

Planning and Zoning Commission

May 4, 2022

Agenda

Meeting Held Electronically

5:30 P.M.

Electronic Meeting as Provided Under Iowa Code, Chapter 21*

***Please note that this Grimes Planning and Zoning Meeting will be an electronic meeting pursuant to Iowa Code Section 21.8 due to the national health emergency that makes it impossible or impractical for an in-person meeting.**

The public is welcome and encouraged to attend and participate in this meeting by either internet or phone as follows:

- 1. Internet- Meeting attendance may be obtained by “Join Zoom Meeting”. Simply enter the following internet address and ID:**

Join Zoom Meeting

<https://us06web.zoom.us/j/85745872899?pwd=N0pkbnZGQjNaS2N4aVgzUUxvSmJyUT09>

Meeting ID: 857 4587 2899

Passcode: 1234

- 2. By Phone: 877 853 5257 US Toll-free.**

For any additional assistance or questions in attending the meeting, please call 515-986-4050 from 8 a.m. to 4:30 p.m. Monday-Friday.

Meetings will be recorded

AGENDA

A GENERAL AGENDA ITEMS

1. Call to Order
2. Roll Call: Russ Licktieg, Craig Patterson, Scott Almeida, Danielle Smid, Courtney Strutt Todd
Council Liaison Andrew Borcharding
3. Approval of the Agenda
4. Approval of Previous Minutes

B. PUBLIC AGENDA ITEMS

1. Project # 22-1016: Willow Hills Plat 2 – Final Plat
2. Project # 22-1017: Rocket Car Wash – Site Plan
3. Project # 22-1018: Herndon Property – Rezone
4. Project # 22-1019: Fagen Property - Rezone

C. REPORTS

1. Department Update
2. Council Liaison Update
3. Old Business
4. New Business

D. ADJOURNMENT



101 NE Harvey Street, Grimes, Iowa 50111 | P: 515.986.3036

This meeting of the Grimes Planning and Zoning Commission was called to order Tuesday, April 5, 2022 at 5:30 P.M.

Roll Call: Present: Scott Almeida, Craig Patterson (joined at 5:50), Courtney Strutt-Todd, Russ Lickteig, Council Liaison: Andrew Borcharding

Staff: Alex Pfaltzgraff, Evann Martin, Molly Mannel, Rachel Greving

Absent: Danielle Smid

A. GENERAL AGENDA ITEMS

1. APPROVAL OF THE AGENDA

Motion by Strutt-Todd, Second by Lickteig, to approve the agenda

Roll Call: Ayes-All; Nays-0 Motion passes: 3-0

2. APPROVAL OF THE MINUTES

Motion by Strutt-Todd, Second by Patterson, to approve the minutes from the March 1, 2022 meeting

Roll call: Ayes-All: Nays-0 Motion passes: 3-0

B. PUBLIC AGENDA ITEMS

Project #22-1014: Hope Commercial Plat 5 – Preliminary Plat

Staff member Mannel presents the details of the project. The plat is located west of Highway 141 and north of Hy-Vee, currently zoned R-4, and within Zone 1 of the Highway 141 Mixed Use Corridor District. Sanitary and sewer will come from NE Gateway Drive, and stormwater management from the pond to the west. Staff recommends approval.

The Commission questioned the access to the back lot. Staff and the applicant explained there may be a second access point for emergencies after discussion with the fire marshal.

Motion by Strutt-Todd, Second by Lickteig to approve Hope Commercial Plat 5 – Preliminary Plat

Roll Call: Aye-All Nay-0 **Motion Passes 3-0**

Project #22-1015: Hope Commercial Plat 5 – Final Plat

Staff member Mannel presented the details of the project, and staff recommends approval.

Motion by Strutt-Todd, Second by Lickteig to approve Hope Commercial Plat 5 – Final Plat
Roll Call: Aye-All Nay-0 **Motion Passes 3-0**

Project #22-1013: DCG High School Addition – Site Plan Amendment

Staff member Mannel presented the details of the project. There will be a building addition to add a gym and restrooms and a sidewalk will be replaced as well. Three trees will be removed during construction, but replaced when construction is done. During construction, water will be shut down only during hours when staff is not there. The addition will include precast wall panels and glazing on the south and west elevations. Staff recommends approval.

Motion by Strutt-Todd, Second by Lickteig to approve DCG High School Addition – Site Plan Amendment

Roll Call: Aye-All Nay-0 **Motion Passes 3-0**

Project #22-1012: 4235 SE Beisser Drive – Site Plan Amendment

Staff member Martin presents the details of the project. It is the location of Beisser Lumber, zoned M-3, and not located in an overlay district. The amendment includes a metal warehouse building to the east side of the lot, and will match the industrial nature of the site. The landscaping from the original site plan will be added as well. Staff recommends approval.

The Commission asked about impervious surfaces and parking. Staff explained that all impervious surfaces and more parking have been accounted for.

Motion by Lickteig, Second by Strutt-Todd to approve 4235 SE Beisser Drive – Site Plan Amendment

Roll Call: Aye-All Nay-0 **Motion Passes 3-0**

Project #22-1011: M-Keds – Rezone

Staff member Martin presented the details of the project. The parcels are currently zoned A-1 and the request is to rezone to M-1A. Located within Zone 1 of the Highway 141 Corridor District, the rezone includes four industrial lots and one lot for a retention basin. The rezone would match the zoning of the businesses to the south, and staff recommends approval. Gateway Drive is currently being finished as well.

The Commission discussed the proposal and asked questions of staff. Staff explained that the existing residence to the north would remain, and the DOT would be the deciding factor of traffic signals in this area.

Motion by Strutt-Todd, Second by Lickteig to approve M-Keds – Rezone
Roll Call: Aye-All Nay-0 **Motion Passes 4-0**

Project #22-1009: Waterworks Park Splash Pad – Site Plan

Staff member Martin presented the details of the project. Located at the northwest corner of North James Street and Highway 44, it is currently zoned Park and is not in an overlay zone. The detention pond will be located to the north to separate the park from the existing homes.

The Commission asked questions about the materials and surfaces being used in the park and discussed with staff the hours and parking for the park. Staff also stated the new park will also remove one baseball field from the existing park area.

Motion by Lickteig, Second by Strutt-Todd to approve Waterworks Park Splash Pad – Site Plan
Roll Call: Aye-All Nay-0 **Motion Passes 4-0**

Parkland Dedication Workshop

Staff discussed with the Commission and the Parks Board new proposed procedures for parkland dedication.

No Vote Required

C. PUBLIC FORUM – None

D. REPORTS

- 1. Department Update – Staff provided an update on development and capital projects around the City.**
- 2. Council Liaison Update – N/A**
- 3. Old Business – N/A**
- 4. New Business – N/A**
- 5. Next meeting May 4, 2022**

Meeting is adjourned at 7:06 p.m.

Signature

CITY OF
GRIMES

Generally located north of NW 27th Street and east of NW County Line Road

Location

An aerial photograph of a residential neighborhood. A large, rectangular lot in the upper-middle section is highlighted with a thick red border. This lot is yellow, indicating it is a single-family residential zone. To the left of the highlighted lot is a street with a white curb. Below the highlighted lot is a residential development with orange-roofed houses and green lawns. To the right of the highlighted lot is a grey area, possibly a parking lot or a different type of land use. The overall image is a map used for land use planning or zoning analysis.

Zoning Map

LAND USES & ZONING:

Location	Existing Land Use	Land Use Plan Designation	Current Zoning
Subject Site	Vacant/Single-Family	Low Density Residential	R-1
North	Vacant		R-1/R-2
South	Single-Family	Low Density Residential	A-1
East	Vacant	Low Density Residential	Polk County Agricultural District
West	Vacant	Low Density Residential	Polk County Agricultural District

BACKGROUND:

The applicant is requesting approval of a final plat, which will allow for the subdivision of the second phase of the Willow Hills subdivision. The approximately 21.27-acre property will be divided into 54 single-family lots and four public street lots. The single family lots range from 11,000 to 26,000 square feet in size. All street lots will be dedicated to the City. Right-of-way along NW 27th Street was previously dedicated to the City with Willow Hills Plat 1. The final plat is consistent with the preliminary plat.

ANALYSIS:

With the completion of the Plat 2 public improvements, the Willow Hills subdivision will have two access points from NW 27th Street. Future streets will be stubbed to the north and east to provide connection to neighboring properties. The trail around the wet detention basin will be completed with the Plat 2 improvements to provide an amenity for the neighborhood and a future trail connection to the north. A 20' landscape buffer is proposed along NW 27th Street. In lieu of a berm, the applicant is proposing thicker plantings within the buffer to achieve the same affect.

Sanitary sewer has been constructed to connect the Willow Hills development to the Northwest Territory lift station located north and east of the development.

STAFF RECOMMENDATION:

Staff would recommend approval of the final plat for Willow Hills Plat 2 subject to any remaining staff comments and legal review.

CITY OF GRIMES

Evann Martin
Assistant Planner



Development Services

410 SE Main St, Suite 102

Grimes, IA 50111

(515)986-4050

www.grimesiowa.gov

~~March 24, 2022~~

April 27, 2022

Snyder & Associates

Attn: Jason Ledden

2727 SW Snyder Blvd

Ankeny, IA 50023

RE: Willow Hills Plat 2 Final Plat

Dear Mr. Ledden:

The Development Services Department is in receipt of a proposed Final Plat for Willow Hills Plat 2. Based on the review of the provided submittal materials, staff have the following comments:

General Comments:

- ~~1. Provide final plat application and \$2000 review fee.~~
2. Provide MPE sheet. **Please provide.**
3. Label addresses for each lot. Addresses provided. **Please label both addresses for lot 30 and 45.**
- ~~4. Label rear building setback lines.~~
- ~~5. Revise street name of the north/south street. Should be NW Beechwood Drive.~~
6. Label the sanitary sewer easement at the end of NW Beechwood Dr. **Change label to "to be recorded by others"**
7. Label dimensions of the utility extension easement. **Change label to "to be recorded by others"**
- ~~8. Label the easement between lot 21/22 storm sewer and overland flowage.~~
- ~~9. Label the easement between lot 9/10 storm sewer and overland flowage.~~
- ~~10. Label the easement between lot 35/36 storm sewer and overland flowage.~~

~~11. Label the 15' storm sewer easement along lot 39-45 storm sewer and overland flowage.~~

12. The storm sewer easement along lot 45/46 does not match the construction drawings.
Please revise.

~~13. At Lot 6, rename easement to storm sewer easement.~~

~~14. Label book and page of the existing storm water facility easement.~~

15. Revise NW 29th Street to Court

Legal Comments: *Legal documents need to be submitted and reviewed prior to sending the plat to Council

1. Title opinion
2. Consent(s) to Plat
 - a. Owner consent
 - b. Mortgagee consent (if applicable)
3. Treasurer's Certificate
4. County Subdivision Name Approval
5. Legal description in Word format
6. Easement documents and legal descriptions
 - a. Temporary Turn Around Easement
 - b. Utility Extension Easement
 - c. Storm Sewer Easement
 - d. Offsite Storm Sewer Easement
 - e. Offsite Sanitary Easement
 - f. Storm Sewer and Overland Flowage Easement
 - g. Water Main Easement
 - h. Sidewalk Easement
 - i. Public Utility Easement
 - j. Landscape Buffer Easement
7. Declaration and Covenants, Restrictions and Easements

8. Executed Mid-American Energy electric and Black Hills gas distribution agreement
9. Agreement to Complete with performance bond
10. 4-year maintenance bond
11. Letter from the surveyor confirming that monuments are in place. Confirmation is required prior to issuing a Certificate of Occupancy.
12. Warranty Deed for streets lots.

Please provide a letter addressing all comments on this comment letter and/or state what was modified on the site plan to address said comments.

SITE PLAN SUBMITTAL SCHEDULE:

SUBMITTAL DATE:	March 31, 2022 (1 PDF of Final Plat and Legals)
PLANNING & ZONING:	April 5, 2022 at 5:30
COUNCIL MEETING:	TBD at 5:30

Please feel free to contact me at emartin@grimesiowa.gov or at (515) 986-4050 if you have any questions or need additional information.

Sincerely,

Evann Martin
Assistant Planner

Map of the NW 30th St. area in Portland, Oregon, showing the location of the proposed development. The map includes NW 30th St., NW Brookside Dr., and NW 27th St. A callout box labeled 'LOCATION' points to the shaded area on NW 30th St. between NW Brookside Dr. and NW 27th St.

NW 27TH ST.

VICINITY MAP

GRIMES, IOWA

CURVE NO.	Δ	RADIUS	ARC LENGTH	TANGENT	CHORD BEARING/LENGTH
C1	90°00'00"	80.00'	125.66'	80.00'	S44°47'09"E 113.14'
C2	11°35'52"	110.00'	22.27'	11.17'	N5°35'05"W 22.23'
C3	30°26'55"	110.00'	58.46'	29.94'	N26°36'29"W 57.77'
C4	30°26'55"	110.00'	58.46'	29.94'	N57°03'24"W 57.77'
C5	17°30'18"	110.00'	33.61'	16.94'	N81°02'00"W 33.48'
C6	90°00'00"	9.50'	14.92'	9.50'	N44°47'09"W 13.44'
C7	89°38'02"	10.00'	15.64'	9.94'	N45°01'52"E 14.10'
C8	90°21'54"	10.00'	15.77'	10.06'	S44°58'06"E 14.19'
C9	90°00'00"	9.50'	14.92'	9.50'	S45°12'51"W 13.44'
C10	90°00'00"	50.00'	78.54'	50.00'	S44°47'09"E 70.71'
C11	90°00'00"	9.50'	14.92'	9.50'	S45°12'51"W 13.44'
C12	46°57'25"	62.00'	50.81'	26.93'	N66°44'09"E 49.40'
C13	47°49'46"	62.00'	51.76'	27.49'	N19°20'33"E 50.27'
C14	48°42'39"	62.00'	52.71'	28.07'	N28°55'39"W 51.14'
C15	49°20'13"	62.00'	53.39'	28.48'	N77°57'05"W 51.75'
C16	58°07'14"	62.00'	62.89'	34.45'	S48°19'11"W 60.23'
C17	70°57'17"	33.00'	40.87'	23.52'	S54°44'13"W 38.31'
C18	90°00'00"	9.50'	14.92'	9.50'	S44°47'09"E 13.44'

OUTLOT "Y", WILLOW HILLS PLAT 1, AN OFFICIAL PLAT, IN THE CITY OF GRIMES, POLK COUNTY, IOWA.

WILLOW HILLS LLC
3405 SE CROSSROADS DR STE C
GRIMES, IOWA 50111

R-1: RESIDENTIAL AND WILLOW HILLS DEVELOPMENT AGREEMENT

GROSS AREA = 21.27 ACRES (926, 695 S.F.)

MINIMUM LOT AREA = 11,000SF
MINIMUM LOT WIDTH = 75'
FRONT YARD SETBACK = 35'
REAR YARD SETBACK = 35'
SIDE YARD SETBACK = 7'/14' 1.5 STORIES
10'/20' 2-3 STORIES

MARCH 03, 2022

1. REFER TO APPROVED CONSTRUCTION DOCUMENTS FOR MINIMUM PROTECTION ELEVATIONS.
2. STREET LOTS ARE TO BE DEDICATED TO THE CITY OF GRIMES.

Survey
Section Corner
1/2" Rebar, Yellow Plastic Cap #19710
(Unless Otherwise Noted)
ROW Marker
ROW Rail
Control Point
Bench Mark
Platted Distance
Measured Bearing & Distance
Recorded As
Deed Distance
Calculated Distance
Centerline
Section Line
1/4 Section Line
1/4 1/4 Section Line
Easement Line

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GRIMES, IOWA

2727 S.W. SNYDER BLVD
ANKENY, IOWA 50023
515-964-2020 | www.snyder-associates.com

WILLOW HILLS PLAT 2

FINAL PLAT

SNYDER & ASSOCIATES, INC.



SNYDER
& ASSOCIATES

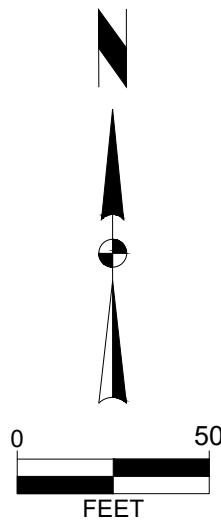
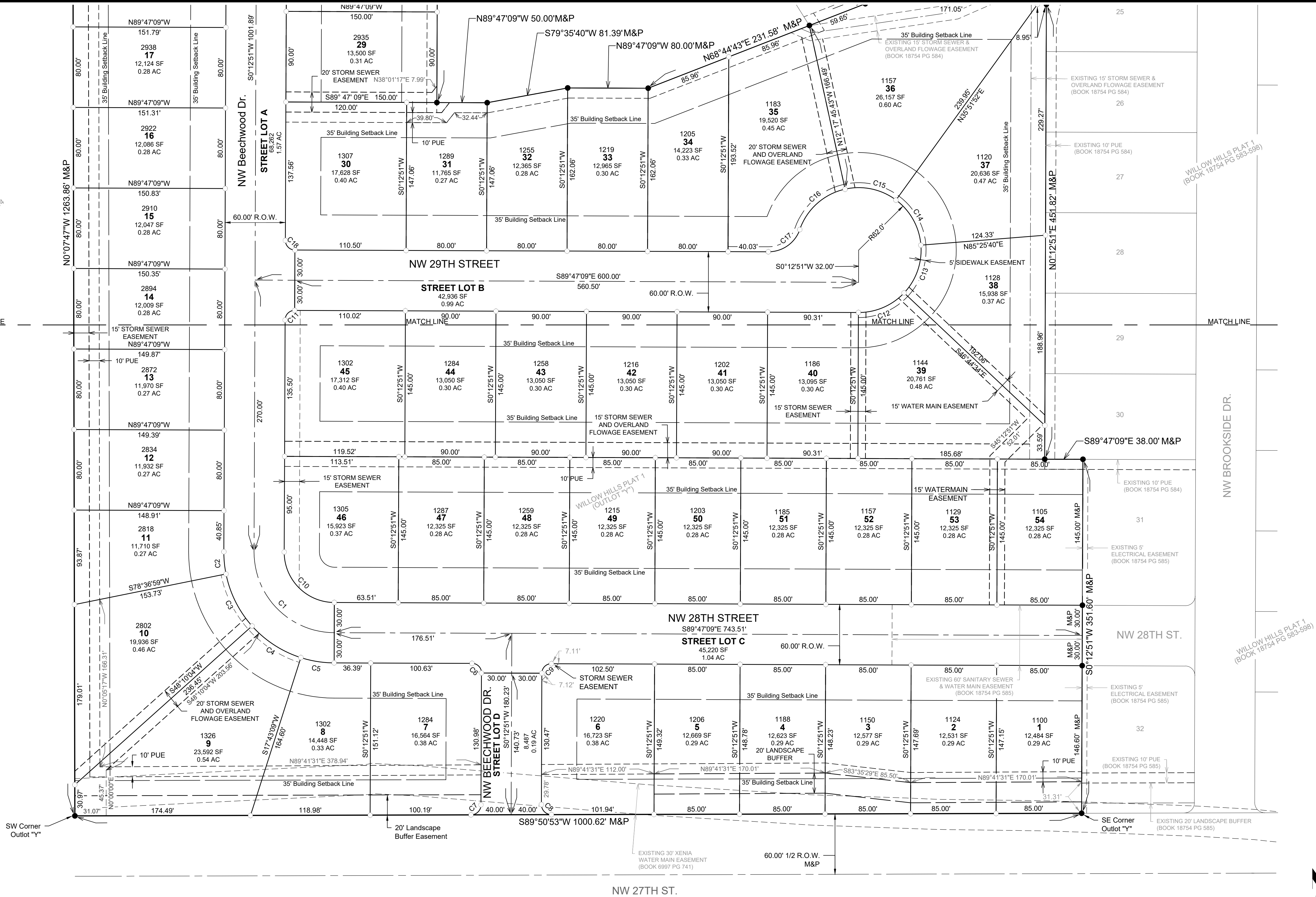
Project No: 121.0745.01

Sheet 1 OF 3

V:\Projects\2021\121.0745\WILLOW HILLS PLAT 2\20210405_2325.PW ANS FULL BLEED D (34.00 X 22.00 INCHES)

W FRL 1/2 NW FRL 1/4
SEC. 30-80-25

MATCH LINE



WILLOW HILLS PLAT 2

FINAL PLAT

GRIMES, IOWA

SNYDER & ASSOCIATES, INC. I



Project No: 121.0745.01

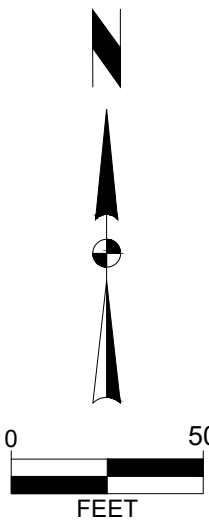
Sheet 2 OF 3

2727 S.W. SNYDER BLVD
ANKENY, IOWA 50023
515-364-2020 | www.snyder-associates.com

MARK
Engineer: JAL
Technician: AJD

REVISION
Checked By: EDG
Date: 03-02-2022

BY
DATE
Scale: 1" = 50'
T-R-S: 30-80-25
Project No: 121.0745.01
Sheet 2 OF 3



\\Projects\2021\1210745_FPT.dwg AUSTIN DAVENPORT. FINAL PLAT-2022. 2022/04/05. 3:26 PM. ANS FULL BLEED D (34.00 X 22.00 INCHES)

Planning & Zoning Staff Report



TO: Planning and Zoning Commission
FROM: Molly Mannel, Assistant Planner
DATE: May 4, 2022
RE: Rocket Carwash – Site Plan

GENERAL INFORMATION:

Applicant:

REGA Engineering, INC.

