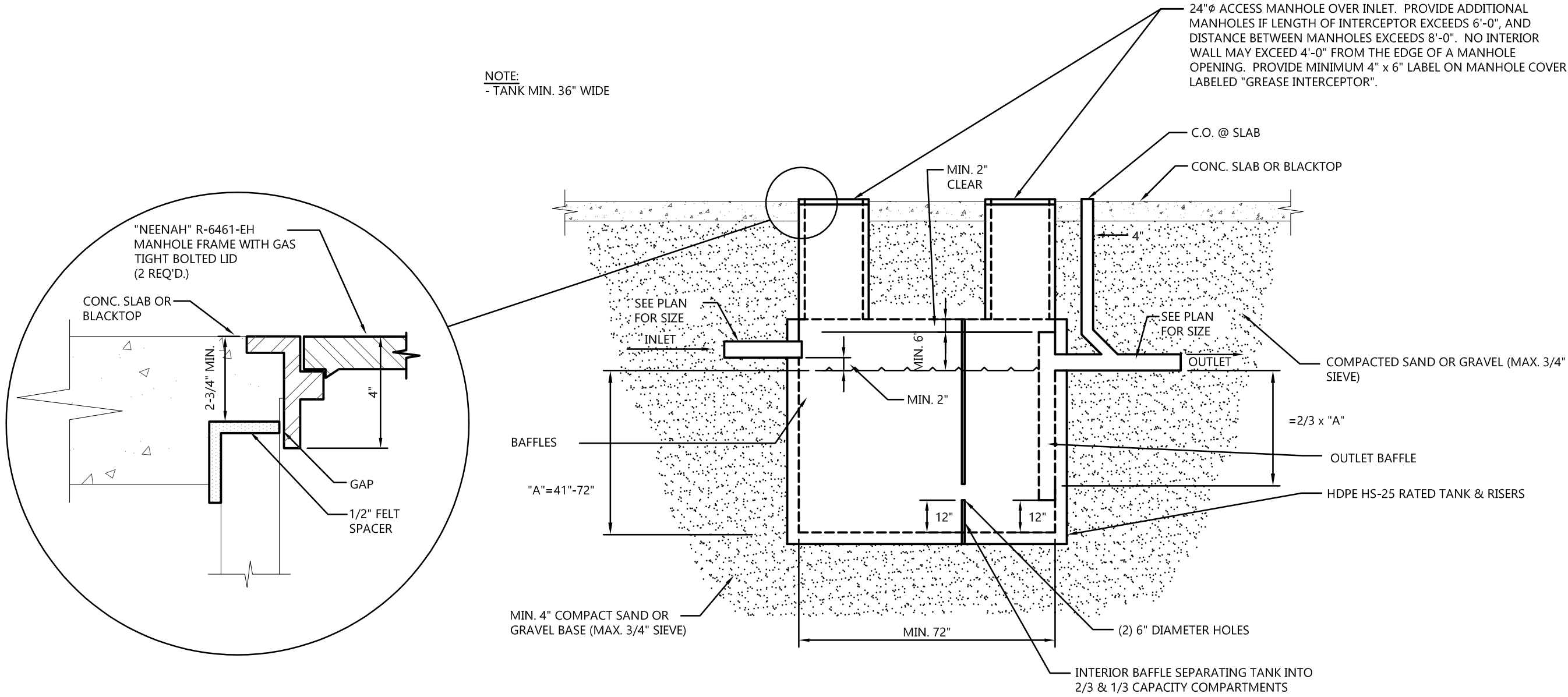
NOT FOR CONSTRUCTION

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EXTERIOR GREASE INTERCEPTOR SCHEDULE (GI)										
NO.	MAT'L	LENGTH (INCHES)	DIAMETER (INCHES)	LIQUID LEVEL (INCHES)	CAPACITY (GAL.)	INLET & OUTLET SIZE	MANHOLES	APPROX. COVER DEPTH	MODEL	REMARKS
1	HDPE	104	86	47	1250	4"	(1)	10.5' (2)	WEHD1250GI	WEISER

- ACCEPTABLE MANUFACTURERS: WEISER, CREST OR EQUAL.
- (1) SEE EXTERIOR GREASE INTERCEPTOR DETAIL FOR ADDITIONAL INFORMATION.
- (2) SEE SITE UTILITY DRAWINGS FOR COVER DEPTH TO DETERMINE RISER LENGTHS. DEPTH SHOWN IS AN ESTIMATION.

GREASE INTERCEPTOR CALCULATIONS						
FIXTURE	NUMBER	LENGTH	DEPTH	VOLUME	VOLUME	0.75 x
	OF	(INCHES)	(INCHES)	(CU. IN.)	(GALLONS)	VOLUME (GPM)
S-1	3	10	5	2,100	9	7
S-2	3	102	12	113,832	493	370
S-3	1	21	14	4,704	20	15
TOTAL (MINIMUM FLOW RATE)						392
MINIMUM GREASE HOLDING CAPACITY						783
HOLDING CAPACITY OF SINKS					392	GALLONS
REQUIRED LIQUID HOLDING CAPACITY					392	GALLONS



EXTERIOR GREASE INTERCEPTOR

NO SCALE

PROJECT INFORMATION

NEW BUILDING FOR:
TACO BELL - BLACK RIVER BELLS
2227 E. 1ST STREET • GRIMES, IA 50111

PROFESSIONAL SEAL

PRELIMINARY DATES

MAY 23, 2022
JUNE 8, 2022

NOT FOR CONSTRUCTION

JOB NUMBER

2217320

SHEET NUMBER

C3.2

PROJECT INFORMATION

NEW BUILDING FOR:
TACO BELL - BLACK RIVER BELLS
2227 E. 1ST STREET • GRIMES, IA 50111

PROFESSIONAL SEAL

PRELIMINARY DATES
MAY 23, 2022
JUNE 8, 2022

JOB NUMBER
2217320

SHEET NUMBER
A4.3

NOT FOR CONSTRUCTION



Planning & Zoning Staff Report



TO: Planning and Zoning Commission
FROM: Molly Mannel, Assistant Planner
DATE: June 5, 2022
RE: Legacy at James Street Plat 1 – Preliminary Plat

GENERAL INFORMATION:

Applicant:

Anderson Properties

Requested Action

Preliminary Plat

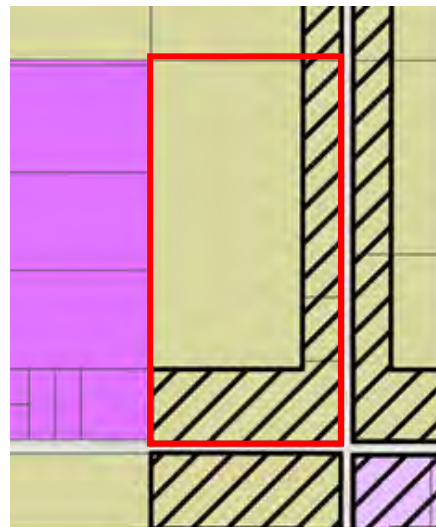
Location

Located at the Northwest Corner of SE 37th Street
and South James Street

SUPPORTING INFORMATION:



Location Map



Zoning Map

LAND USES & ZONING:

Location	Existing Land Use	Land Use Plan Designation	Current Zoning
Subject Site	Vacant	Business Park	M1-A
North	Vacant	Business Park	A-1
South	Vacant	Business Park	A-1
East	Vacant	Business Park and Future Parks & Rec	M-2
West	Industrial	General Industrial	A-1

BACKGROUND:

The applicant is requesting approval of a preliminary plat for the Legacy at James Street Plat 1, which will allow for the future subdivision of the 77.93-acre property. The preliminary plat consists of six lots for commercial and limited light industrial use. The site was previously known as the Herndon Property, and was rezoned from A-1 to M1-A. The site also resides with the Transportation Corridor Mixed Use Development Overlay District.

ANALYSIS:*Site Layout:*

The site will consist of six development lots, with warehouse space and office buildings being the primary intended uses for the site. Stormwater basins will be provided for each individual lot. Internal streets will run through the site to provide connectivity for users and access for the Fire Department.

Intersections along S James Street and SW 28th Street will be widened to three lanes, with 50' diagonal rights-of-way per the FOTH Infrastructure & Environment study. The southern half of SW 28th Street will be constructed by the applicant, with the northern half completed by the city for future development. A sidewalk connection will be installed along SW 37th Street and connect to a 10' trail up S James Street.

Landscaping/Streetscape:

All loading docks and overhead doors will be screened from the right-of-way. Landscaping will be placed along SW 37th Street and S James Street, as well as along the delineated stream to provide additional buffering between the development and wetlands.

Utilities:

Water service will be provided to all lots. The watermain from SW 37th Street to the north will be public. Sanitary sewer connections will extend to each lot, and up to SW 37th Street for future development to the south. Ingress/egress easements will be placed throughout the site to allow connectivity through each lot, while storm sewers will be placed below the private roadways that cross over the delineated stream.

STAFF RECOMMENDATION:

Staff would recommend approval of the Legacy at James Street Plat 1 preliminary plat subject to any remaining staff comments.

CITY OF GRIMES

Molly Mannel
Assistant Planner



Development Services

410 SE Main St, Suite 102

Grimes, IA 50111

(515)986-4050

www.grimesiowa.gov

~~June 2, 2022~~

June 22, 2022

Anderson Properties

Attn: Mark Anderson

4451 NW Urbandale Drive

Urbandale, IA 50322

RE: Legacy at James Street Plat 1 Preliminary Plat

Dear Mr. Anderson:

The Development Services Department is in receipt of a proposed Preliminary Plat for the Legacy at James Street Plat 1. Based on the review of the provided submittal materials, staff have the following comments:

Page 1:

1. ~~Reference M1-A zoning change agreement from A-1.~~ **Please state that the zoning changed from A-1 to M-1A.**
2. ~~Please include the acreage lot within Lot 4.~~
3. ~~Staff questions why Outlot Z is not included in the preliminary plat.~~
4. ~~Please provide a concept plan for the preliminary plat. You may use the same concept for the rezoning.~~
5. ~~Please provide parking calculations.~~ **Please list and provide proper parking requirements:**
 - a. ~~Business/ Professional Office: Three (3) spaces per 1,000 square feet~~
 - b. ~~Wholesale establishment/Warehouse: One (1) space for each two (2) employees, but no case less than one (1) space for each two thousand (2,000) square feet of gross floor area~~
6. ~~Please show service lines for water and sewer.~~
7. ~~Provide Construction Drawings for water and sewer.~~
8. ~~Provide a preliminary stormwater management plan.~~

9. ~~Please provide separate sheets so staff can easily see easements, utility locations, etc.~~

10. ~~Please include the following addresses:~~

a. ~~Lot 1: 501 SW 37th Street. Suite 100 will be on the south end/office, and Suite 200 will be on the north end/office.~~

b. ~~Lot 2: 355 SW 37th St~~

c. ~~Lot 3: 3310 S James St~~

d. ~~Lot 4: 3510 S James St~~

e. ~~Lot 5: 500 SW 28th St~~

f. ~~Lot 6: 300 SW 28th St~~

Page 2:

1. ~~Please show an ingress/egress easement through Lot 1 for Lot 3.~~

2. ~~Please show an ingress/egress easement through Lot 4 to Lot 1.~~

3. ~~Please show an ingress/egress easement through Lot 2 to Lot 4.~~

4. ~~Please show an ingress/egress easement through Lot 4 and Outlot Z, to Lot 3.~~

5. ~~Please show easements over the storm water basins.~~

6. ~~Please provide an overland flowage easement for the stream channel area.~~

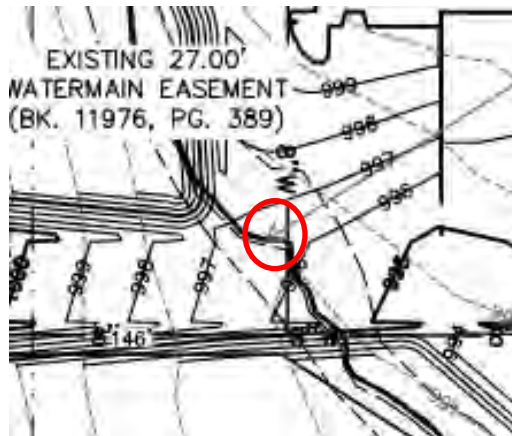
7. ~~Extend Sanitary Sewer to SE 37th Street for property south of SE 37th Street.~~

8. ~~Extend water east along private drive to South James Street main.~~

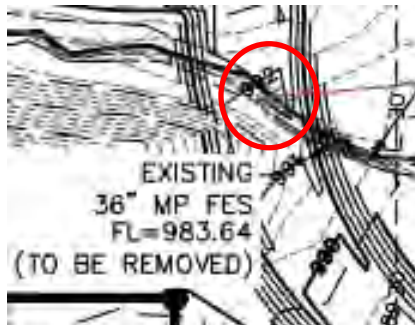
9. ~~Please provide a PUE along South James and SE 37th Street.~~

10. ~~Please provide sidewalk along SE 37th Street and Trail along South James.~~

11. ~~Please show proposed storm sewer at crossings.~~



~~12. Please show proposed storm sewer.~~

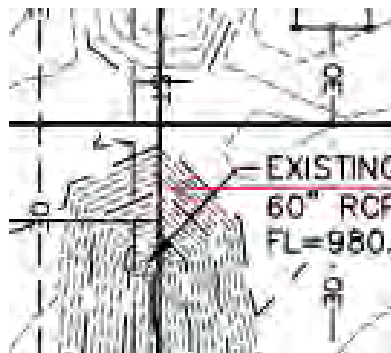


~~13. Chamfer ROW per FOTH study at intersections.~~

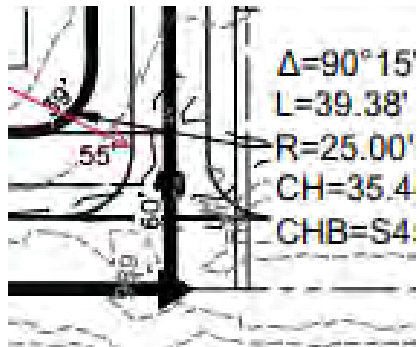
~~14. Please update the trail along S James Street to 10'.~~

Page 3:

1. Please provide final stream/wetland delineation report.
2. ~~Chamfer ROW per FOTH study at intersections.~~
3. ~~Please revise the intersection at SW 28th and South James to a 3-lane section. Please rename NE 28th Street to SW 28th Street.~~
4. ~~Will this be used as a crossing for future phasing, or left as is?~~



5. Please show water service line for all lots.
6. Show stormwater along delineated stream.
7. Please show the correct Sanitary sewer.
8. Where is the break for Street Lot C?



Please provide a letter addressing all comments on this comment letter and/or state what was modified on the site plan to address said comments.

SITE PLAN SUBMITTAL SCHEDULE:

SUBMITTAL DATE: ~~June 8, 2022~~
June 28, 2022
(1 PDF of Preliminary Plat)

PLANNING & ZONING: July 5, 2022 at 5:30 at the Grimes City Hall

COUNCIL MEETING: **July 12, 2022** at 5:30 at the Grimes City Hall

Please feel free to contact me at mmannel@grimesiowa.gov or at (515) 986-4050 if you have any questions or need additional information.

Sincerely,

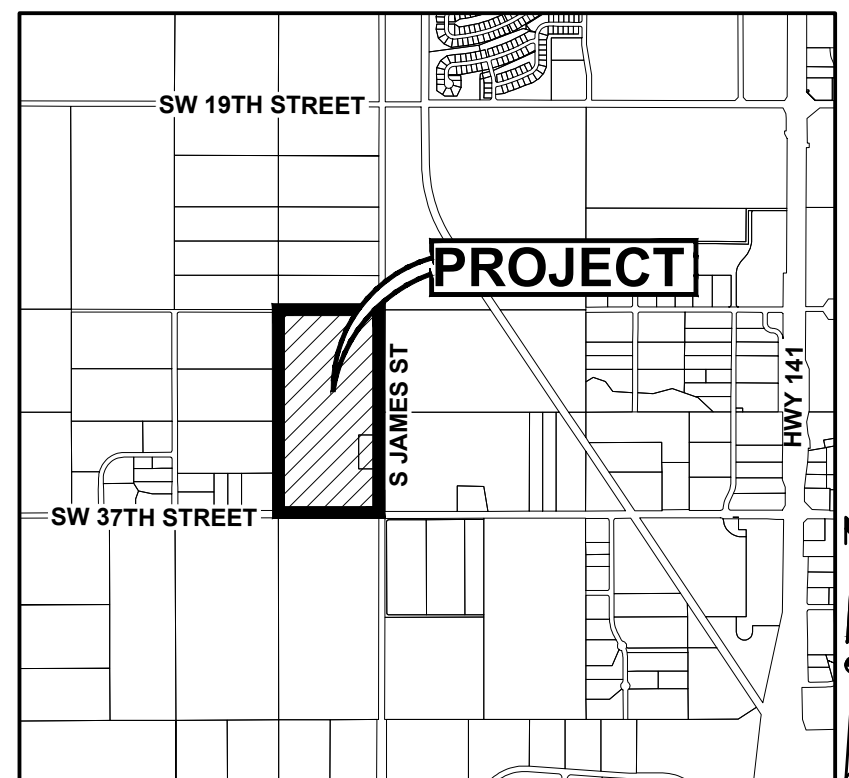
Molly Mannel
Assistant Planner

PRELIMINARY PLAT FOR: LEGACY AT JAMES STREET PLAT 1

GRIMES, IOWA

VICINITY MAP

NOT TO SCALE



GRIMES, IOWA

OWNER

IPE1031 REV418 LLC
4451 NW URBANDALE DRIVE
URBANDALE, IOWA 50322

APPLICANT

ANDERSON PROPERTIES
CONTACT: MARK ANDERSON
4451 NW URBANDALE DRIVE
URBANDALE, IA 50322
PH: (515) 270-6104

ENGINEER / SURVEYOR

CIVIL DESIGN ADVANTAGE
4121 NW URBANDALE DRIVE
URBANDALE, IA 50322
CONTACT: ERIN OLLENDIKE
EMAIL: ERINO@CDA-ENG.COM
PH: (515) 369-4400
FX: (515) 369-4410

ZONING

PREVIOUS ZONING A-1: AGRICULTURAL DISTRICT

CURRENT ZONING M1-A: COMMERCIAL LIMITED
LIGHT INDUSTRIAL & TRANSPORTATION
CORRIDOR MIXED USE DEVELOPMENT OVERLAY
DISTRICT.

DATE OF SURVEY

OCTOBER 16, 2021

BENCHMARKS

- 3RD HYDRANT NORTH OF 37TH ON EAST
SIDE OF BROOKSIDE DRIVE
ELEVATION=1005.76
- HYDRANT @ NE CORNER OF 37TH AND
BROOKSIDE DRIVE
ELEVATION=1003.02

ADDRESSES

LOT 1: 501 37TH STREET, SUITE 100 (SOUTH OFFICE)
501 37TH STREET, SUITE 200 (NORTH OFFICE)
LOT 2: 355 SW 37TH STREET
LOT 3: 3310 S JAMES STREET
LOT 4: 3510 S JAMES STREET
LOT 5: 500 SW 28TH STREET
LOT 6: 300 SW 28TH STREET

PRELIMINARY PLAT DESCRIPTION

PARCEL "B" AS SHOWN ON THE PLAT OF SURVEY RECORDED IN BOOK 8038, PAGE 376, BEING A PART OF THE EAST HALF OF THE SOUTHEAST QUARTER OF SECTION 7, TOWNSHIP 79 NORTH, RANGE 25 WEST OF THE FIFTH PRINCIPAL MERIDIAN IN THE CITY OF GRIMES, POLK COUNTY, IOWA AND CONTAINING 77.93 ACRES (3,394,751 SQUARE FEET).

THE PROPERTY IS SUBJECT TO ANY AND ALL EASEMENTS OF RECORD INCLUDING RIGHT-OF-WAY EASEMENT ALONG THE SOUTHERLY AND EASTERLY SIDES THEREOF, CONTAINING 3.01 ACRES.

PARKING REQUIREMENTS

- REQUIRED BUSINESS/PROFESSIONAL OFFICE
3 SPACE PER 1,000 SF OF OFFICE
(10,000 SF/1,000 SF = 30 SPACES)

WHOLESALE ESTABLISHMENT/WAREHOUSE
THE GREATER OF:
1 SPACE PER 2 EMPLOYEES
12 EMPLOYEES PER WAREHOUSE/STORAGE SUITE
((2 SUITES X 12 EMPLOYEES)/2 = 12 SPACES)

OR

1 SPACE PER 2,000 SF OF STORAGE
(950,000 SF/2,000 SF = 475 SPACES)

TOTAL REQUIRED: 475+30=505 SPACES

TOTAL PROVIDED: 1,064 SPACES

ACCESSIBLE PARKING:
REQUIRED = 20 STALLS
PROVIDED = 20 STALLS

LOADING SPACES

REQUIRED
1 LOADING SPACE + 1 LOADING
SPACE/20,000 SF OVER 10,000 SF
OF BUILDING AREA
(1 SPACE + (950,000 SF - 10,000
SF)/20,000 SF = 48 SPACES)

TOTAL REQUIRED: 48 SPACES

TOTAL PROVIDED: 48 SPACES

LEGEND

FEATURES

PROPOSED

GROUND SURFACE CONTOUR

TYPE SW-501 STORM INTAKE

TYPE SW-502 STORM INTAKE

TYPE SW-503 STORM INTAKE

TYPE SW-505 STORM INTAKE

TYPE SW-506 STORM INTAKE

TYPE SW-512 STORM INTAKE

TYPE SW-513 STORM INTAKE

TYPE SW-401 STORM MANHOLE

TYPE SW-402 STORM MANHOLE

FLARED END SECTION

TYPE SW-301 SANITARY MANHOLE

STORM/SANITARY CLEANOUT

WATER VALVE

FIRE HYDRANT ASSEMBLY

SIGN

DETECTABLE WARNING PANEL

SANITARY SEWER

STORM SEWER

WATERMAIN WITH SIZE

SURVEY

SECTION CORNER

1/2" REBAR, YELLOW CAP #18660

(UNLESS OTHERWISE NOTED)

ROW MARKER

ROW RAIL

PLATTED DISTANCE

MEASURED BEARING & DISTANCE

RECORDED AS

DEED DISTANCE

CALCULATED DISTANCE

CURVE ARC LENGTH

MINIMUM 100 YEAR FLOOD

PROTECTION ELEVATION

CENTERLINE

SECTION LINE

1/4 SECTION LINE

1/4 SECTION LINE

EASEMENT LINE

LOT LINE

RIGHT OF WAY

BUILDING SETBACK

PLAT BOUNDARY

EXISTING

GROUND SURFACE CONTOUR

SANITARY MANHOLE

WATER VALVE BOX

FIRE HYDRANT

WATER CURB STOP

WELL

STORM SEWER MANHOLE

STORM SEWER SINGLE INTAKE

STORM SEWER DOUBLE INTAKE

FLARED END SECTION

DECIDUOUS TREE

CONIFEROUS TREE

DECIDUOUS SHRUB

CONIFEROUS SHRUB

ELECTRIC POWER POLE

GUY ANCHOR

STREET LIGHT

POWER POLE W/ TRANSFORMER

UTILITY POLE W/ LIGHT

ELECTRIC BOX

ELECTRIC TRANSFORMER

ELECTRIC MANHOLE OR VAULT

TRAFFIC SIGN

TELEPHONE JUNCTION BOX

TELEPHONE MANHOLE/VAULT

TELEPHONE POLE

GAS VALVE BOX

CABLE TV JUNCTION BOX

CABLE TV MANHOLE/VAULT

MAIL BOX

BENCHMARK

SOIL BORING

UNDERGROUND TV CABLE

GAS MAIN

FIBER OPTIC

UNDERGROUND TELEPHONE

OVERHEAD ELECTRIC

UNDERGROUND ELECTRIC

FIELD TILE

SANITARY SEWER W/ SIZE

STORM SEWER W/ SIZE

WATER MAIN W/ SIZE

FOUND

SECTION CORNER

1/2" REBAR, YELLOW CAP #18660

(UNLESS OTHERWISE NOTED)

ROW MARKER

ROW RAIL

PLATTED DISTANCE

MEASURED BEARING & DISTANCE

RECORDED AS

DEED DISTANCE

CALCULATED DISTANCE

CURVE ARC LENGTH

MINIMUM 100 YEAR FLOOD

PROTECTION ELEVATION

CENTERLINE

SECTION LINE

1/4 SECTION LINE

1/4 SECTION LINE

EASEMENT LINE

LOT LINE

RIGHT OF WAY

BUILDING SETBACK

PLAT BOUNDARY

SET

SECTION CORNER

1/2" REBAR, YELLOW CAP #18660

(UNLESS OTHERWISE NOTED)

ROW MARKER

ROW RAIL

PLATTED DISTANCE

MEASURED BEARING & DISTANCE

RECORDED AS

DEED DISTANCE

CALCULATED DISTANCE

CURVE ARC LENGTH

MINIMUM 100 YEAR FLOOD

PROTECTION ELEVATION

CENTERLINE

SECTION LINE

1/4 SECTION LINE

1/4 SECTION LINE

EASEMENT LINE

LOT LINE

RIGHT OF WAY

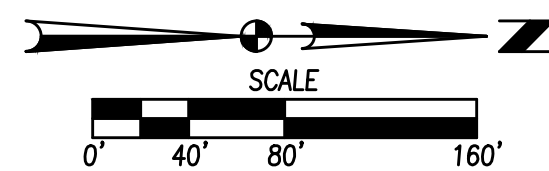
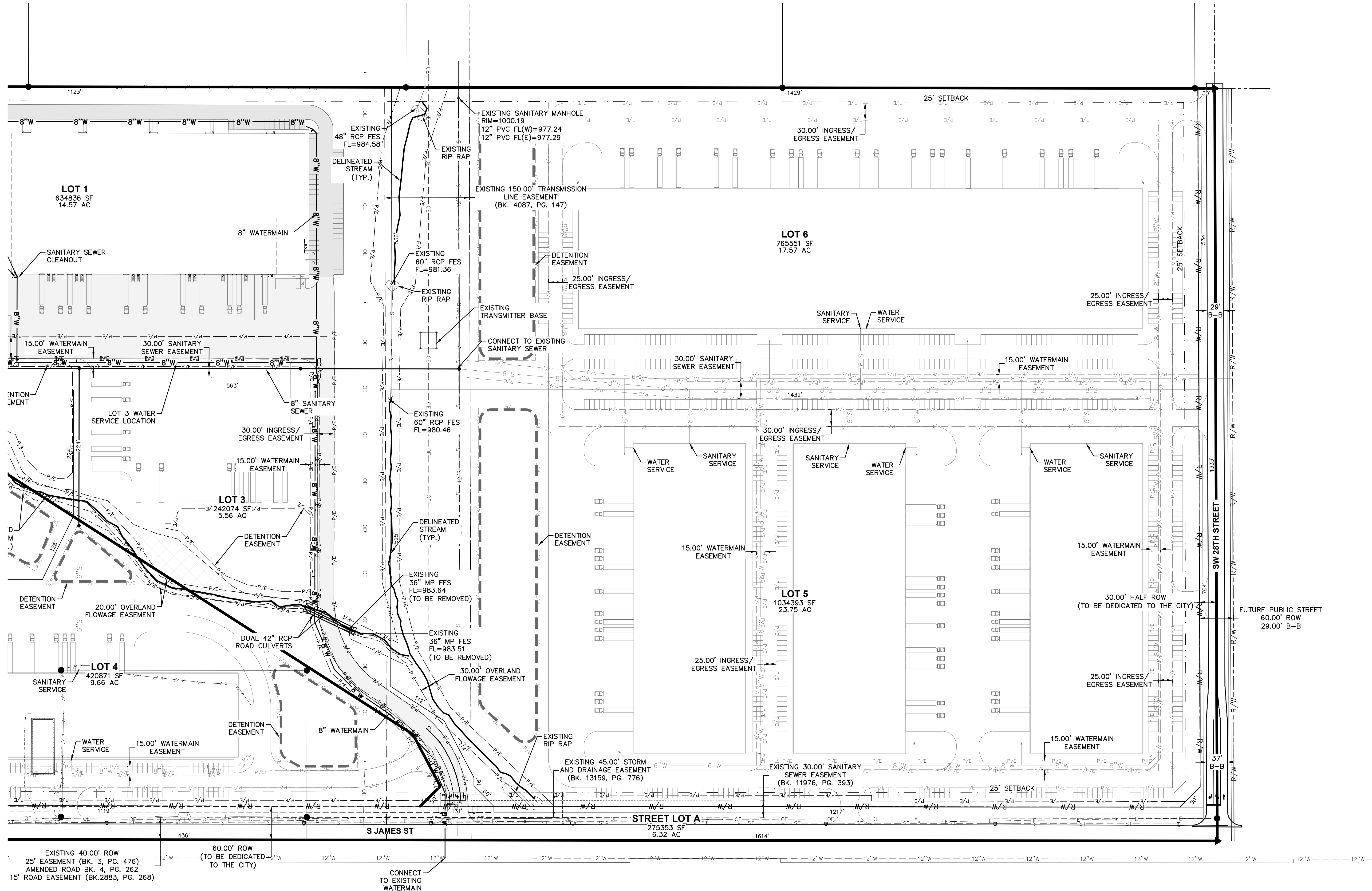
BUILDING SETBACK

PLAT BOUNDARY

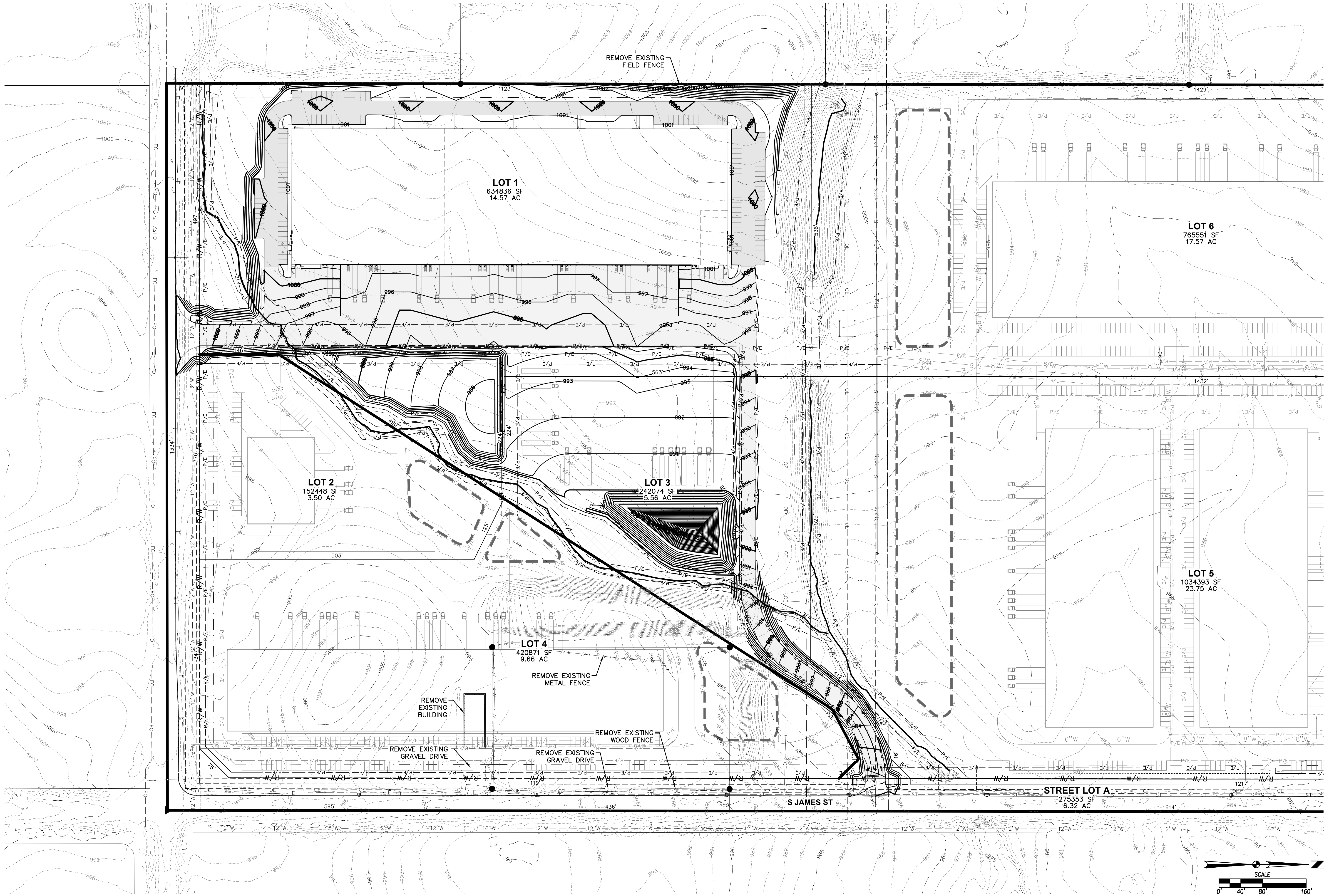
NOTES:

- EACH LOT WILL BE RESPONSIBLE FOR THEIR OWN DETENTION AT THE TIME THEY DEVELOP.
- CONCEPTUAL PLANS SHOWN ARE PRELIMINARY. AS EACH LOT IS SOLD THE OWNER WILL SUBMIT A SITE PLAN DETAILING OUT THE SPECIFICS OF THEIR DEVELOPMENT.
- INGRESS/EGRESS EASEMENTS ARE SHOWN TO ILLUSTRATE THAT ACCESS THROUGH EACH LOT NEEDS TO HAVE AN EASEMENT FOR CONNECTION BETWEEN THE LOTS. FINAL LOCATION TO BE DETERMINED AS EACH LOT DEVELOPMENT. EASEMENTS SHALL BE RECORDED WITH EACH SITE PLAN.
- DETENTION EASEMENTS SHOWN ARE PRELIMINARY. AS EACH LOT DEVELOPS AND PROVIDES DETENTION AN EASEMENT SHALL BE RECORDED ALONG WITH A MAINTENANCE AGREEMENT.

	I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.	
	ERIN OLLENDIKE, P.E. 16926 IOWA	DATE
LICENSE RENEWAL DATE IS DECEMBER 31, 2023 PAGES OR SHEETS COVERED BY THIS SEAL:		
ALL SHEETS		



FILE: H:\2021\2110780\DWG\2110780-PRIMINARY PLAT.DWG
COMMENTS: 2110780-PRIMINARY PLAT
PLOT: 6/24/2022 8:04 PM
PLOT: 6/24/2022 8:04 PM
PLOT: 6/24/2022 8:04 PM



4

LEGACY AT JAMES STREET PLAT 1

PRELIMINARY PLAT

5

2110.780

CIVIL DESIGN ADVANTAGE

GRIMES, IOWA

4121 NW URBANDALE DRIVE
URBANDALE, IA 50322
PHONE: (515) 369-4400

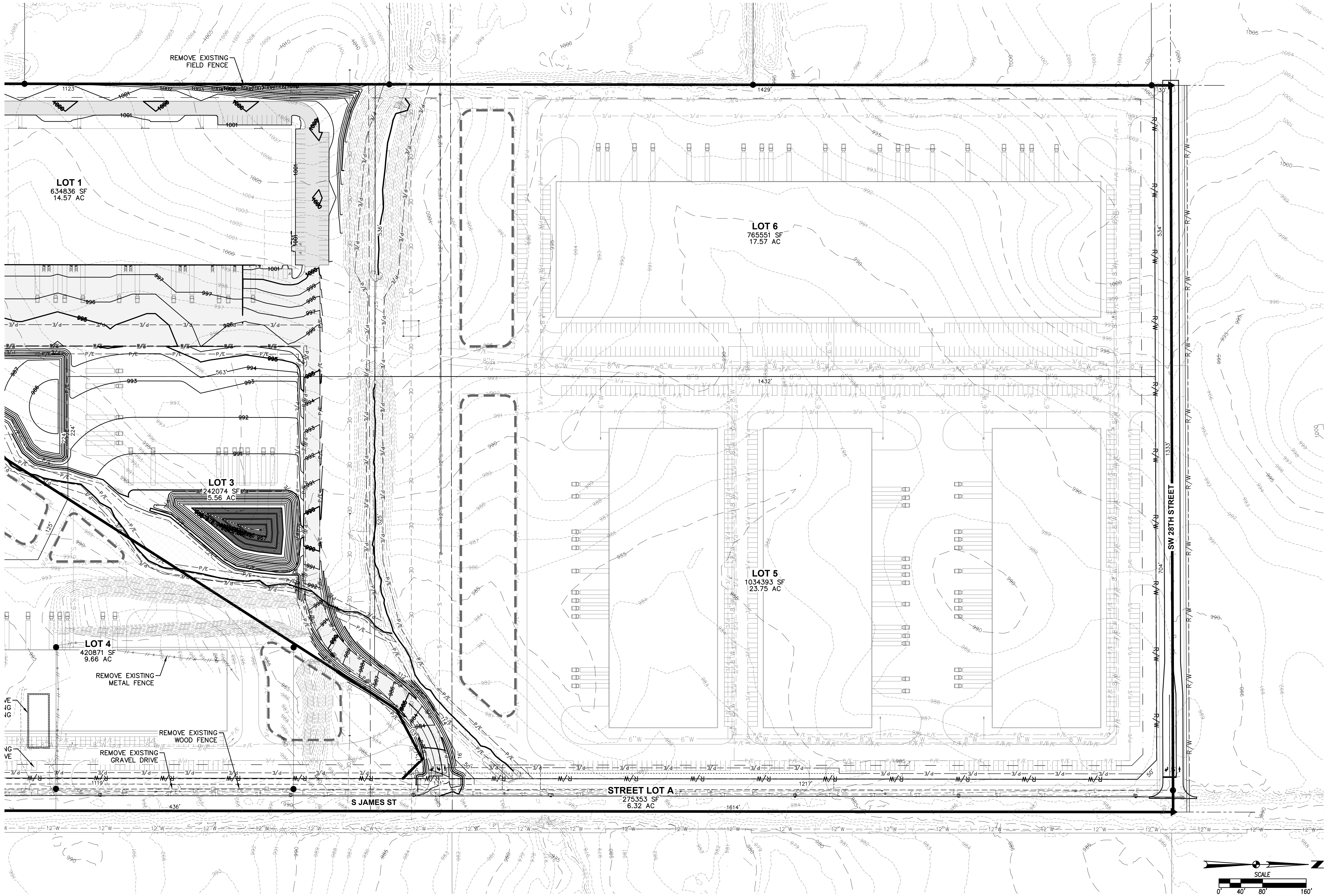
ENGINEER: EKO

ENGINEER: GH/JWM

REVISIONS

DATE	REVISIONS
06/30/2022	THIRD SUBMITTAL
06/08/2022	SECOND SUBMITTAL
05/17/2022	FIRST SUBMITTAL

FILE: H:\2021\2110780\DWG\2110780-PRIMARY PLATINGS
PLATTED BY: QUANTON MCDONALD
DATE: 6/24/2022 8:04 PM
COMMENTS: ENSURE



5

LEGACY AT JAMES STREET PLAT 1

PRELIMINARY PLAT

5

2110.780

GRIMES, IOWA

CIVIL DESIGN ADVANTAGE

4121 NW URBANDALE DRIVE
URBANDALE, IA 50322
PHONE: (515) 369-4400

ENGINEER: EKO

ENGINEER: GH/JWM

DATE	REVISIONS
06/30/2022	THIRD SUBMITTAL
06/08/2022	SECOND SUBMITTAL
05/17/2022	FIRST SUBMITTAL

Planning & Zoning Staff Report



TO: Planning and Zoning Commission
FROM: Molly Mannel, Assistant Planner
DATE: June 5, 2022
RE: Legacy at James Street Plat 1 – Final Plat

GENERAL INFORMATION:

Applicant:

Anderson Properties

Requested Action

Final Plat

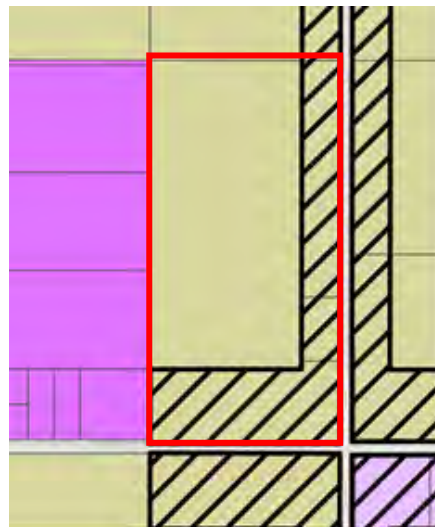
Location

Located at the Northwest Corner of SE 37th Street
and South James Street

SUPPORTING INFORMATION:



Location Map



Zoning Map

LAND USES & ZONING:

Location	Existing Land Use	Land Use Plan Designation	Current Zoning
Subject Site	Vacant	Business Park	M1-A
North	Vacant	Business Park	A-1
South	Vacant	Business Park	A-1
East	Vacant	Business Park and Future Parks & Rec	M-2
West	Industrial	General Industrial	A-1

BACKGROUND:

The applicant is requesting approval of a final plat for the Legacy at James Street Plat 1, which will allow for the future subdivision of the 77.93-acre property. The final plat consists of four lots and one outlot for commercial and limited light industrial use. The site was previously known as the Herndon Property, and was rezoned from A-1 to M1-A. The site also resides with the Transportation Corridor Mixed Use Development Overlay District.

ANALYSIS:*Site Layout:*

The site will consist of four lots and one outlot, with warehouse space and office buildings being the primary intended uses for the site. Stormwater basins will be provided for each individual lot. Internal streets will run through the site to provide connectivity for users and access for the Fire Department.

Intersections along S James Street and SW 28th Street will be widened to three lanes, with 50' diagonal rights-of-way per the FOTH Infrastructure & Environment study. The southern half of SW 28th Street will be constructed by the applicant, with the northern half completed by the city for future development. A sidewalk connection will be installed along SW 37th Street, and connect to a 10' trail up S James Street.

Landscaping/Streetscape:

All loading docks and overhead doors will be screened from the right-of-way. Landscaping will be placed along SW 37th Street and S James Street, as well as along the delineated stream to provide additional buffering between the development and the wetlands/stream.

Utilities:

Water service will be provided to all lots. The watermain from SW 37th Street to the north will be public. Sanitary sewer connections will extend to each lot, and up to SW 37th Street for future development to the south. Ingress/egress easements will be placed throughout the site to allow connectivity through each lot, while storm sewers will be placed below the private roadways that cross over the delineated stream.

STAFF RECOMMENDATION:

Staff would recommend approval of the Legacy at James Street Plat 1 final plat subject to any remaining staff comments.

CITY OF GRIMES

Molly Mannel
Assistant Planner



Development Services

410 SE Main St, Suite 102

Grimes, IA 50111

(515)986-4050

www.grimesiowa.gov

June 23, 2021

Anderson Properties

Attn: Mark Anderson

4451 NW Urbandale Drive

Urbandale, IA 50322

RE: Legacy at James Street Plat 1 Final Plat

Dear Mr. Anderson:

The Development Services Department is in receipt of a proposed Final Plat for the Legacy at James Street Plat 1. Based on the review of the provided submittal materials, staff have the following comments:

General Comments:

- ~~1. Please provide separate sheets so staff can easily see easements, utility locations, etc.~~
2. Please state that the zoning changed from A-1 to M-1A.
- ~~3. Please include the acreage as part of the final plat, Lot 4.~~
- ~~4. Please show lots 5 and 6, as shown in the preliminary plat.~~
5. Please show the detention easements. **Please show detention easement in Lot 4, near private drive off of S James Street.**
- ~~6. Please rename NE 28th Street to SW 28th Street.~~
- ~~7. Please show an ingress/egress easement through Lot 1 for Lot 3.~~
8. Please show an ingress/egress easement through Lot 4 to Lot 1.
9. Please show an ingress/egress easement through Lot 2 to Lot 4.
- ~~10. Please show easements over the storm water basins.~~
- ~~11. Please provide an overland flowage easement for the stream channel area.~~

- ~~12. Extend sanitary sewer easement to SE 37th Street for property south of SE 37th Street.~~
- ~~13. Extend watermain easement east along private drive to South James Street main.~~
- ~~14. Please provide a PUE along South James and SE 37th Street.~~
15. Please provide sidewalk along SE 37th Street and a 10' trail along South James.
- ~~16. Chamfer ROW per FOTH study at intersections.~~
17. Please revise the intersection at SW 28th and South James to a 3-lane section.
18. Please include the following addresses:
 - a. Lot 1: 501 SW 37th Street. Suite 100 will be on the south end/office, and Suite 200 will be on the north end/office. **Please shift the address down, it appears the textbox overlapped the address.**
 - ~~b. Lot 2: 355 SW 37th St~~
 - ~~c. Lot 3: 3310 S James St~~
 - ~~d. Lot 4: 3510 S James St~~
 - ~~e. Lot 5: 500 SW 28th St~~
 - ~~f. Lot 6: 300 SW 28th St~~
- 19. The Plat Description states that the property is a total of 80.53 acres, which doesn't match up to the 77.93 acres listed in the preliminary plat. Please revise with the correct amount.**

Legal Comments:

1. Title opinion
2. Consent(s) to Plat
 - a. Owner consent
 - b. Mortgagee consent (if applicable)
3. Treasurer's Certificate
4. County Subdivision Name Approval
- ~~5. Legal description in Word format~~
6. Easement documents and legal descriptions.

7. Declaration and Covenants, Restrictions and Easements
8. 4-year maintenance bond (if public main is constructed)
9. Letter from the surveyor confirming that monuments are in place. Confirmation is required prior to issuing a Certificate of Occupancy.

Please provide a letter addressing all comments on this comment letter and/or state what was modified on the site plan to address said comments.

SITE PLAN SUBMITTAL SCHEDULE:

SUBMITTAL DATE:	June 30, 2022 (1 PDF of Final Plat and Legals)
PLANNING & ZONING:	July 5, 2022 at 5:30 at the Grimes City Hall
COUNCIL MEETING:	July 12, 2022 at 5:30 at the Grimes City Hall

Please feel free to contact me at mmannel@grimesiowa.gov or at (515) 986-4050 if you have any questions or need additional information.

Sincerely,

Molly Mannel
Assistant Planner

FILE: H:\2021\210780\210780-FINAL PLAT.DWG
DATE PLOTTED: 6/30/2022 2:39 PM
PLOTTER: HP DesignJet 4440C
DRAWN BY: GSB/MACIE

COMMENT:
END

INDEX LEGEND

LOCATION: PARCEL 'A' & PARCEL 'B'
PT. E1/2 SE1/4 SEC 07--79--25

REQUESTOR: ANDERSON PROPERTIES

PROPRIETOR: IPE1031 REV418 LLC
4451 NW URBANDALE DR
URBANDALE, IA 50322

SURVEYOR: MICHAEL A. BROONER

SURVEYOR COMPANY: CIVIL DESIGN ADVANTAGE

PREPARED BY & RETURN TO: CIVIL DESIGN ADVANTAGE
4121 NW URBANDALE DRIVE
URBANDALE, IA 50322
PH: 515--369--4400

DATE OF SURVEY

MAY 12, 2022

OWNER

IPE1031 REV418 LLC
4451 NW URBANDALE DR
URBANDALE, IA 50322

DEVELOPER

ANDERSON PROPERTIES

ENGINEER / SURVEYOR

CIVIL DESIGN ADVANTAGE
4121 NW URBANDALE DRIVE
URBANDALE, IA 50322

PLAT DESCRIPTION

PARCEL 'A' AS SHOWN ON THE PLAT OF SURVEY
RECORDED IN BOOK 7617, PAGE 595 AND PARCEL 'B' AS
SHOWN ON THE PLAT OF SURVEY RECORDED IN BOOK
8038, PAGE 376, ALL BEING A PART OF THE EAST HALF
OF THE SOUTHEAST QUARTER OF SECTION 7, TOWNSHIP
79 NORTH, RANGE 25 WEST OF THE FIFTH PRINCIPAL
MERIDIAN IN THE CITY OF GRIMES, POLK COUNTY, IOWA,
EXCEPT THAT PART OF SAID PARCEL 'A' SHOWN IN
ACQUISITION PLAT RECORDED IN BOOK 13359, PAGE 365
ALL CONTAINING 80.53 ACRES (3,508,097 SQUARE FEET).

THE PROPERTY IS SUBJECT TO ANY AND ALL EASEMENTS
OF RECORD INCLUDING RIGHT-OF-WAY EASEMENT ALONG
THE SOUTHERLY AND EASTERLY SIDES THEREOF,
CONTAINING 3.01 ACRES.

ZONING

M1-A: COMMERCIAL LIMITED LIGHT INDUSTRIAL &
TRANSPORTATION CORRIDOR MIXED USE
DEVELOPMENT OVERLAY DISTRICT.

BULK REGULATIONS

FRONT YARD: 25 FEET

SIDE YARDS: NONE REQUIRED, EXCEPT WHEN ADJACENT
TO
ANY 'R' DISTRICT OR STREET RIGHT-OF-WAY
LINE, IN WHICH CASE - 25 FEET

REAR YARD: 25 FEET; HOWEVER, FOR EVERY FOOT THE
FRONT YARD IS INCREASED OVER 25 FEET, THE
REAR YARD MAY BE DECREASED IN DIRECT
PROPORTION THERETO, BUT IN NO CASE SHALL
THE REAR YARD BY LESS THAN 10 FEET

NOTES

- ANY SET MONUMENTATION SHOWN ON THIS PLAT WILL BE
COMPLETED WITHIN ONE YEAR FROM THE DATE THIS PLAT
WAS RECORDED.
- LOTS MAY BE SUBJECT TO MINIMUM PROTECTION
ELEVATIONS AND OTHER ELEVATION RESTRICTIONS NOT
SHOWN ON THIS PLAT. REFER TO THE APPROVED PROJECT
ENGINEERING DOCUMENTS FOR ANY ELEVATION
RESTRICTIONS.
- THE ZONING WAS MODIFIED FROM A-1 TO M-1A.
- A FIVE FOOT SIDEWALK WILL BE CONSTRUCTED ALONG SE
37TH STREET AND A 10 FOOT TRAIL WILL BE CONSTRUCTED
ALONG SOUTH JAMES STREET.

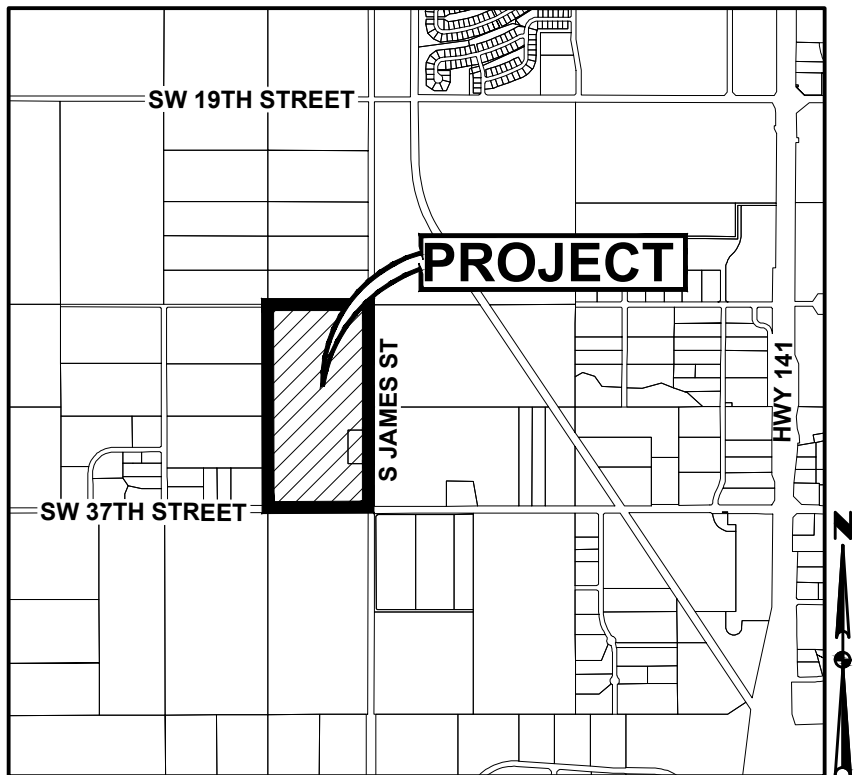
LEGEND

SECTION CORNER AS NOTED
1/2" REBAR, YELLOW PLASTIC CAP#15980
(UNLESS OTHERWISE NOTED)

MEASURED BEARING & DISTANCE
RECORDED BEARING & DISTANCE
DEEDED BEARING & DISTANCE
PUBLIC UTILITY EASEMENT
CURVE ARC LENGTH
LOT ADDRESS
CENTERLINE
SECTION LINE
EASEMENT LINE
BUILDING SETBACK LINE
PLAT BOUNDARY

FOUND	SET
▲	△
●	○
M	
R	
D	
P.U.E.	
AL	
(1234)	

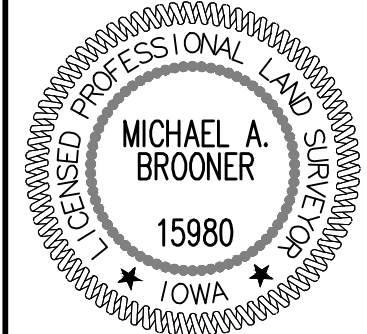
VICINITY MAP (NOT TO SCALE)



GRIMES, IOWA

LINE AND CURVE TABLE

LINE DATA			LINE DATA			LINE DATA			CURVE	DELTA	RADIUS	LENGTH	BEARING	CHORD
LINE	BEARING	LENGTH	LINE	BEARING	LENGTH	LINE	BEARING	LENGTH						
L1	S89°57'52"E	22.85'	L29	S41°50'48"W	15.00'	L57	S00°00'00"E	18.23'	C1	0°04'46"	219.00'	0.30'	S89°57'37"E	0.30'
L2	N67°30'00"E	77.95'	L30	S38°25'57"W	15.00'	L58	S78°45'00"E	20.25'	C2	55°37'29"	185.00'	179.60'	S62°16'01"W	172.63'
L3	N45°00'00"E	95.33'	L31	S38°16'38"W	15.00'	L59	S45°00'00"E	8.18'	C3	54°20'01"	215.00'	203.89'	S61°37'17"W	196.33'
L4	N34°27'17"E	46.67'	L32	S38°16'38"W	15.00'	L60	S00°00'00"E	217.31'	C4	33°47'45"	178.00'	104.99'	S71°37'29"W	103.48'
L5	N34°27'17"E	27.15'	L33	S34°27'17"W	36.77'	L61	N90°00'00"W	184.08'	C5	55°37'29"	215.00'	208.73'	S62°16'01"W	200.63'
L6	N45°00'00"E	53.76'	L34	N89°55'14"W	422.44'	L62	N45°00'00"W	14.87'						
L7	N67°30'00"E	90.66'	L35	S00°04'46"W	845.49'	L63	N00°00'00"E	24.00'						
L8	N90°00'00"E	43.44'	L36	S39°35'42"W	110.78'	L64	N22°30'00"E	24.05'						
L9	S89°55'14"E	390.44'	L37	S56°25'12"W	63.19'	L65	N45°00'00"E	38.19'						
L10	S45°00'00"E	2.83'	L38	S32°51'43"W	35.67'	L66	N67°30'00"E	44.56'						
L11	S89°55'14"E	23.99'	L39	S05°22'44"E	101.64'	L67	N22°30'00"E	30.23'						
L12	N00°04'46"E	989.16'	L40	S65°15'25"W	77.43'	L68	N00°00'00"E	49.28'						
L13	S00°04'46"W	568.86'	L41	S17°24'26"W	153.33'	L69	N22°30'00"E	82.20'						
L14	S00°04'46"W	686.87'	L42	S46°40'31"W	88.22'	L70	N45°00'00"E	84.20'						
L15	N89°55'14"W	293.70'	L43	S55°46'48"W	78.53'	L71	N90°00'00"E	20.98'						
L16	N88°47'11"E	221.89'	L44	S25°21'05"W	33.64'	L72	S00°00'00"E	307.17'						
L17	N55°31'13"E	93.16'	L45	S08°05'48"W	246.33'	L73	S45°00'00"W	8.94'						
L18	N75°51'51"E	88.72'	L46	S00°00'00"E	155.04'	L74	S88°57'23"E	169.46'						
L19	S37°33'39"E	21.80'	L47	S45°00'00"W	24.11'	L75	N75°10'56"E	109.48'						
L20	S75°51'51"W	93.80'	L48	N90°00'00"W	88.97'	L76	S25°29'15"W	95.71'						
L21	S55°31'13"W	101.24'	L49	N78°45'00"W	28.94'	L77	N90°00'00"E	33.23'						
L22	S00°04'00"W	37.01'	L50	N45°00'00"W	16.89'	L78	N25°29'15"E	113.40'						
L23	S00°04'46"W	1021.31'	L51	N00°00'00"E	38.74'	L79	N60°12'00"E	107.20'						
L24	N89°55'14"W	462.44'	L52	N11°15'00"E	62.77'	L80	N43°24'13"E	226.62'						
L25	S34°27'17"W	77.82'	L53	N22°30'00"E	44.19'	L81	N43°24'13"E	253.99'						
L26	S56°08'35"W	15.00'	L54	N45°00'00"E	109.98'	L82	N60°12'00"E	118.12'						
L27	S51°21'04"W	15.00'	L55	N11°15'00"E	26.35'									
L28	S46°35'09"W	15.00'	L56	N90°00'00"E	8.63'									



I HEREBY CERTIFY THAT THIS LAND SURVEYING DOCUMENT WAS
PREPARED AND THE RELATED SURVEY WORK WAS PERFORMED
BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND
THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR
UNDER THE LAWS OF THE STATE OF IOWA.