Requested Action

Site Plan

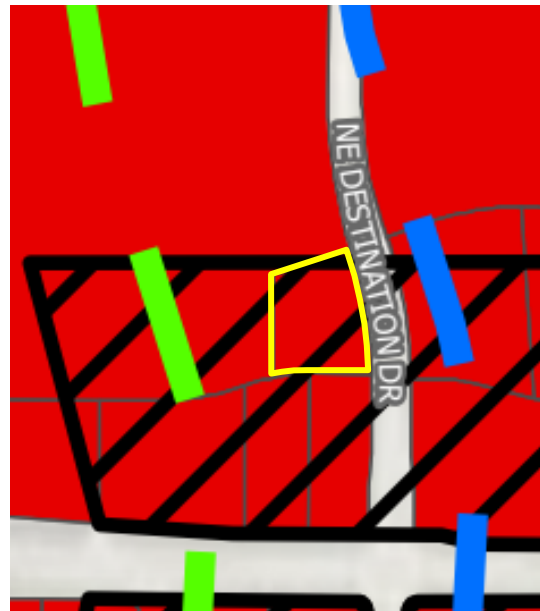
Location

200 NE Destination Drive

SUPPORTING INFORMATION:



Location Map



Zoning Map

LAND USES & ZONING:

Location	Existing Land Use	Land Use Plan Designation	Current Zoning
Subject Site	Vacant	General Commercial	C-2
North	Vacant	Mixed Use 1	C-2
South	Commercial	General Commercial	C-2
East	Commercial	General Commercial	C-2
West	Commercial	General Commercial	C-2

BACKGROUND:

The applicant is requesting approval of a site plan to construct a car wash at 200 NE Destination Drive. The car wash is 5,438 square feet, with a three-lane pay station canopy and fourteen vacuum stalls. The site is located within the C-2 zoning district and Zone 2 of the Highway 141 Mixed Use Development Corridor District.

ANALYSIS:*Building/Elevations:*

The building will be primarily constructed of brick with black and red accented metal paneling. The tower will be made up of a clear polycarbonate wall paneling with white lighting. The tunnel will provide controllable LED color lighting on the interior. Wall pack lighting will be provided on the building facades as well as under the pay station canopy. Each vacuum stall will contain arched, white LED lighting. Glazing elements will be placed throughout the building, and make up 25% of the east elevation facing NE Destination Drive. The overhead doors to the carwash tunnel will consist of clear polycarbonate paneling.

Site Layout:

The site will be accessed from the private road off of NE Destination Drive. Connectivity will be provided throughout the site, allowing customers to easily access their preferred service of a car wash or vacuum. The car wash tunnel entrance will be facing south, with cars exiting the tunnel to the north. An escape lane is proposed between the pay stations and the car wash tunnel leading in to the parking lot. Public sidewalk will be constructed along NE Destination Drive. The side is not required to install sidewalk along the private streets as sidewalk is only required on one side. These sidewalks are existing on the south side of NE Telkay Lane and the north side of the Menard's access drive.

Parking:

A maximum of four employees will be working at only one time. Therefore, four employee parking stalls will be required. The employees will park in the vacuum stalls, so those vacuums will not be in use during the working hours. One stall will be ADA compliant.

Landscaping/Streetscape:

The site will be required to meet the Highway 141 Mixed Use Development Corridor District landscaping standards. Landscaping will be provided all the street frontages, parking islands,

and along the building frontage. Some screening will be provided around the transformer, and around the dumpster and vacuum enclosures. Due to the sanitary sewer location along the east side of the property, landscaping is shifted further west to avoid interference with the sewer.

Utilities:

Sanitary will connect to the existing sewer on the north side of the site. Water will connect to the existing main on the south side of the site. Proposed water reclaim tanks will be placed under the vacuum stalls near the proposed building.

STAFF RECOMMENDATION:

Staff would recommend approval of the Rocket Carwash site plan subject to any remaining staff comments.

CITY OF GRIMES

Molly Mannel
Assistant Planner



Development Services

410 SE Main St, Suite 102

Grimes, IA 50111

(515)986-4050

www.grimesiowa.gov

~~April 5, 2022~~

April 19, 2022

REGA Engineering Inc.

Dan Rosenthal

601 Old Cheney Road, Suite A

Lincoln, NE 68512

RE: Rocket Carwash

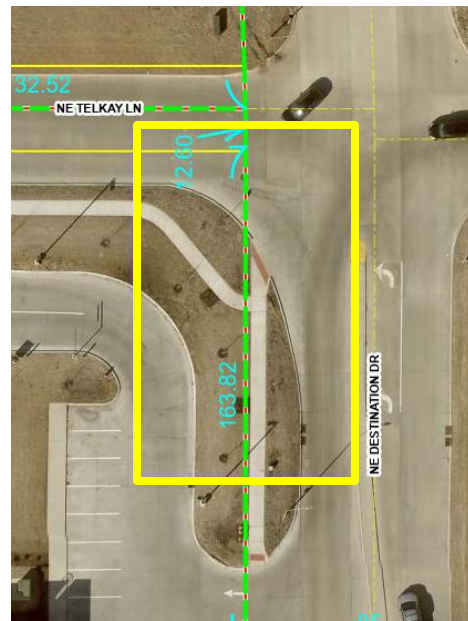
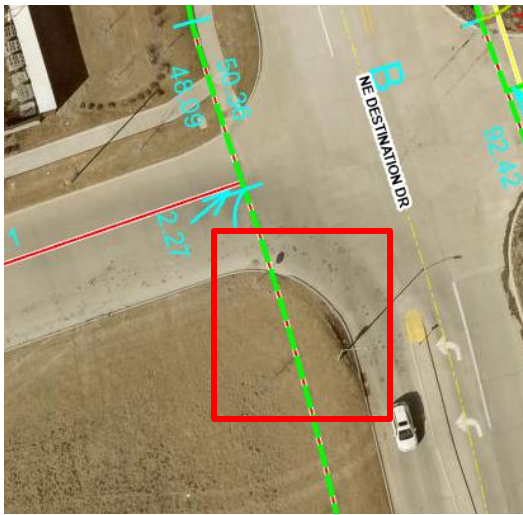
Dear Mr. Rosenthal,

The Development Services Department is in receipt of a proposed Site Plan for the Rocket Carwash. Based on the review of the provided submittal materials, staff have the following comments:

General Comments:

1. Provide a Storm Water Management Plan. Please include how the proposed site fits within the requirements set within the Menards SWMP and how you will remedy it if the requirements are not met.
2. ~~Add Grimes Standard Notes.~~
3. ~~Call out Street Names.~~
4. ~~Clean up details and labeling.~~
5. Provided a Grading Plan. **Please change title of C1.04 to Grading Plan.**
6. Show transformer location on all sheets.
7. Please provide a sound study for the tunnel carwash. Staff would prefer that the study analyze nonideal conditions (ex. Pickup truck rather than compact car).
8. ~~Provide grading sheet.~~ Include details for all ramps and ADA parking with slopes and cross slopes labeled. **Please include spot elevations as well.**
9. Provide detail for vacuum stations, pay kiosks, and pay station canopy. **Please provide building elevations for the canopy.**

10. ~~Provide dumpster enclosure and vacuum equipment enclosures.~~
11. Label transformer location on all sheets. Has Mid-American approved the proposed location?
12. Please widen the entrance radius shown (red square). There have been occurrences where trucks are cutting into the ramping. Please view Starbuck's widening onto NE Destination Dr (yellow square) as an example.



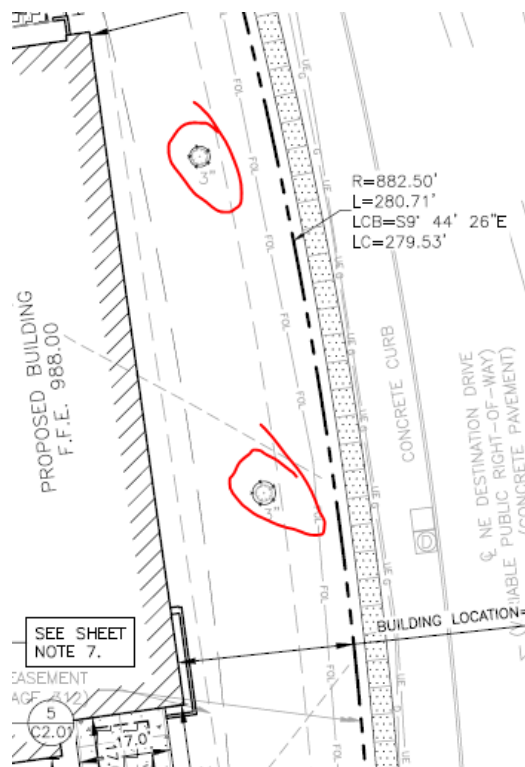
Sheet C1.00

1. ~~Add Utility contacts.~~
2. ~~Specify that the property is within Zone 2 of the Highway 141 overlay district.~~
3. Update maximum site coverage within the Zoning Information Table. A minimum of 15% open space is required. **The PERCENTAGE OF REQUIRED GREEN SPACE provides the accurate minimum and proposed green space – please update the Min. Site Coverage row within the Zoning Information table with those percentages.**

Sheet C1.02

1. ~~Please provide the setback line and dimensions from the internal pavement to the private street.~~
2. ~~Complete Parking Requirements Calculations.~~
3. ~~Match Detail callouts with Plans.~~

4. ~~Match Jointing with transition from 7" to 6"~~
5. ~~Sidewalk pavement along NE Destination Drive shall be 6" thick for the ramp and turning space.~~
6. ~~Dimension all sidewalks, drive lanes, and stripped areas.~~
7. ~~Please provide a man door and corresponding pad/exit way from the tunnel.~~
8. ~~Fill in parking requirements. The cover sheet notes 4-5 employees will be on site but only 3 stalls are provided. Please revise.~~
9. ~~Are vacuums going to be available at the employee stalls as well?~~
10. ~~Pole signs are not permitted. Please remove reference.~~
11. ~~Please add the pavement type at the tunnel entrance and exit to the legend.~~
12. ~~Label proposed square footage of the building.~~
13. ~~What are the circular symbols highlighted below along NE Destination Dr?~~



Sheet C1.04

- ~~1. Specify boring or open cut for water and gas main crossing the concrete drives.~~
- ~~2. Provide a minimum of 5 foot separation between the gas service and water service.~~
- ~~3. Callout surface and flowline elevations for the storm sewer.~~
- ~~4. Callout surface elevation for proposed hydrants.~~
5. Know box required at main entrance.
6. Provide water shut off valve 5' from building.
7. Please highlight or darken the sanitary sewer easement so it is easier to locate on the map.

Sheet 1.05

1. Change reference to Storm Water Prevention Pollution Plan to Storm Water Pollution Prevention Plan. **Storm Water Pollution Prevention Plan is the accurate wording. Please change this on the bottom right header, and in SWPPP 1.**
- ~~2. Specify Stock pile location.~~
3. We strongly suggest for the pit to provide bags or a roll-off container.

Sheet 2.01

- ~~1. Detail 7 Provide a dimension for the stripped aisle adjacent to the H/C stall.~~

L1.00

- ~~1. Is the shrub bed ground cover rock?~~
2. Label transformer location. Transformer to be screened from NE Destination Dr.
- ~~3. On the south side of the site, please shift trees at least 5' away from the hydrant and sanitary service.~~
4. Please provide required ROW tree and shrub plantings and provide the calculations for along NE Destination Dr. See 12-11-1 16.3 The two pavement areas at the tunnel entrance and exit can be used to calculate the tree requirements. Please place planting

close the pavement to keep plantings outside of the sanitary easement. Please move the two shademaster honeylocust trees within the sanitary sewer easement more to the left – closer to the pavement.

5. Please provide required open space planting calculations. See 12-11-1 16.9. Please include the open space planting calculations. Please also list the minimum 15% open space and proposed 29.4% open space on this page as well.

Elevations

1. ~~Please show man door on elevations drawings to correspond to the comment #7 for C1.02.~~
2. ~~Label glazing percentage along NE Destination Dr. 20% minimum required.~~
3. ~~Please revise label for the polycarbonate. GL 4 is labeled next to the material picture but the legend shows GL 3.~~
4. ~~Provide list of 5 treatments demonstrated on the building. See 12 11 1 24.1.B.2 of the zoning regulations.~~
5. ~~Any roof mounted mechanical units need to be screened from view.~~
6. ~~Label any electric/gas meter locations on the elevations.~~
7. ~~Will the polycarbonate be trans parent or translucent? Will the internal framing of the structure be visible? Please provide detail showing the internal structure, if visible.~~

Photometric Plan:

1. ~~Please label foot candle measurements across the site.~~
2. ~~Are the 10 and 10E lights under the canopy?~~
3. ~~Is lighting proposed within the tower? Please provide details.~~
4. Are any colored or changing lights proposed? Please provide all lighting details to be presented to P&Z/Council. Anything not presented/changed may need to return to P&Z/Council for approval.

Please provide a letter addressing all comments on this comment letter and/or state what was modified on the site plan to address said comments.

SITE PLAN SUBMITTAL SCHEDULE:

SUBMITTAL DATE: ~~April 11, 2022~~
April 25, 2022
(1 PDF of Site plan with Elevation Plan included)

PLANNING & ZONING: May 4th at 5:30

COUNCIL MEETING: May 24th at 5:30

Please feel free to contact me at mmannel@grimesiowa.gov or at (515) 986-4050 if you have any questions or need additional information.

Sincerely,

Molly Mannel
Assistant Planner

City of Grimes Standard Notes for Site Plans:

1. General Notes:

- All work shall be done in accordance with the current version of the Iowa Statewide Urban Design and Specifications for Public Improvements on the date of approval and the City of Grimes Supplemental Specifications.
- A preconstruction meeting is required prior to the start of construction. The Contractor shall be responsible to coordinate this meeting. Contact City of Grimes Engineering Dept. (515-586-4050).
- All permits (IDNR, SWP, IDOT, Army Corp., etc.) shall be obtained prior to the start of construction.
- The Developer and/or Contractor shall be responsible to provide the City of Grimes with Record Drawings of all improvements as per City standard procedures.
- Typical Building Service Layout to reflect the City's service order from left to right facing the lot, Sanitary, Water, Sump.
- A Knox box is required by the fire department and shall be obtained at Knoxbox.com.
- All site lighting shall not spill onto adjacent properties or right-of-ways.
- Provide a 4-year maintenance bond for all public improvements.

2. Sanitary Sewer Notes:

- The Contractor is required to place a temporary plug in the existing downstream sanitary sewer manhole prior to the start of construction. The plug shall be removed following approval of construction by the City of Grimes.
- Sanitary gravity pipe material shall be PVC SDR 26 or Trus (8" to 15").
- Sanitary gravity service pipe material shall be PVC SDR 23.5 (4" to 6").
- All sanitary sewer manholes shall have steps.
- All sanitary sewer manholes castings shall be sealed with Heat Shrink Sleeves.
- All sanitary sewer manhole castings located within pavement shall be Type B: PCCSN(W)/Adjusting Mechanism.
- Sanitary Sewer testing, cleaning & televising shall be completed prior to paving. The sewer system shall be flushed with water prior to televising.

3. Water Main Notes:

- All fire hydrants shall be American Flow Control-Waterous Pacer WB-67-250, Mueller Super Centurion 250 (3-way A-423), or Clow Medallion F-2545. All hydrants shall have the following: 6" MI Shoe, 2-1/2" Hose Nozzle, 4-1/2" Steamer Nozzle, NST Threads, Pentagon Operating Nut, Chain on cap, open left, 5-1/2" bury, and factory painted red. The minimum spool pipe length from auxiliary valve to hydrant shoe shall be 2.0'.
- All hydrants will immediately be covered with a black plastic bag (or equivalent) once the hydrant is installed. The City of Grimes will notify the Contractor when the bags can be removed.
- A tracer wire receptacle shall be installed at each hydrant, AA Manufacturing Tracer Wire Receptacle Model TW-18-2.
- All valves shall be resilient wedge gate valves.
- Water service shall be 1-inch residential, 2" Commercial minimum type K copper.
- Proposed Water Main shall be pressure tested and chlorinated by the Developer. The filling of the water main shall be done by the City of Grimes. The Bacteria test and submittal of test to lab shall be done by the Developer and results provided to the City of Grimes Engineering Dept. and by FAX to US Water at 515-986-7500. If the test does not pass, the Contractor will be required to pay for all the water used to repeat the test.
- All watermain fittings to be restrained joint, Mega-Lug or approved equal.

4. Storm Sewer Notes:

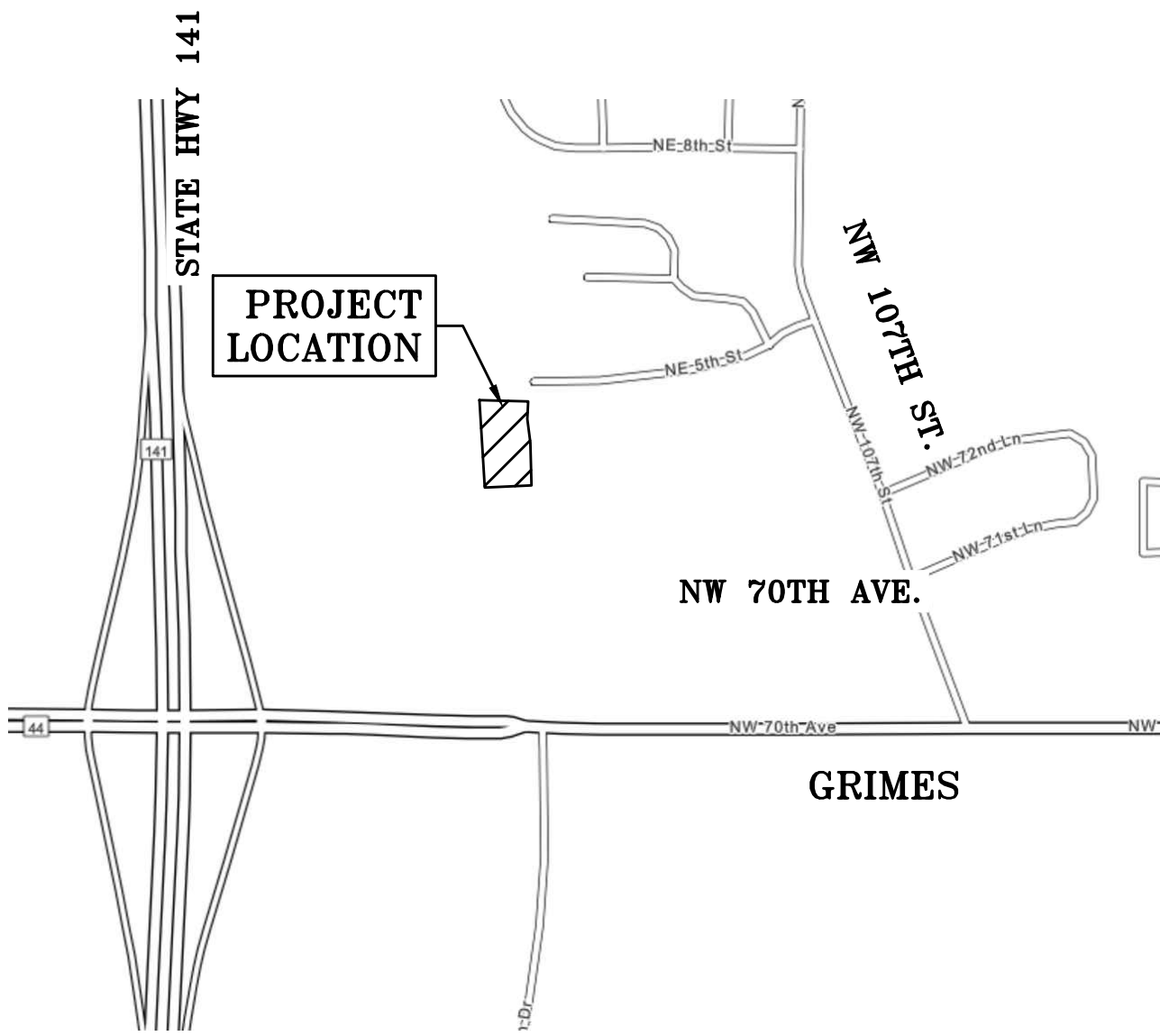
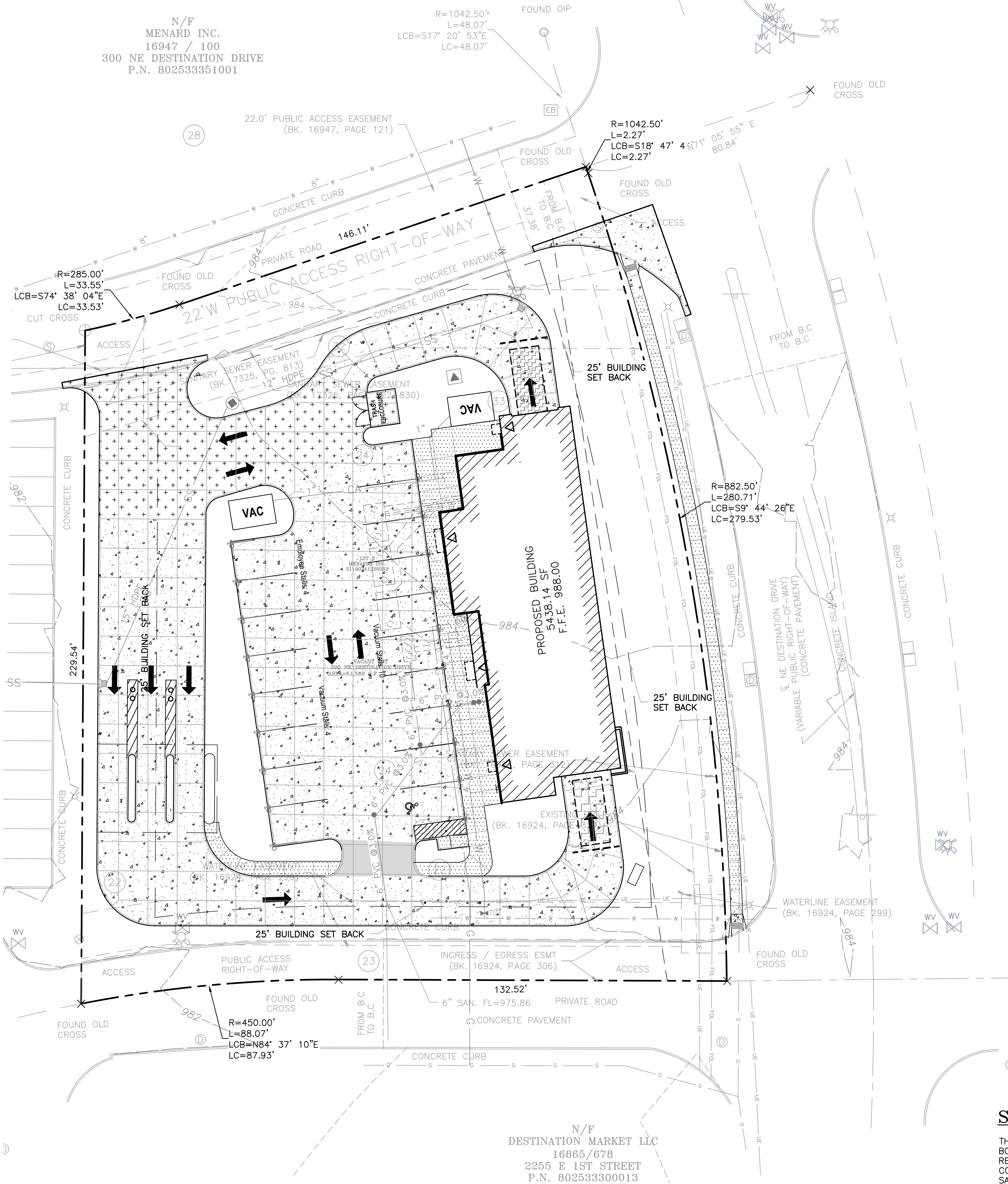
- All storm sewer in the ROW shall be RCP, unless otherwise approved by the City.

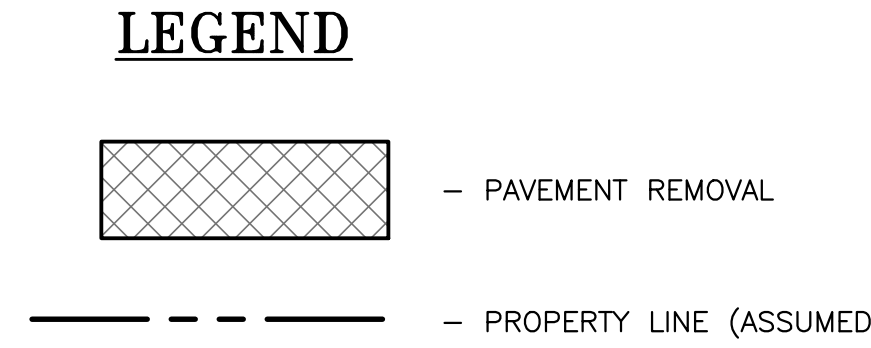
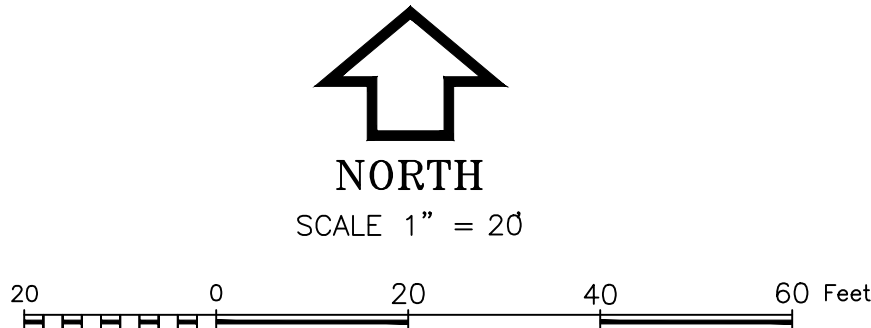
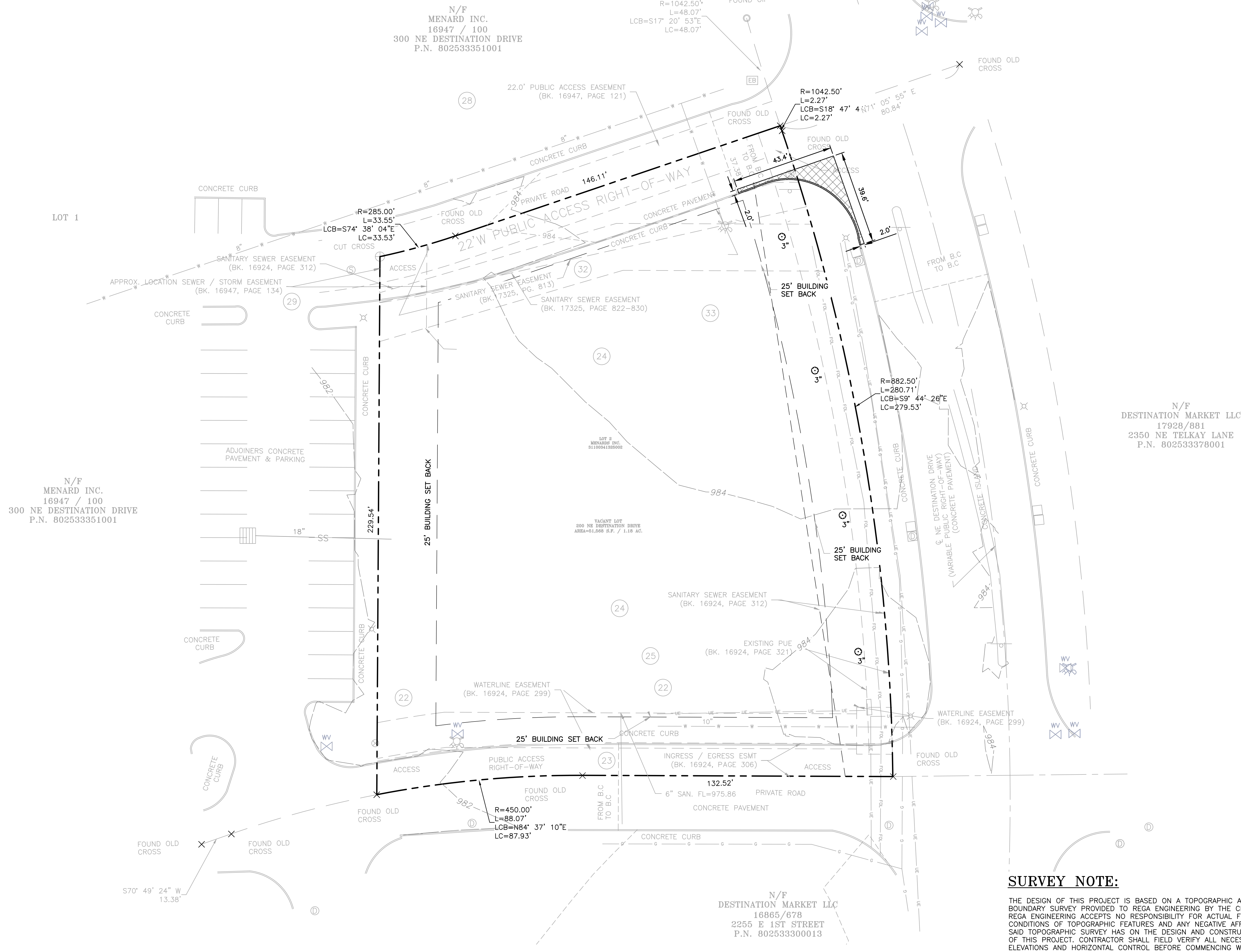
- All flared end sections shall have footings and apron grates. The last 3 pipe sections and the flared end section on all culverts shall be tied. All storm sewer joints shall be wrapped with engineering fabric.
- The Contractor is responsible for repairing any field tile damaged during construction. The tile should be directed to public storm sewer if possible. The Contractor shall record the elevation and location of all tiles.
- Storm Sewer cleaning & televising shall be completed prior to paving. The sewer system shall be flushed with water prior to televising.
- Use O ring gaskets on storm sewers crossing over watermain per IDNR requirement.

5. Signage Notes:

- All signage shall be supplied and installed by the Developer.
- All sign posts shall be Telespar 2"x2" square tube galvanized steel (14-gauge min.) with 7/16" knock-out style perforations that are pre-punched.

N/F
MENARD INC.
16947 / 100
300 NE DESTINATION DRIVE
P.N. 802533351001

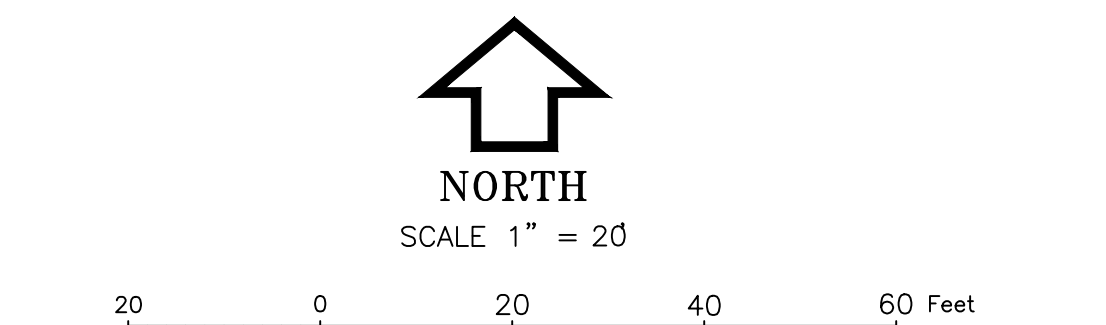




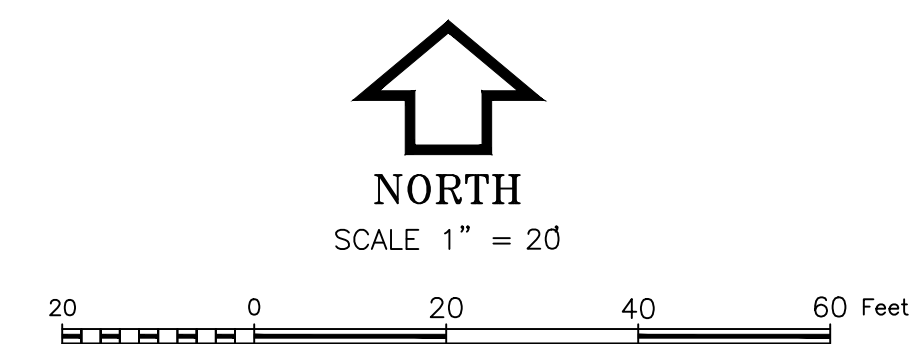
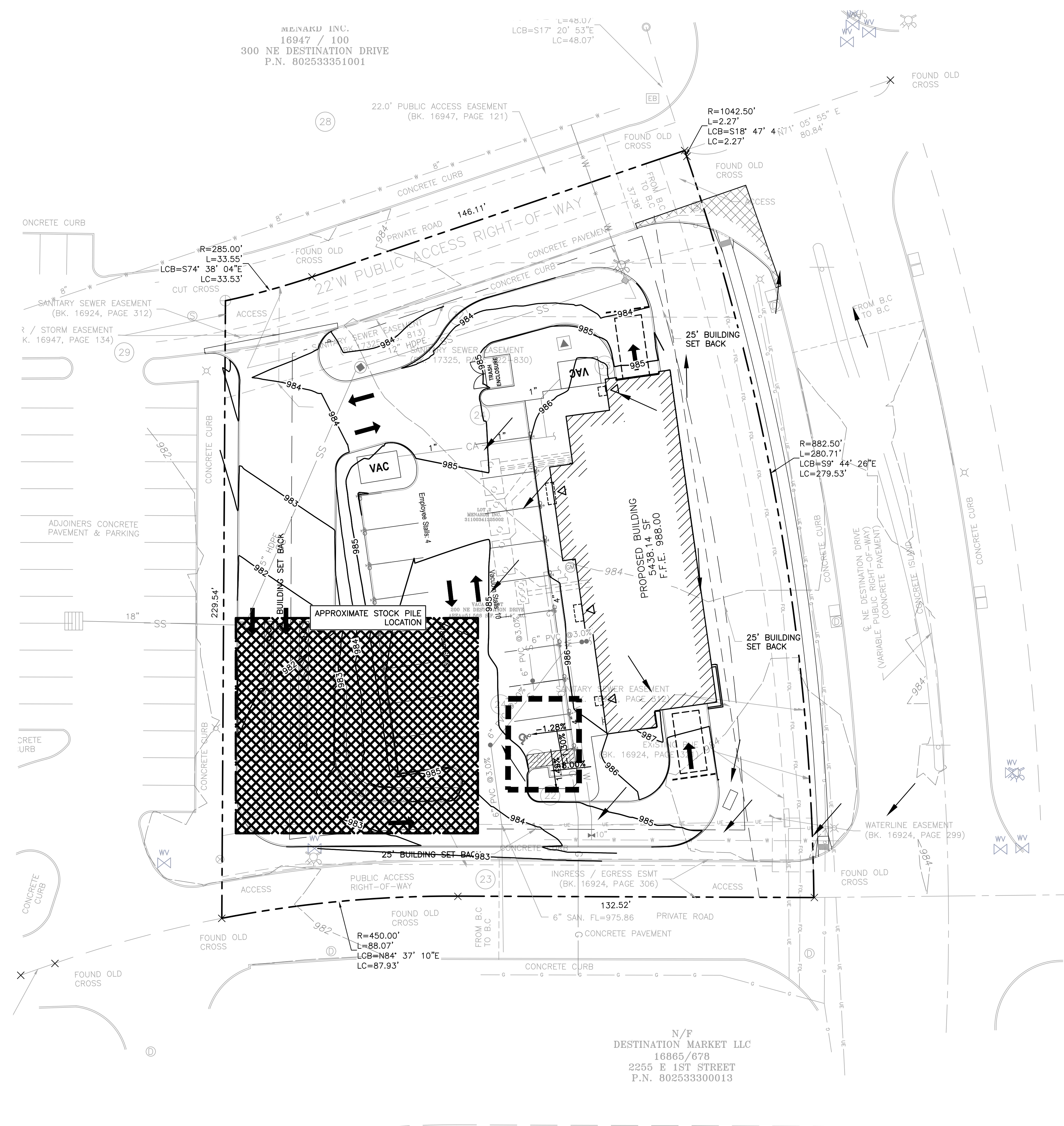
SURVEY NOTE:

THE DESIGN OF THIS PROJECT IS BASED ON A TOPOGRAPHIC AND BOUNDARY SURVEY PROVIDED TO REGA ENGINEERING BY THE CLIENT. REGA ENGINEERING ACCEPTS NO RESPONSIBILITY FOR ACTUAL FIELD CONDITIONS OF TOPOGRAPHIC FEATURES AND ANY NEGATIVE AFFECTS SAID TOPOGRAPHIC SURVEY HAS ON THE DESIGN AND CONSTRUCTION OF THIS PROJECT. CONTRACTOR SHALL FIELD VERIFY ALL NECESSARY ELEVATIONS AND HORIZONTAL CONTROL BEFORE COMMENCING WORK.