MICHAEL A. BROONER, P.L.S. DATE

LICENSE NUMBER 15980
MY LICENSE RENEWAL DATE IS DECEMBER 31, 2022
PAGES OR SHEETS COVERED BY THIS SEAL:

SHEETS 1 -- 3

LEGACY AT JAMES STREET PLAT 1
FINAL PLAT

1/3
2110.780

4121 NW URBANDALE DRIVE
URBANDALE, IA 50322
PHONE: (515) 369-4400

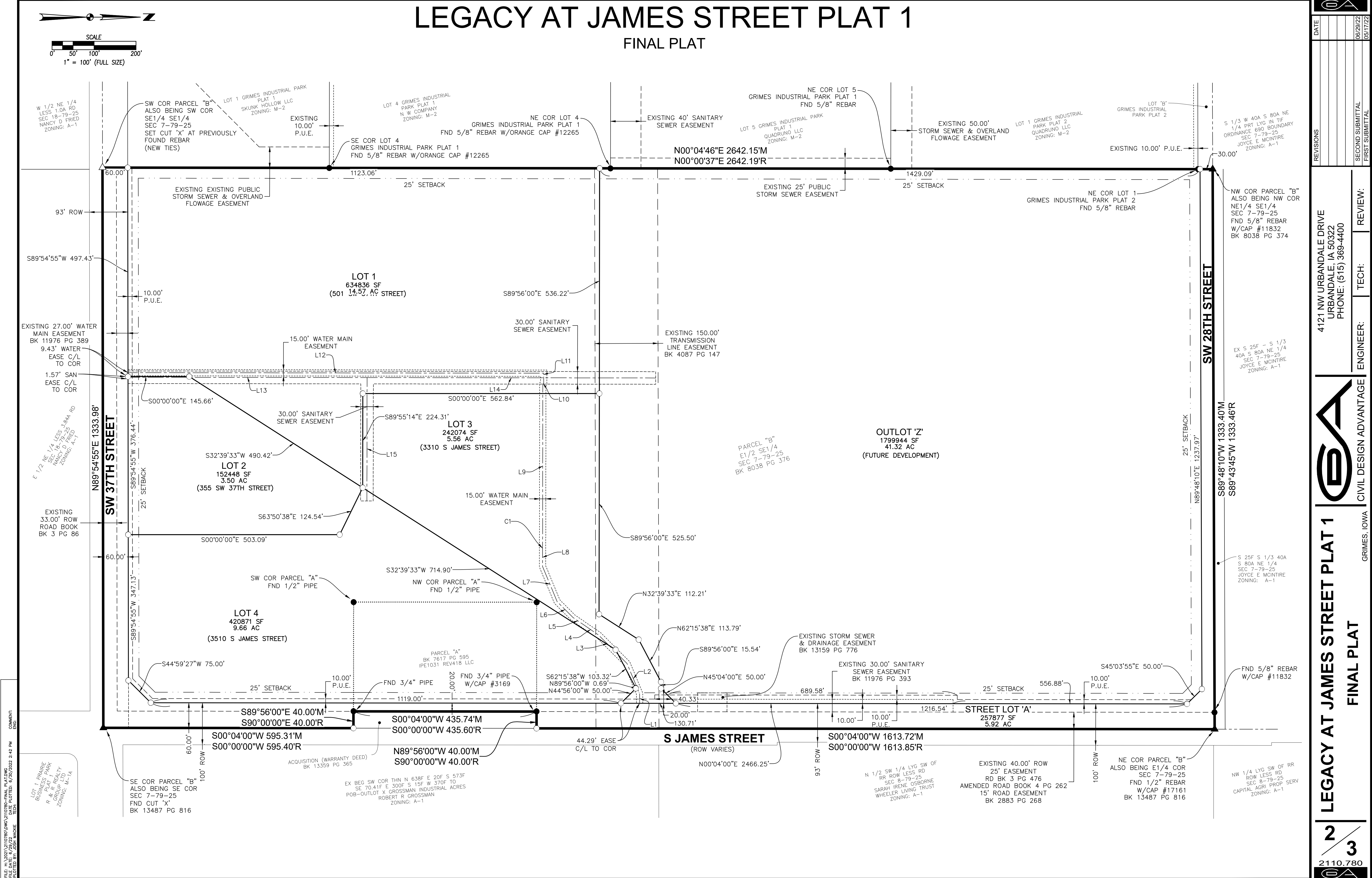
ENGINEER:
TECH:
REVIEW:

REVISIONS

DATE	REVISIONS
06/29/22	
05/17/22	
	SECOND SUBMITTAL
	FIRST SUBMITTAL

LEGACY AT JAMES STREET PLAT 1
FINAL PLAT

GRIMES, IOWA



FILE: H:\2021\10789\10789-FINAL PLAT.DWG
DATE: 6/20/2022 2:42 PM
DRAWN BY: JSH
CHECKED BY: JSH

LOT 1, PRAIRIE
BUSINESS PARK
R & D GROUP, REALTY
ZONING: M-1A

SE COR PARCEL "B"
ALSO BEING SE COR
SEC 7-79-25
FND CUT 'X'
BK 13487 PG 816

EX BEG SW COR THN N 638F E 20F S 573F
SE 70.41F E 300F S 15F W 370F TO
POB-OUTLOT X GROSSMAN INDUSTRIAL ACRES
ROBERT R GROSSMAN
ZONING: A-1

PARCEL "A"
BK 7617 PG 595
IPE1031 REV418 LLC

PARCEL "B"
E1/2 SE1/4
SEC 7-79-25
BK 8038 PG 376

N 1/2 SW 1/4 LYG SW OF
RR ROW LESS RD
SEC 8-79-25
SARAH IRENE OSBORNE
WHEELER LIVING TRUST
ZONING: A-1

EXISTING 40.00' ROW
25' EASEMENT
RD BK 3 PG 476
AMENDED ROAD BOOK 4 PG 262
15' ROAD EASEMENT
BK 2883 PG 268

NE COR PARCEL "B"
ALSO BEING E1/4 COR
SEC 7-79-25
FND 1/2" REBAR
W/CAP #17161
BK 13487 PG 816

NW 1/4 LYG SW OF RR
ROW LESS RD
SEC 8-79-25
CAPITAL AGRI PROP SERV
ZONING: A-1

S 25F S 1/3 40A
S 80A NE 1/4
SEC 7-79-25
JOYCE E MCINTIRE
ZONING: A-1

EX S 25F - S 1/3
40A S 80A NE 1/4
SEC 7-79-25
JOYCE E MCINTIRE
ZONING: A-1

S 1/3 W 40A S 80A NE
1/4 PRT LYG IN TIP
ORDINANCE 690 BOUNDARY
SEC 7-79-25
JOYCE E MCINTIRE
ZONING: A-1

LEGACY AT JAMES STREET PLAT 1
FINAL PLAT

2
3

2110.780

GRIMES, IOWA

CIVIL DESIGN ADVANTAGE

ENGINEER:

TECH:

REVIEW:

4121 NW URBANDALE DRIVE
URBANDALE, IA 50322
PHONE: (515) 369-4400

REVISIONS

DATE

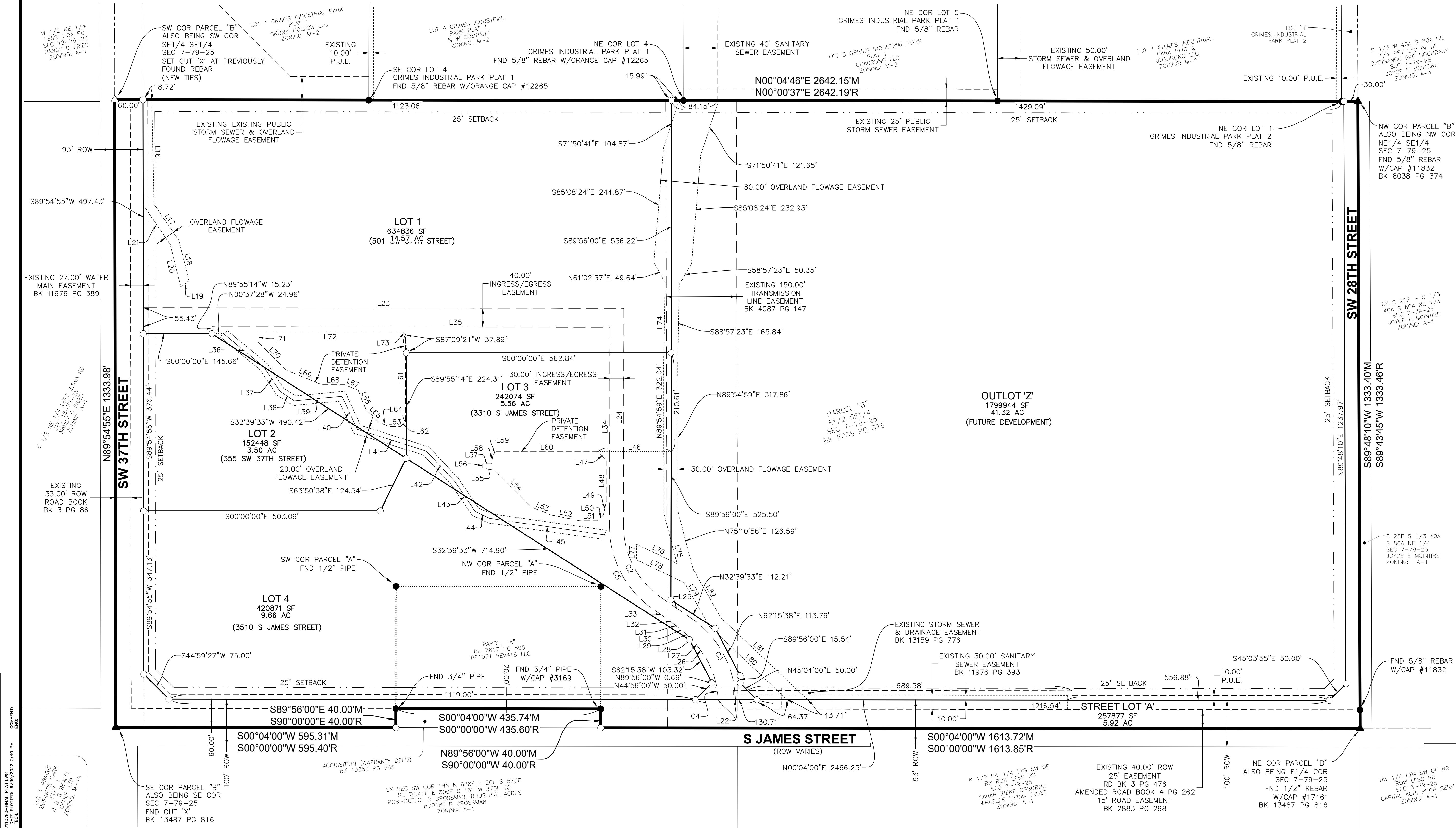
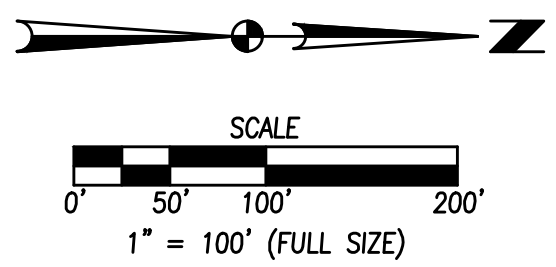
06/29/22

05/17/22

SECOND SUBMITTAL

FIRST SUBMITTAL

LEGACY AT JAMES STREET PLAT 1
FINAL PLAT



FILE: H:\2021\110789\110789-FINAL PLAT.DWG
DATE: 6/20/2022 2:40 PM
DRAWN BY: JACIE
PLOTED BY: JACIE

LOT 1 PRAIRIE
BUSINESS PARK
R & D GROUP REALTY
LTD
ZONING: M-1A

SE COR PARCEL "B"
ALSO BEING SE COR
SEC 7-79-25
FND CUT 'X'
BK 13487 PG 816

EX BEG SW COR THN N 638F E 20F S 573F
SE 70.41F E 300F S 15F W 370F TO
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ROBERT R GROSSMAN
ZONING: A-1

N 1/2 SW 1/4 LYG SW OF
RR ROW LESS RD
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SARAH IRENE OSBORNE
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W/CAP #17161
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NW 1/4 LYG SW OF RR
ROW LESS RD
SEC 8-79-25
CAPITAL AGRI PROP SERV
ZONING: A-1

DATE

06/29/22

05/17/22

REVISIONS

SECOND SUBMITTAL

FIRST SUBMITTAL

4121 NW URBANDALE DRIVE
URBANDALE, IA 50322
PHONE: (515) 369-4400

ENGINEER:

TECH:

REVIEW:

LEGACY AT JAMES STREET PLAT 1
FINAL PLAT

GRIMES, IOWA

CIVIL DESIGN ADVANTAGE

3

3

2110.780

Planning & Zoning Staff Report



TO: Planning and Zoning Commission
FROM: Molly Mannel, Assistant Planner
DATE: June 5, 2022
RE: Donovan Marine Grimes – Site Plan

GENERAL INFORMATION:

Applicant:

Anderson Properties

Requested Action

Site Plan

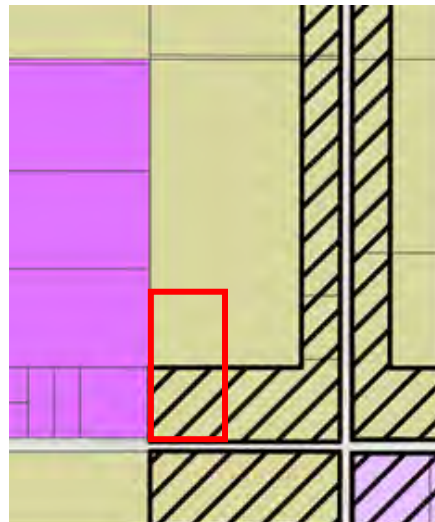
Location

Located at the Northwest Corner of SE 37th Street
and South James Street

SUPPORTING INFORMATION:



Location Map



Zoning Map

LAND USES & ZONING:

Location	Existing Land Use	Land Use Plan Designation	Current Zoning
Subject Site	Vacant	Business Park	M1-A
North	Vacant	Business Park	A-1
South	Vacant	Business Park	A-1
East	Vacant	Business Park and Future Parks & Rec	M-2
West	Industrial	General Industrial	A-1

BACKGROUND:

The applicant is requesting an approval of a site plan for a 200,000 square foot warehouse and office space. Donovan Marine Grimes provides marine-related products and services internationally. The site consists of Lots 1 and 3 of Legacy at James Street Plat 1. Previously known as the Herndon Property, the site was rezoned from A-1 to M1-A and also resides with the Transportation Corridor Mixed Use Development Overlay District.

ANALYSIS:*Building/Elevations:*

The proposed building will consist of precast concrete paneling. The façade will contain various grey-toned panels and heights that will add architectural detailing throughout the exterior. 48% of the south elevation facing SW 37th Street will consist of glazing, with continuous glazing elements on each side of the building.

Site Layout:

The site will be accessed off of SW 37th Street, and S James Street. Pedestrian connectivity will be provided along SW 37th Street and a private sidewalk up to Donovan. Two office spaces will be built within the SE and NE corner of the building.

Parking:

The site will provide the adequate amount of parking spaces. 149 spaces will be provided, with room for 70 future additional parking spaces along the western edge of the site. A retaining wall will be built to in addition to those spaces when needed.

Landscaping/Streetscape:

The site provides 36% open space, which is more than the required 10% open space. Overhead doors to the east will be screened by a mix of overstory and evergreen trees. Landscaping will be placed along the west edge of the building, south along SW 37th Street, and to the east along the delineated stream.

Utilities:

Water and sanitary services will be connected to the lots. Fire hydrants are placed around the site and will provide adequate service within 150' routes. A storm sewer main will be placed under the private drive off of SW 37th Street, to allow proper flowage of the delineated stream.

STAFF RECOMMENDATION:

Staff would recommend approval of the site plan for Donovan Marine Grimes, subject to any remaining staff comments.

CITY OF GRIMES

Molly Mannel
Assistant Planner



Development Services

410 SE Main St, Suite 102

Grimes, IA 50111

(515)986-4050

www.grimesiowa.gov

~~June 2, 2022~~

June 22, 2022

Anderson Properties

Attn: Mark Anderson

4451 NW Urbandale Drive

Urbandale, IA 50322

RE: Donovan Marine Grimes Site Plan

Dear Mr. Anderson:

The Development Services Department is in receipt of a proposed Site Plan for the Donovan Marine Grimes. Based on the review of the provided submittal materials, staff have the following comments:

General Comments:

1. ~~Please update the City Standard Notes attached.~~
2. ~~Legal Description: Change plat to Legacy at James Street.~~
3. Reference M1-A zoning change agreement from A-1. **Please state that the zoning changed from A-1 to M-1A.**
4. Please include future parking calculations. If calculations are over 20%, provide justification and additional open space per the ordinance. **Please list and provide proper parking requirements:**
 - a. **Business/ Professional Office: Three (3) spaces per 1,000 square feet**
 - b. ~~Wholesale establishment/Warehouse: One (1) space for each two (2) employees, but no case less than one (1) space for each two thousand (2,000) square feet of gross floor area~~
5. **Please update the address to:**
 - a. **Lot 1: 501 SW 37th Street. Suite 100 will be on the south end/office, and Suite 200 will be on the north end/office. Please include the southwest before SW 37th Street.**
 - b. ~~Lot 3: 3310 S James Street.~~

- ~~6. What is the purposed usage for Lot 3? If it is just storage, note that a lot tie agreement will be necessary.~~
7. Please show dumpster locations on site plan.
8. Please provide a photometric plan/lighting cut sheet.
- ~~9. Provide Construction Drawings for water and sanitary, and denote as installed.~~
- ~~10. Please provide number of employees during largest shift.~~
- ~~11. Staff would suggest obtaining soil boring/geo tech across the site.~~
- ~~12. A knoxbox shall be installed near the fire pump room per Section 506.1 of the City of Grimes Fire Code.~~
- ~~13. Please provide ACE permits for stream discharge.~~
14. Provide a copy of the SWPPP for review.
15. Please show the property line as the intended final plat lot line, and include the dimensions.

Sheet C3.0

- ~~1. Show dedicated ROW per Plat. Callout ROW dedication.~~

Sheet C4.0

- ~~1. Callout 8" PCC for driveway to ROW.~~
- ~~2. Please show future sidewalk along SW 37th Street. Provide sidewalk through approach/returns.~~
- ~~3. Please shift sidewalk along SW 37th Street into the ROW to avoid the delineated stream. Please also include a callout stating "Future sidewalk to be constructed by the City with SW 37th Street improvements."~~

Sheet C4.2

- ~~1. Callout 8" PCC for driveway to ROW.~~

- ~~4. Please revise the intersection on James to a three-lane intersection. Please provide the sidewalk through the approach/returns.~~

Sheet C5.0

- ~~1. Please revise the intersection on James to a three-lane intersection.~~

Sheet C5.1

- ~~1. Please provide off site grading details and necessary temporary easements.~~
- ~~2. Please provide retaining wall detail for future parking~~

Sheet C5.2

- ~~1. Verify cross slopes for landing Detail 'C'.~~
- ~~2. Staff questions if the entrance radii is sufficient for truck turning. Please label the 50' radius.~~

Sheet 6.0, 6.1, & 6.2

- ~~1. Additional outlet protection within the basins such as standpipes are recommended during construction. Due to the likely saturated ground conditions the proposed controls may not be able to be installed as planned.~~
- ~~2. Add inlet protection to intakes along 37th and James Street to help catch sediment that may be tracked out from the site.~~
- ~~3. Additional controls recommended to protect existing streams and wetlands.~~
- ~~4. Please verify if there will be a temporary sediment basin located on the site since there is greater than 10 acres of disturbance. Will there be a temporary standpipe at any of the basins?~~
- ~~5. Please call out all overflow points for all the detention ponds.~~
- ~~6. Provide rip rap quantities for all proposed locations of rip rap on the sediment control plan sheets. Please add rip rap quantities to the stabilization tab.~~

7. Please clarify if you are using a hickenbottom or standpipe, and its location for TSB1.
8. Please remove trucks from sheets in Lot 3.
9. Please place riprap around storm outlet TSB1.

Sheet C7.0

1. Please provide a sidewalk connection to the public walk. This can be shown as future.
2. Callout FDC location.
3. ~~Label hydrant on 8" watermain, near ST-13.~~
4. ~~Watermain from 37th street and north will be public. Fire service loop around building will be private. Add valve at public/private connections.~~
5. ~~Add valve on east leg of tee by south entrance.~~
6. The 6" water line shown supplying the fire pump room may not be adequate to supply the required demand for the fire pump and fire sprinkler system. Please evaluate with MEP.
7. ~~Provide critical crossing labels.~~
8. More hydrants will need to be added to the East to provide coverage.

Sheet C7.1

1. Please show the route coverage for the fire hydrants. Please show route coverage via a 150' liner route, along the firetruck's access path. Please ensure this doesn't include cutting across landscaping or other features.
2. ~~Staff questions if water should be extended north across the farm entrance, to provide access to the adjoining outlet.~~
3. ~~Provide critical crossing labels.~~
4. Is ST-4- a hickenbottom or standpipe? Provide detail
5. Fix label on critical crossing at northern tee of water main.

6. Please change fire service line to an 8" and include a hydrant.

Sheet C7.2

- ~~1. Provide critical crossing labels.~~

Sheet 8.0

1. Provide street trees along SW 37th Street.
- ~~2. Provide a buffering between site and the delineated wetlands/stream.~~
3. Place east trees closer and along the streamline, and to prevent being planted above the utilities.

Stormwater Management Plan (SWMP)

- ~~1. Detention Summary Table: Provide information for all Unified Sizing events~~
- ~~2. Dry detention basins do not provide WQv treatment as per ISWMM. Provide a different method to treat the WQv event.~~
- ~~3. WQv calculations for DB 1B is missing.~~
- ~~4. CPv needs to be provided for the entire site. Please provide overall CPv release rate. Not providing CPv for flows under 2 cfs was removed from ISWMM. All sites are required to provide CPv.~~
- ~~5. Provide storm sewer table for 100-yr design storm as well.~~
- ~~6. Post Developed Drainage Map: The driveway on the north side of DB1C bypasses the detention basin. Tie this area into the detention basin.~~
- ~~7. Culvert Drainage Map: Please provide some contour labels.~~
- ~~8. Culvert Calculations: Recommend using larger pipe/arch pipe to meet the design requirements. Currently Culvert 1 backs up into Pond 1A and offsite to the west. Culvert 2 backs up to the SE and to the offsite property.~~

9. Detention Analysis: Pond 1B is not a dry detention pond.
10. Detention Summary Table: Post Developed Runoff for the site is 1.33 cfs, Pond 1B release is 0.70 cfs.
11. Proposed Hydrograph/Map: Should DB 1B be DB 1C, or should map be changed to DB 1B?
12. If DB 1C will be developed in the future, then the CN for commercial (92) should be used for this area.

Elevations

- ~~1. Please provide elevations for all 4 sides, with height details, materials and colors details, etc. Staff may provide additional comments upon complete submittal.~~
2. Please include more architectural elements to the west elevation. This can include height variations and glazing elements. Staff would like to see some window storefront elements around the doorways (similar to north and south elevations).

Construction Drawings

General Comments:

1. Provide Overland Flowage Easement covering the 100-yr storm event surrounding the stream.
2. Provide critical crossing labels.
3. Update City of Grimes Standard Notes with current version and add watermain notes.
4. Show Storm Sewer and Water Main crossing in profile view.

Sheet 2

1. SWMP states topsoil thickness should be 8". Please update grading note #3.
2. Update top of Estimate Reference Information to current SUDAS edition.
3. Update City of Grimes Standard Notes with current version and add watermain notes.

Sheet 5

1. Provide inverts from existing sanitary sewer.

Sheet 12

1. Show existing watermain in plan view.

Sheet 13

1. Please provide labels on public utilities.

Please provide a letter addressing all comments on this comment letter and/or state what was modified on the site plan to address said comments.

SITE PLAN SUBMITTAL SCHEDULE:

SUBMITTAL DATE: ~~June 8, 2022~~
June 28, 2022
(1 PDF of Site plan with Elevation Plan included)

PLANNING & ZONING: July 5, 2022 at 5:30 at the Grimes City Hall

COUNCIL MEETING: **July 12, 2022** at 5:30 at the Grimes City Hall

Please feel free to contact me at mmannel@grimesiowa.gov or at (515) 986-4050 if you have any questions or need additional information.

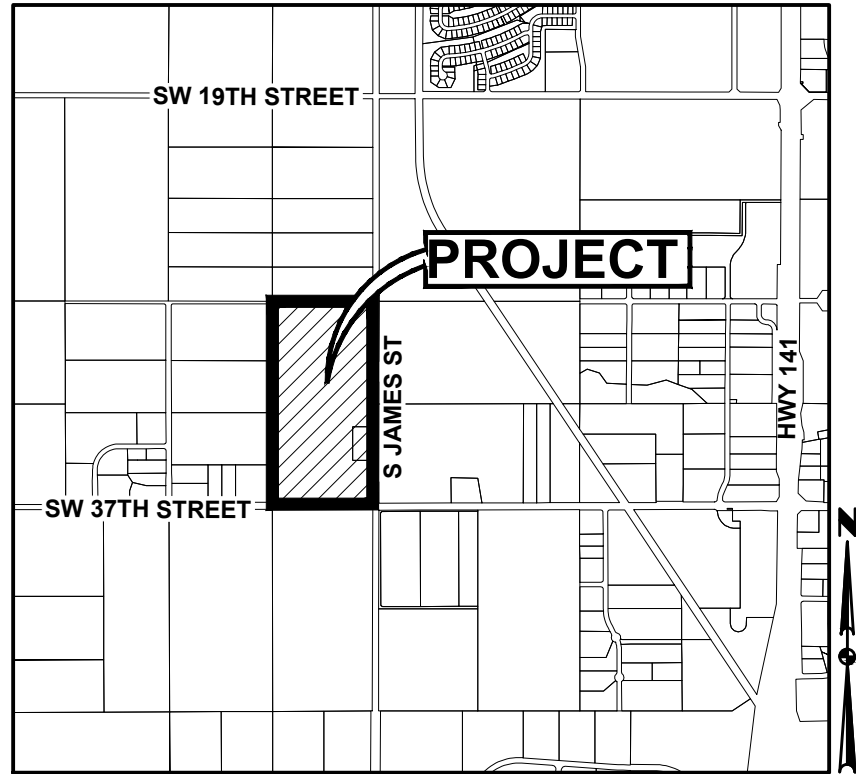
Sincerely,

Molly Mannel
Assistant Planner

SITE PLAN FOR:
DONOVAN MARINE GRIMES
GRIMES, IOWA

VICINITY MAP

NOT TO SCALE



GRIMES, IOWA

OWNER

IPE1031 REV418 LCC
6150 VILLAGE VIEW DRIVE, SUITE 113
WEST DES MOINES, IOWA 50266

APPLICANT

ANDERSON PROPERTIES
CONTACT: MARK ANDERSON
4451 NW URBANDALE DRIVE
URBANDALE, IA 50322
PH: (515) 270-6104

ENGINEER / SURVEYOR

CIVIL DESIGN ADVANTAGE
4121 NW URBANDALE DRIVE
URBANDALE, IA 50322
CONTACT: ERIN OLLENDIKE
EMAIL: ERINO@CDA-ENG.COM
PH. (515) 369-4400
FX. (515) 369-4410

ZONING

PREVIOUS:
A-1: AGRICULTURAL DISTRICT

EXISTING:
M1-A: COMMERCIAL LIMITED LIGHT INDUSTRIAL &
TRANSPORTATION CORRIDOR MIXED USE
DEVELOPMENT OVERLAY DISTRICT.

DATE OF SURVEY

OCTOBER 16, 2021

BENCHMARKS

- 3RD HYDRANT NORTH OF 37TH ON EAST SIDE OF
BROOKSIDE DRIVE
ELEVATION=1005.76
- HYDRANT @ NE CORNER OF 37TH AND BROOKSIDE
DRIVE
ELEVATION=1003.02

PROPOSED USE

LOT 1 - INDUSTRIAL WAREHOUSE
LOT 3 - FUTURE EXPANSION

SUBMITTAL DATES

FIRST SUBMITTAL: 05/17/2022
SECOND SUBMITTAL: 06/08/2022
THIRD SUBMITTAL: 06/30/2022

LEGAL DESCRIPTION

LOTS 1 AND 3 OF LEGACY AT JAMES STREET PLAT 1, AN
OFFICIAL PLAT IN THE CITY OF GRIMES, POLK COUNTY, IOWA.

DEVELOPMENT SUMMARY

AREA: 14.57 ACRES (634,836 SF)

ZONING: M1-A: COMMERCIAL LIMITED LIGHT INDUSTRIAL &
TRANSPORTATION CORRIDOR MIXED USE
DEVELOPMENT OVERLAY DISTRICT.

SETBACKS:
FRONT: 25 FEET
SIDE: NONE REQUIRED EXCEPT WHEN ADJACENT TO ANY
"R" DISTRICT OR STREET RIGHT OF WAY LINE; 25
FEET
REAR: 25 FEET

OPEN SPACE REQUIRED: 63,484 SF (10%)

OPEN SPACE CALCULATION:
TOTAL SITE: = 634,836 SF
BUILDING - 200,000 SF
PARKING AREAS - 24,398 SF
DRIVEWAYS - 175,276 SF
SIDEWALK - 7,079 SF
OPEN SPACE PROVIDED = 228,083 SF (36%)

PARKING:
REQUIRED
BUSINESS/PROFESSIONAL OFFICE
1 SPACE PER 400 SF OF OFFICE
(10,000 SF/400 SF = 25 SPACES)

WHOLESALE ESTABLISHMENT/WAREHOUSE
THE GREATER OF:
1 SPACE PER 2 EMPLOYEES
12 EMPLOYEES PER WAREHOUSE/STORAGE SUITE
((2 SUITES X 12 EMPLOYEES)/2 = 12 SPACES)

OR

1 SPACE PER 2,000 SF OF STORAGE
(190,000 SF/2,000 SF = 95 SPACES)

TOTAL REQUIRED: 95+25=144 SPACES

TOTAL PROVIDED: 149 SPACES

FUTURE PARKING: 70 SPACES

ACCESSIBLE PARKING:
REQUIRED = 5 STALLS
PROVIDED = 6 STALLS

LOADING SPACES
REQUIRED
1 LOADING SPACE + 1 LOADING SPACE/20,000 SF
OVER 10,000 SF OF BUILDING AREA
(1 SPACE + (200,000 SF - 10,000 SF)/20,000 SF)
= 10 SPACES

TOTAL REQUIRED: 10 SPACES

TOTAL PROVIDED: 10 SPACES

CONSTRUCTION SCHEDULE

ANTICIPATED START DATE = SUMMER 2022
ANTICIPATED FINISH DATE = SPRING 2023

ADDRESS

LOT 1: 501 37TH STREET, SUITE 100 (SOUTH OFFICE)
501 37TH STREET, SUITE 200 (NORTH OFFICE)
LOT 3: 3310 S JAMES STREET

INDEX OF SHEETS

NO.	DESCRIPTION
C1.0	COVER SHEET
C2.0	GENERAL NOTES
C3.0	TOPOGRAPHIC SURVEY
C4.0-4.2	DIMENSION PLAN
C5.0-5.2	GRADING PLAN
C6.0-6.2	EROSION AND SEDIMENT CONTROL PLAN
C7.0-7.2	UTILITY PLAN
C8.0	LANDSCAPE PLAN
C9.0-9.1	DETAILS

GENERAL LEGEND

PROPOSED	EXISTING
PROPERTY BOUNDARY	SANITARY MANHOLE
SECTION LINE	WATER VALVE BOX
CENTER LINE	FIRE HYDRANT
RIGHT OF WAY	WATER CURB STOP
BUILDING SETBACK	WELL
PERMANENT EASEMENT	STORM SEWER MANHOLE
TEMPORARY EASEMENT	STORM SEWER SINGLE INTAKE
TYPE SW-501 STORM INTAKE	STORM SEWER DOUBLE INTAKE
TYPE SW-502 STORM INTAKE	FLARED END SECTION
TYPE SW-503 STORM INTAKE	DECIDUOUS TREE
TYPE SW-505 STORM INTAKE	CONIFEROUS TREE
TYPE SW-506 STORM INTAKE	DECIDUOUS SHRUB
TYPE SW-512 STORM INTAKE	CONIFEROUS SHRUB
TYPE SW-513 STORM INTAKE	ELECTRIC POWER POLE
TYPE SW-401 STORM MANHOLE	GUY ANCHOR
TYPE SW-402 STORM MANHOLE	STREET LIGHT
FLARED END SECTION	POWER POLE W/ TRANSFORMER
TYPE SW-301 SANITARY MANHOLE	UTILITY POLE W/ LIGHT
STORM/SANITARY CLEANOUT	ELECTRIC BOX
WATER VALVE	ELECTRIC TRANSFORMER
FIRE HYDRANT ASSEMBLY	ELECTRIC MANHOLE OR VAULT
SIGN	TRAFFIC SIGN
DETECTABLE WARNING PANEL	TELEPHONE JUNCTION BOX
WATER CURB STOP	TELEPHONE MANHOLE/VAULT
SANITARY SEWER	TELEPHONE POLE
SANITARY SERVICE	GAS VALVE BOX
STORM SEWER	CABLE TV JUNCTION BOX
STORM SERVICE	CABLE TV MANHOLE/VAULT
WATERMAIN WITH SIZE	MAIL BOX
WATER SERVICE	BENCHMARK
SAWCUT (FULL DEPTH)	SOIL BORING
SILT FENCE	UNDERGROUND TV CABLE
USE AS CONSTRUCTED	GAS MAIN
MINIMUM PROTECTION ELEVATION	FIBER OPTIC
	UNDERGROUND TELEPHONE
	OVERHEAD ELECTRIC
	UNDERGROUND ELECTRIC
	FIELD TILE
	SANITARY SEWER W/ SIZE
	STORM SEWER W/ SIZE
	WATER MAIN W/ SIZE



UTILITY WARNING

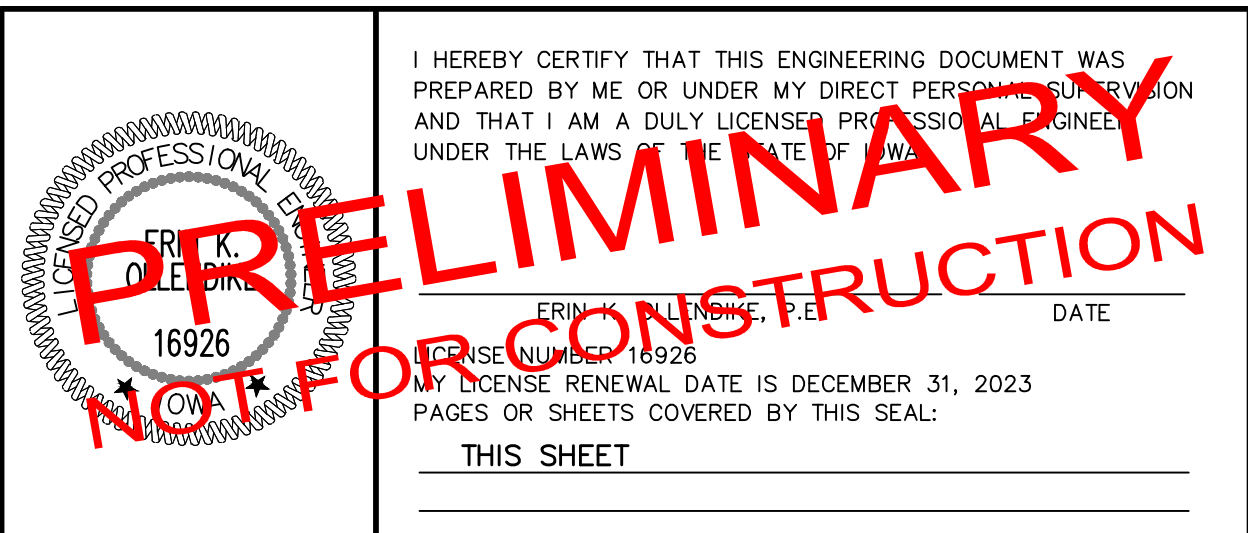
ANY UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD
SURVEY AND RECORDS OBTAINED BY THIS SURVEYOR. THE
SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES
SHOWN COMPRISE ALL THE UTILITIES IN THE AREA, EITHER
IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER
DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN
THE EXACT LOCATION SHOWN.



THE PROJECT REQUIRES AN IOWA NPDES PERMIT #2 AND CITY OF GRIMES GRADING
PERMIT. CIVIL DESIGN ADVANTAGE WILL PROVIDE THE PERMITS AND THE INITIAL
STORM WATER POLLUTION PREVENTION PLAN (SWPPP) FOR THE CONTRACTORS USE
DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR UPDATING
THE SWPPP THROUGHOUT CONSTRUCTION AND MEETING LOCAL, STATE AND
FEDERAL REQUIREMENTS.

ALL CONSTRUCTION MATERIALS, DUMPSTERS, DETACHED TRAILERS OR SIMILAR
ITEMS ARE PROHIBITED ON PUBLIC STREETS OR WITHIN THE PUBLIC R.O.W.

THE 2022 EDITION OF THE SUDAS STANDARD SPECIFICATIONS, THE PUBLIC
RIGHTS-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG) AND ALL CITY
SUPPLEMENTALS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT
UNLESS OTHERWISE NOTED.



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PLOTED BY: J. GONZALEZ, MCDONALD

GENERAL NOTES

1. THE 2021 EDITION OF THE SUDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.
2. ALL WORK SHALL COMPLY WITH ADA ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES.
3. ALL WORK SHALL BE IN ACCORDANCE WITH OSHA CODES AND STANDARDS. NOTHING INDICATED ON THE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.
4. PRIOR TO ANY WORK AT THE SITE, CONTRACTOR SHALL EXAMINE ANY APPLICABLE DRAWINGS AVAILABLE FROM THE OWNER, ENGINEER, AND/OR ARCHITECT, AND CONSULT WITH OWNER'S PERSONNEL AND UTILITY COMPANY REPRESENTATIVES. NO COMPENSATION WILL BE ALLOWED FOR DAMAGE FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.
5. ONE WEEK PRIOR TO CONSTRUCTION WITHIN CITY R.O.W. OR ANY CONNECTION TO PUBLIC SEWERS CONTRACTOR SHALL NOTIFY THE CITY'S ENGINEERING DEPARTMENT.
6. ALL CONSTRUCTION WITHIN PUBLIC R.O.W./ EASEMENTS, AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, SHALL COMPLY WITH THE CITY OF GRIMES STANDARDS.
7. ALL DIMENSIONS ARE TO BACK OF CURB, BUILDING FACE OR PROPERTY LINE UNLESS OTHERWISE NOTED.
8. CONTRACTOR TO VERIFY BUILDING DIMENSIONS WITH ARCHITECTURAL PLANS.
9. PLACE 3/4 INCH EXPANSION JOINT BETWEEN ALL P.C.C. PAVEMENT/SIDEWALKS AND BUILDING. PLACE 1/2 INCH EXPANSION JOINT BETWEEN SIDEWALKS AND P.C.C. PAVEMENT.
10. REMOVE ALL DEBRIS SPILLED INTO R.O.W. AT THE END OF EACH WORK DAY.
11. ALL PROPERTY PINS SHALL BE PROTECTED FROM GRADING OR OTHER OPERATIONS. ANY PINS DISTURBED SHALL BE RESET AT THE CONTRACTOR'S EXPENSE.
12. DO NOT STORE CONSTRUCTION MATERIALS AND EQUIPMENT IN THE RIGHT OF WAY.
13. THE CONTRACTOR SHALL NOT DISTURB DESIRABLE GRASS AREAS AND DESIRABLE TREES OUTSIDE THE CONSTRUCTION LIMITS. THE CONTRACTOR WILL NOT BE PERMITTED TO PARK OR SERVICE VEHICLES AND EQUIPMENT OR USE THESE AREAS FOR STORAGE OF MATERIALS. STORAGE, PARKING AND SERVICE AREAS WILL BE SUBJECT TO THE APPROVAL OF THE OWNER.
14. THE CONTRACTOR IS RESPONSIBLE FOR REPLACING ANY AREAS OF PAVEMENT OR SIDEWALK NOT TO BE REMOVED THAT IS DAMAGED DUE TO OPERATING EQUIPMENT ON THE PAVEMENT OR SIDEWALK.
15. THE CONTRACTOR MAY BE REQUIRED TO PLACE TEMPORARY WARNING DEVICES AND SAFETY FENCE AT CERTAIN LOCATIONS WHERE REPLACEMENT FEATURES ARE NOT INSTALLED THE SAME DAY, AS DIRECTED BY THE ENGINEER OR THE CITY.
16. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF WORK BETWEEN SUPPLIERS AND SUBCONTRACTORS INVOLVED IN THE PROJECT, INCLUDING STAGING OF CONSTRUCTION DETAILS.
17. CONCRETE REMOVAL FOR DRIVEWAY APPROACHES SHALL BE REMOVED TO THE NEAREST TRANSVERSE JOINT. CONTRACTOR SHALL VERIFY REMOVAL LIMITS WITH CITY OF GRIMES CONSTRUCTION INSPECTOR PRIOR TO ANY CONCRETE REMOVAL.
18. ALL PERMITS AND ADDITIONAL FEES REQUIRED TO COMPLETE THE WORK SHALL BE INCLUDED IN THE CONTRACTOR BID.
19. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL NOTIFY (48 HRS NOTICE) THE FOLLOWING:
 - A. CITY OF GRIMES
 - B. APPROPRIATE UTILITY COMPANIES
 - C. OWNER
 - D. CIVIL DESIGN ADVANTAGE
21. PARKING LOT STRIPING SHALL BE A 4" WHITE STRIPE UNLESS OTHERWISE NOTED (MINIMUM TWO COATS).
22. ALL EXTERIOR LIGHTING SHALL BE LOW-GLARE FULL CUTOFF TYPE FIXTURES AND SHALL NOT EXCEED ZERO FOOT--CANDLES BEYOND THE PROPERTY LINE. THE CONTRACTOR SHALL COORDINATE FINAL LIGHTING AND ELECTRICAL DESIGN WITH THE OWNER.
23. ANY SITE CHANGES THAT DIFFER FROM THE SITE PLAN MUST BE APPROVED BY THE CITY OF GRIMES PRIOR TO INSTALLATION/AMENDMENT.
24. A SITE PLAN WILL NEED TO BE SUBMITTED IF FUTURE PARKING IS WARRANTED.
25. A STRUCTURAL RETAINING WALL DESIGN WILL NEED TO BE INCLUDED IF REQUIRED FOR CONSTRUCTION.

CITY OF GRIMES STANDARD NOTES FOR SITE PLANS

1. GENERAL NOTES:

- A. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CURRENT VERSION OF THE IOWA STATEWIDE URBAN DESIGN AND SPECIFICATIONS FOR PUBLIC IMPROVEMENTS ON THE DATE OF APPROVAL AND THE CITY OF GRIMES SUPPLEMENTAL SPECIFICATIONS.
- B. A PRECONSTRUCTION MEETING IS REQUIRED PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE THIS MEETING. CONTACT CITY OF GRIMES ENGINEERING DEPT. (515.986.4050).
- C. ALL PERMITS (IDNR, SWP, IDOT, ARMY CORP., ETC.) SHALL BE OBTAINED PRIOR TO THE START OF CONSTRUCTION.
- D. THE DEVELOPER AND/OR CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE THE CITY OF GRIMES WITH RECORD DRAWINGS OF ALL IMPROVEMENTS AS PER CITY STANDARD PROCEDURES.
- E. TYPICAL BUILDING SERVICE LAYOUT TO REFLECT THE CITY'S SERVICE ORDER FROM LEFT TO RIGHT FACING THE LOT, SANITARY, WATER, SUMP
- F. A KNOX BOX IS REQUIRED BY THE FIRE DEPARTMENT AND SHALL BE OBTAINED AT KNOXBOX.COM.
- G. ALL SITE LIGHTING SHALL NOT SPILL ONTO ADJACENT PROPERTIES OR RIGHT-OF-WAYS.
- H. PROVIDE A 4-YEAR MAINTENANCE BOND FOR ALL PUBLIC IMPROVEMENTS

2. SANITARY SEWER NOTES:

- A. THE CONTRACTOR IS REQUIRED TO PLACE A TEMPORARY PLUG IN THE EXISTING DOWNSTREAM SANITARY SEWER MANHOLE PRIOR TO THE START OF CONSTRUCTION. THE PLUG SHALL BE REMOVED FOLLOWING APPROVAL OF CONSTRUCTION BY THE CITY OF GRIMES.
- B. SANITARY GRAVITY PIPE MATERIAL SHALL BE PVC SDR 26 OR TRUSS (8" TO 15').
- C. SANITARY GRAVITY SERVICE PIPE MATERIAL SHALL BE PVC SDR 23.5 (4" TO 6').
- D. ALL SANITARY SEWER MANHOLES SHALL HAVE STEPS.
- E. ALL SANITARY SEWER MANHOLES CASTINGS SHALL BE SEALED WITH HEAT SHRINK SLEEVES.
- F. ALL SANITARY SEWER MANHOLE CASTINGS LOCATED WITHIN PAVEMENT SHALL BE TYPE B-PCC W/ADJUSTING MECHANISM.
- G. SANITARY SEWER TESTING, CLEANING & TELEVISING SHALL BE COMPLETED PRIOR TO PAVING. THE SEWER SYSTEM SHALL BE FLUSHED WITH WATER PRIOR TO TELEVISING.

3. WATER MAIN NOTES:

- A. ALL FIRE HYDRANTS SHALL BE AMERICAN FLOW CONTROL--WATEROUS PACER WB--67--250, MUELLER SUPER CENTURION 250 (3--WAY A--423), OR CLOW MEDALLION F--2545. ALL HYDRANTS SHALL HAVE THE FOLLOWING: 6" MJ SHOE, 2--1/2" HOSE NOZZLE, 4--1/2" STEAMER NOZZLE, NST THREADS, PENTAGON OPERATING NUT, CHAIN ON CAP, OPEN LEFT, 5--1/2' BURY, AND FACTORY PAINTED RED. THE MINIMUM SPOOL PIPE LENGTH FROM AUXILIARY VALVE TO HYDRANT SHOE SHALL BE 2.0'.
- B. ALL HYDRANTS WILL IMMEDIATELY BE COVERED WITH A BLACK PLASTIC BAG (OR EQUIVALENT) ONCE THE HYDRANT IS INSTALLED. THE CITY OF GRIMES WILL NOTIFY THE CONTRACTOR WHEN THE BAGS CAN BE REMOVED.
- C. A TRACER WIRE RECEPTACLE SHALL BE INSTALLED AT EACH HYDRANT, AA MANUFACTURING TRACER WIRE RECEPTACLE MODEL TW--18--2.
- D. ALL VALVES SHALL BE RESILIENT WEDGE GATE VALVES.
- E. WATER SERVICE SHALL BE 1-INCH RESIDENTIAL, 2" COMMERCIAL MINIMUM TYPE K COPPER.
- F. PROPOSED WATER MAIN SHALL BE PRESSURE TESTED AND CHLORINATED BY THE DEVELOPER. THE FILLING OF THE WATER MAIN SHALL BE DONE BY THE CITY OF GRIMES. THE BACTERIA TEST AND SUBMITTAL OF TEST TO LAB SHALL BE DONE BY THE DEVELOPER AND RESULTS PROVIDED TO THE CITY OF GRIMES ENGINEERING DEPT. AND BY FAX TO US WATER AT 515--986--7300. IF THE TEST DOES NOT PASS, THE CONTRACTOR WILL BE REQUIRED TO PAY FOR ALL THE WATER USED TO REPEAT THE TEST.
- G. ALL WATERMAIN FITTINGS TO BE RESTRAINED JOINT, MEGA--LUG OR APPROVED EQUAL.

4. STORM SEWER NOTES:

- A. ALL STORM SEWER IN THE ROW SHALL BE RCP, UNLESS OTHERWISE APPROVED BY THE CITY.
- B. ALL FLARED END SECTIONS SHALL HAVE FOOTINGS AND APRON GRATES. THE LAST 3 PIPE SECTIONS AND THE FLARED END SECTION ON ALL CULVERTS SHALL BE TIED. ALL STORM SEWER JOINTS SHALL BE WRAPPED WITH ENGINEERING FABRIC.
- C. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY FIELD TILE DAMAGED DURING CONSTRUCTION. THE TILE SHOULD BE DIRECTED TO PUBLIC STORM SEWER IF POSSIBLE. THE CONTRACTOR SHALL RECORD THE ELEVATION AND LOCATION OF ALL TILES.
- D. STORM SEWER CLEANING & TELEVISING SHALL BE COMPLETED PRIOR TO PAVING. THE SEWER SYSTEM SHALL BE FLUSHED WITH WATER PRIOR TO TELEVISING.
- E. USE O RING GASKETS ON STORM SEWERS CROSSING OVER WATERMAIN PER IDNR REQUIREMENT.

5. SIGNAGE NOTES:

- A. ALL SIGNAGE SHALL BE SUPPLIED AND INSTALLED BY THE DEVELOPER.
- B. ALL SIGN POSTS SHALL BE TELESAR 2"x2" SQUARE TUBE GALVANIZED STEEL (14--GAUGE MIN.) WITH 7/16" KNOCK--OUT STYLE PERFORATIONS THAT ARE PRE--PUNCHED.

UTILITY NOTES

1. REFER TO MECHANICAL, ELECTRICAL AND PLUMBING PLANS FOR UTILITY SERVICE SIZES AND EXACT LOCATIONS. REFER TO ELECTRICAL PLANS FOR ELECTRIC AND TELEPHONE SERVICE CONSTRUCTION DETAILS. REFER TO MECHANICAL PLANS FOR GAS SERVICE CONSTRUCTION DETAILS.
2. FIELD VERIFY ELEVATIONS AND LOCATIONS OF ALL CONNECTIONS TO EXISTING UTILITIES PRIOR TO COMMENCING CONSTRUCTION.
3. PROVIDE TEMPORARY SUPPORT FOR EXISTING UTILITY LINES THAT ARE ENCOUNTERED DURING CONSTRUCTION UNTIL BACKFILLING IS COMPLETE.
4. BACKFILL ALL UTILITY TRENCHES ACCORDING TO THE 2022 EDITION OF THE SUDAS STANDARD SPECIFICATIONS AND ALL CITY OF GRIMES SUPPLEMENTALS. MAINTAIN A MINIMUM OF 5.5' COVER OVER ALL WATERMANS.
5. ALL UTILITIES SHALL BE STUBBED TO 5 FEET FROM BUILDINGS. REFER TO MEP PLANS FOR DESIGN FROM 5' OUTSIDE OF BUILDING FACE.
6. ADJUST ALL MANHOLES AND INTAKES TO FINISHED GRADES.
7. ALL SANITARY SEWER AND WATER SERVICES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY'S PLUMBING CODE.
8. 18" MINIMUM VERTICAL CLEARANCE BETWEEN STORM SEWER AND SANITARY SEWER PIPES. 18" MINIMUM VERTICAL CLEARANCE BETWEEN SANITARY SEWER AND WATER MAIN.
9. MAINTAIN A MINIMUM OF 10' HORIZONTAL SEPARATION BETWEEN SANITARY SEWER LINES AND WATER MAINS.
10. WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE, THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS. THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTORS RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATIONS AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK. THE CONTRACTOR IS REQUIRED TO UTILIZE THE UTILITY ONE--CALL SERVICE AT 800--292--8989 AT LEAST 48 HOURS PRIOR TO EXCAVATING ANYWHERE ON THE PROJECT.
11. ALL WATERMAIN WORK, PUBLIC OR PRIVATE SHALL BE DONE IN ACCORDANCE WITH THE 2021 EDITION OF THE SUDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS.
12. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF WORK OF ALL SUBCONTRACTOR(S) INVOLVED IN THE PROJECT.
13. PRIVATE UTILITIES TO BE INSTALLED PER THE CITY OF GRIMES' STANDARD CONSTRUCTION SPECIFICATIONS FOR PUBLIC IMPROVEMENTS AND THE 2006 UNIFORM PLUMBING CODE. CONTACT BUILDING INSPECTION A MINIMUM OF 24 HOURS IN ADVANCE FOR UTILITY INSTALLATION INSPECTIONS.
14. OWNER IS RESPONSIBLE FOR MAINTENANCE OF PRIVATE RETENTION FACILITIES AND PRIVATE UTILITIES. PERIODIC MAINTENANCE AND CLEANING OF STORM AND SANITARY SEWER MAY BE NECESSARY.
15. CONTRACTOR SHALL PREVENT ENTRY OF MUD, DIRT, DEBRIS AND OTHER MATERIAL INTO NEW AND EXISTING SEWER SYSTEMS. SHOULD ANY CONTAMINATION OCCUR DURING CONSTRUCTION, THE CONTRACTOR SHALL CLEAN AT NO COST TO THE OWNER.
16. INSTALL SILT FENCE AT ALL PERMANENT STORM SEWER INLETS.
17. BUILDING PLUMBING CONTRACTOR TO INSTALL BACKFLOW PREVENTION DEVICE ON WATER LINES ACCORDING TO WATER COMPANY REQUIREMENTS. SEE PLUMBING PLANS.
18. WATER PIPING SHALL BE DUCTILE IRON -- AWWA C151 -- CLASS 50 MINIMUM OR POLYVINYL CHLORIDE -- AWWA C900 -- MINIMUM OR IN COMPLIANCE WITH WATER COMPANY REQUIREMENTS.
19. ALL WATER PIPING SHALL HAVE A MINIMUM OF 5.5' COVER.
20. INSTALL VINYL IDENTIFICATION TAPE AT 2'-0" BELOW FINISH GRADE DIRECTLY ABOVE WATER LINES.
21. INSTALL SINGLE THHN -- 12 GA TRACER WIRE WITH WATER PIPING (TAPE TO PIPE). TRACER WIRE TO BE EXTENDED IN CONDUIT TO 1'-0" ABOVE GROUND SURFACE AT FIRE HYDRANTS AND SHALL BE CONNECTED TO A 6'-0" X 1/2" Ø GROUND ROD AT CONNECTION TO MAIN AND AT DEAD ENDS. TRACER WIRE TO EXTEND UP INTO BUILDING AT SERVICE CONNECTIONS.
22. CONTRACTOR TO INSTALL TRANSFORMER PAD AND SECONDARY WIRING. UTILITY COMPANY TO INSTALL PRIMARY WIRING.
23. CONTACT CITY ENGINEERING DEPARTMENT PRIOR TO THE START OF ANY WATER MAIN WORK.
24. THE UTILITY CONTRACTOR WILL NEED TO HAVE A WATERMAIN CONNECTINO PLAN TO BE PROVIDED AND APPROVED BY THE CITY OF GRIMES AND THORPE WATER AT THE TIME OF THE PRECONSTRUCTION MEETING.
25. ANY ABANDONED WATER MAIN SHALL BE REMOVED.

LANDSCAPE NOTES

1. LOCATE ALL UTILITIES BEFORE ANY PLANTING BEGINS.
2. TYPE, SIZE, AND QUALITY OF PLANT MATERIAL SHALL CONFORM TO THE MOST CURRENT EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1
3. ALL PLANT MATERIAL SHALL BE HEALTHY SPECIMENS WITHOUT DEFORMITIES, VOIDS AND OPEN SPACES, WITH WELL DEVELOPED BRANCH AND ROOT SYSTEMS; TRUE TO HEIGHT, SHAPE AND CHARACTER OF GROWTH OF THE SPECIES OR VARIETY.
4. INSTALL SOD AFTER INSTALLATION IS COMPLETE TO PREVENT SILT GETTING INTO TRENCH AND PLUGGING DRAIN.
5. BACKFILL TO TOP OF CURB. (MINUS 1 1/2" FOR SOD, IF REQ.)
6. WEED PREVENTER (PRE--EMERGENT) SHALL BE SPREAD OVER SOIL AFTER PLANTING AND BEFORE MULCHING IN ALL PLANTING BEDS PER MANUFACTURER'S RECOMMENDATIONS.
7. SHREDDED HARDWOOD MULCH SHALL BE PLACED AROUND ALL TREES, SHRUBS AND IN ALL PLANTING BEDS TO A MINIMUM DEPTH OF 3". ALL GROUPS OF MORE THAN ONE SHRUB SHALL BE MULCHED IN A CONTINUOUS BED, SEPARATED FROM TURF BY A 3" SPADE--CUT EDGE. MULCH AROUND ALL CONIFEROUS TREES SHALL BE A 10' DIAMETER CIRCLE. ALL EDGING SHALL BE SPADE--CUT EDGE.
8. PLANT QUANTITIES ARE SHOWN FOR INFORMATION ONLY, THE DRAWING SHALL PREVAIL IF ANY CONFLICTS ARISE.
9. ALL DEBRIS SPILLED IN THE PUBLIC R.O.W. SHALL BE PICKED UP BY THE CONTRACTOR AT THE END OF EACH WORK DAY.
10. CONTRACTOR SHALL WARRANTY ALL PLANT MATERIALS FOR A PERIOD OF ONE YEAR FROM DATE OF INSTALLATION.
11. CONTRACTOR SHALL PROVIDE IRRIGATION DESIGN TO OWNER FOR APPROVAL, IF REQUESTED.
12. NO PLANT SUBSTITUTIONS ARE ALLOWED WITHOUT OWNER APPROVAL.

PAVEMENT THICKNESS

- | | |
|---|----------------------|
| 1. SIDEWALKS | 4" P.C.C. |
| 2. SIDEWALK CURB RAMPS | 6" P.C.C. |
| 3. PARKING AISLES & STALLS | 6" P.C.C. |
| 4. PAVEMENT EAST OF BUILDING (OUT OF ROW) | 7" P.C.C. |
| 4. TRASH ENCLOSURE PAD | 8" P.C.C. |
| 5. DRIVEWAY APPROACH IN ROW | 8" P.C.C. REINFORCED |

SIGN LEGEND



R7--8a
①



R7--8
②



R1--1
③

GRADING NOTES

1. PRIOR TO ANY GRADING, A COPY OF THE NPDES PERMIT SHALL BE PROVIDED TO THE CITY OF GRIMES' BUILDING DIVISION.
2. THE PROJECT REQUIRES AN IOWA NPDES PERMIT #2 AND CITY OF GRIMES GRADING PERMIT. CIVIL DESIGN ADVANTAGE WILL PROVIDE THE PERMITS AND THE INITIAL STORM WATER POLLUTION PREVENTION PLAN (SWPPP) FOR THE CONTRACTORS USE DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR UPDATING THE SWPPP THROUGHOUT CONSTRUCTION AND MEETING LOCAL, STATE AND FEDERAL REQUIREMENTS.
3. CONTRACTOR SHALL STRIP ALL DELETERIOUS MATERIAL. THE TOP 6" OF TOPSOIL IS TO BE STOCKPILED AND RESPREAD AFTER GRADING IS COMPLETE. CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING A SUITABLE TOPSOIL STOCKPILE SITE.
4. EXCAVATION SHALL BE IN ACCORDANCE WITH THE 2021 EDITION OF THE SUDAS STANDARD SPECIFICATIONS AND ALL CITY OF GRIMES SUPPLEMENTALS, IF APPLICABLE.
5. MATCH EXISTING GRADES AT PROPERTY LINES AND/OR CONSTRUCTION LIMITS.
6. ALL SPOT ELEVATIONS ARE FORM GRADE (FG) OR TOP OF FINISHED SURFACES UNLESS OTHERWISE NOTED.
7. SITE SHALL BE GRADED TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS.
8. SLOPES IN PAVEMENT SHALL BE UNIFORM TO AVOID PONDING.
9. THE CONTRACTOR SHALL CONFINES HIS GRADING OPERATIONS TO WITHIN THE CONSTRUCTION LIMITS AND EASEMENTS SHOWN ON THE PLANS. ANY DAMAGE TO PROPERTIES OUTSIDE THE SITE BOUNDARY SHALL BE AT THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
10. THE CONTRACTOR SHALL APPLY NECESSARY MOISTURE CONTROL TO THE CONSTRUCTION AREA AND HAUL ROADS TO PREVENT THE SPREAY OF DUST.
11. REFER TO SEPARATE STORM WATER POLLUTION PREVENTION PLAN FOR DETAILS ON EROSION CONTROL.
12. FINAL FINISH GRADING TO BE APPROVED BY THE ARCHITECT AND CIVIL ENGINEER. MATCH EXISTING GRADES AT THE INTERFACE OF NEW AND EXISTING GRADES OR PAVING.
13. SIDEWALKS:
MAINTAIN 1% MINIMUM AND 5% MAXIMUM LONGITUDINAL SLOPES ON ALL PAVED WALKWAYS. ALL WALKS TO HAVE 2.0% MAXIMUM TRANSVERSE SLOPE IN THE DIRECTION OF NATURAL DRAINAGE. SAW CUT JOINTS AS SOON AS CONCRETE HAS SET. SAW CUTS TO BE 1/8" TO 1/4" WIDE; DEPTH: LONGITUDINAL T/3, TRANSVERSE T/4.
14. IN AREAS TO RECEIVE ADDITIONAL FILL OVER EXISTING FILL MATERIALS, REMOVE TOP 12" OF MATERIAL AND SCARIFY AND RECOMPACT THE NEXT 9" OF RESULTING SUBGRADE. COMPACT TO 95% STANDARD PROCTOR DENSITY. SUBSEQUENT FILL TO BE COMPACTED TO 95% STANDARD PROCTOR DENSITY TO WITHIN 1.0' OF FINAL SUBGRADE. THE FINAL 1.0' OF FILL TO BE COMPACTED TO 98% STANDARD PROCTOR.
15. SCARIFY AND RECOMPACT THE TOP 9" OF SUBGRADE IN ALL CUT AREAS AFTER ROUGH GRADING IS COMPLETED. COMPACT THE ENTIRE PAVING AND BUILDING SUBGRADE TO 95% STANDARD PROCTOR DENSITY TO WITHIN 1.0' OF FINAL SUBGRADE. THE FINAL 1.0' OF FILL TO BE COMPACTED TO 98% STANDARD PROCTOR.
16. PROVIDE MINIMUM OF 1.0' OF COMPACTED NON--EXPANSIVE COHESIVE SOIL BENEATH ALL PAVEMENTS.
17. FINISH CONTOURS SHOWN ARE TO TOP OF PAVEMENT OR TO TOP OF TOPSOIL. SEE BUILDING PLANS AND CONSTRUCTION DETAILS FOR FINISHED SUBGRADE BELOW FINISHED FLOOR AND PAVEMENT SECTIONS.
18. SCARIFY SUBGRADE TO DEPTH OF 3" WHERE TOPSOIL IS SCHEDULED. SCARIFY IN AREAS WHERE EQUIPMENT USED FOR HAULING AND SPREADING TOPSOIL HAS CAUSED COMPACTED SUBSOIL.
19. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES PRIOR TO CONSTRUCTION, BOTH PUBLIC AND PRIVATE.