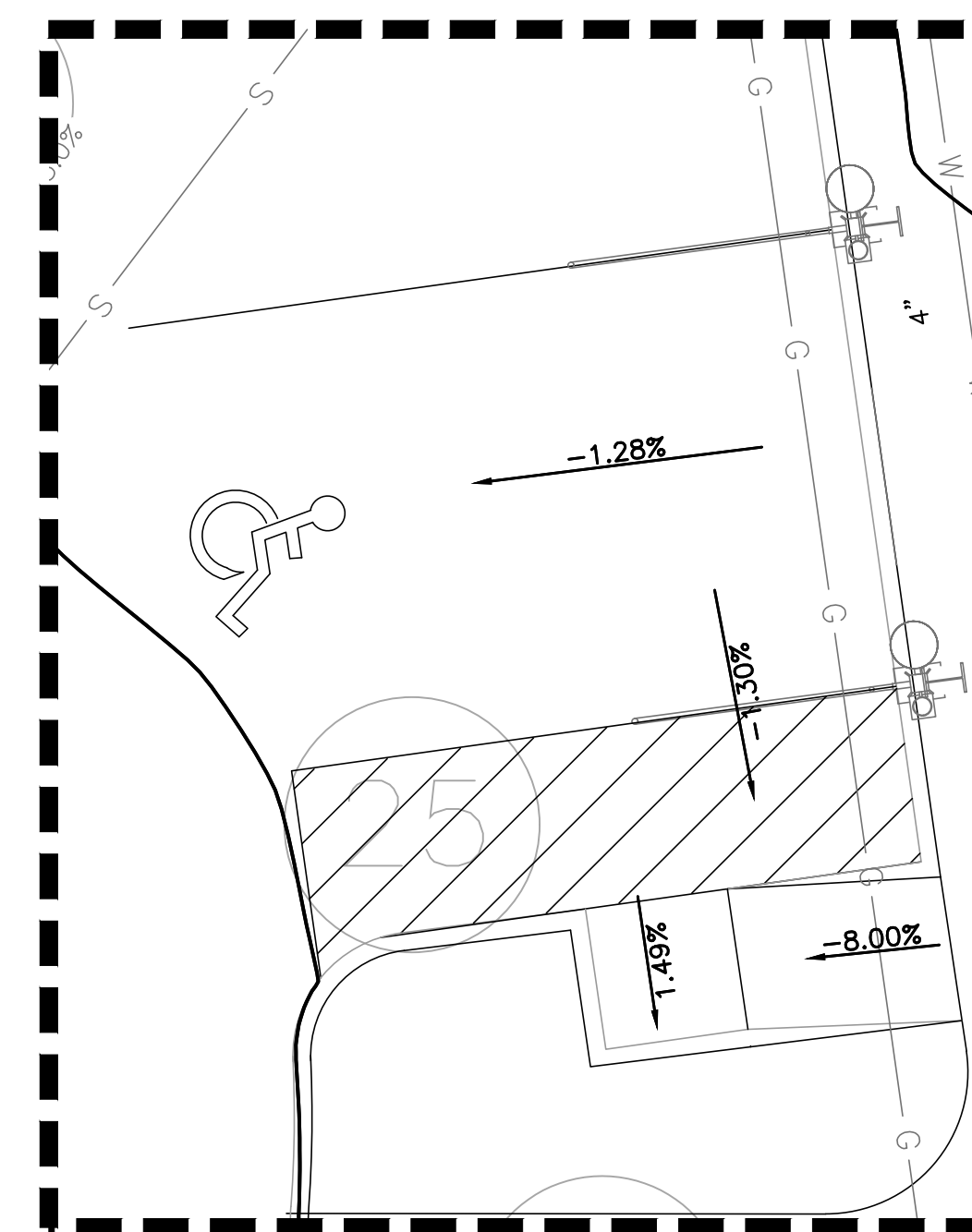






LEGEND

- PROPERTY LINE
- - - 984 - - - EXISTING CONTOURS
- 985 — PROPOSED CONTOURS
- TRC XXXX.XX — TOP OF ROLLOVER CURB
- TC XXXX.XX — TOP OF CURB SPOT ELEVATION
- GUT XXXX.XX — CURB GUTTER ELEVATION
- P XXXX.XX — PAVEMENT SPOT ELEVATION
- G XXXX.XX — SPOT GROUND ELEVATION
- TW XXXX.XX — TOP OF WALL SPOT ELEVATION
- BW XXXX.XX — BOTTOM OF RETAINING WALL (FINISH GRADE AT FACE OF WALL)
- TC MATCH — TOP OF CURB TO MATCH TOP OF CURB EXISTING ELEVATION
- P MATCH — PAVEMENT TO MATCH EXISTING PAVEMENT ELEVATION
- DIRECTION OF FLOW



ENLARGED PLAN VIEW #1
SCALE : 1"=5'

SHEET NOTES:

1. ALL UTILITIES TERMINATE 5'-0" OUTSIDE BUILDING. FOR CONTINUATION INSIDE BUILDING, SEE MECH./ELEC. PLANS.
2. CONTRACTOR SHALL COORDINATE GAS LINE AND GAS METER CONNECTIONS WITH BLACK HILLS ENERGY.
3. CONTRACTOR TO VERIFY ALL LOCATIONS OF UTILITIES BEFORE BORING AND TRENCHING.
4. CONTRACTOR TO FIELD VERIFY ALL UTILITIES IF CONFLICT OCCURS BETWEEN EXISTING AND PROPOSED CONTACT ENGINEER BEFORE BUILDING.
5. CONTRACTOR SHALL OPEN CUT ALL UTILITIES UNLESS OTHERWISE NOTED.

SURVEY NOTE:

THE DESIGN OF THIS PROJECT IS BASED ON A TOPOGRAPHIC AND BOUNDARY SURVEY PROVIDED TO REGA ENGINEERING BY THE CLIENT. REGA ENGINEERING ACCEPTS NO RESPONSIBILITY FOR ACTUAL FIELD CONDITIONS OF TOPOGRAPHIC FEATURES AND ANY NEGATIVE AFFECTS SAID TOPOGRAPHIC SURVEY HAS ON THE DESIGN AND CONSTRUCTION OF THIS PROJECT. CONTRACTOR SHALL FIELD VERIFY ALL NECESSARY ELEVATIONS AND HORIZONTAL CONTROL BEFORE COMMENCING WORK.



SANITARY WASTE MANAGEMENT
SM-1

DESCRIPTION AND PURPOSE
PROPER SANITARY WASTE MANAGEMENT PREVENT THE DISCHARGE OF POLLUTANTS TO STORMWATER FROM SANITARY WASTE BY PROVIDING CONVENIENT, WELL-MAINTAINED FACILITIES, AND ARRANGING FOR REGULAR SERVICE AND DISPOSAL.

SUITABLE APPLICATIONS
SANITARY WASTE MANAGEMENT PRACTICES ARE SUITABLE FOR USE AT ALL CONSTRUCTION SITES THAT USE TEMPORARY OR PORTABLE SANITARY WASTE SYSTEMS.

LIMITATIONS
NONE IDENTIFIED.

IMPLEMENTATION
ONLY CONTRACT WITH A SUPPLIER OF TEMPORARY SANITARY WASTE FACILITIES THAT DISPOSES OF OR TREATS THE WASTE IN ACCORDANCE WITH STATE AND LOCAL REQUIREMENTS.

- TEMPORARY SANITARY FACILITIES WILL BE LOCATED AWAY FROM DRAINAGE FACILITIES, WATERCOURSES AND FROM TRAFFIC CIRCULATION, AND IN A CONVENIENT LOCATION.
- WHEN SUBJECTED TO HIGH WINDS OR RISK OF HIGH WINDS, TEMPORARY SANITARY FACILITIES WILL BE SECURED TO PREVENT OVERTURNING.
- WASTEWATER WILL NOT BE DISCHARGED OR BURIED WITHIN THE PROJECT SITE.
- SANITARY FACILITIES WILL BE MAINTAINED IN GOOD WORKING ORDER BY A LICENSED SERVICE.
- REGULAR WASTE COLLECTION BY A LICENSED HAULER WILL BE ARRANGED BEFORE FACILITIES OVERFLOW.

EDUCATION

- EMPLOYEES, SUBCONTRACTORS, AND SUPPLIERS WILL BE EDUCATED ON SANITARY WASTE STORAGE, DISPOSAL PROCEDURES AND THE POTENTIAL DANGERS TO HUMANS AND THE ENVIRONMENT FROM SANITARY WASTES.
- A CONTINUING EDUCATION PROGRAM WILL INDOCTRINATE NEW EMPLOYEES.

INSECTION AND MAINTENANCE

- INSPECT AND VERIFY THAT TEMPORARY SANITARY FACILITIES ARE IN PLACE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION ACTIVITIES. WHILE CONSTRUCTION ACTIVITIES ARE UNDER WAY, INSPECT WEEKLY.
- ARRANGE FOR REGULAR WASTE COLLECTION.
- IF HIGH WINDS ARE EXPECTED, PORTABLE SANITARY FACILITIES WILL BE SECURED WITH SPIKES OR WEIGHED DOWN TO PREVENT OVER TURNING.

SOLID WASTE MANAGEMENT
SM-2

DESCRIPTION AND PURPOSE
SOLID WASTE MANAGEMENT PROCEDURES AND PRACTICES HAVE BEEN DESIGNED TO PREVENT OR REDUCE THE DISCHARGE OF POLLUTANTS TO STORMWATER FROM SOLID OR CONSTRUCTION WASTE BY PROVIDING DESIGNATED WASTE COLLECTION CONTAINERS, ARRANGING FOR REGULAR DISPOSAL, AND TRAINING EMPLOYEES AND SUBCONTRACTORS.

SUITABLE APPLICATIONS

- SOLID WASTE GENERATED FROM TREES AND SHRUBS REMOVED DURING LAND CLEARING, DEMOLITION OF EXISTING STRUCTURES (RUBBLE), AND BUILDING CONSTRUCTION.
- SCRAP OR SURPLUS CONSTRUCTION WASTES AND BUILDING MATERIALS INCLUDING SCRAP METALS, RUBBER, PLASTIC, GLASS PIECES, PACKAGING MATERIALS AND MASONRY PRODUCTS.
- DOMESTIC WASTES INCLUDING FOOD CONTAINERS SUCH AS BEVERAGE CANS, COFFEE CUPS, PAPER BAGS, PLASTIC WRAPPERS, AND CIGARETTES.

LIMITATIONS

- TEMPORARY STOCKPILING OF CERTAIN CONSTRUCTION WASTES MAY NOT NECESSITATE STRINGENT DRAINAGE RELATED CONTROLS DURING THE NON-RAINY SEASON.

IMPLEMENTATION
THE FOLLOWING STEPS WILL BE DONE TO KEEP A CLEAN SITE AND REDUCE STORMWATER POLLUTION:

- USE ONLY WATERTIGHT DUMPSTERS ONSITE.
- PROVIDE AN ADEQUATE NUMBER OF CONTAINERS WITH LIDS OR COVERS TO KEEP RAIN OUT AND TO PREVENT LOSS OF WASTES WHEN IT IS WINDY.
- LOCATE CONTAINERS IN A COVERED AREA OR IN A SECONDARY CONTAINMENT.
- COLLECT SITE LITTER REGULARLY, ESPECIALLY DURING RAINY AND WINDY CONDITIONS.
- ARRANGE FOR REGULAR WASTE COLLECTION BEFORE CONTAINERS OVERFLOW.
- CLEAN UP IMMEDIATELY IF A CONTAINER DOES SPILL.

EDUCATION

- PROHIBIT LITTERING BY EMPLOYEES, SUBCONTRACTORS, AND VISITORS.
- DUMPSTERS WILL BE LOCATED AT LEAST 50 FT FROM DRAINAGE FACILITIES AND WATERCOURSES AND WILL NOT BE LOCATED IN AREAS PRONE TO FLOODING OR PONDING.
- THE CONTRACTOR'S SUPERINTENDENT WILL OVERSEE AND ENFORCE PROPER SOLID WASTE MANAGEMENT PROCEDURES AND PRACTICES.
- THE CONTRACTOR'S SUPERINTENDENT WILL INSTRUCT EMPLOYEES AND SUBCONTRACTORS ON IDENTIFICATION OF SOLID WASTE AND HAZARDOUS WASTE.
- THE CONTRACTOR'S SUPERINTENDENT WILL REQUIRE THAT EMPLOYEES AND SUBCONTRACTORS FOLLOW SOLID WASTE HANDLING AND STORAGE PROCEDURES.
- THE CONTRACTOR'S SUPERINTENDENT WILL MAKE SURE THAT TOXIC LIQUID WASTES (USED OILS, SOLVENTS, AND PAINTS) AND CHEMICALS (ACIDS, PESTICIDES, ADDITIVES, CURING COMPOUNDS) ARE NOT DISPOSED OF IN DUMPSTERS DESIGNATED FOR CONSTRUCTION DEBRIS.

INSECTION AND MAINTENANCE

- THE CONTRACTOR'S SUPERINTENDENT WILL VERIFY THAT DUMPSTER IS IN BEFORE THE COMMENCEMENT OF ASSOCIATED ACTIVITIES. WHILE ACTIVITIES ASSOCIATED WITH THE BMP ARE UNDERWAY, INSPECT WEEKLY TO VERIFY CONTINUED BMP IMPLEMENTATION.
- THE CONTRACTOR'S SUPERINTENDENT WILL INSPECT CONSTRUCTION DUMPSTER'S AREA REGULARLY.
- THE CONTRACTOR'S SUPERINTENDENT WILL ARRANGE FOR REGULAR WASTE COLLECTION.

MATERIAL DELIVERY AND STORAGE
SM-3

DESCRIPTION AND PURPOSE
PREVENT, REDUCE, OR ELIMINATE THE DISCHARGE OF POLLUTANTS FROM MATERIAL DELIVERY AND STORAGE TO THE STORMWATER SYSTEM, STREAMS OR LAKES BY STORING MATERIALS IN DESIGNATED AREAS, INSTALLING SECONDARY CONTAINMENT, CONDUCTING REGULAR INSPECTIONS, MINIMIZING THE STORAGE OF HAZARDOUS MATERIALS ONSITE, AND TRAINING EMPLOYEES AND SUBCONTRACTORS.

SUITABLE APPLICATIONS
THESE PROCEDURES WILL BE USED AT ALL CONSTRUCTION SITES WITH DELIVERY AND STORAGE OF ERODIBLE, HAZARDOUS, OIL BASED, OR OTHER POLLUTING MATERIALS.

IMPLEMENTATION
THE FOLLOWING STEPS WILL BE TAKEN TO MINIMIZE RISK.
DELIVERIES WILL BE LOCATED AWAY FROM TRAFFIC.

- MATERIAL DELIVERED AND STORED WILL BE LOCATED NEAR THE SITE ENTRANCES (LOT LEVEL NEAR PROPOSED DRIVE WAY) AND AWAY FROM AREA OR CURB INLETS, STREAMS, OR WATERWAYS.
- IF POSSIBLE DELIVERY AREAS WILL BE IN LOCATIONS THAT ARE TO BE PAVED.

STORAGE.

- TEMPORARY STORAGE WILL BE LOCATED AWAY FROM TRAFFIC.
- AN UP-TO-DATE INVENTORY OF ALL STORED MATERIAL WILL BE KEPT.
- CHEMICALS, DRUMS OR BAGGED MATERIAL WILL BE ON A PALLET, INSIDE A SECONDARY CONTAINMENT (EARTHEN DIKE, HORSE TROUGH, OR WADING POOL FOR NON-REACTIVE MATERIALS).
- CHEMICALS WILL BE KEPT IN THEIR ORIGINAL CONTAINERS.

PRACTICES

- AN AMPLE SUPPLY OF APPROPRIATE SPILL CLEAN UP MATERIAL WILL BE KEPT NEAR STORAGE AREAS.
- DRUMMED, BARRELED, OR BAGGED MATERIALS WILL BE INDOORS WITHIN EXISTING STRUCTURES WHEN AVAILABLE.
- A TEMPORARY CONTAINMENT FACILITY WILL:
 - * BE DESIGNED TO PROVIDE FOR A SPILL OF 10% OF THE TOTAL STORED, OR 100% OF THE CAPACITY OF THE LARGEST CONTAINER, WHICHEVER IS GREATER.
 - * BE DESIGNED SO THAT MATERIAL USED TO CONTAIN A SPILL SHOULD BE IMPERVIOUS TO THE STORED MATERIAL FOR A MINIMUM CONTACT TIME OF 72 HOURS.
 - * BE MAINTAINED FREE OF SPILLS OR ACCUMULATED RAINFALL.
 - * HAVE SPACE BETWEEN THE STORED MATERIAL, AND ACCESS FOR EMERGENCY RESPONSE.
 - * NOT STORE INCOMPATIBLE MATERIALS (I.E. AMMONIA & CHLORINE) IN THE SAME CONTAINMENT.
 - * DRUMS, BARRELS OR BAGS, STORED OUTDOORS, WILL BE TAPED DURING NON-WORKING HOURS.
- STOCK PILES WILL BE LOCATED A MINIMUM OF 50FT FROM CONCENTRATED FLOWS IN STORMWATER, DRAINAGE COURSES, AND UNPROTECTED INLETS (AREA OR CURB)
 - * ACTIVE STOCKPILES WILL BE PROTECTED IN ACCORDANCE WITH THE FOLLOWING PRACTICES:
 - * RUNOFF WILL BE CONTROLLED USING BERMS, DIKES, FIBER ROLES, SILT FENCE OR OTHER APPROPRIATE CONTROLS.
 - * INACTIVE STOCKPILES WILL BE PROTECTED IN ACCORDANCE WITH THE FOLLOWING PRACTICES:
 - * STOCKPILES WILL BE VEGETATIVELY COVERED OR TARPED.
 - * RUNOFF WILL BE CONTROLLED USING BERMS, DIKES, FIBER ROLES, SILT FENCE OR OTHER APPROPRIATE CONTROLS.