4121 NW URBANDALE DRIVE
URBANDALE, IA 50322
PHONE: (515) 369-4400

ENGINEER: GH

CIVIL DESIGN ADVANTAGE

GRIMES, IOWA

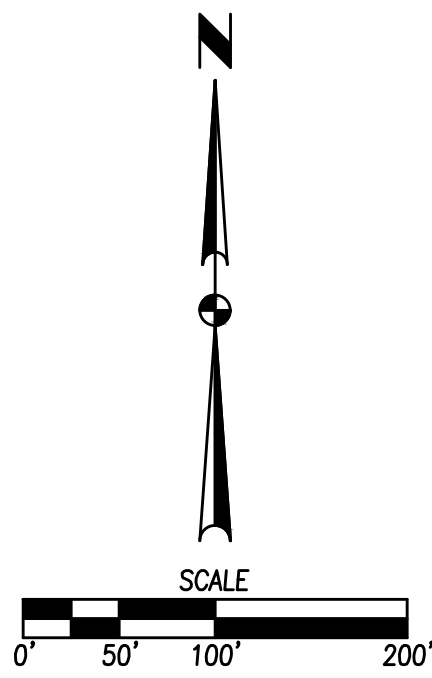
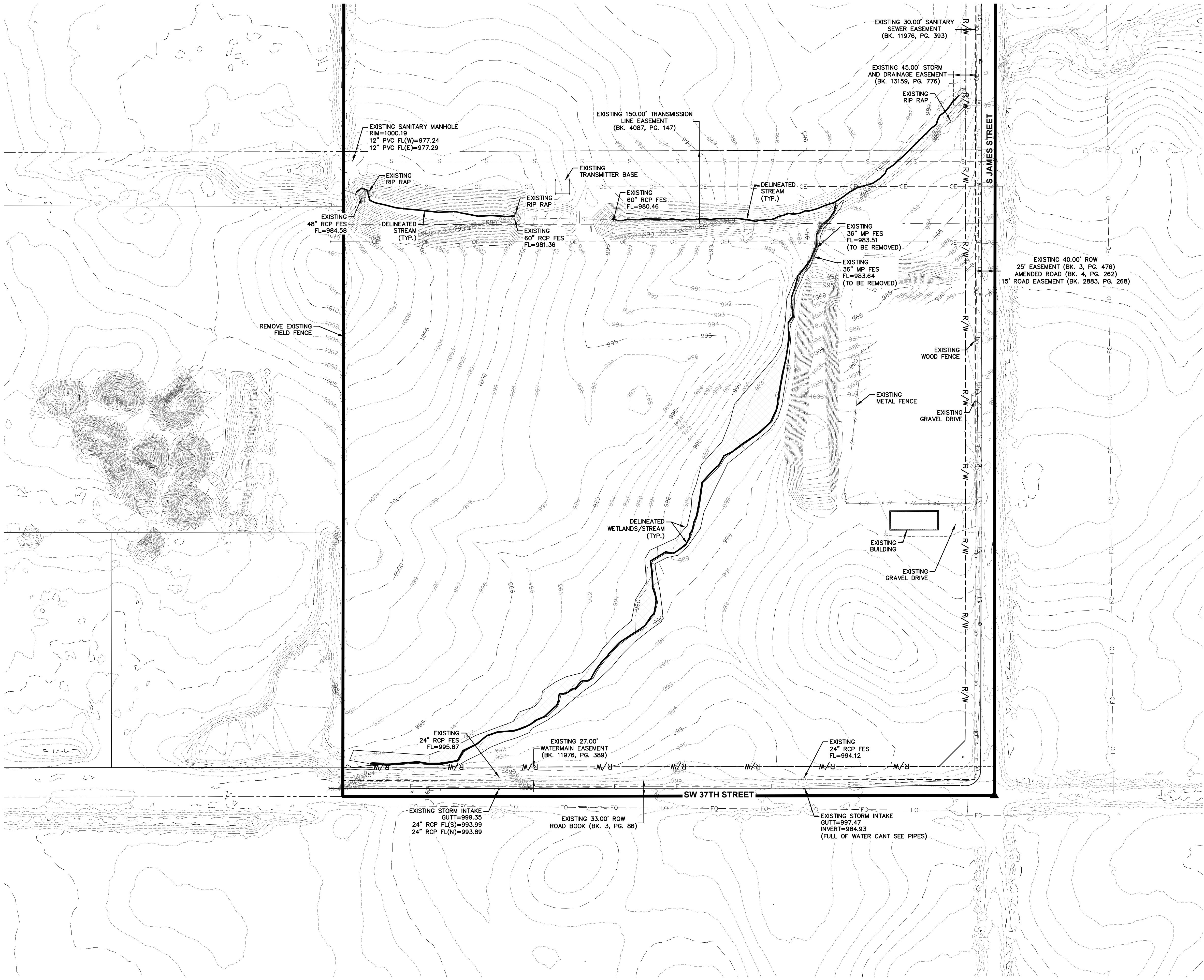
DONOVAN MARINE GRIMES

GENERAL NOTES

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PLOTED BY: DONOVAN MARINE GRIMES
COMMENTS: EKO



DONOVAN MARINE GRIMES
TOPOGRAPHIC SURVEY



GRIMES, IOWA

4121 NW URBANDALE DRIVE
URBANDALE, IA 50322
PHONE: (515) 369-4400

ENGINEER: EKO ENGINEER: GH

REVISIONS

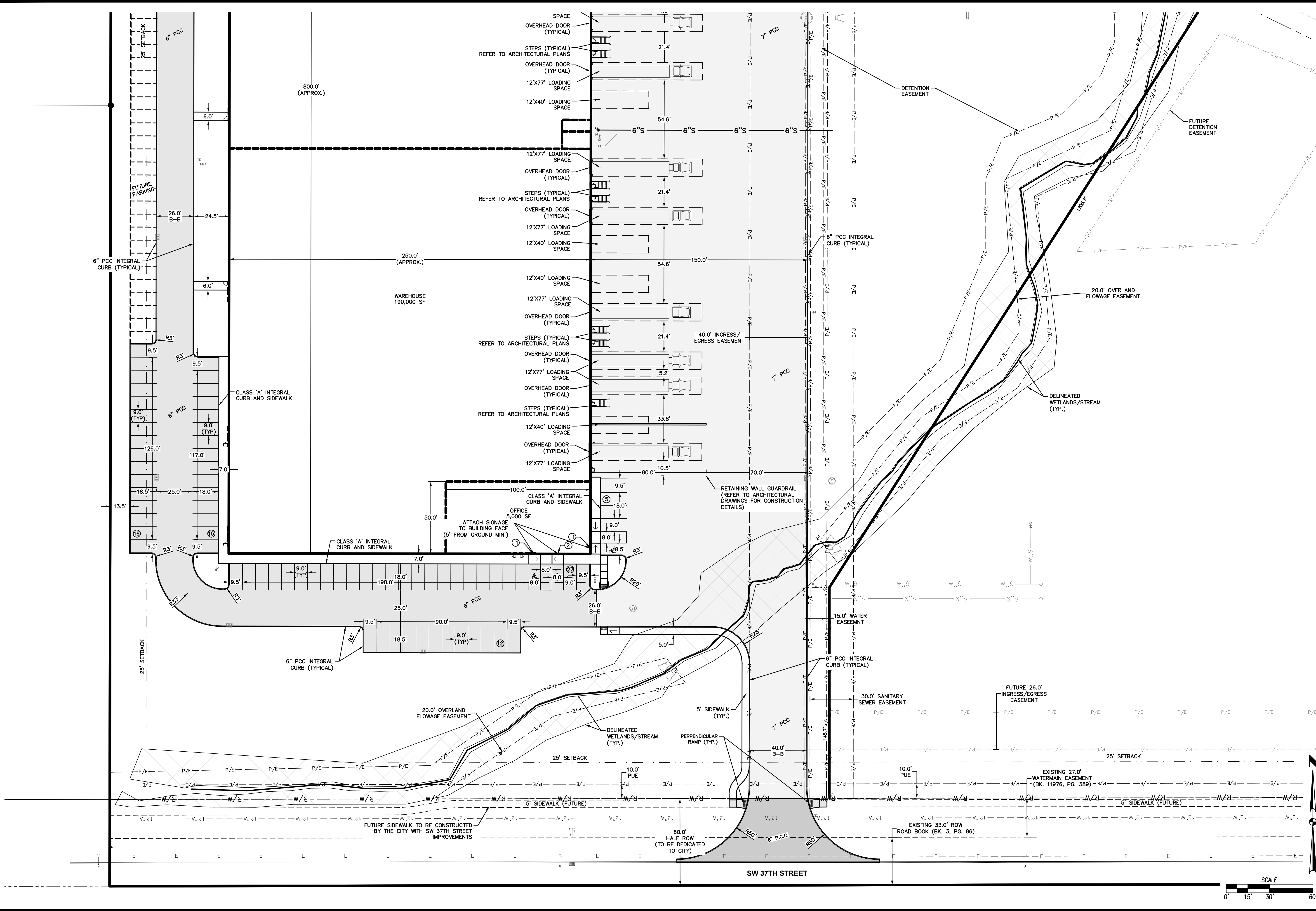
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SECOND SUBMITTAL	06/08/2022
FIRST SUBMITTAL	05/17/2022

C3.0

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PLOTED BY: DONOVAN MARINE GRIMES DATE PLOTTED: 6/20/2022 7:45 PM



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SECOND SUBMITTAL	06/08/2022		
FIRST SUBMITTAL	05/17/2022		

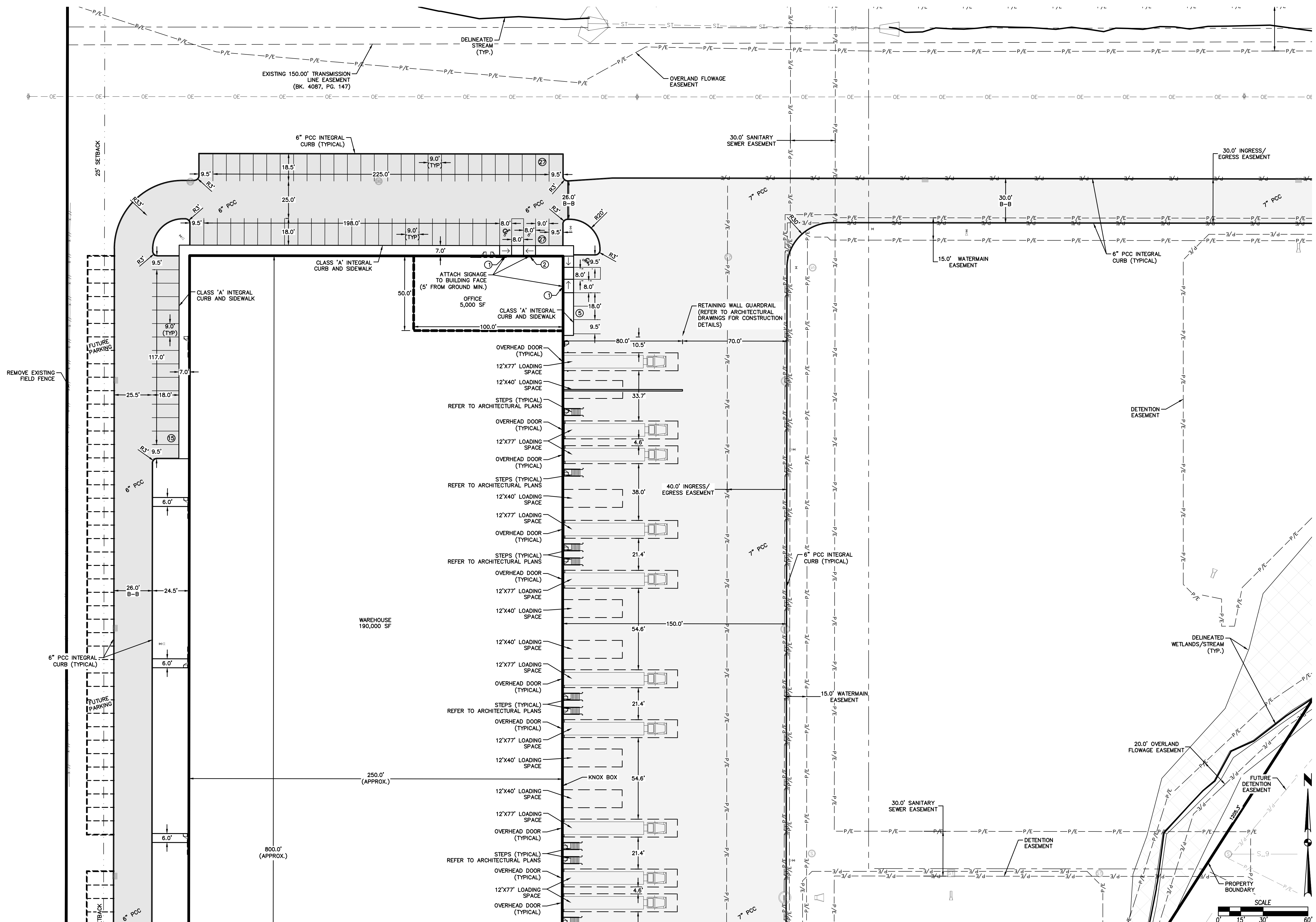
4121 NW URBANDALE DRIVE
URBANDALE, IA 50322
PHONE: (515) 369-4400

ENGINEER: GH

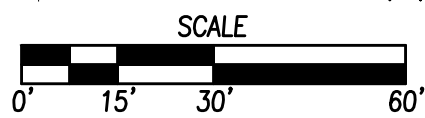
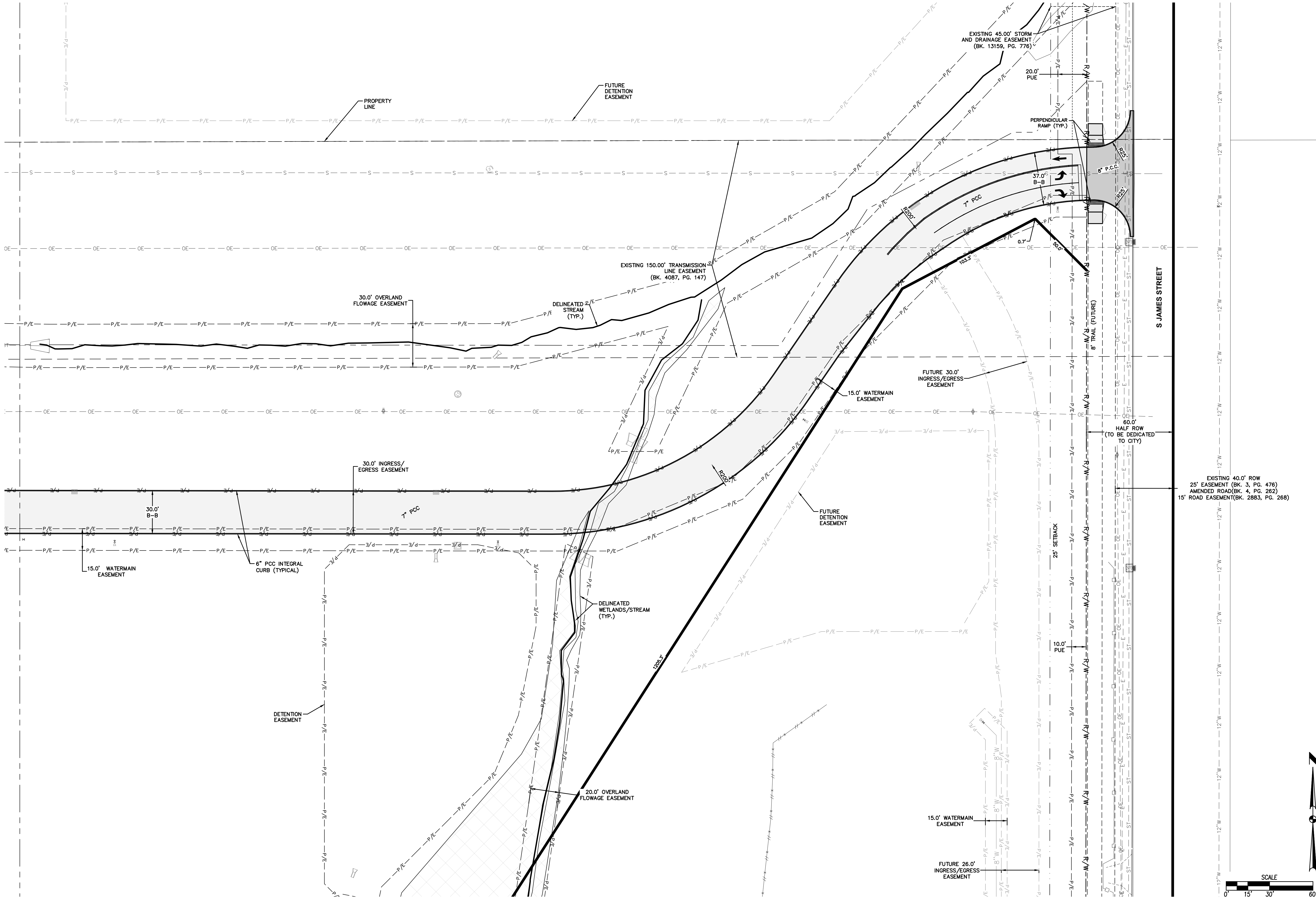
ENGINEER: EKO

DONOVAN MARINE GRIMES
DIMENSION PLAN

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PLOTTER: HP DESIGN PLOTTER



DONOVAN MARINE GRIMES

C4.2

2110.780

REVISIONS

DATE	DESCRIPTION
06/30/2022	THIRD SUBMITTAL
06/08/2022	SECOND SUBMITTAL
05/17/2022	FIRST SUBMITTAL

4121 NW URBANDALE DRIVE
URBANDALE, IA 50322
PHONE: (515) 369-4400

ENGINEER: GH

CIVIL DESIGN ADVANTAGE

GRIMES, IOWA

ENGINEER: EKO

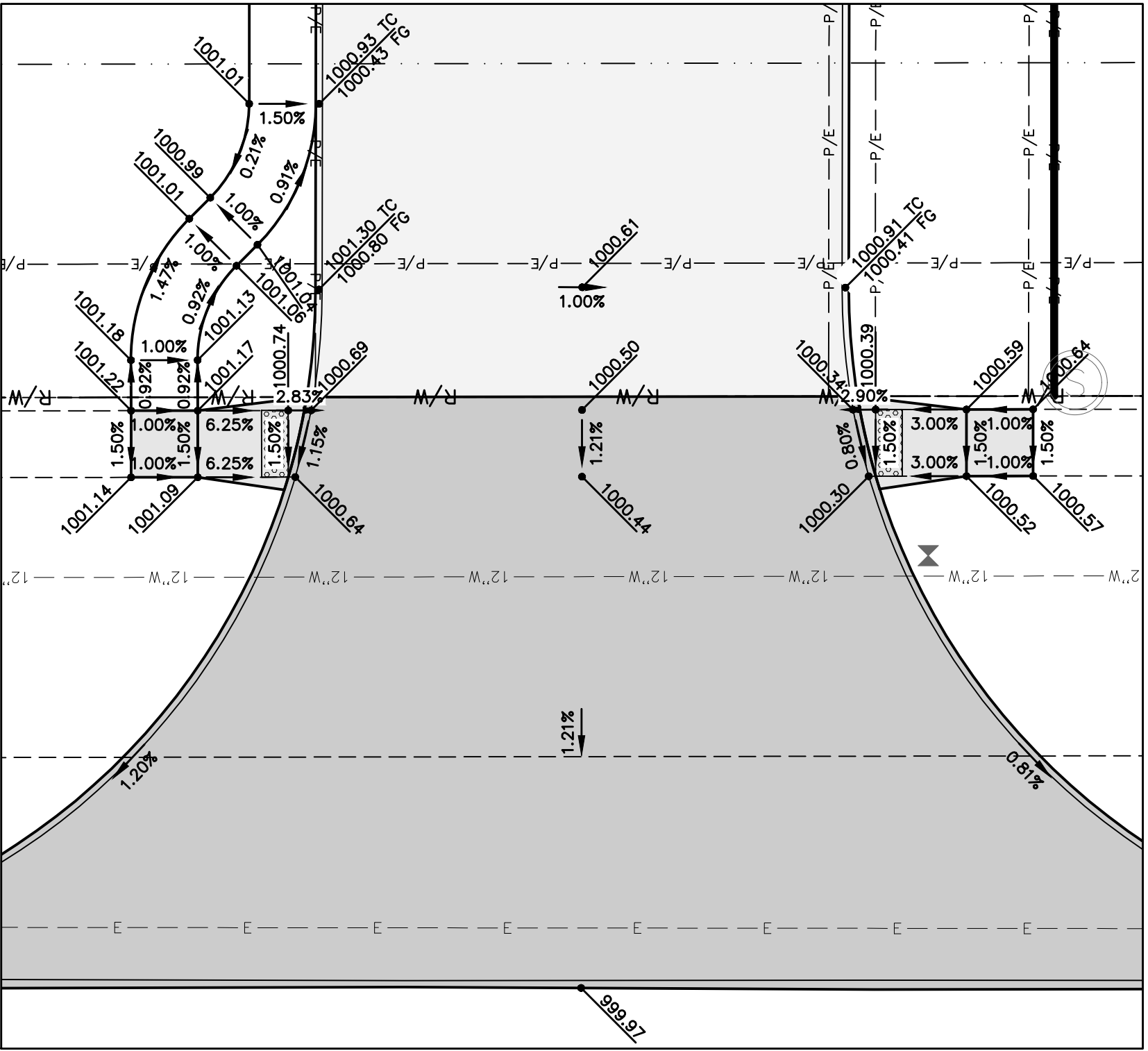
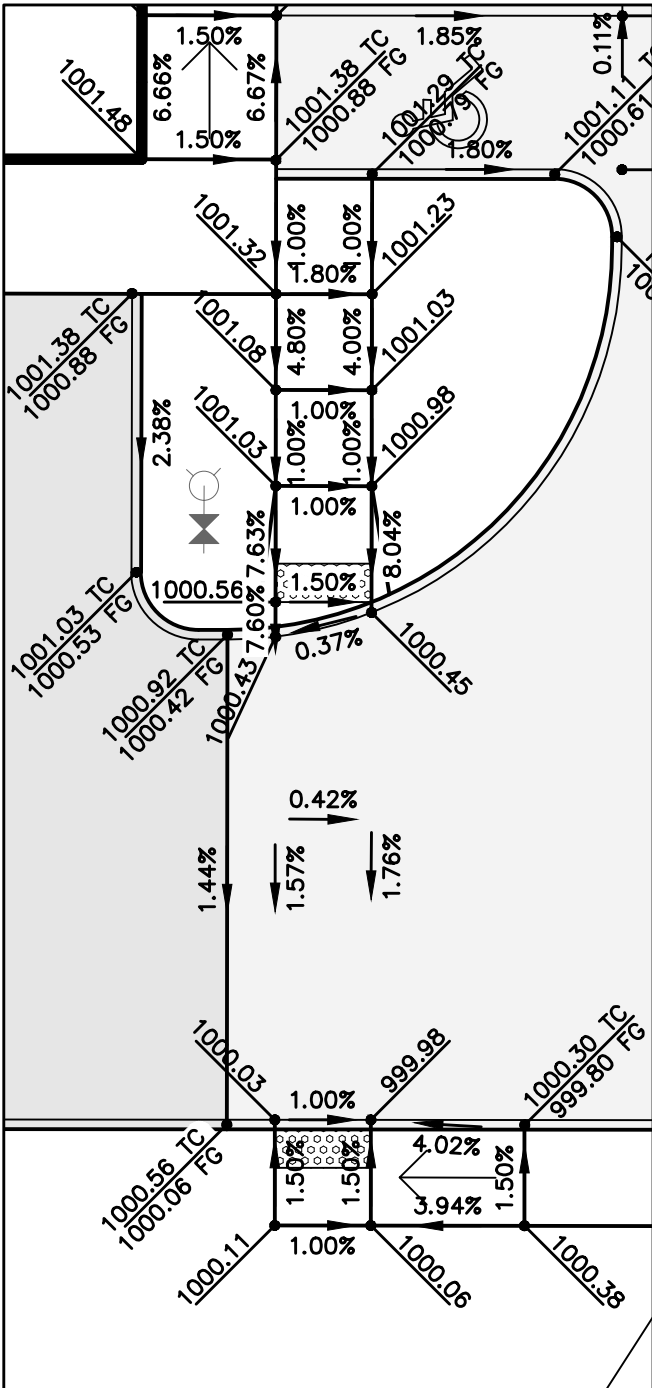
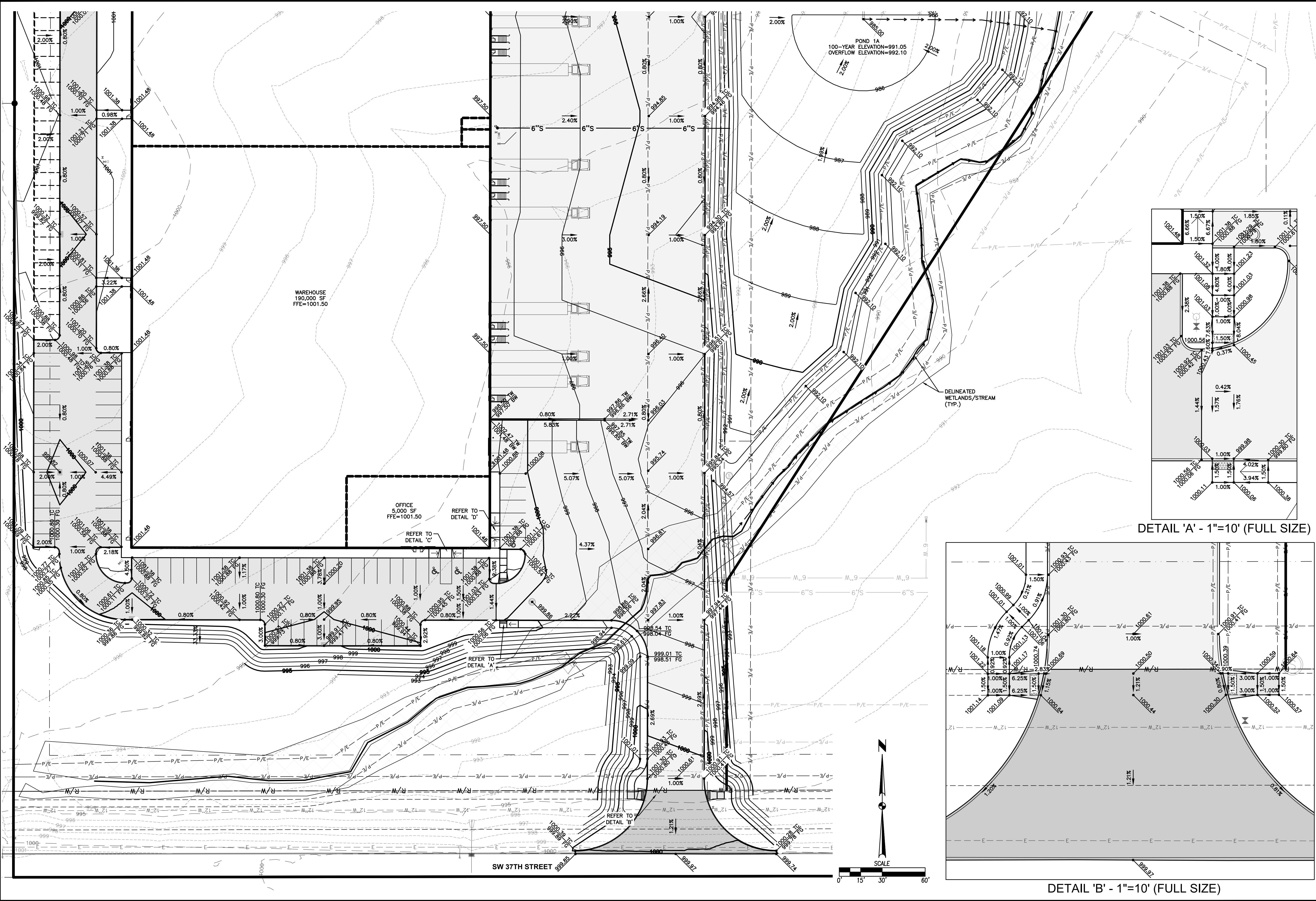
DATE