EDUCATION

- EMPLOYEES, SUBCONTRACTORS AND SUPPLIERS WILL BE EDUCATED ON DELIVERY AND STORAGE PROCEDURES AND THEIR RESPONSIBILITIES.

INSECTION AND MAINTENANCE

- INSPECTIONS WILL BE CONDUCTED TO VERIFY THAT ALL MEASURES ARE IN PLACE AND FUNCTIONING.
- REPAIRS &/OR REPLACEMENT OF CONTROLS AND COVERS AS NEEDED.

SITE INFORMATION			
ROCKET CARWASH - GRIMES, IA.		200 NE DESTINATION DRIVE	
Project Name		Address	
-		GRIMES POLK	
Subdivision Name		City County	
41° 41' 23.6"N	93° 46' 10.7" W	IOWA	50111
Latitude	Longitude	State	Zip Code
Total Site Area (Acres)	1.18 Ac.		
Disturbed Area (Acres)	1.03 Ac.		
Undisturbed Area (Acres)	0.15 Ac.		
Impervious Area Before Construction (%)	0	Runoff Coefficient Before Construction	0.42
Impervious Area After Construction (%)	70%	Runoff Coefficient After Construction	0.76

CONSTRUCTION ACTIVITIES & SCHEDULE	
ACTIVITY	SCHEDULE
INSTALL ALL BMP'S NEEDED AND ASSOCIATED WITH THE GRADING PHASE SUCH AS STABILIZED CONSTRUCTION ENTRANCES, SILT BASINS, RISER PIPES, OUTLET PIPES, SILT TRAPS, SILT FENCE, DIVERSIONS, TERRACES, AND ETCETERA.	PRIOR TO ANY STRIPPING OF EXISTING VEGETATION OR GRADING.
PROCEED WITH STRIPPING OF EXISTING VEGETATION AND GRADING IN ACCORDANCE WITH THE GRADING PLAN BUT DISTURBING NO MORE THAN IS NECESSARY.	AFTER INSTALLING ALL BMP'S NEEDED AND ASSOCIATED WITH THE GRADING PHASE. FURTHERMORE, INSPECTOR APPROVAL MUST BE OBTAINED BEFORE THE START OF ANY STRIPPING OF EXISTING VEGETATION OR GRADING
PROCEED WITH INFRASTRUCTURE INSTALLATION.	INFRASTRUCTURE INSTALLATION MUST OCCUR PRIOR TO ANY LOT DEVELOPMENT.
IMPLEMENT THE INSTALLATION OF TEMPORARY SEEDING, PERMANENT SEEDING, AND/OR MULCHING.	STABILIZATION MEASURES MUST BE INITIATED AS SOON AS POSSIBLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED.
IMPLEMENT THE INSTALLATION ALL BMP'S NEEDED AND ASSOCIATED WITH THE BUILDING PHASE.	BUILDING PHASE BMP'S MUST BE INSTALLED CONCURRENTLY WITH LOT DEVELOPMENT.
PROCEED WITH REMOVAL OF BMP'S.	BMP'S MAY NOT BE REMOVED UNTIL EACH IMPACTED DRAINAGE BASIN HAS BEEN FULLY DEVELOPED. FULL DEVELOPMENT SHALL MEAN INSTALLATION OF PAVEMENTS, BUILDINGS, AND UTILITIES, LANDSCAPING, AND FULLY ESTABLISHED PERMANENT SEEDING. FURTHERMORE, INSPECTOR APPROVAL MUST BE OBTAINED BEFORE THE REMOVAL OF ANY BMP'S.

GENERAL NOTES:

- UNLESS OTHERWISE INDICATED, ALL VEGETATIVE AND STRUCTURAL EROSION AND SEDIMENT CONTROL PRACTICES AND STORM WATER MANAGEMENT PRACTICES WILL BE CONSTRUCTED AND MAINTAINED ACCORDING TO THE MINIMUM STANDARDS AND SPECIFICATIONS OF THE IOWA DNR GENERAL PERMIT, OR THE FEDERAL WATER POLLUTION CONTROL ACT AND THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES).
- FOLLOWING SOIL DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN (7) CALENDAR DAYS TO THE SURFACE OF ANY PERIMETER SEDIMENT CONTROLS, TOPSOIL STOCKPILES, AND ANY OTHER DISTURBED AREAS ON WHICH ACTUAL EARTH MOVING ACTIVITIES ARE BEING PERFORMED.
- THIS EROSION CONTROL PLAN MEETS OR EXCEEDS THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) STANDARDS. THE OWNER OR THE OWNERS AGENT SHALL BE RESPONSIBLE FOR ALL PERMIT FEES AS REQUIRED FOR REVIEW AND ACCEPTANCE PRIOR TO BEGINNING ANY CONSTRUCTION. IT SHALL BE THE OWNERS RESPONSIBILITY WHETHER A CONTRACTOR INSTALLS THE EROSION CONTROL MEASURES TO HAVE THE SILT FENCE, CONSTRUCTION ENTRANCE AND OTHER EROSION CONTROL MEASURES EITHER SHOWN ON THE PLANS, LISTED OR AS DETERMINED BY THE LOCAL GOVERNING BODY. IF INSTALLED PRIOR TO ANY CONSTRUCTION OPERATIONS BEGINNING, IT SHALL BE THE OWNERS RESPONSIBILITY TO HAVE THE SILT FENCE, CONSTRUCTION ENTRANCE AND OTHER EROSION CONTROL MEASURES EITHER SHOWN ON THE PLANS, LISTED OR AS DETERMINED BY THE LOCAL GOVERNING BODY INSPECTED TO IDENTIFY MAINTENANCE NEEDS AND/OR STORM WATER POLLUTION PREVENTION PLAN (SWPPP), AND UPON INITIATION OF CONSTRUCTION ACTIVITIES, BEGIN A ROUTINE MONITORING FREQUENCY THAT DOES NOT EXCEED 7 DAYS. A SITE INSPECTION IS REQUIRED WHENEVER A RAINFALL TOTAL OF 0.25 INCHES OR GREATER IS OBSERVED BASED A SINGLE MONITORING EVENT; OR BASED ON THE CUMULATIVE TOTAL OF TWO CONSECUTIVE MONITORING EVENTS WHEN THE RAINFALL TOTAL OF THE FIRST MONITORING EVENT IS LESS THAN 0.25 INCHES. THE OWNER SHALL MAINTAIN THE SITE INSPECTION REPORTS ON-SITE OR AT THE RECORDS STORAGE LOCATION IDENTIFIED IN THE NOI. THE OWNER SHALL PROVIDE A COPY OF THE SITE INSPECTION REPORTS TO KDHE OR EPA UPON REQUEST. ANY NECESSARY REPAIRS OR CLEAN UP TO MAINTAIN THE EFFECTIVENESS OF THE BEST MANAGEMENT PRACTICES SHALL BE MADE WITHIN 7 CALENDAR DAYS BY THE CONTRACTOR ON SITE. THIS MINIMUM INSPECTION FREQUENCY DOES NOT RELIEVE THE OWNER OF MAINTENANCE RESPONSIBILITIES DURING INTERIM PERIODS.
- THE UNDERSIGNED CERTIFIES THIS PLAN HAS BEEN DESIGNATED IN ACCORDANCE WITH FEDERAL NPDES GUIDELINES AND APPROVED EROSION, SEDIMENT AND STORM WATER ORDINANCES, PROGRAMS, REGULATIONS, STANDARDS AND CRITERIA OF THE CITY OF GRIMES AND THE IOWA DNR.

STREET CLEANING / SWEEPING
SM-4

DESCRIPTION AND PURPOSE
STREET CLEANING AND MAINTENANCE INCLUDES THE USE OF FRONT-END LOADERS, SHOVELS AND SWEEPERS TO REMOVE TRACKED SEDIMENT FROM THE STREETS AND PAVED SURFACES. STREET CLEANING PREVENTS SEDIMENT FROM ENTERING STORM DRAINS AND LOADING SEDIMENT BASINS AND /OR RECEIVING STREAMS.

SUITABLE APPLICATIONS
STREET CLEANING WILL BE DONE ANYWHERE SEDIMENT IS TRACKED FROM A SITE ONTO A PUBLIC OR PRIVATE PAVED STREET OR SURFACE, TYPICALLY AT POINTS OF ENTRY. FLUSHING SEDIMENT OFF OF THE SURFACE INTO THE STORM SYSTEM WILL NEVER BE AN ACCEPTABLE PRACTICE.

IMPLEMENTATION
THE FOLLOWING STEPS WILL BE TAKEN TO KEEP THE STREETS CLEAN:

- ACCESS POINTS WILL BE LIMITED AND CONTROLLED, THIS ALLOWS CLEANING EFFORTS TO BE FOCUSED AND EFFECTIVE.
- ENTRANCE POINTS WILL BE EVALUATED DAILY FOR TRACK-OUT.
- VISIBLE SEDIMENT TRACKING WILL BE CLEANED OR SWPT DAILY.
- KICK BROOMS OR DRY SWEEPING WILL NOT BE USED; THESE SPREAD THE DIRT, AND GENERATE DUST.
- IF SEDIMENT IS NOT MIXED WITH DEBRIS OR TRASH, IT WILL BE INCORPORATED BACK INTO THE PROJECT SITE.

EDUCATION

- EMPLOYEES, SUBCONTRACTORS AND SUPPLIERS WILL BE EDUCATED ON TRACK-OUT AND STREET CLEANING PROCEDURES, AND THEIR RESPONSIBILITIES.
- A CONTINUING EDUCATION PROGRAM WILL INDOCTRINATE NEW EMPLOYEES.

INSECTION AND MAINTENANCE
THE FOLLOWING STEPS WILL BE TAKEN:

- EVALUATE ACCESS POINTS DAILY FOR SEDIMENT TRACKING.
- WHEN TRACKED OR SPILLED SEDIMENT IS FOUND ON PAVED SURFACES, IT WILL BE REMOVED DAILY. DURING TIMES OF HEAVY TRACK-OUT, SUCH AS DURING RAINS, CLEANING MAY BE DONE SEVERAL TIMES THROUGHOUT THE DAY.
- UNKNOWN SPILLS OR OBJECTS WILL NOT BE MIXED WITH THE SEDIMENT.
- IF SEDIMENT IS MIXED WITH OTHER POLLUTANTS, IT WILL BE DISPOSED OF PROPERLY AT AN AUTHORIZED LANDFILL.

MAINTENANCE SCHEDULE

THE FOLLOWING MAINTENANCE SCHEDULE HAS BEEN PROVIDED. THE INSPECTOR MUST PERFORM THE INSPECTIONS. THE OPERATOR/CONTRACTOR SHALL ALSO PERFORM ALL NEEDED MAINTENANCE. FURTHERMORE, ALL EROSION CONTROL FEATURE REQUIRING MAINTENANCE MAY NOT BE LISTED BELOW. THE OPERATOR/CONTRACTOR AND INSPECTOR MUST PERFORM THEIR RESPECTIVE DUTIES ON ALL BMP'S THAT ARE NOT LISTED BELOW AS WELL.

- CONSTRUCTION ENTRANCE** - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE OR REMOVING OF EXISTING STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY STRUCTURES USED TO TRAP SEDIMENT. ALL MATERIALS SPILLED, DROPPED, WASHED OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY. THE USE OF WATER TRUCKS TO REMOVE MATERIALS, DROPPED, WASHED OR TRACKED ONTO ROADWAYS WILL NOT BE PERMITTED UNDER ANY CIRCUMSTANCE.
- STRAW BALE BARRIER** - THE MAINTENANCE MEASURES ARE AS FOLLOWS: (2.1) STRAW BALE BARRIERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL; (2.2) CLOSE ATTENTION SHALL BE PAID TO THE REPAIR OF DAMAGED BALES, END RUNS AND UNDERCUTTING BENEATH BALES; (2.3) NECESSARY REPAIRS TO BARRIERS OR REPLACEMENT OF BALES SHALL BE ACCOMPLISHED PROMPTLY; (2.4) SEDIMENT DEPOSITS MUST BE REMOVED WHEN THE LEVEL OF DEPOSITION REACHES APPROXIMATELY ONE/HALF THE HEIGHT OF ANY BARRIER; AND (2.5) ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE STRAW BALE BARRIER IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM TO THE EXISTING GRADE, PREPARED AND SEEDED.
- SILT FENCE** - THE MAINTENANCE MEASURES ARE AS FOLLOWS: (3.1) SILT FENCES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY; (3.2) CLOSE ATTENTION SHALL BE PAID TO THE REPAIR OF DAMAGED SILT FENCE RESULTING FROM END RUNS AND UNDERCUTTING; (3.3) SHOULD THE FABRIC ON A SILT FENCE DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USABLE LIFE AND THE BARRIER IS STILL NECESSARY, THE FABRIC SHALL BE REPLACED IMMEDIATELY; (3.4) SEDIMENT DEPOSITS MUST BE REMOVED WHEN THE LEVEL OF DEPOSITION REACHES APPROXIMATELY ONE/HALF THE HEIGHT OF ANY BARRIER; AND (3.5) ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT FENCE BARRIER IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM TO THE EXISTING GRADE, PREPARED AND SEEDED.
- STORM DRAIN INLET PROTECTION** - THE MAINTENANCE MEASURES ARE AS FOLLOWS: (4.1) STRUCTURES SHALL BE INSPECTED AFTER EACH RAIN AND REPAIRS MADE AS NECESSARY; (4.2) STRUCTURES SHALL BE REMOVED AND THE AREA STABILIZED WHEN THE REMAINING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.
- TEMPORARY DIVERSION DIKE** - THE MEASURE SHALL BE INSPECTED AFTER EVERY STORM AND REPAIRS MADE TO THE DIKE, FLOW CHANNEL, OUTLET OR SEDIMENT TRAPPING FACILITY, AS NECESSARY. ONCE EVERY TWO WEEKS, WHETHER A STORM EVENT HAS OCCURRED OR NOT, THE MEASURE SHALL BE INSPECTED AND REPAIRS MADE IF NEEDED. DAMAGES CAUSED BY CONSTRUCTION TRAFFIC OR OTHER ACTIVITY MUST BE REPAIRED BEFORE THE END OF EACH WORKING DAY.
- TEMPORARY FILTER STRIP** - SINCE THE PRACTICE IS TEMPORARY AND UNDER MOST SITUATIONS WILL BE COVERED THE NEXT WORKING DAY, THE MAINTENANCE REQUIRED SHOULD BE LOW. IF THE PRACTICE IS TO REMAIN IN USE FOR MORE THAN ONE DAY, AN INSPECTION SHALL BE MADE AT THE END OF EACH WORK DAY AND REPAIRS MADE TO THE MEASURE IF NEEDED. THE OPERATOR/CONTRACTOR SHOULD AVOID THE PLACEMENT OF IF MATERIAL ON THE STRUCTURE WHILE IT IS IN USE. CONSTRUCTION TRAFFIC SHOULD NOT BE PERMITTED TO CROSS THE DIVERSION.
- TEMPORARY SEDIMENT TRAP** - THE MAINTENANCE MEASURES ARE AS FOLLOWS: (7.1) SEDIMENT SHALL BE REMOVED AND THE TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO ONE HALF THE DESIGN VOLUME OF THE WET STORAGE. SEDIMENT REMOVAL FROM THE BASIN SHALL BE DEPOSITED IN SUCH A MANNER THAT IT WILL NOT ERODE AND CAUSE SEDIMENTATION PROBLEMS; (7.2) FILTER STONE SHALL BE REGULARLY CHECKED TO ENSURE THAT FILTRATION PERFORMANCE IS MAINTAINED. STONE CHOKED WITH WITH SEDIMENT SHALL BE REMOVED AND CLEANED OR REPLACED; AND (7.3) THE STRUCTURE SHOULD BE CHECKED REGULARLY TO ENSURE THAT IT IS STRUCTURALLY SOUND AND HAS NOT BEEN DAMAGED BY EROSION OR CONSTRUCTION EQUIPMENT. THE HEIGHT OF THE STRUCTURE SHOULD BE CHECKED TO ENSURE THAT ITS CENTER IS AT LEAST ONE FOOT BELOW THE TOP OF EMBANKMENT.
- TEMPORARY SEDIMENT BASIN** - THE BASIN EMBANKMENT SHOULD BE CHECKED REGULARLY TO ENSURE THAT IT IS STRUCTURALLY SOUND AND HAS NOT BEEN DAMAGED BY EROSION OR CONSTRUCTION EQUIPMENT. THE EMERGENCY SPILLWAY SHOULD BE CHECKED REGULARLY TO ENSURE THAT ITS LINING IS WELL ESTABLISHED AND EROSION RESISTANT. THE BASIN SHOULD BE CHECKED AFTER EACH RUNOFF PRODUCING RAINFALL FOR SEDIMENT CLEANOUT. WHEN THE SEDIMENT REACHES THE CLEANOUT LEVEL, IT SHALL BE REMOVED AND PROPERLY DISPOSED OF.
- TEMPORARY SEEDING** - AREAS WHICH FAIL TO ESTABLISH VEGETATIVE COVER ADEQUATE TO PREVENT SOIL EROSION WILL BE RESEED. SUCH AREAS ARE IDENTIFIED. CONTROL AREAS FOR MOWING.
- PERMANENT SEEDING** - THE MAINTENANCE MEASURES ARE AS FOLLOWS: (10.1) IN GENERAL, A STAND OF VEGETATION CANNOT BE DETERMINED TO BE FULLY ESTABLISHED UNIT IT HAS BEEN MAINTAINED FOR ONE FULL YEAR AFTER PLANTING; (10.2) NEW SEEDLINGS SHALL BE SUPPLIED WITH ADEQUATE MOISTURE. SUPPLY WATER AS NEEDED, ESPECIALLY LATE IN THE SEASON, IN ABNORMALLY HOT OR DRY CONDITIONS, OR ON ADVERSE SITES. WATER APPLICATIONS SHALL BE CONTROLLED TO PREVENT EXCESSIVE RUNOFF; (10.3) INSPECT ALL SEEDED AREAS FOR FAILURES AND MAKE NECESSARY REPAIRS, REPLACEMENTS AND RESEEDINGS WITHIN THE PLANTING SEASON, IF POSSIBLE; (10.3a) IF STAND IS INADEQUATE FOR EROSION CONTROL, OVERSEED AND FERTILIZE USING 1/2 OF THE RATES ORIGINALLY SPECIFIED; (10.3b) IF STAND IS 60% DAMAGED, RE-ESTABLISH FOLLOWING SEEDBED AND SEEDING RECOMMENDATIONS; (10.3c) IF STAND HAS LESS THAN 40% COVER, RE-EVALUATE CHOICE OF PLANT MATERIALS AND QUANTITIES OF LIME AND FERTILIZER. THE SOIL MUST BE TESTED TO DETERMINE IF ACIDITY OR NUTRIENT IMBALANCES ARE RESPONSIBLE. RE-EVALUATE STAND FLOWING SEEDBED AND SEEDING RECOMMENDATIONS.
- MULCHING** - ALL MULCHES AND SOIL COVERINGS SHOULD BE PERIODICALLY INSPECTED (PARTICULARLY AFTER RAINSTORMS) TO CHECK FOR EROSION. WHERE EROSION IS OBSERVED IN MULCHED AREAS, ADDITIONAL MULCH SHOULD BE APPLIED. NETS AND MATS SHOULD BE INSPECTED AFTER RAINSTORMS FOR DISLOCATION OR FAILURE. IF WASHOUTS OR BREAKAGE OCCUR, REINSTALL NETTING OR MATTING AS NECESSARY AFTER REPAIRING DAMAGE TO THE SLOPE OR DITCH. INSPECTIONS SHOULD TAKE PLACE UNTIL GRASSES ARE FIRMLY ESTABLISHED. WHERE MULCH IS USED IN CONJUNCTION WITH ORNAMENTAL PLANTINGS, INSPECT PERIODICALLY THROUGHOUT THE YEAR TO DETERMINE IF MULCH IS MAINTAINING COVERAGE OF THE SOIL SURFACE. REPAIR AS NEEDED.
- SOIL STABILIZATION BLANKETS & MATTING** - ALL SOIL STABILIZATION BLANKETS AND MATTING SHOULD BE INSPECTED PERIODICALLY FOLLOWING INSTALLATION, PARTICULARLY AFTER RAIN STORMS TO CHECK FOR EROSION AND FAILURE. IF WASHOUTS OR BREAKAGE OCCUR, REINSTALL NETTING OR MATTING AS NECESSARY AFTER REPAIRING DAMAGE TO THE SLOPE OR DITCH. INSPECTIONS SHOULD TAKE PLACE UNTIL GRASSES ARE FIRMLY ESTABLISHED. WHERE MULCH IS USED IN CONJUNCTION WITH ORNAMENTAL PLANTINGS, INSPECT PERIODICALLY THROUGHOUT THE YEAR TO DETERMINE IF MULCH IS MAINTAINING COVERAGE OF THE SOIL SURFACE. REPAIR AS NEEDED.
- STREET CLEANING/SWEEPING** - THE MAINTENANCE MEASURES ARE AS FOLLOWS: (13.1) EVALUATE ACCESS POINTS DAILY FOR SEDIMENT TRACKING; (13.2) WHEN TRACKED OR SPILLED SEDIMENT IS FOUND ON PAVED SURFACES, IT WILL BE REMOVED DAILY. DURING TIMES OF HEAVY TRACKOUT, SUCH AS DURING RAINS, CLEANING MAY BE DONE SEVERAL TIMES DURING THE DAY; (13.3) UNKNOWN SPILLS OR OBJECTS WILL NOT BE MIXED WITH THE SEDIMENT; AND (13.4) IF SEDIMENT IS MIXED WITH OTHER POLLUTANTS, IT WILL BE DISPOSED OF PROPERLY AT AN AUTHORIZED LANDFILL.
- WATER MAIN FLUSHING** - UTILITY CONTRACTOR SHALL COORDINATE WATER MAIN FLUSHING LOCATION WITH OWNER. ENSURE APPROPRIATE EROSION CONTROL MEASURES ARE USED.

VEHICLE AND EQUIPMENT FUELING
SM-5

DESCRIPTION AND PURPOSE
VEHICLE EQUIPMENT FUELING PROCEDURES AND PRACTICES ARE DESIGNED TO PREVENT FUEL SPILLS AND LEAKS, AND REDUCE OR ELIMINATE CONTAMINATION OF STORMWATER. THIS WILL BE ACCOMPLISHED BY FUELING AS OUTLINED BELOW, IMPLEMENTING SPILL CONTROLS, AND TRAINING EMPLOYEES AND REQUIRING SUBCONTRACTORS TO HAVE PERSONNEL TRAINED IN PROPER FUELING PROCEDURES.

SUITABLE APPLICATIONS
FUELING MANAGEMENT PRACTICES ARE SUITABLE FOR USE AT ALL CONSTRUCTION SITES THAT USE FUELING TANKS OR FUELING TRUCK SYSTEMS.

LIMITATIONS

- WITH THE EXCEPTION OF TRACKED EQUIPMENT SUCH AS BULLDOZERS AND LARGE EXCAVATORS, MOBILE CONSTRUCTION EQUIPMENT WILL BE TRANSPORTED TO DESIGNATED FUELING AREAS.

IMPLEMENTATION

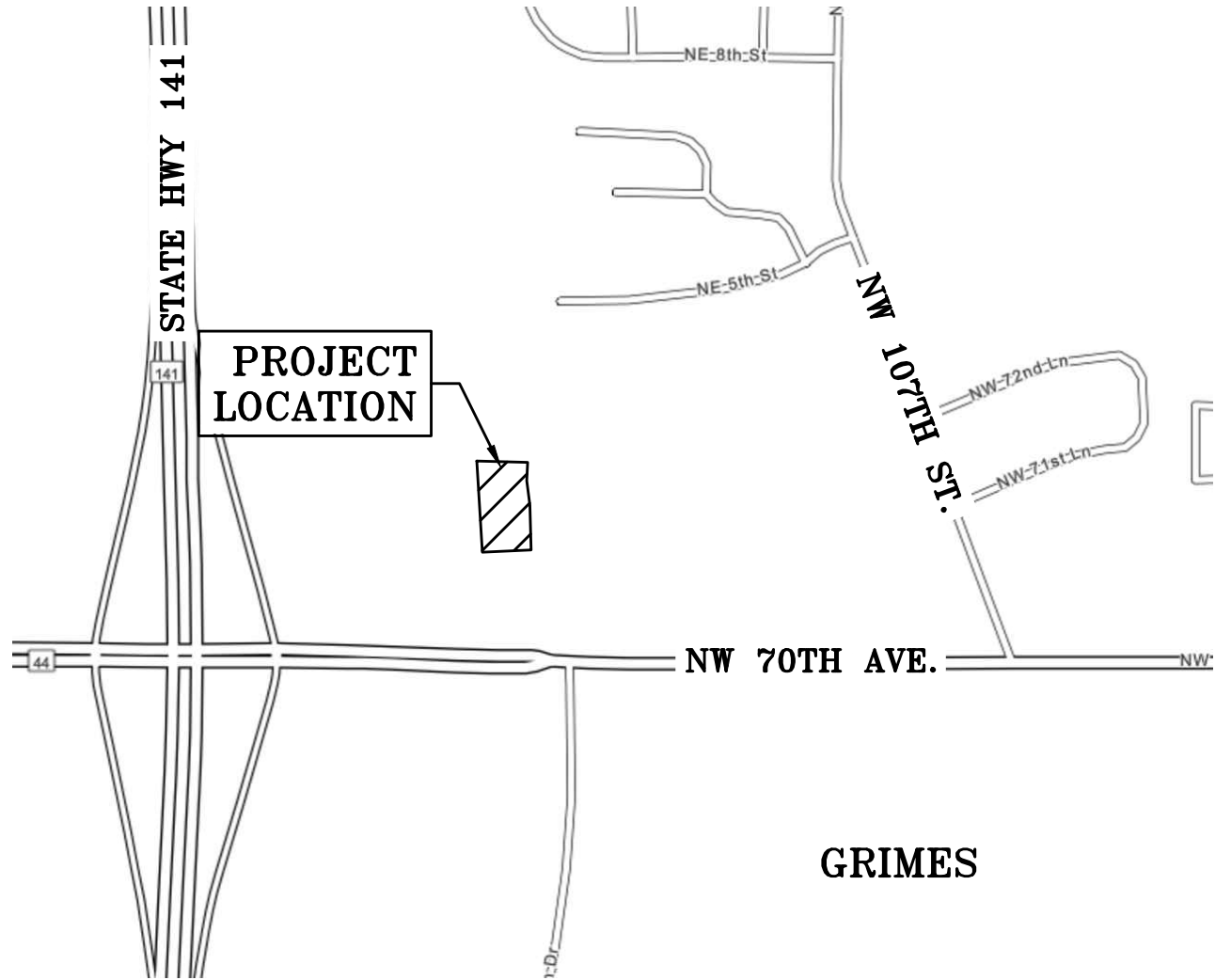
- OFFSITE FUELING STATIONS WILL BE USED AS MUCH AS POSSIBLE.
- "TOPPING-OFF" OF FUEL TANKS WILL BE DISCOURAGED.
- ABSORBENT SPILL CLEANUP MATERIALS AND SPILL KITS WILL BE AVAILABLE IN FUELING AREAS OR ON FUELING TRUCKS, AND WILL BE DISPOSED OF PROPERLY AFTER USE.
- DRIP PANS OR ABSORBENT PADS WILL BE USED DURING FUELING, UNLESS THE FUELING IS PERFORMED OVER AN IMPERMEABLE SURFACE IN A DEDICATED FUELING AREA.
- ABSORBENT MATERIALS WILL BE USED ON SMALL SPILLS. SPILLS WILL NOT BE HOSED DOWN OR BURIED. USED ABSORBENT MATERIALS WILL BE REMOVED PROMPTLY AND DISPOSED OF PROPERLY.
- FUELING WILL TAKE PLACE IN AREAS PROTECTED FROM STORMWATER RUN-ON AND RUNOFF, AND WILL BE LOCATED AT LEAST 50 FT AWAY FROM DOWNSTREAM DRAINAGE FACILITIES AND WATERCOURSES. DESIGNATED FUELING AREAS WILL BE IDENTIFIED IN THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP).
- PROTECTED FUELING AREAS WITH BERMS OR DIKES TO PREVENT RUN-ON, RUNOFF, AND TO CONTAIN SPILLS.
- NOZZLES USED IN FUELING WILL BE EQUIPPED WITH AN AUTOMATIC SHUTOFF TO CONTROL DRIPS. FUELING OPERATIONS WILL NOT BE LEFT UNATTENDED.
- ALL REQUIREMENTS WILL BE OBSERVED FOR ANY STATIONARY ABOVE GROUND STORAGE TANKS.

EDUCATION

- EMPLOYEES, SUBCONTRACTORS, AND SUPPLIERS WILL BE EDUCATED ON VEHICLE EQUIPMENT FUELING, SPILL CLEAN UP, DISPOSAL PROCEDURES AND THE POTENTIAL DANGERS TO THE ENVIRONMENT.
- A CONTINUING EDUCATION PROGRAM WILL INDOCTRINATE NEW EMPLOYEES.

INSECTION AND MAINTENANCE

- VEHICLES AND EQUIPMENT WILL BE ROUTINELY INSPECTED FOR LEAKS. LEAKS WILL BE REPAIRED IMMEDIATELY OR PROBLEM VEHICLES OR EQUIPMENT WILL BE REMOVED FROM THE PROJECT SITE.
- AN AMPLE SUPPLY OF SPILL CLEANUP MATERIALS AND SPILL KITS WILL BE AVAILABLE FROM THE PROJECT SITE.
- SPILLS WILL BE IMMEDIATELY CLEANED UP, AND CONTAMINATED SOIL AND CLEANUP MATERIALS WILL BE PROPERLY DISPOSED OF. IF MOBILE FUELING OPERATION USED, SUPPLIER WILL HAVE SPILL EQUIPMENT AND PROCEDURES ON TRUCK. IF STATIONARY FUEL STORAGE IS USED, SITE MANAGER WILL HAVE THE EQUIPMENT AND PROCEDURES ON SITE.



VICINITY MAP
SEC. 33, TN80N, R25W
MARCH, 2022
REGA PROJECT NO.211296
SITE DEVELOPMENT: 1.18 ACRES



APPLICANT	DESIGNER
TBD	DAN ROSENTHAL, P.E. REGA ENGINEERING GROUP INC. 801 OLD CHENEY ROAD, STE A LINCOLN, NE 68512 P: 402-484-7342 F: 402-484-7344 DAN@regaeng.com

CONTRACTOR	INSPECTOR
TBD	TBD

BEST MANAGEMENT PRACTICES (BMP)

FIGURE	NAME
	FABRIC SILT FENCE SSECM
	STABILIZED CONSTRUCTION ENTRANCE SSECM
	BIORETENTION CELL
SM-1	SANITARY WASTE MANAGEMENT SMPG EXHIBIT "F"
SM-2	SOLID WASTE MANAGEMENT
SM-3	MATERIAL DELIVERY AND STORAGE
SM-4	STREET CLEANING / SWEEPING SMPG EXHIBIT "I"
SM-5	VEHICLE AND EQUIPMENT FUELING



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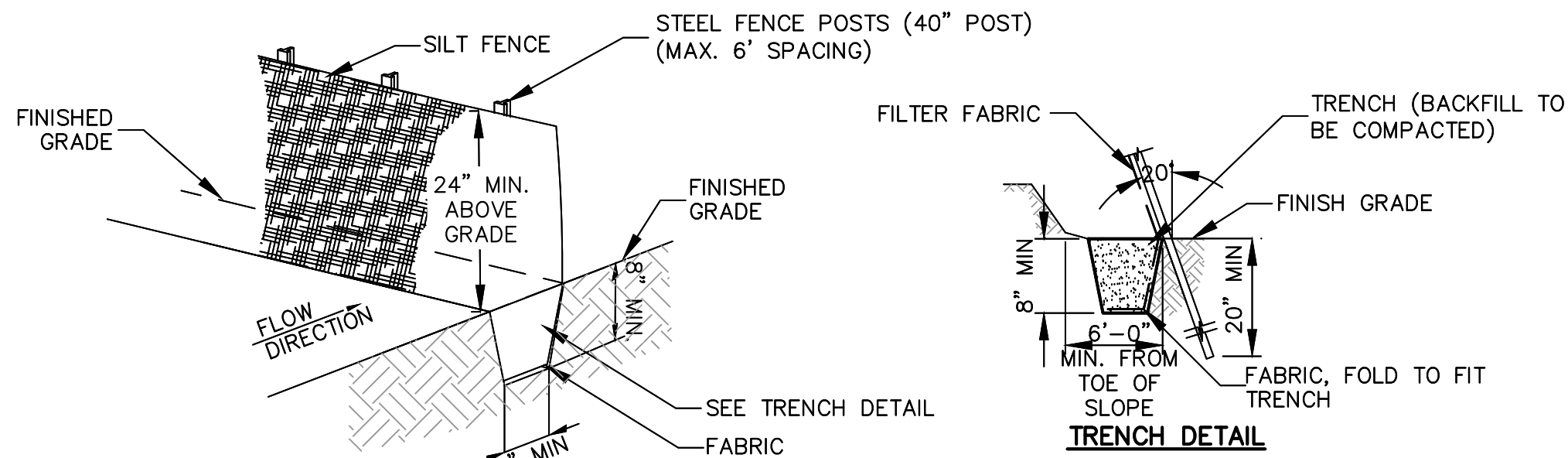
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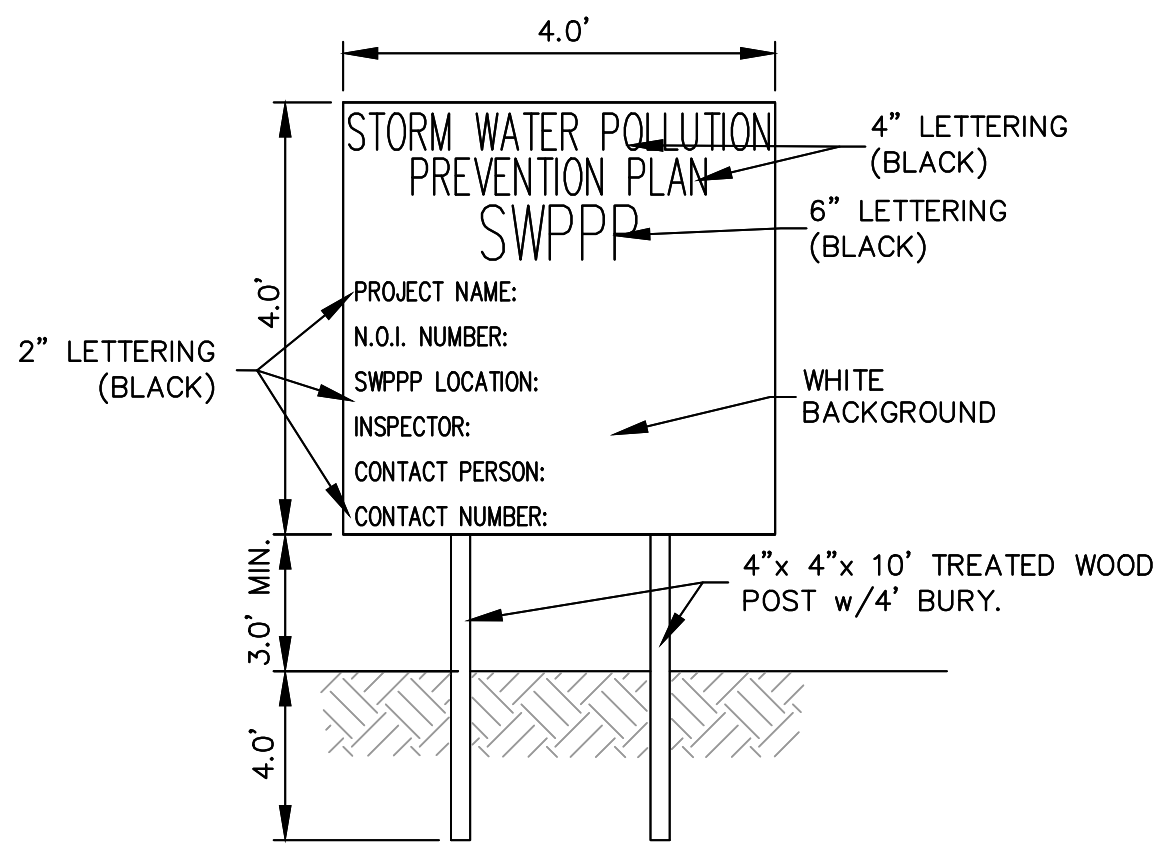
STORM WATER
POLLUTION
PREVENTION
PLAN