THIRD SUBMITTAL

SECOND SUBMITTAL

FIRST SUBMITTAL

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DONOVAN MARINE GRIMES

C5.0

2110.780

GRIMES, IOWA

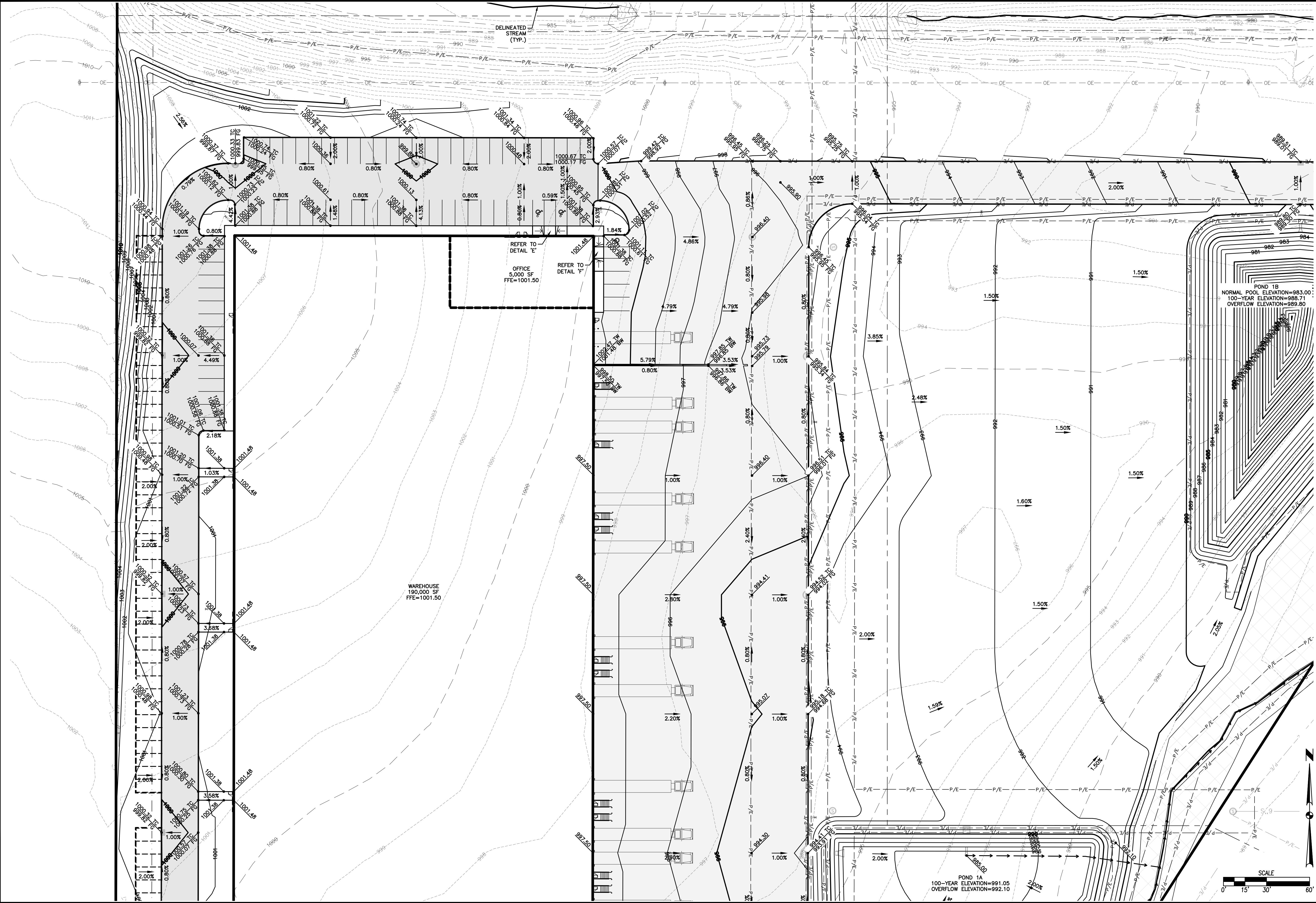
GRADING PLAN

4121 NW URBANDALE DRIVE
URBANDALE, IA 50322
PHONE: (515) 369-4400

ENGINEER: EKO
ENGINEER: GH

REVISIONS

DATE	DESCRIPTION
06/30/2022	THIRD SUBMITTAL
06/08/2022	SECOND SUBMITTAL
05/17/2022	FIRST SUBMITTAL



DATE

06/03/2022

06/08/2022

05/17/2022

THIRD SUBMITTAL

SECOND SUBMITTAL

FIRST SUBMITTAL

REVISIONS

4121 NW URBANDALE DRIVE
URBANDALE, IA 50322
PHONE: (515) 369-4400

ENGINEER: GH

GRIMES, IOWA

CIVIL DESIGN ADVANTAGE

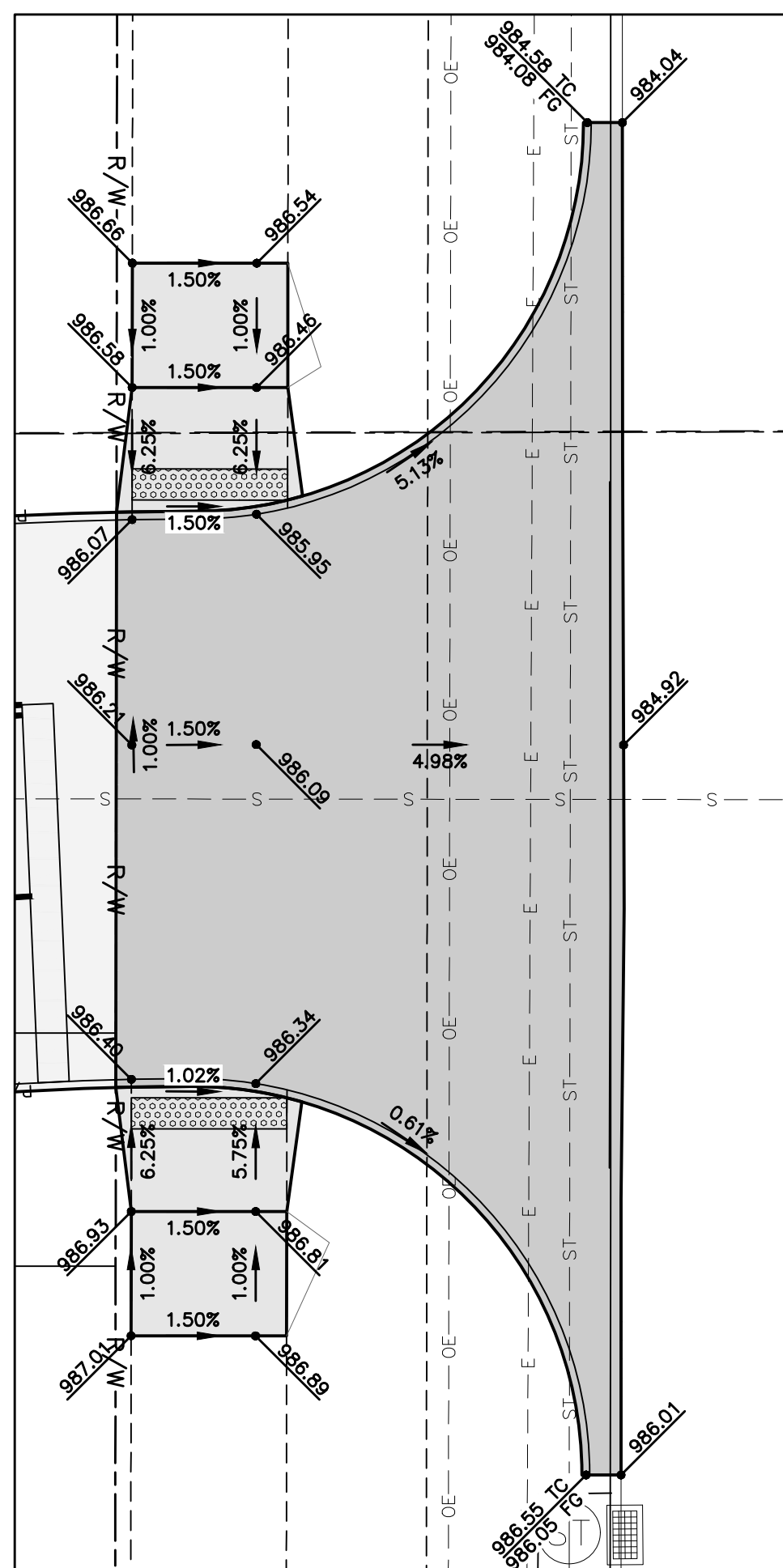
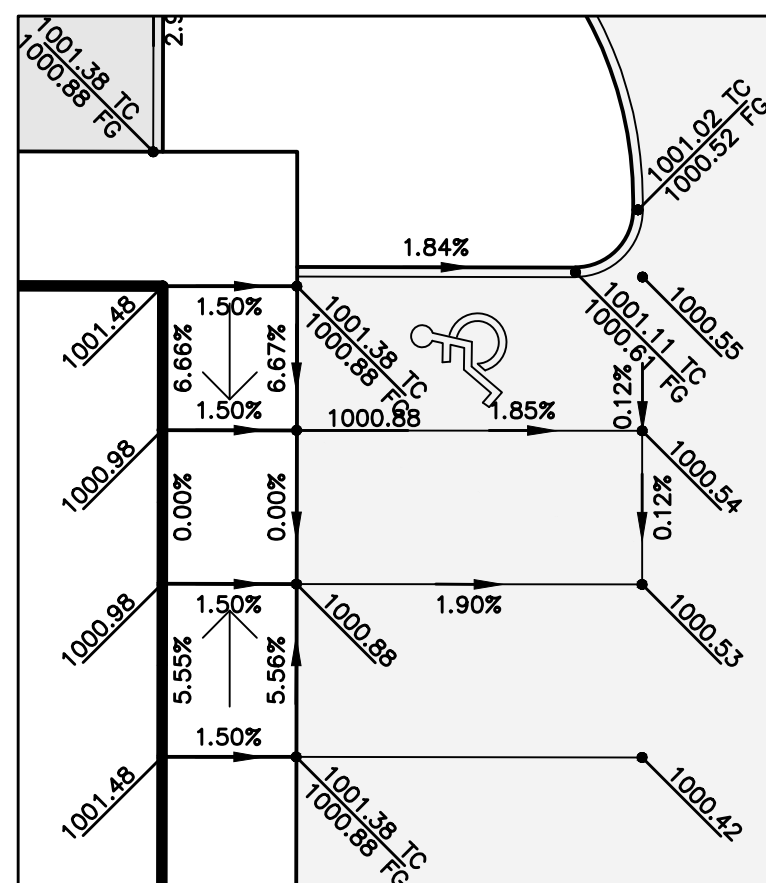
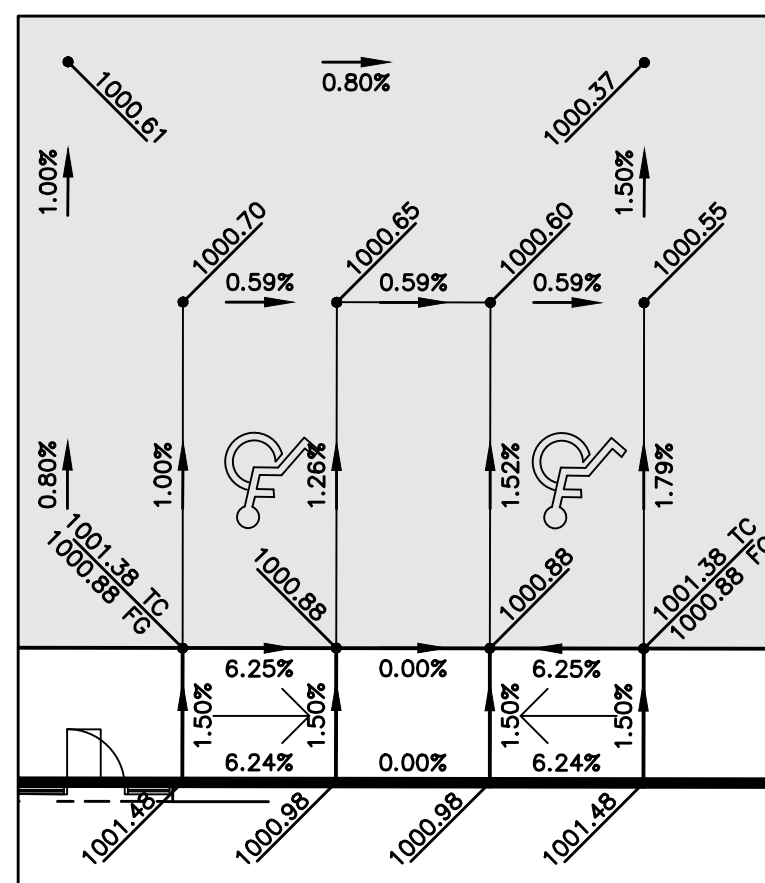
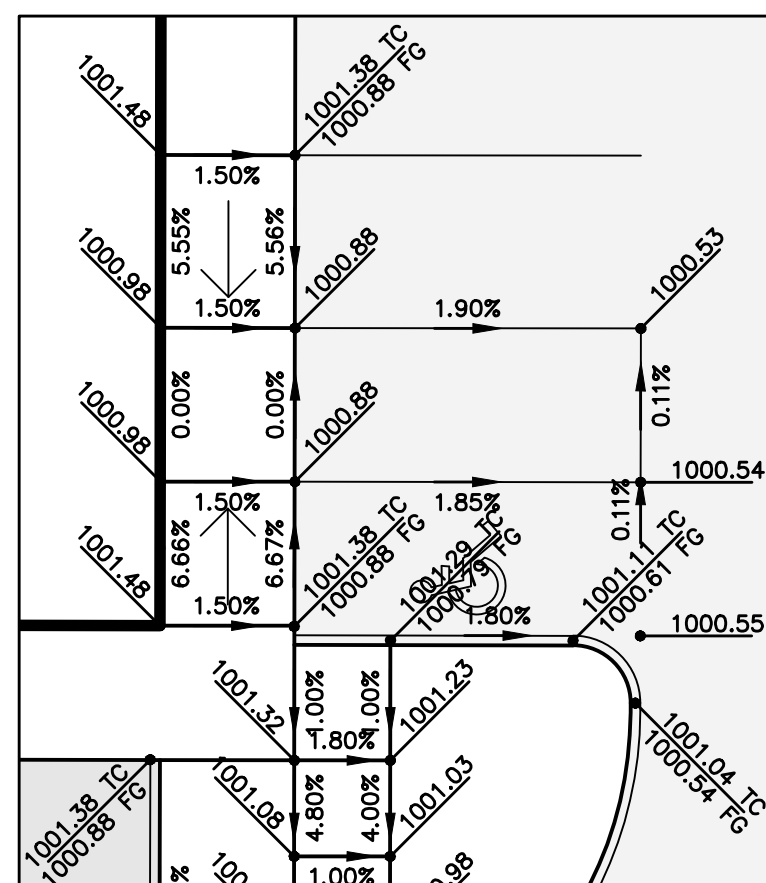
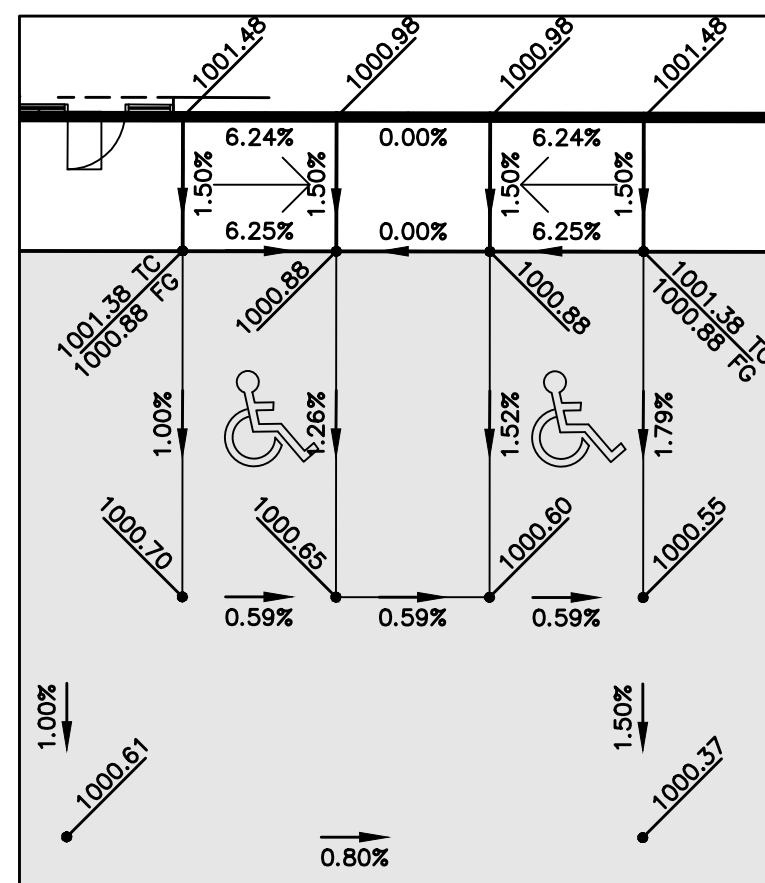
ENGINEER: EKO

DONOVAN MARINE GRIMES

GRADING PLAN

C5.1

2110.780



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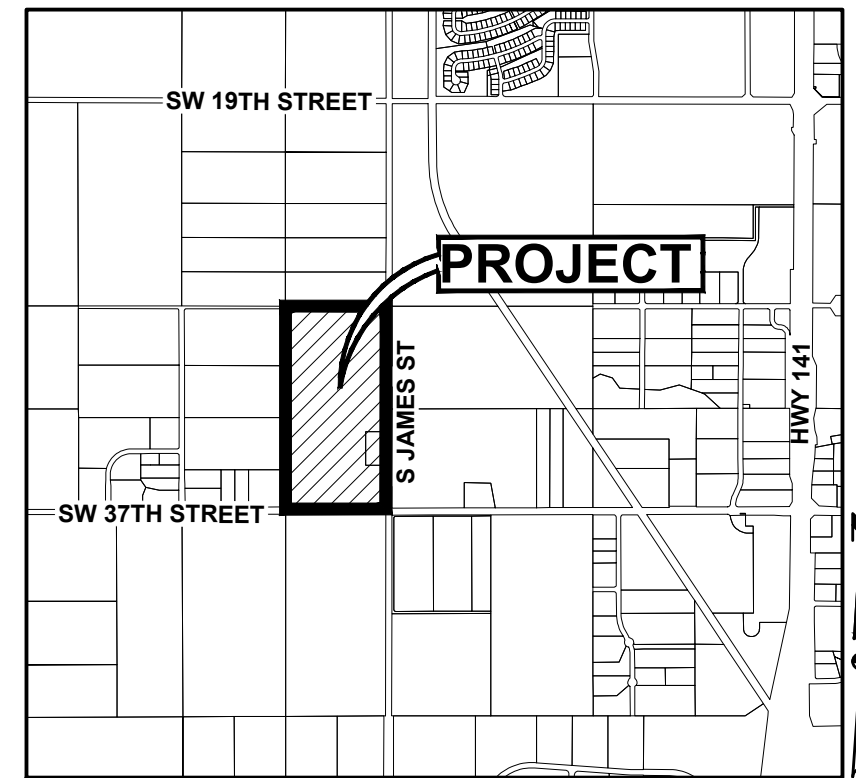
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2110.780		GRADING PLAN				REVISIONS
						06/30/2022
						06/09/2022
					THIRD SUBMITTAL	
					SECOND SUBMITTAL	
					FIRST SUBMITTAL	05/17/2022

DONOVAN MARINE GRIMES

EROSION AND SEDIMENT CONTROL PLAN

VICINITY MAP

NOT TO SCALE



GRIMES, IOWA

STABILIZATION QUANTITIES

ITEM NO.	ITEM	UNIT	TOTAL
1	SILT FENCE	LF	6,697
2	SEEDING, FERTILIZING, AND MULCHING	AC	6.73
3	INLET PROTECTION DEVICES	EA	18
4	CONCRETE WASHOUT PIT	EA	1
5	CLASS 'E' RIPRAP	TON	115

DISCHARGE POINT SUMMARY

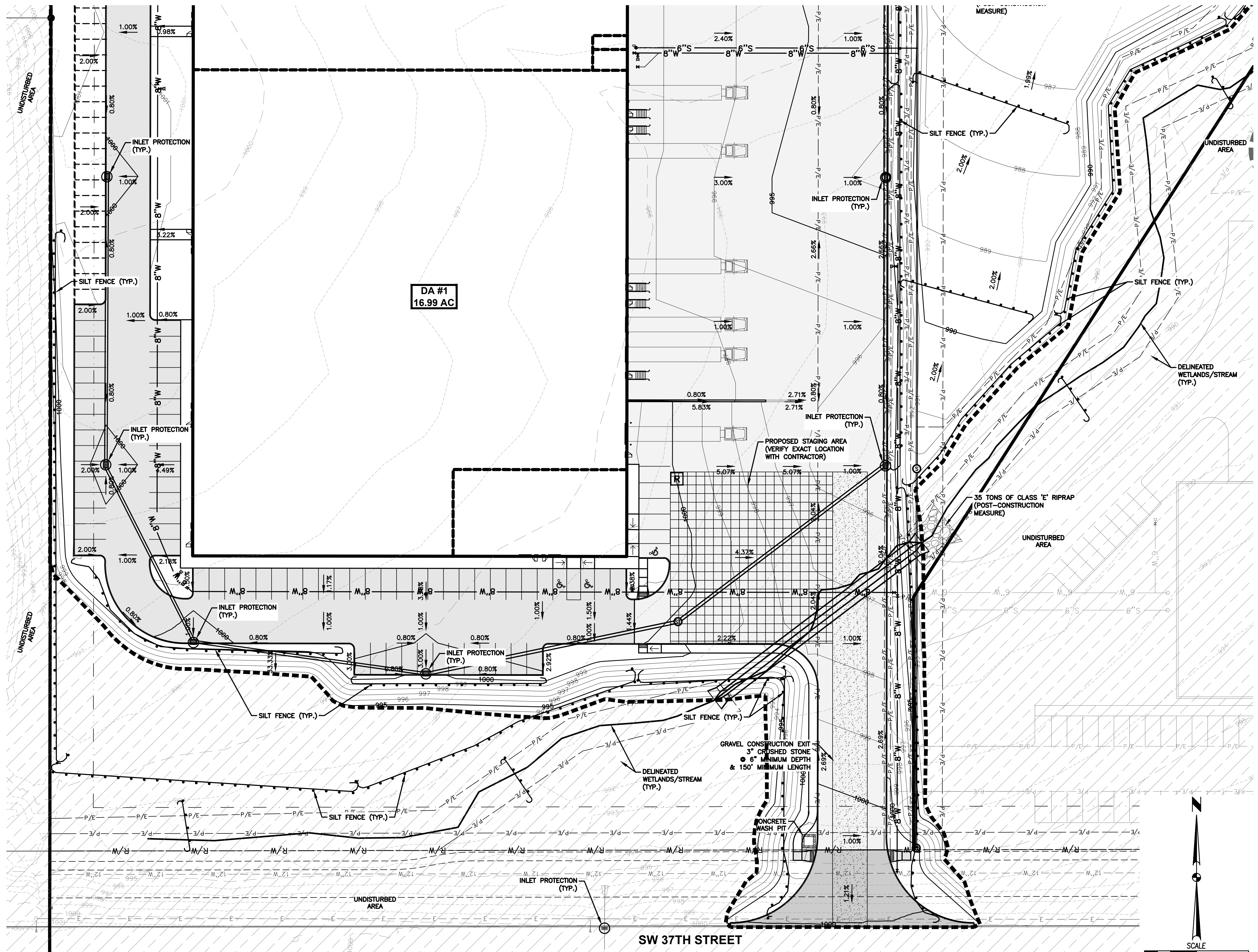
DISCHARGE POINT #1 DIRECTLY INTO NORTH WALNUT CREEK	
TOTAL AREA DISTURBED TO DISCHARGE POINT	16.99 ACRES
STORAGE VOLUME REQUIRED (# OF ACRES*3600 CU FT)	61,164 CU FT
VOLUME PROVIDED IN SILT FENCE (6,697 LF @ 10 CU FT/LF)	66,970 CU FT
VOLUME PROVIDED IN TSB 1B	62,041 CU FT
TOTAL VOLUME PROVIDED	129,011 CU FT

NOTES:

- IF DEWATERING IS NEEDED FOR ANY REASON, DISCHARGE OF WATER OFFSITE IS TO CONFORM WITH THE GENERAL PERMIT #2 REQUIREMENT.
- DISTURBED AREAS SHALL BE TEMPORARILY SEEDING OR MULCHED IMMEDIATELY WHENEVER CLEARING, GRADING, EXCAVATING, OR OTHER EARTH DISTURBING ACTIVITIES HAVE PERMANENTLY OR TEMPORARILY CEASED AND WILL NOT RESUME FOR A PERIOD EXCEEDING 14 CALENDAR DAYS.
- STORM SEWERS AND DRAINAGE WAYS SHALL BE PROTECTED FROM CONCRETE SLURRY PRODUCED BY SAWCUTTING AND CONCRETE GRINDING.

SWPPP LEGEND

DRAINAGE ARROW	X.XX %
GRADING LIMITS	---
SILT FENCE	---
DITCH CHECK	---
INLET PROTECTION	○
PORTABLE RESTROOM	R
TEMPORARY STANDPIPE	●
CONCRETE WASHOUT PIT	□
UNDISTURBED AREA	---
RIP-RAP	---
GRAVEL ENTRANCE	---
STAGING AREA	---
TEMPORARY SEDIMENT BASIN	TSB #



DATE

06/30/2022

06/08/2022

05/17/2022

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URBANDALE, IA 50322

PHONE: (515) 369-4400

ENGINEER: GH

ENGINEER: EKO

CSA

CIVIL DESIGN ADVANTAGE

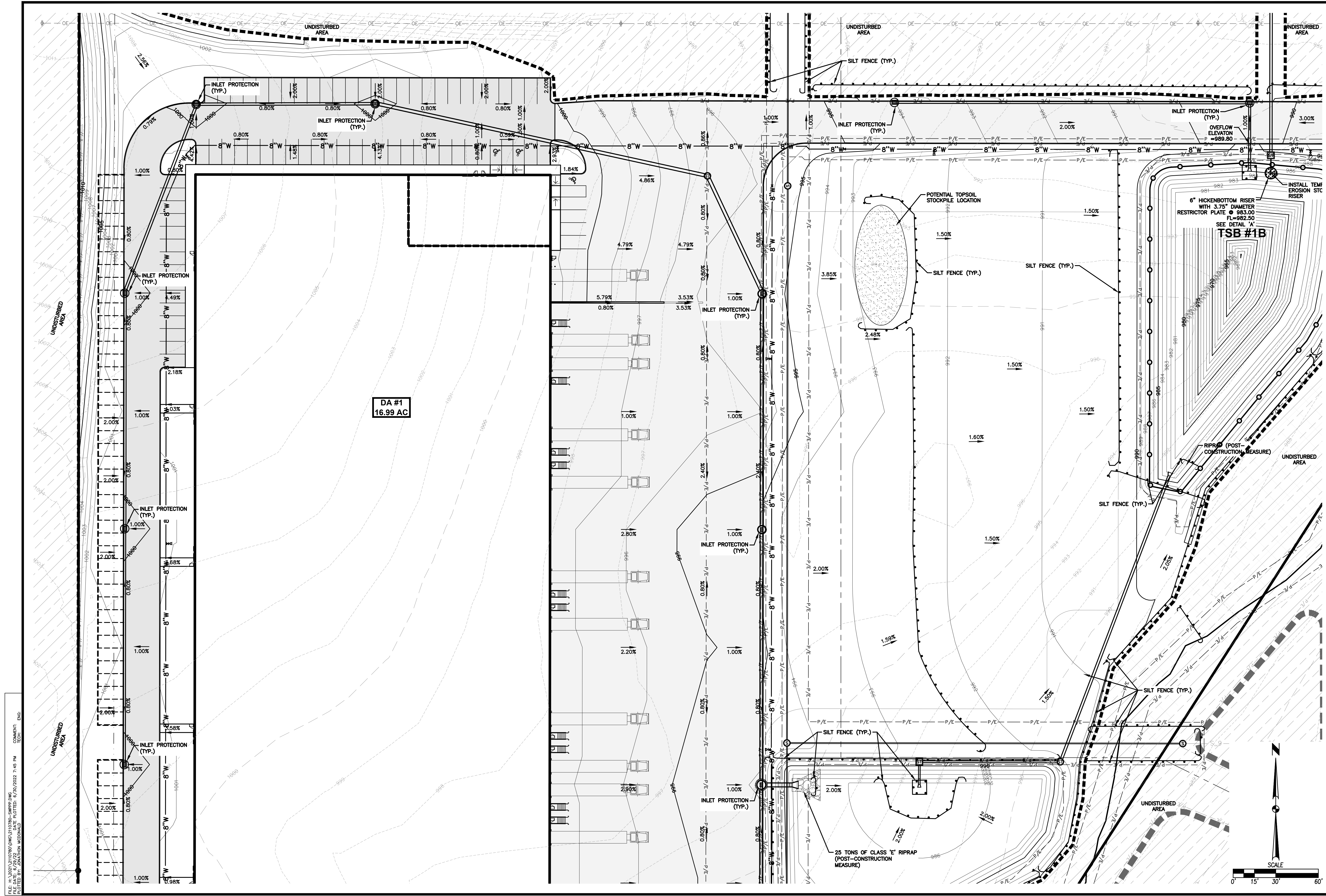
GRIMES, IOWA

DONOVAN MARINE GRIMES

EROSION AND SEDIMENT CONTROL PLAN

C6.0

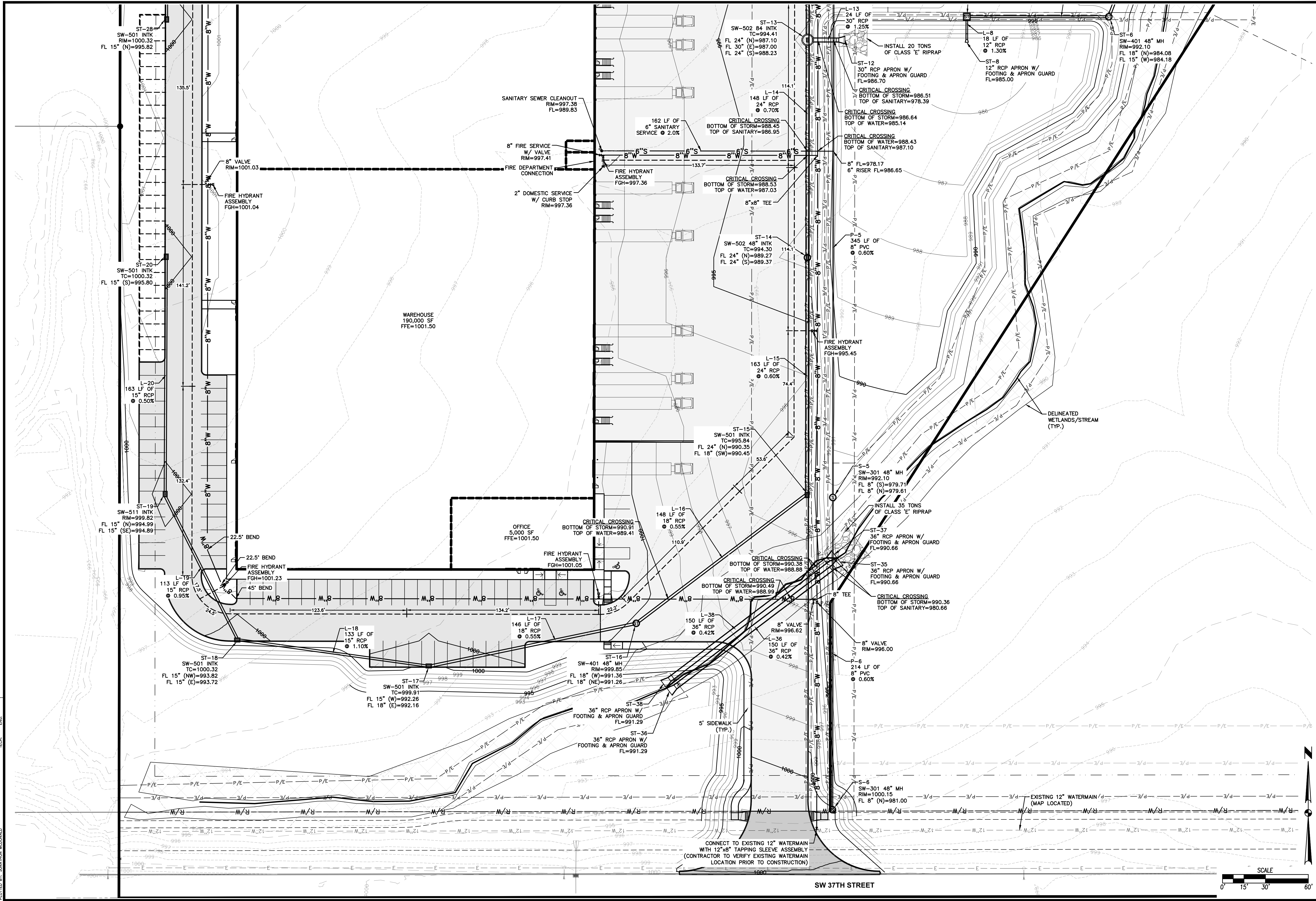
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REVISIONS		DATE
	THIRD SUBMITTAL	06/30/2022
	SECOND SUBMITTAL	06/08/2022
	FIRST SUBMITTAL	05/17/2022