C1.06



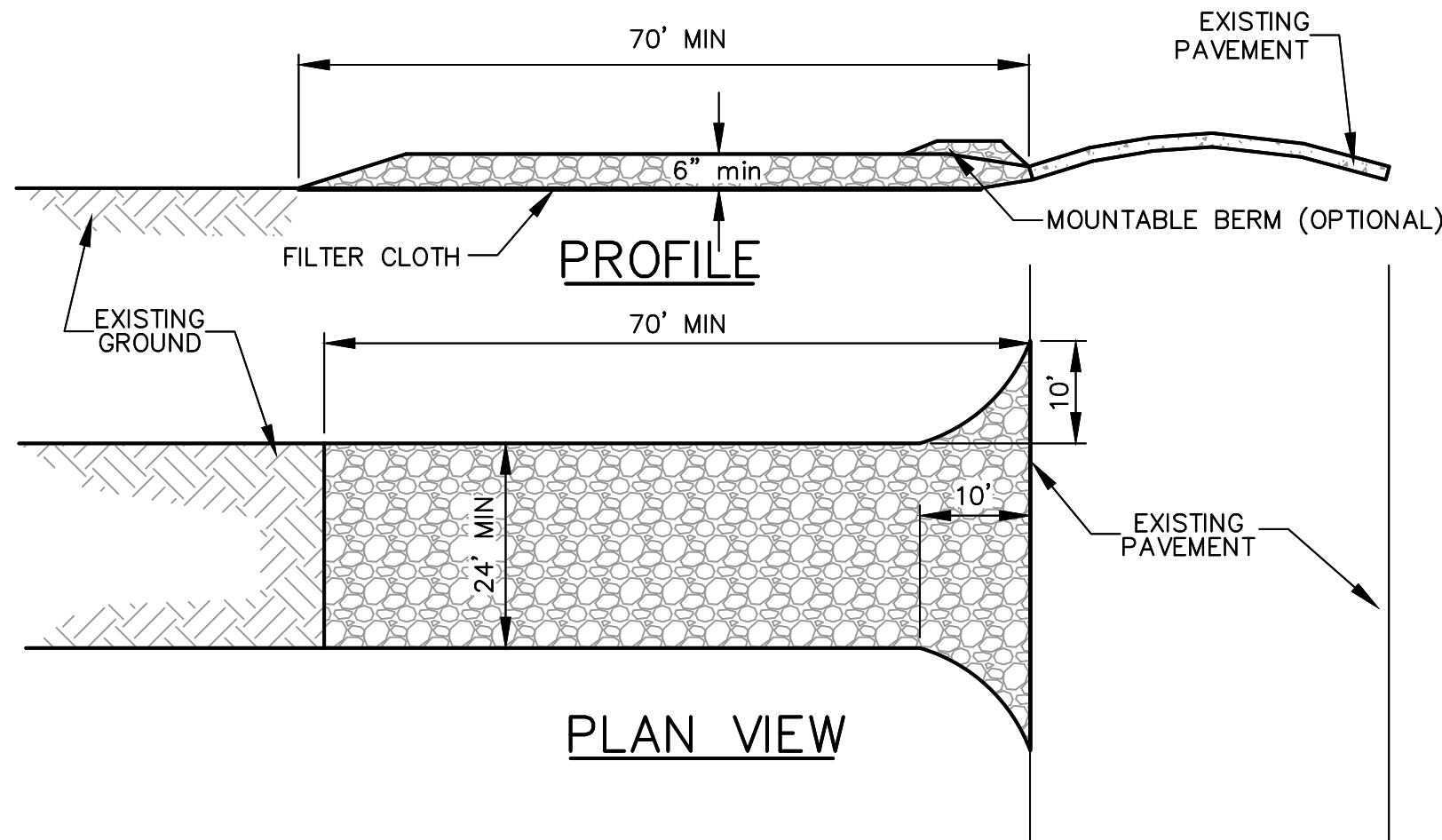
- NOTES:
1. STEEL POSTS WHICH SUPPORT THE SILT FENCE SHALL BE INSTALLED AT A 20° ANGLE TOWARD THE ANTICIPATED RUNOFF SOURCE.
 2. SILT FENCE SHALL BE TRENCHED IN WITH A SPADE OR MECHANICAL TRENCHER SO THAT DOWN SLOPE FACE OF THE TRENCH IS FLAT AND PERPENDICULAR TO THE LINE OF FLOW
 3. SILT FENCE SHALL BE SECURELY FASTENED TO EACH STEEL FENCE POST.
 4. IF WOVEN WIRE SUPPORT IS UTILIZED, IT SHALL BE ATTACHED SECURELY TO THE STEEL FENCE POSTS WITH WIRE TIES. SILT FENCE SHALL BE ATTACHED TO THE WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. WOVEN WIRE SUPPORT SHALL BE EMBEDDED A MINIMUM OF 8" IN THE TRENCH.
 5. BACKFILL SHALL BE COMPACTED USING A MECHANICAL OR PNEUMATIC TAMPER.
 6. INSPECTION SHALL BE FREQUENT AND REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED. MATERIAL SHALL BE REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.
 7. SILT FENCE SHALL BE REMOVED WHEN IT HAS SERVED ITS USEFULNESS SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.
 8. SEDIMENT TRAPPED BY THIS PRACTICE SHALL BE UNIFORMLY DISTRIBUTED ON THE SOURCE AREA PRIOR TO TOPSOILING.
 9. MATERIAL OF SILT FENCE SHALL BE POLYPROPYLENE FABRIC OR NYLON REINFORCED WITH POLYESTER NETTING.
 10. MATERIAL OF SILT FENCE SHALL HAVE MULLEN BURST STRENGTH GREATER THAN 150 PSI. THE EDGES SHALL BE TREATED TO PREVENT UNRAVELING.

1 SILT FENCE DETAIL
C1.07 NO SCALE



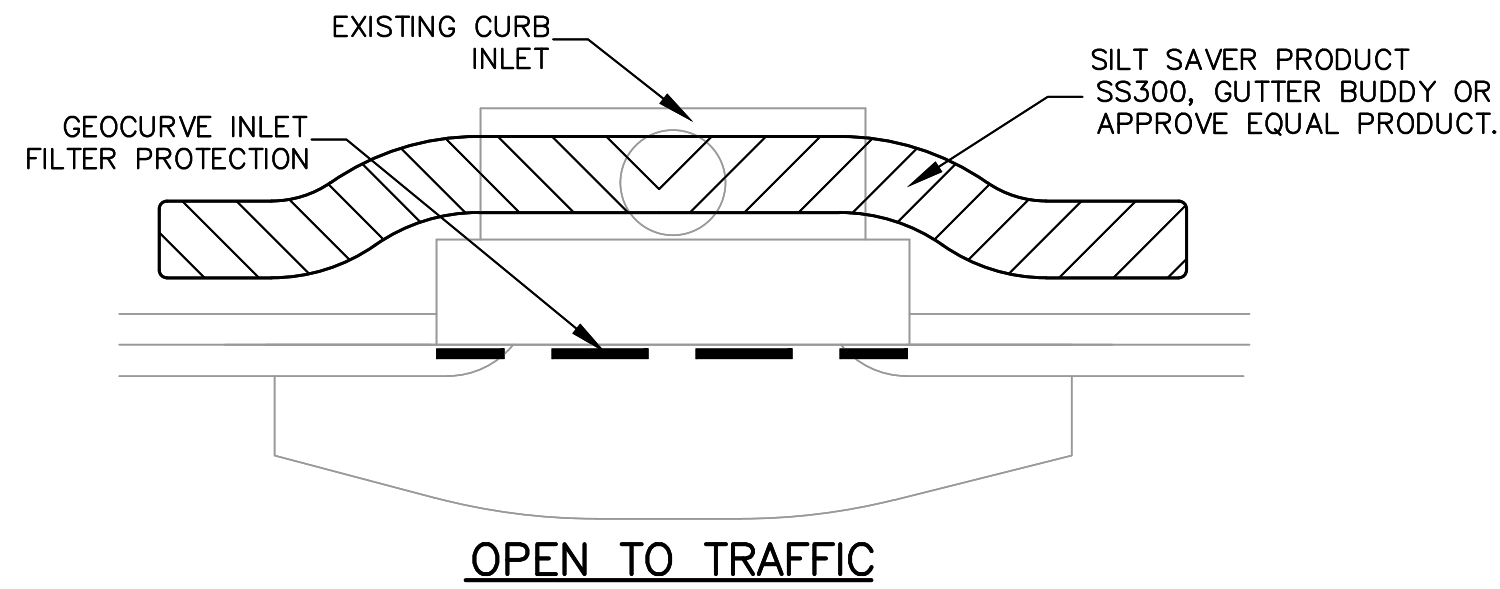
- NOTES:
1. SIGN TO BE CONSTRUCTED OF RIGID MATERIAL SUCH AS PLYWOOD OR OUTDOOR SIGN MATERIAL. LETTERING AND SIGN PAINT SHALL BE SUCH TO BE PROTECTED FROM THE ELEMENTS. SIGN SHALL BE LOCATED ON PUBLIC RIGHT OF WAY OR EASEMENT.
 2. SIGN SHALL BE LOCATED NEAR THE ENTRANCE TO THE SITE AND VISIBLE BY THE GENERAL PUBLIC, AND SHALL NOT BE AN OBSTRUCTION OR SAFETY HAZARD.
 3. ALL POSTED DOCUMENTS MUST BE MAINTAINED AT ALL TIMES THROUGH OUT CONSTRUCTION AND UNTIL THE NOTICE OF TERMINATION IS FILED FOR THE PERMIT.
 4. CONTRACTOR IS RESPONSIBLE TO MAINTAIN THE SIGN THROUGH OUT CONSTRUCTION AND REMOVE SIGN COMPLETELY AFTER CONSTRUCTION.

4 SWPPP SIGN DETAIL
C1.07 NO SCALE



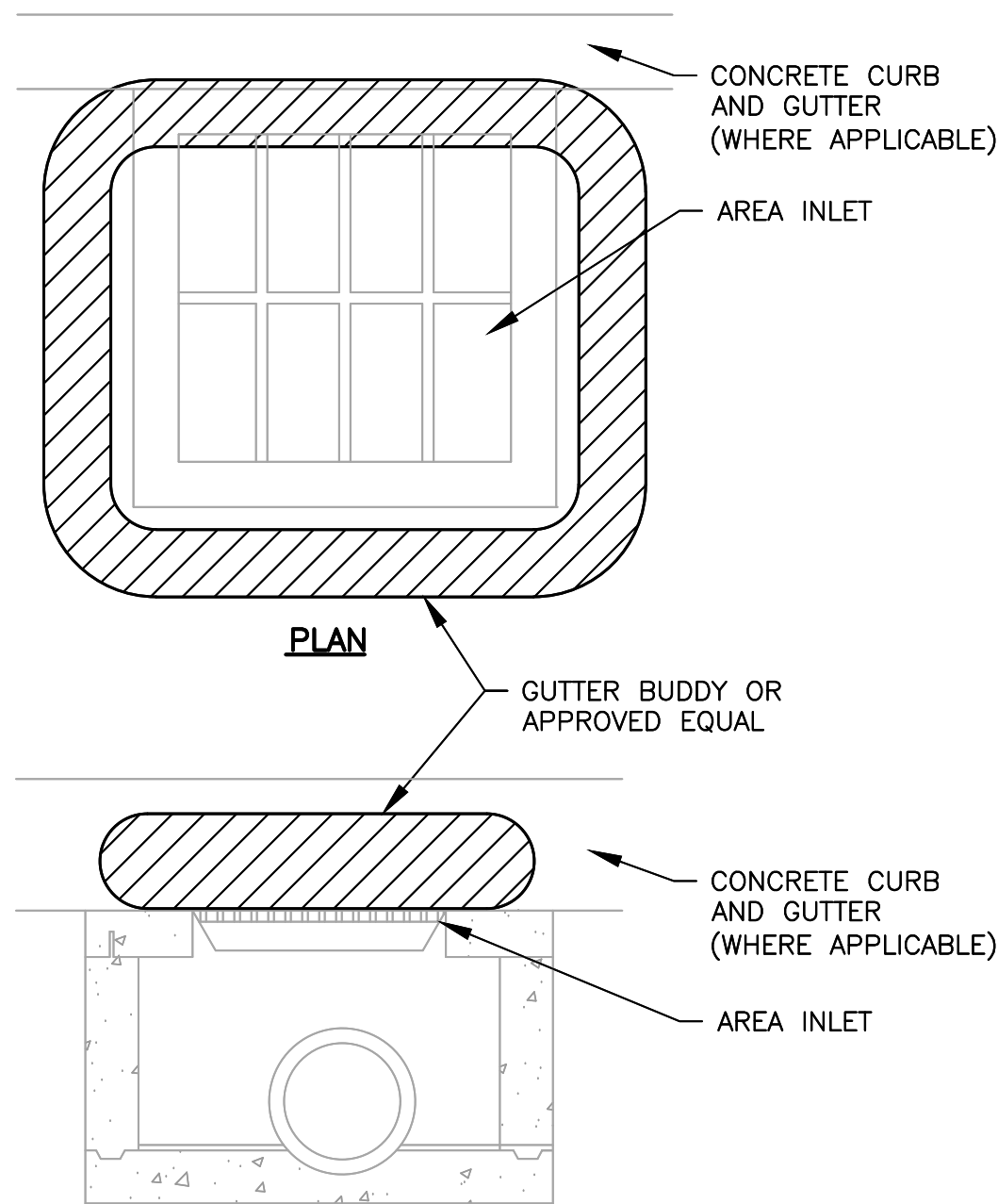
- NOTES:
1. STONE SIZE – USE 2" MINIMUM, BUT NOT MORE THAN 3.5" CLEAN CRUSHED STONE.
 2. LENGTH – AS REQUIRED, BUT NOT LESS THAT 70 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
 3. THICKNESS – NOT LESS THAT SIX (6) INCHES.
 4. WIDTH – TWENTY FOUR (24) FOOT MINIMUM, BUT NOT LESS THAT THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
 5. FILTER CLOTH – WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE. FILTER WILL NOT BE REQUIRED ON A SINGLE FAMILY RESIDENCE LOT.
 6. SURFACE WATER – ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5H:1V SLOPES WILL BE PERMITTED.
 7. MAINTENANCE – THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAYS MUST BE REMOVED IMMEDIATELY.
 8. WASHING – WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
 9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.
 10. ONLY ONE CONSTRUCTION ENTRANCE IS SHOWN ON THE PLAN. IF CONTRACTOR ELECTS TO HAVE TWO ACCESS POINTS, A STABILIZED CONSTRUCTION ENTRANCE SHALL BE CONSTRUCTED AT BOTH ACCESS POINTS.

2 STABILIZED CONSTRUCTION ENTRANCE
C1.07 NO SCALE



- NOTES:
1. USE SILT SAVER PRODUCT SS300, GUTTER BUDDY OR APPROVE EQUAL PRODUCT.
 2. REPLACE EROSION CONTROL AS REQUIRED.

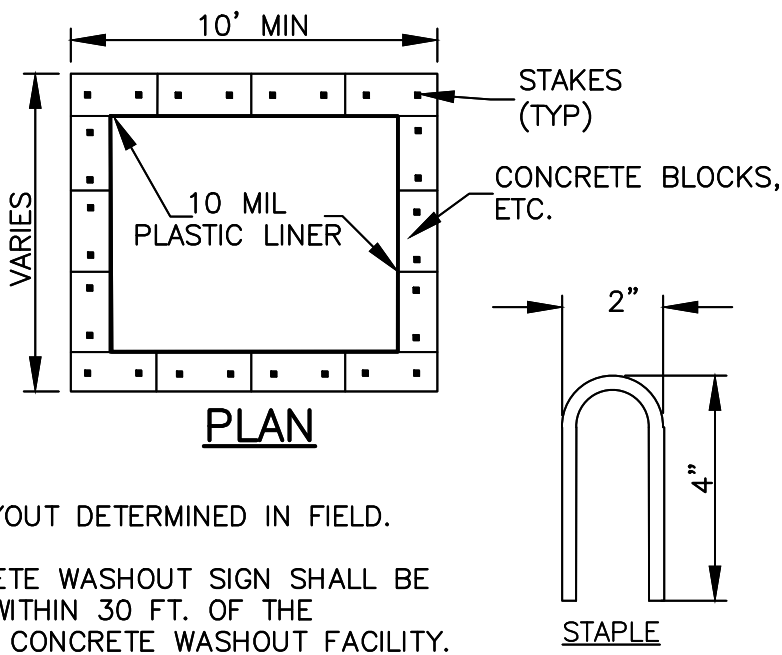
3 CURB INLET PROTECTION
C1.07 NO SCALE



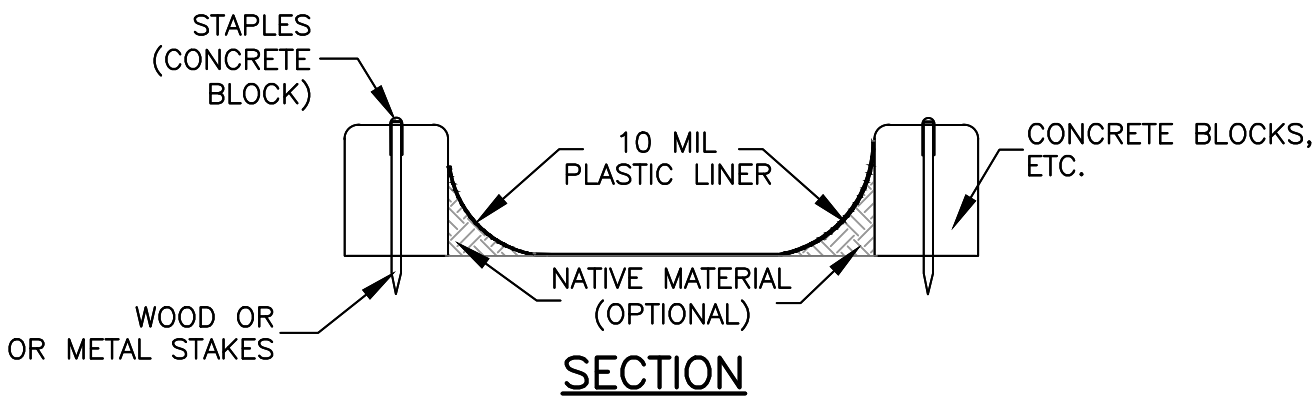
SECTION

- NOTES:
1. USE SILT SAVER PRODUCT SS300, GUTTER BUDDY OR APPROVED EQUAL PRODUCT.
 2. REPLACE EROSION CONTROL AS REQUIRED.
 3. INSTALL AS PER MANUFACTURERS SPECIFICATIONS