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PLOT DATE: 6/24/2022 7:46 PM
PLOT BY: J. QUANTON, MCDONALD



DATE

06/30/2022

06/08/2022

05/17/2022

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CIVIL DESIGN ADVANTAGE

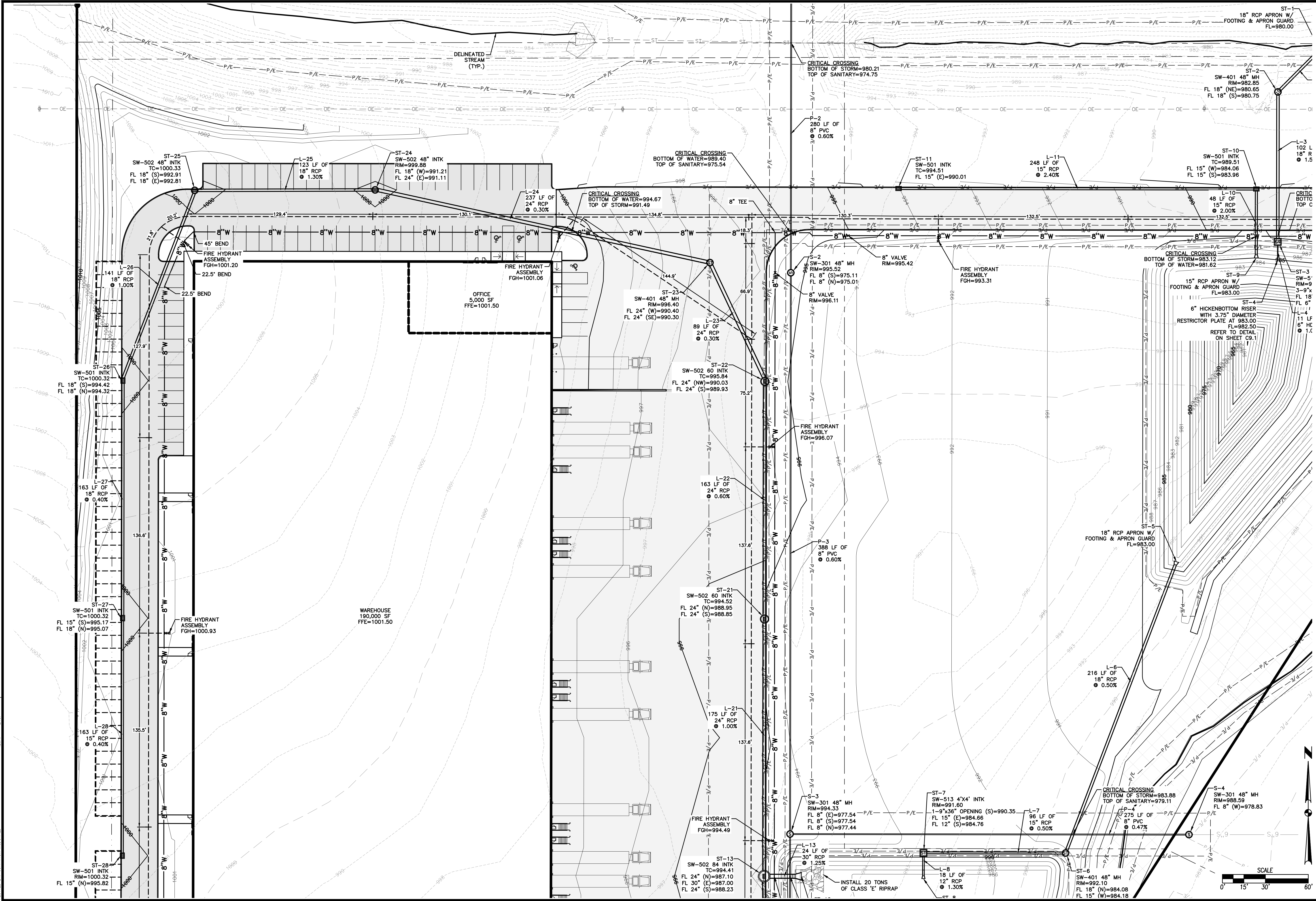
GRIMES, IOWA

DONOVAN MARINE GRIMES

UTILITY PLAN

C7.0

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DATE		REVISIONS	
06/30/2022			
06/08/2022			
05/17/2022			

THIRD SUBMITTAL		SECOND SUBMITTAL		FIRST SUBMITTAL	

4121 NW URBANDALE DRIVE
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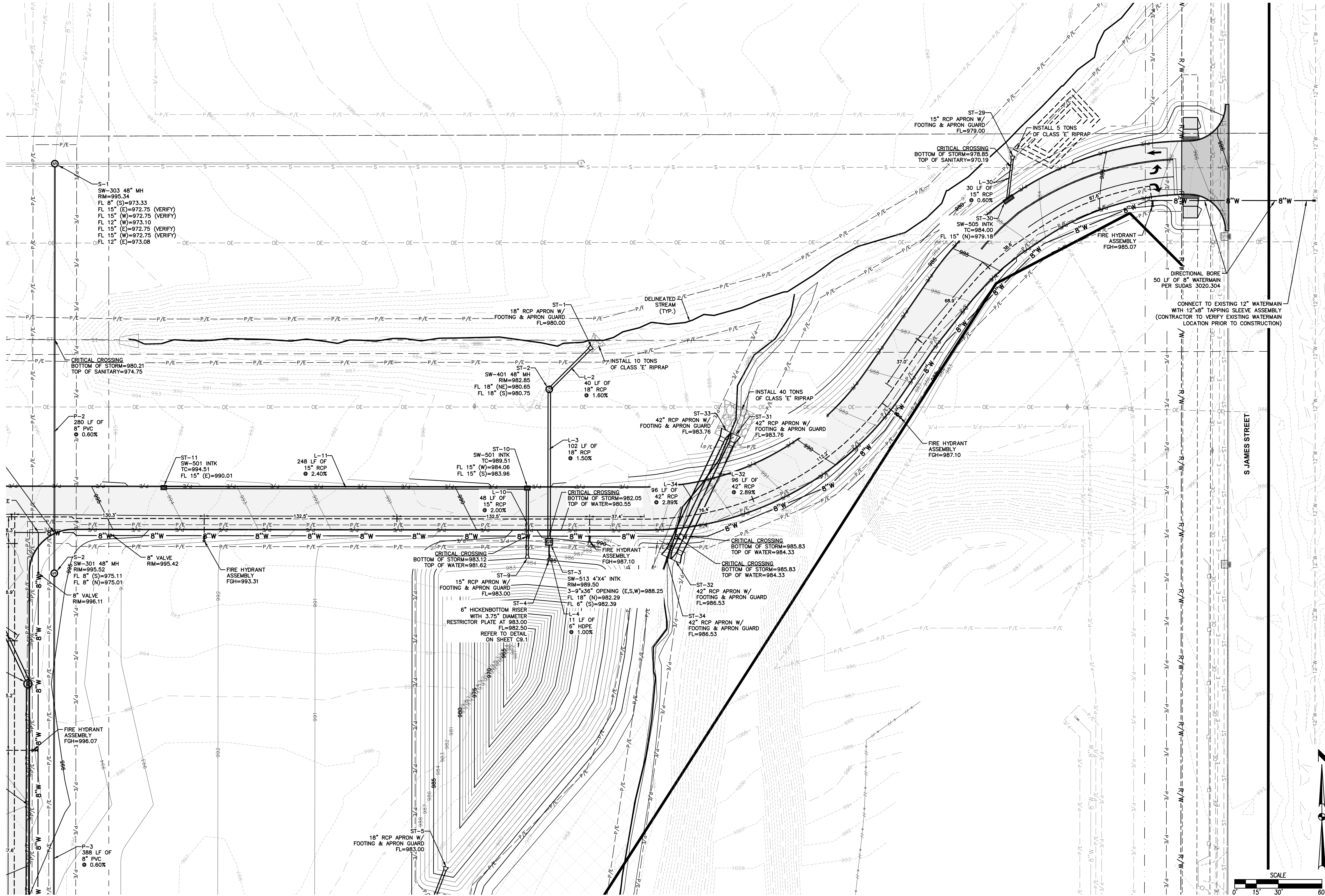
GRIMES, IOWA

DONOVAN MARINE GRIMES

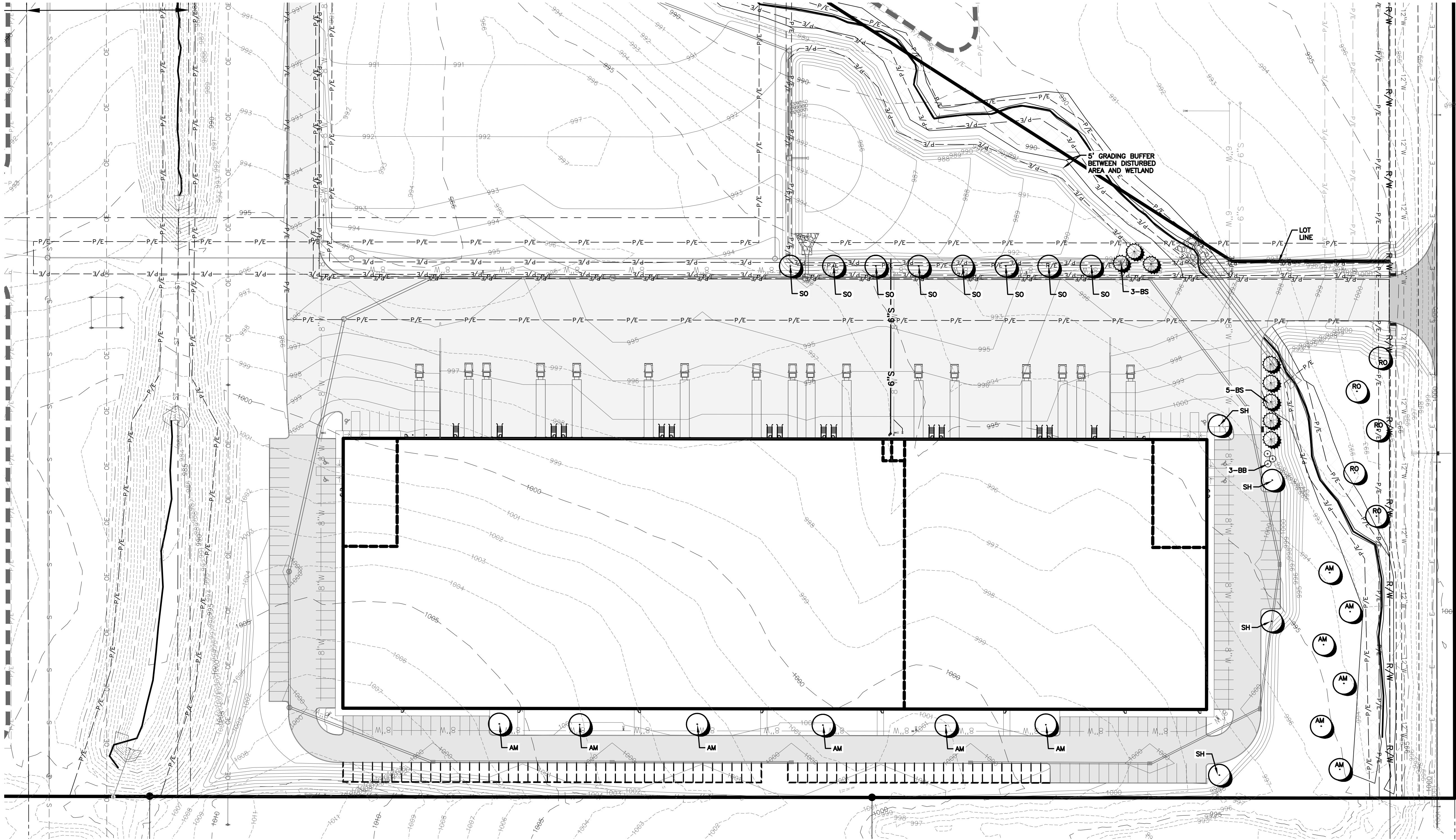
UTILITY PLAN

C7.1

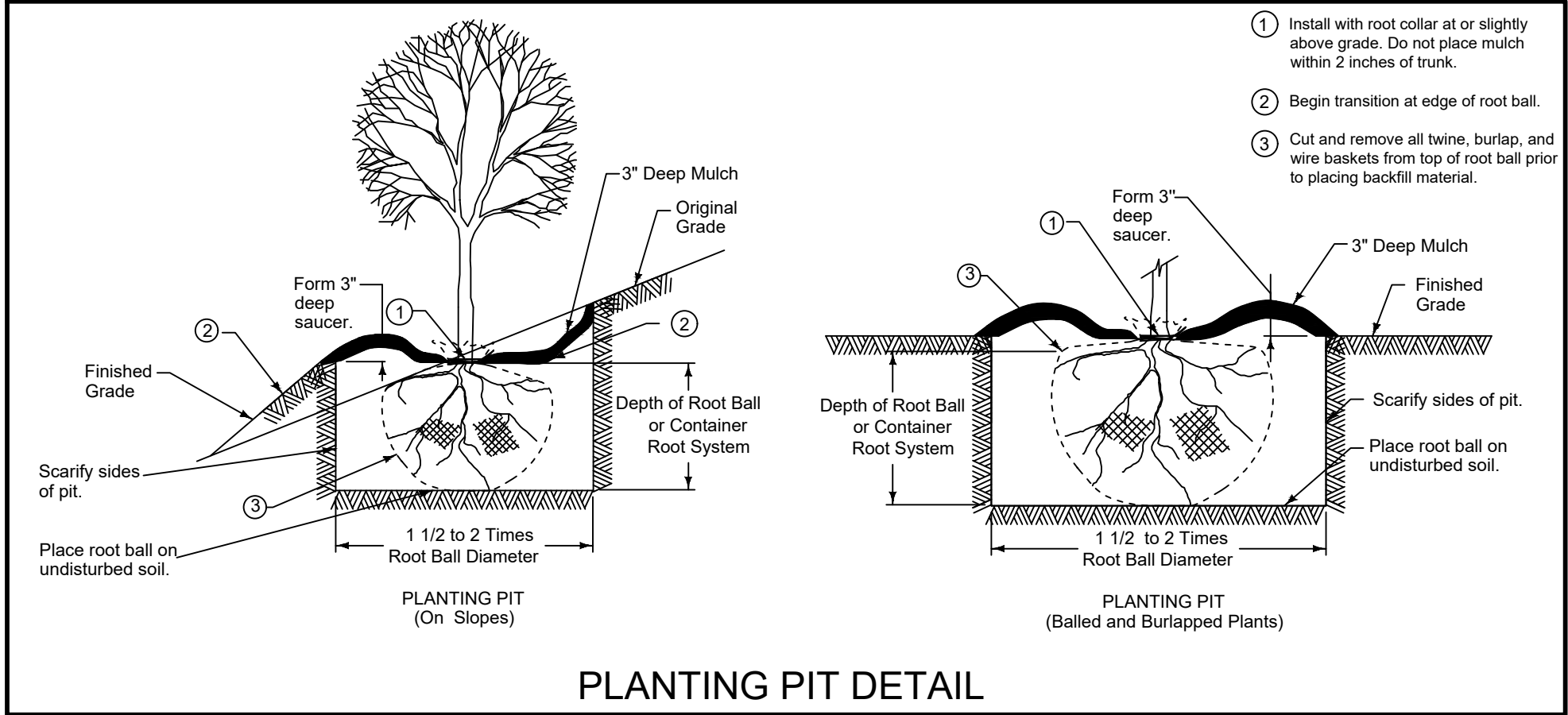
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DATE	DESCRIPTION
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06/08/2022	SECOND SUBMITTAL
05/17/2022	FIRST SUBMITTAL

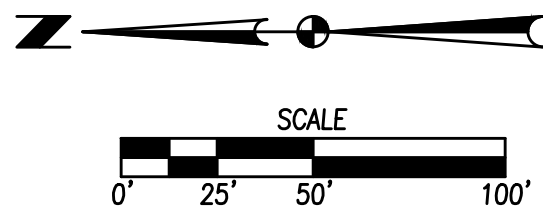


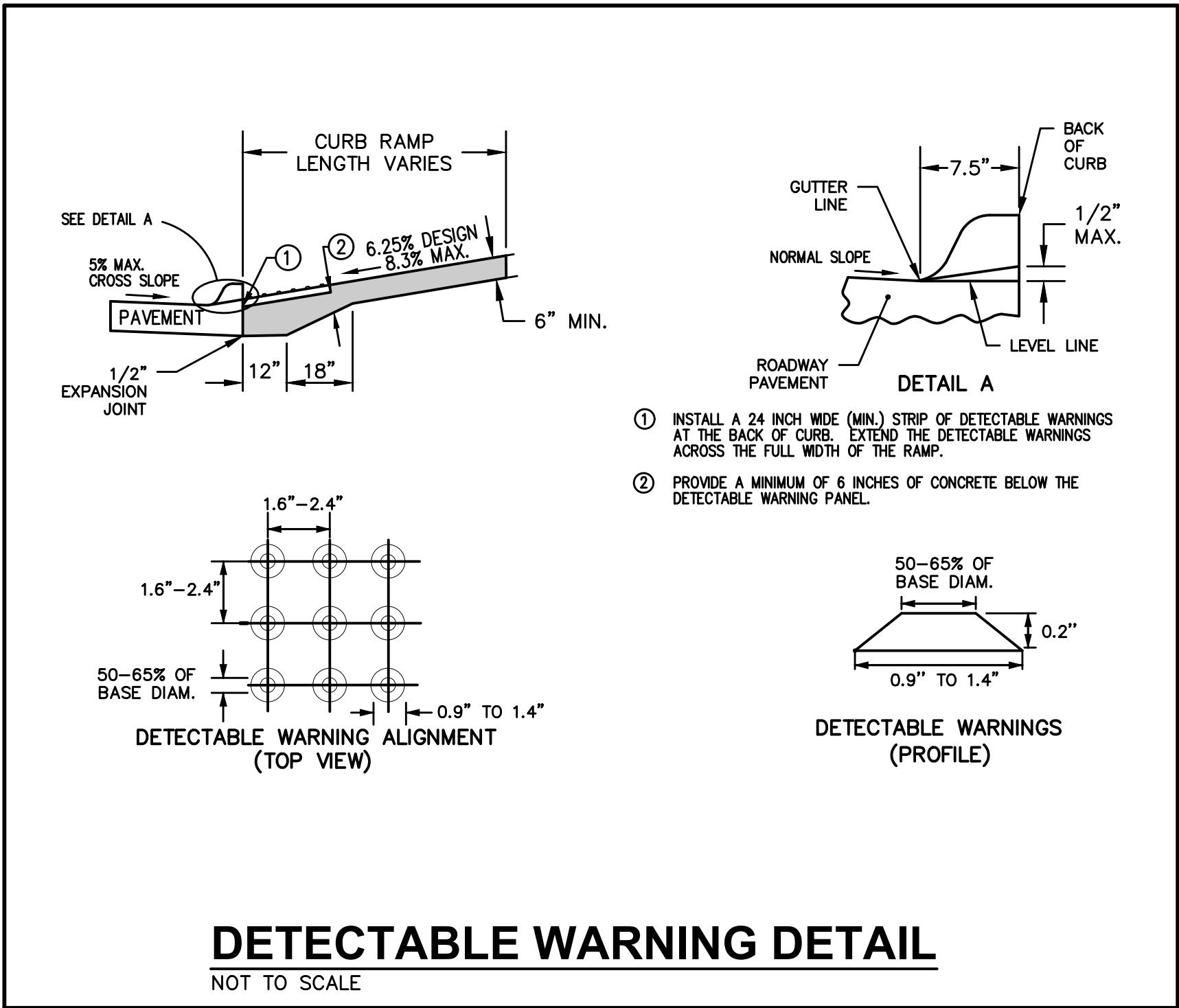
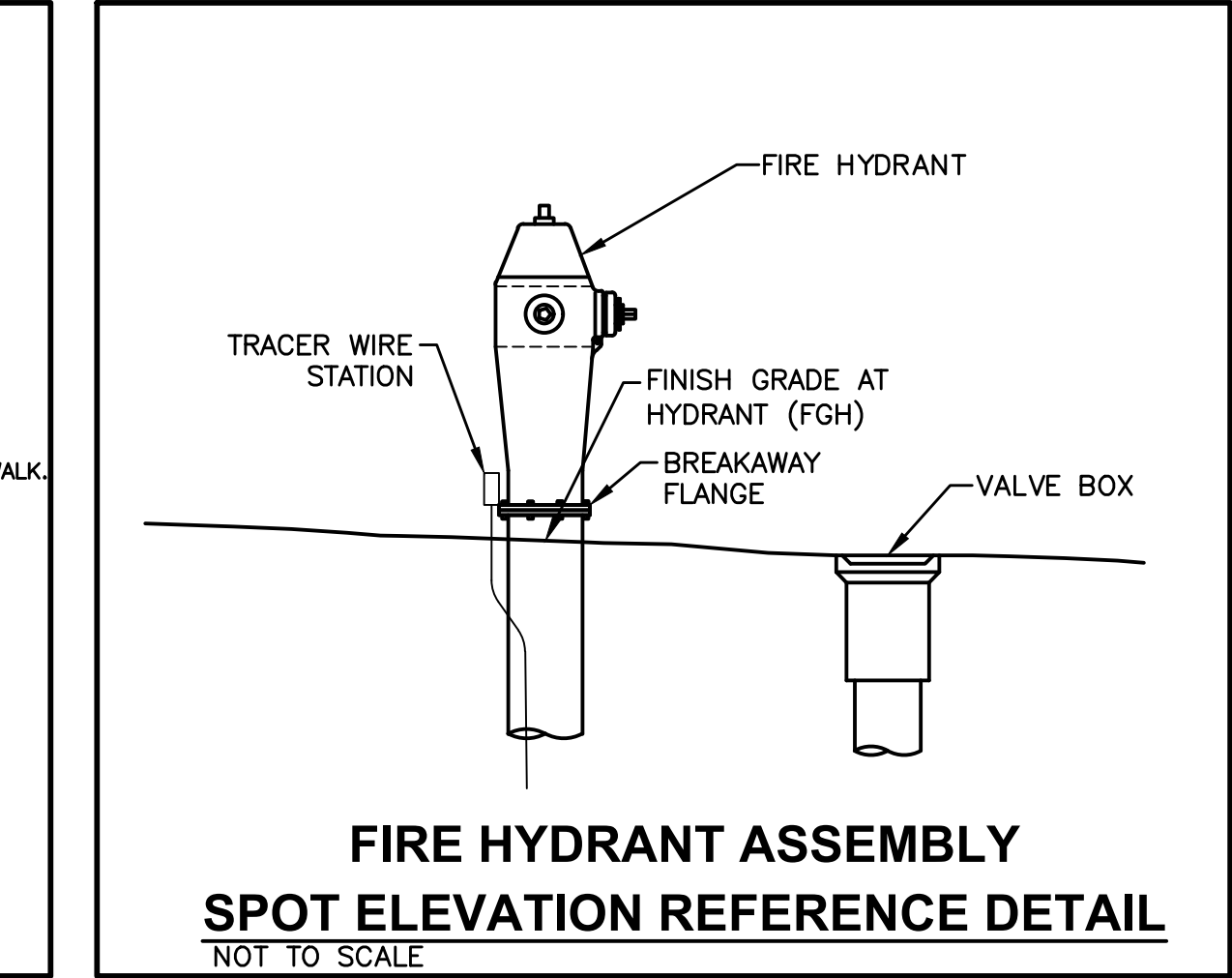
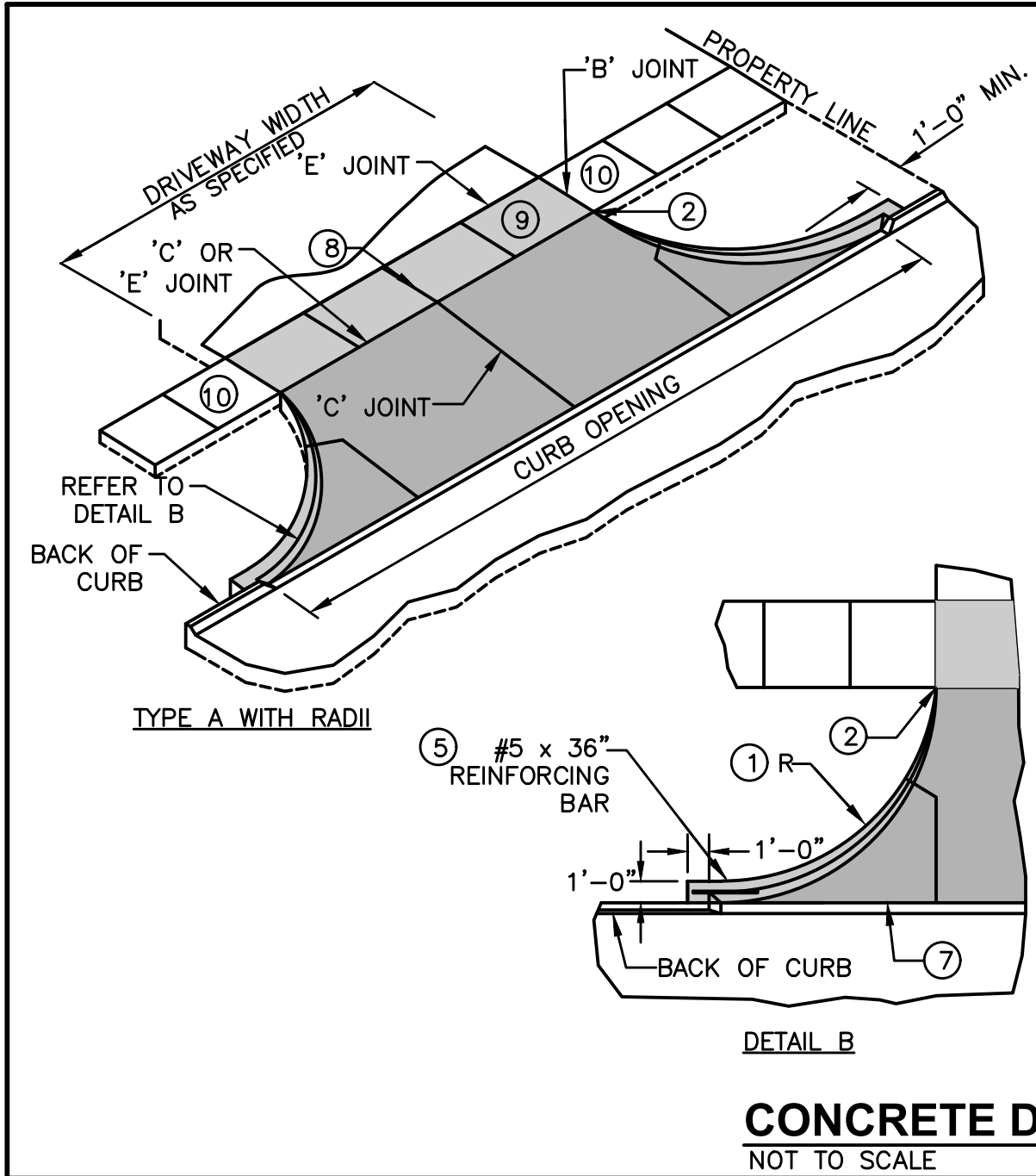
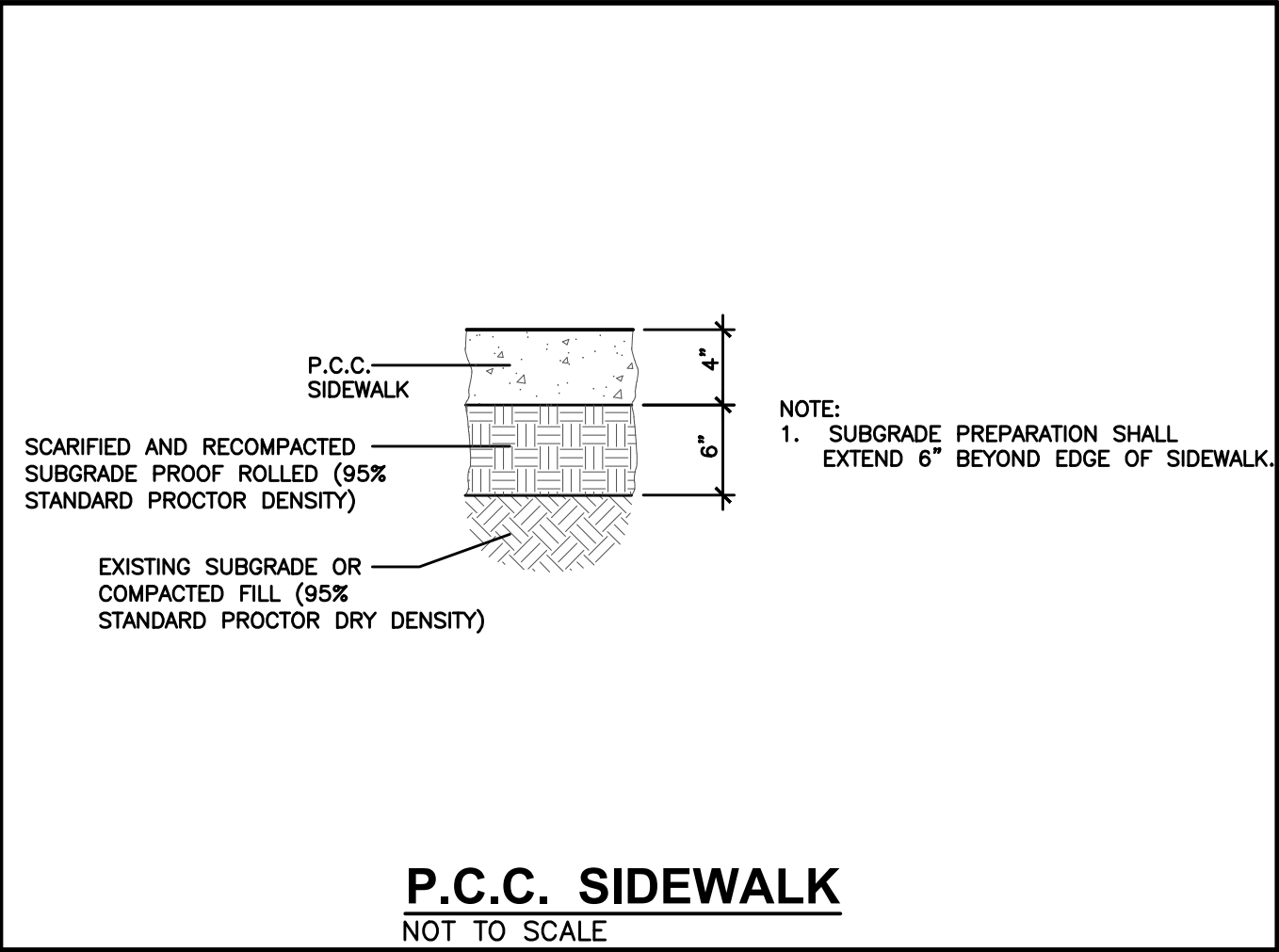
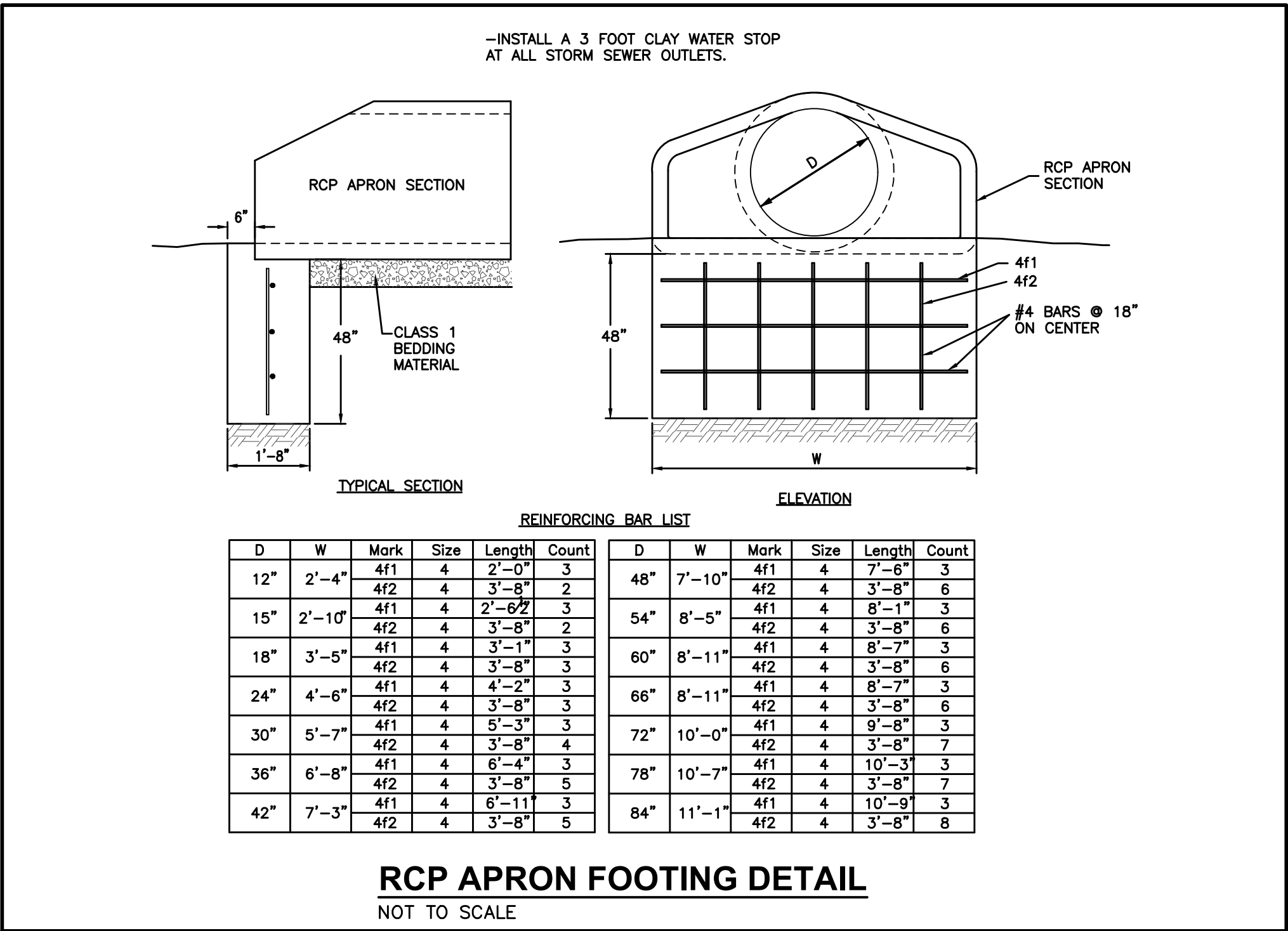
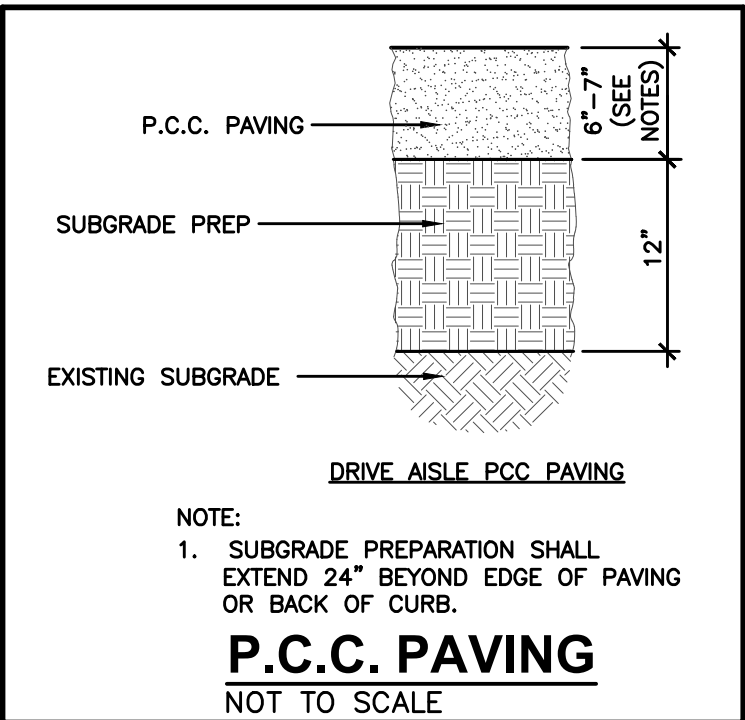
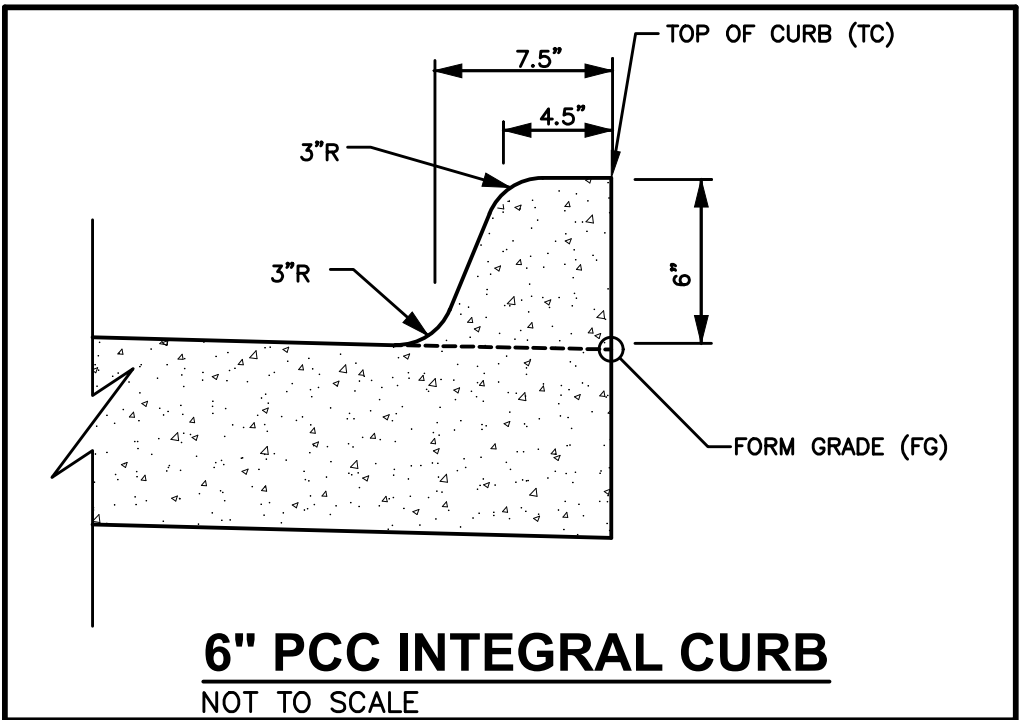
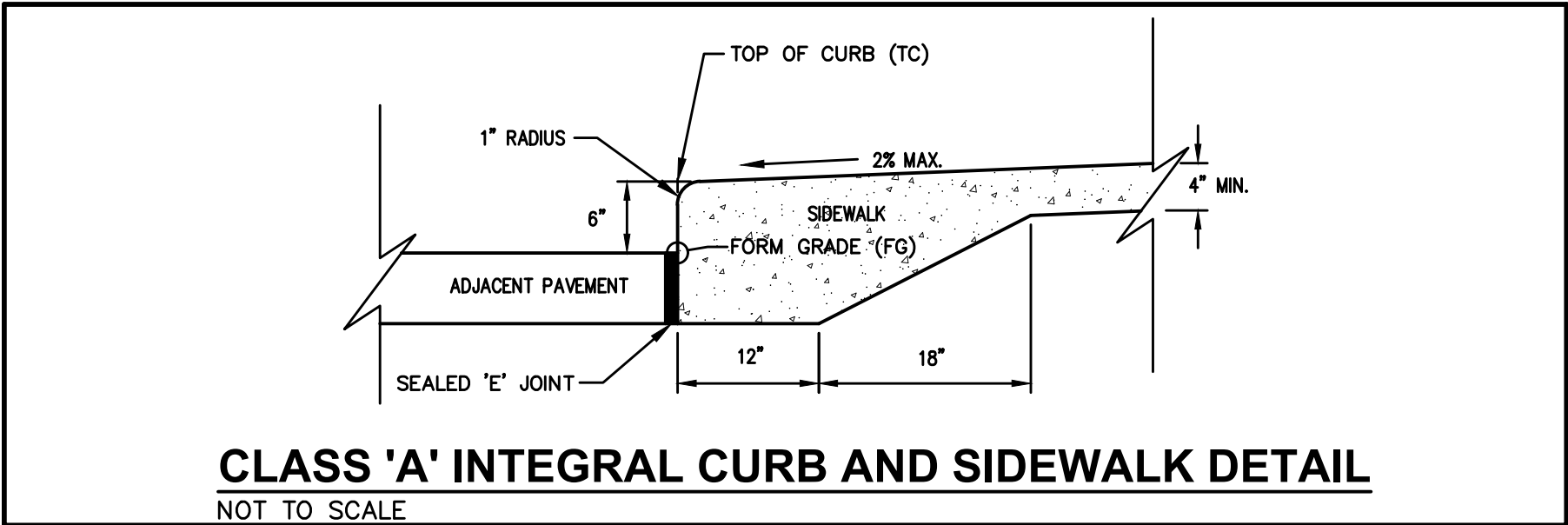
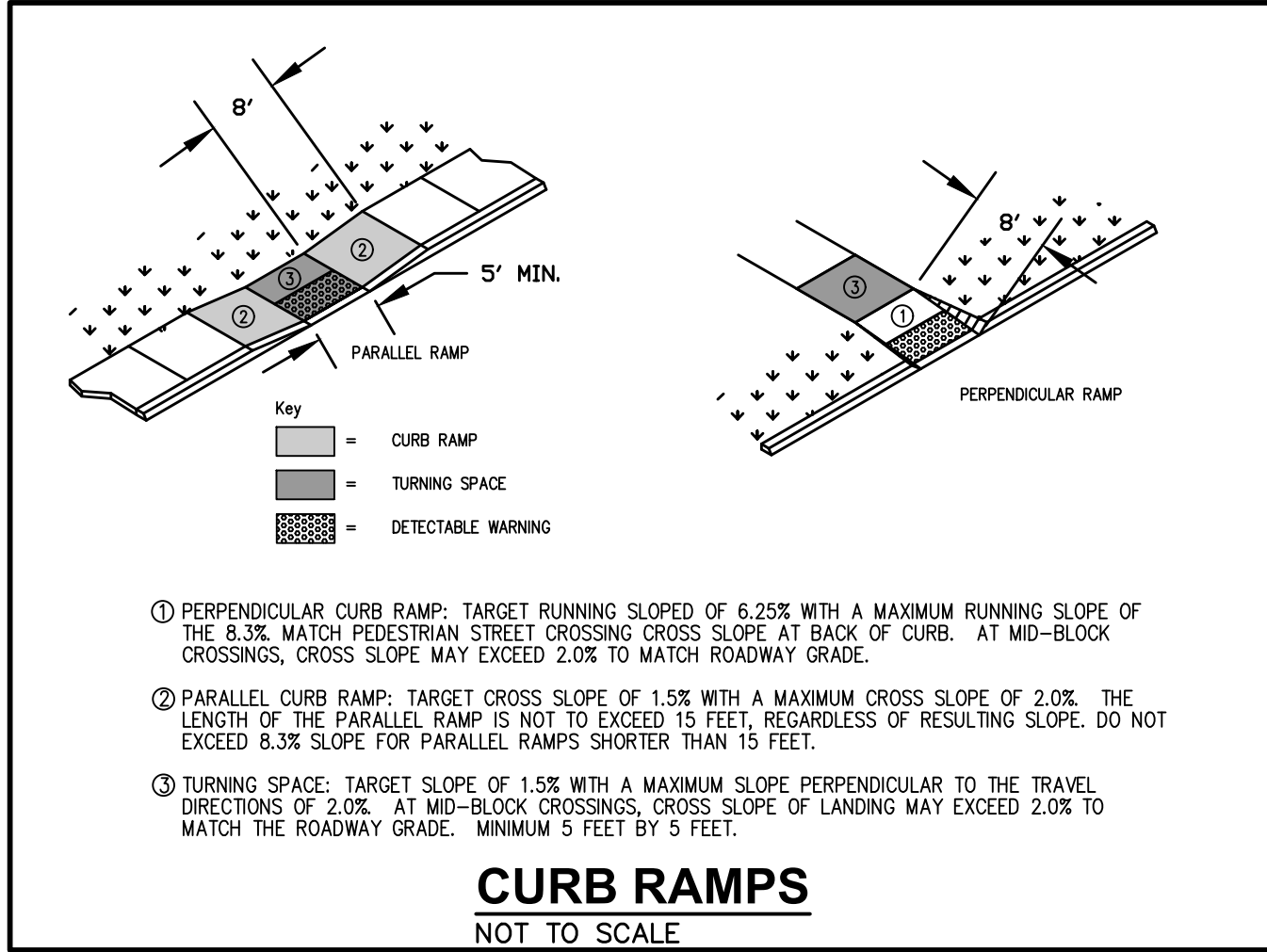
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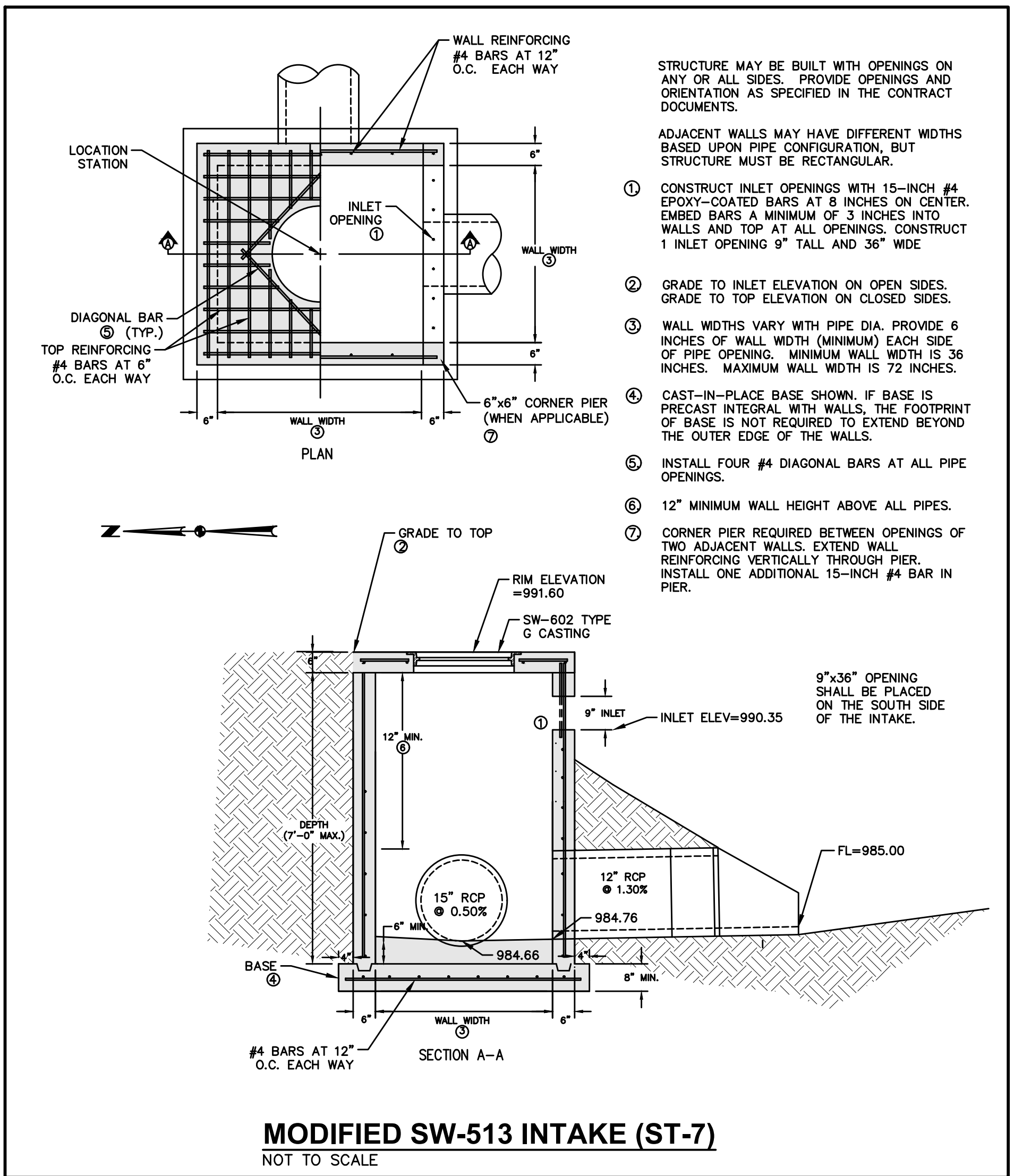
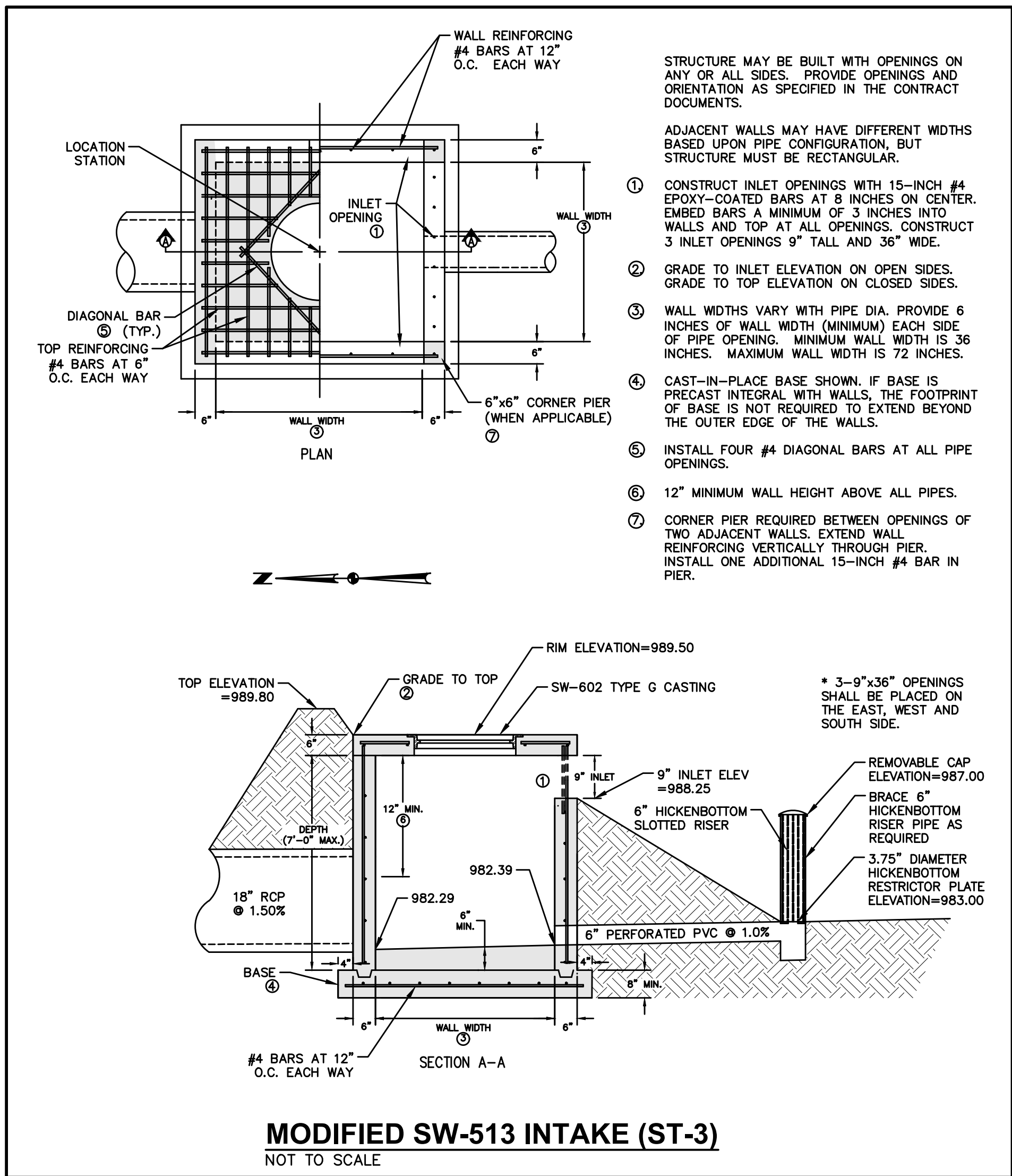


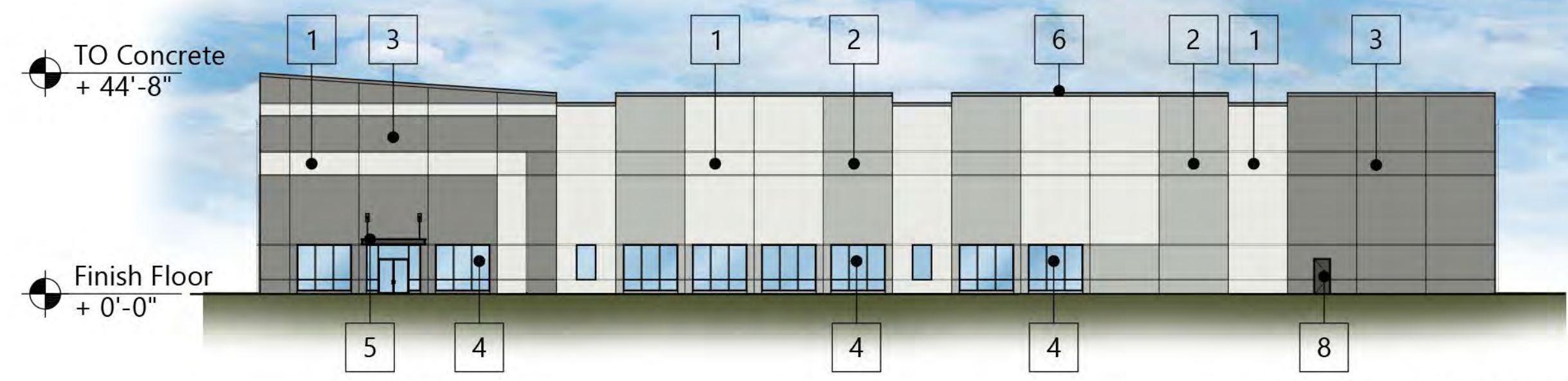
PLANT SCHEDULE

OVERSTORY TREES			
SH	4	SHADEMASTER HONEYLOCUST	GLEDTISIA TRICANTHAS INERMIS "SHADEMASTER"
AM	12	AUTUMN BLAZE MAPLE	ACER RUBRUM "AUTUMN BLAZE"
SO	8	SWAMP WHITE OAK	QUERCUS BICOLOR
RO	5	RED OAK	QUERCUS RUBRA
EVERGREEN TREES			
BS	8	COLORADO BLUE SPRUCE	PICEA PUNGENS
SHRUBS			
BB	5	DWARF BURNING BUSH	EUONYMUS ALATAS COMPACTUS









- MATERIALS KEY:**
- 1 Precast Concrete Panel, Painted
Color: PPG1010-1 Pegasus
 - 2 Precast Concrete Panel, Painted
Color: PPG1010-3 Solstice
 - 3 Precast Concrete Panel, Painted
Color: PPG1010-5 Downpour
 - 4 Black Anodized Storefront Frames with Gray Tinted Glass
 - 5 Premanufactured Metal Canopy and Wall Attachments
 - 6 Prefinished Metal Coping
 - 7 Dock Door
 - 8 Steel Door/Frame
 - 9 Drive-In Door
 - 10 Dock Stair/Door

South Façade Glazing Calculation	
Typ. Window Length (ft)	11
Window Quantity	11
Total Linear Feet Glazing	121
Total Façade Length (ft)	250
Total % Glazed	48%