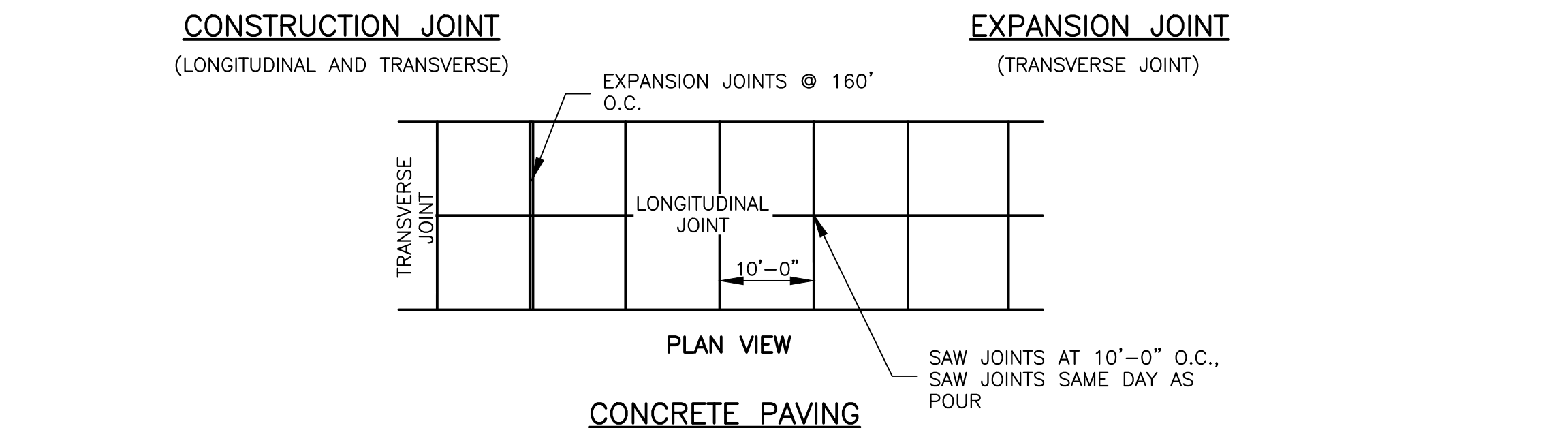
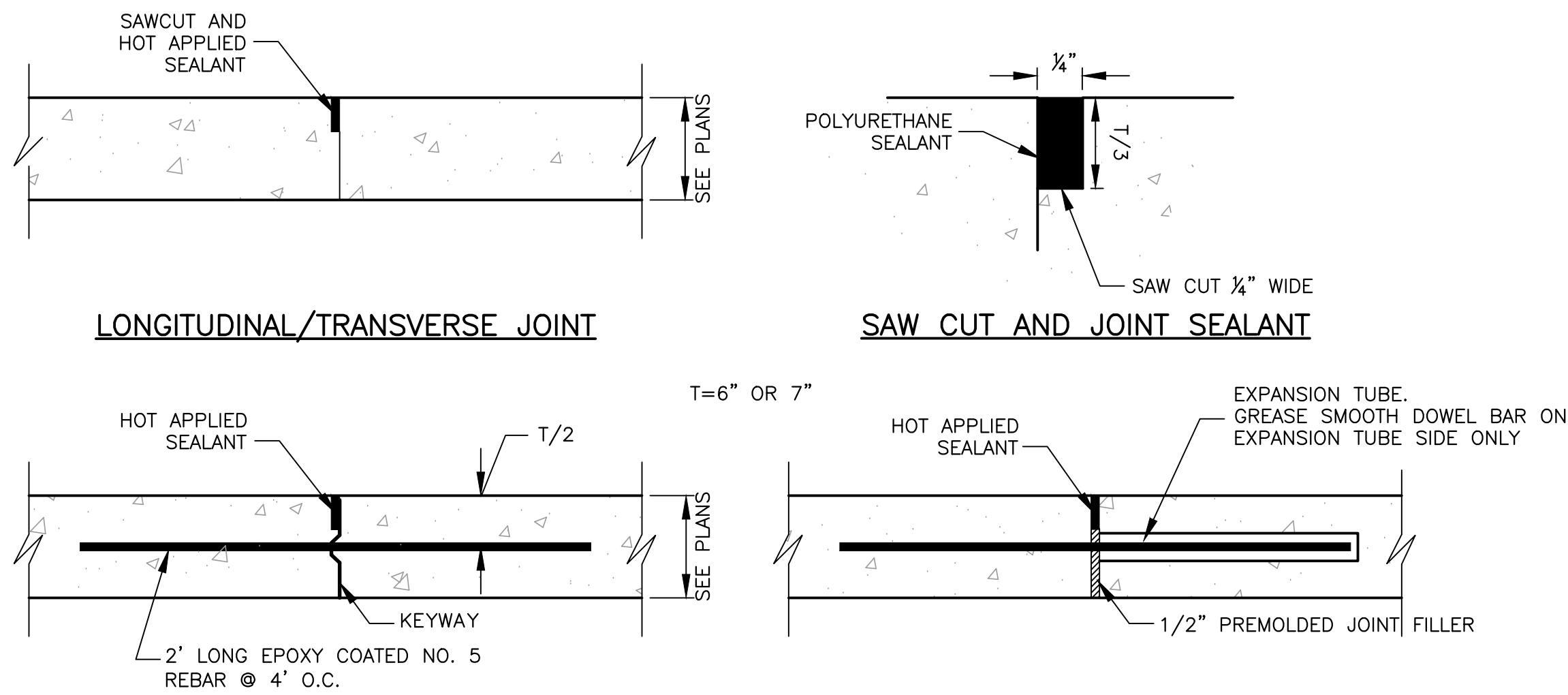
6 AREA INLET PROTECTION
C1.07 NO SCALE



- NOTES:
1. ACTUAL LAYOUT DETERMINED IN FIELD.
 2. THE CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 30 FT. OF THE TEMPORARY CONCRETE WASHOUT FACILITY.



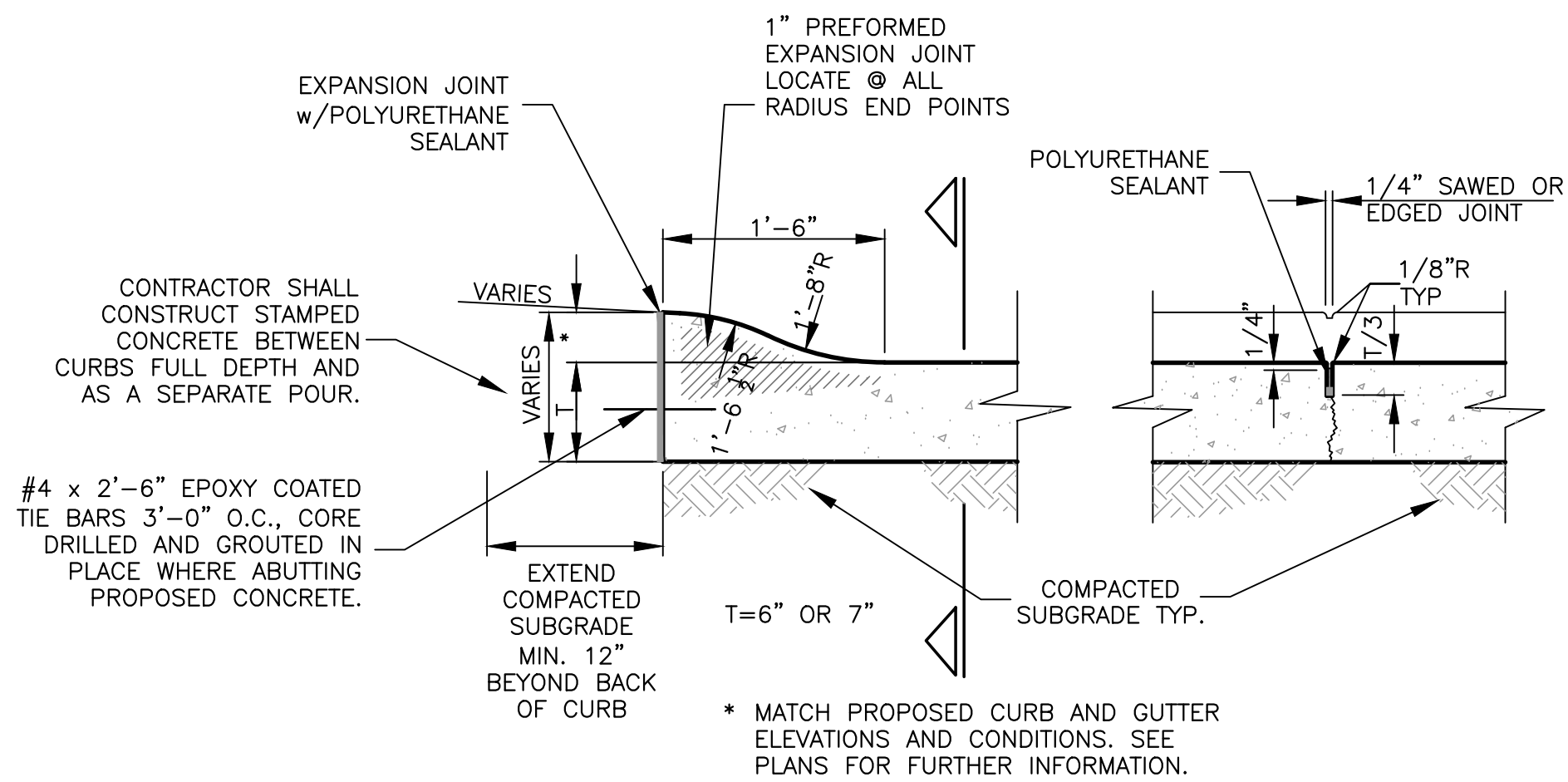
5 TEMP. CONCRETE WASHOUT
C1.07 NO SCALE



- NOTES:
1. PROVIDE EXPANSION JOINT IN CONCRETE PAVEMENT AND CURB AND GUTTER AT THE SAME LOCATION.
 2. CONTRACTOR SHALL SEAL JOINTS WITH POLYURETHANE SEALANT, MEETING IOWA DEPARTMENT OF TRANSPORTATION APPROVED PRODUCTS LIST.
 3. THE CONTRACTOR SHALL SUBMIT TO THE ENGINEER, PRIOR TO CONSTRUCTION, A CONCRETE PAVEMENT JOINTING PLAN FOR REVIEW AND APPROVAL. MAXIMUM SPACING ON A TRANSVERSE JOINT SHALL BE DETERMINED BY THE THICKNESS OF PAVEMENT, CONTACT ENGINEER.

1 CONCRETE PAVING JOINT DETAILS

NO SCALE

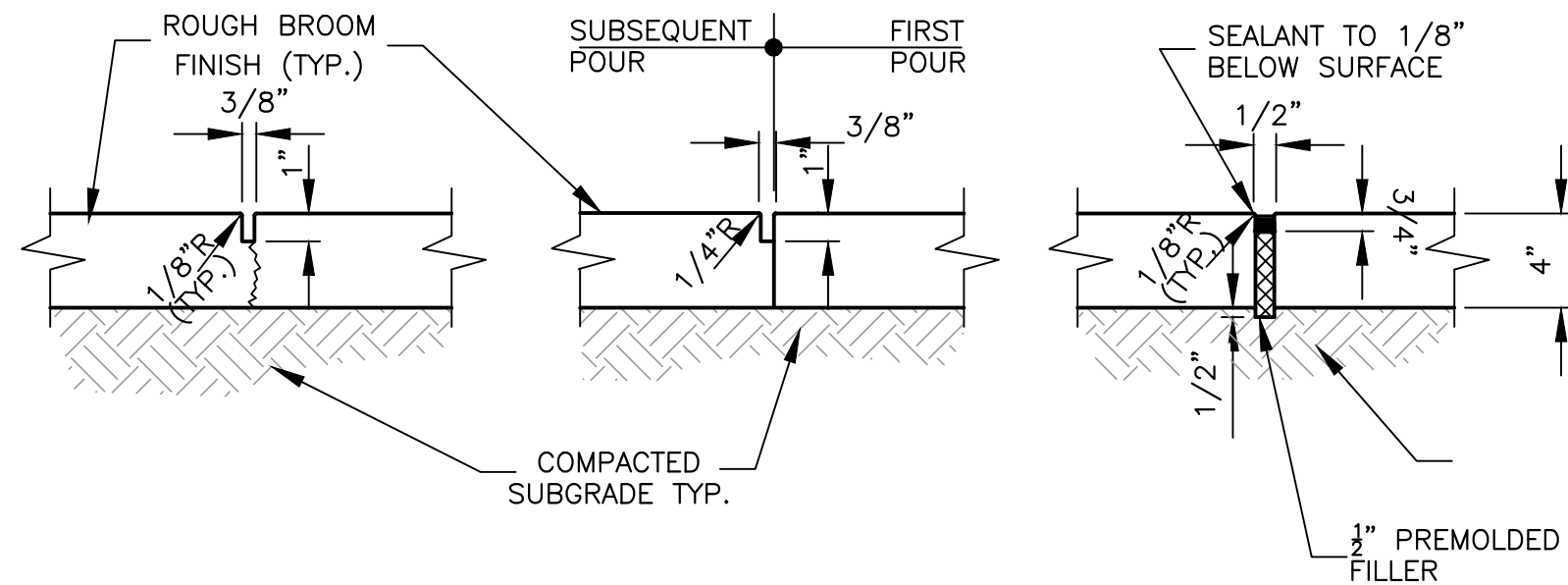


INTEGRAL CURB SECTION SECTION CONTRACTION JOINT

- NOTES:
1. CONTRACTOR SHALL SEAL JOINTS WITH POLYURETHANE SEALANT, MEETING CITY OF LINCOLN APPROVED PRODUCTS LIST.

4 4\"/>

NO SCALE

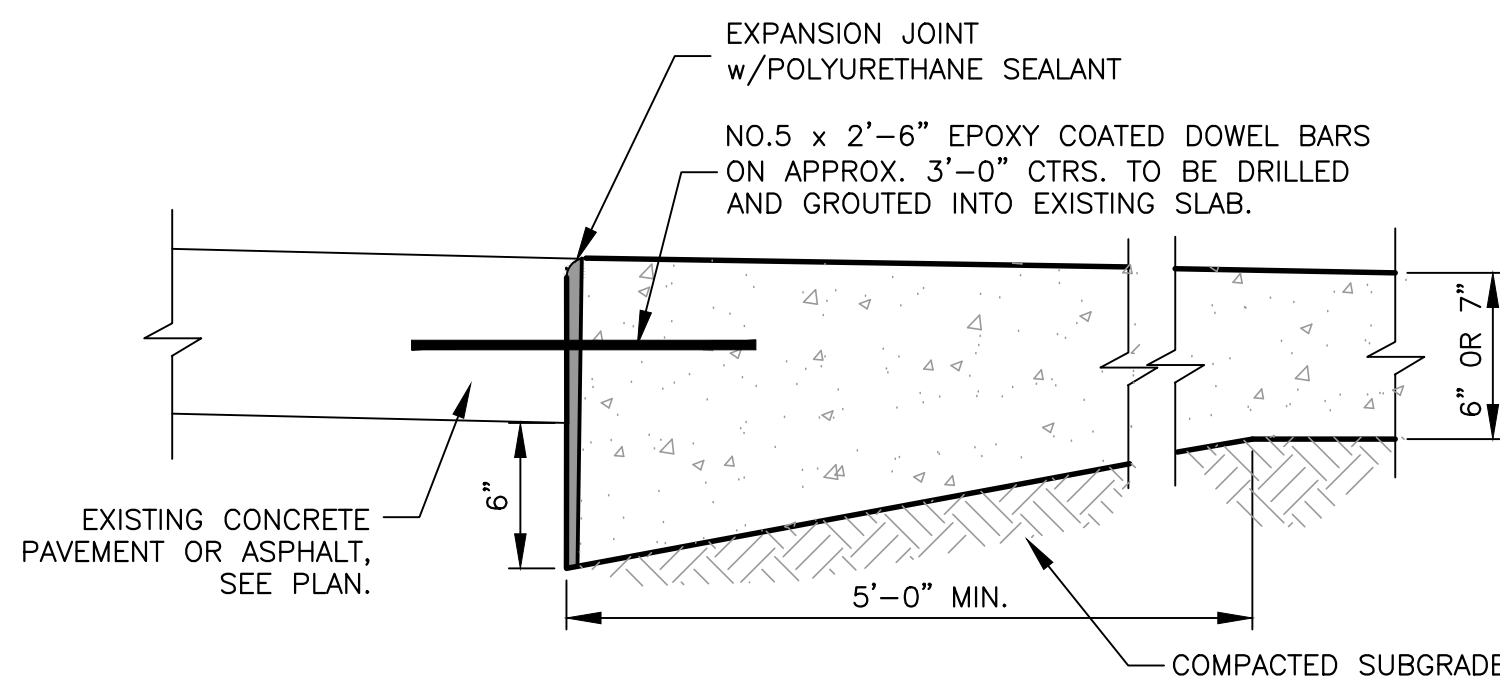


- CONTRACTION JOINT
- MAXIMUM SPACING = WIDTH OF THE WALK UNLESS INDICATED OTHERWISE ON PLANS
- CONSTRUCTION JOINT
- USE ONLY WHERE CONSTRUCTION JOINTS WOULD OCCUR
- EXPANSION JOINT
- SPACE AS SHOWN ON LAYOUT PLAN (@ 40' MAX.) AND WHERE ABUTTING ALL STRUCTURES, PAVEMENT AND CURBS

- NOTES:
1. WHEN ABUTTING EXISTING SIDEWALK, MATCH EXISTING PATTERN LOCATION OF CONTROL AND EXPANSION JOINTS UNLESS OTHERWISE INDICATED.
 2. PROVIDE 1/2" E.J. WITH SEALANT WHEN ABUTTING BACK OF CURB AND STRUCTURES.
 3. ALL SIDEWALKS SLOPE AT 2% AWAY FROM BUILDING OR TOWARD CURBS UNLESS SHOWN OTHERWISE.
 4. CONTRACTOR SHALL SEAL JOINTS WITH POLYURETHANE SEALANT, MEETING IOWA DEPARTMENT OF TRANSPORTATION SPECIFICATIONS.

2 CONCRETE SIDEWALK JOINT DETAILS

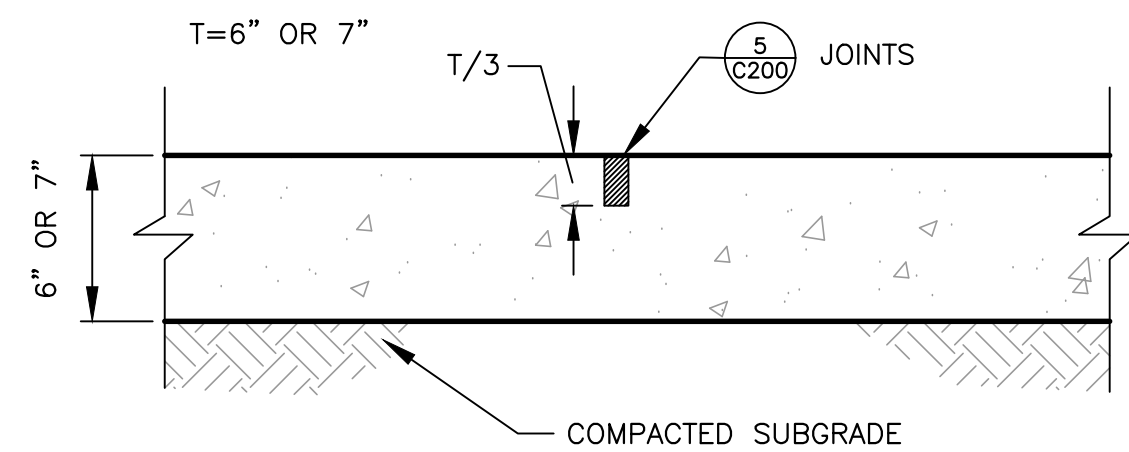
NO SCALE



- NOTES:
1. DOWEL BARS ARE TO BE INSTALLED WHERE NEW CONCRETE PAVEMENT IS PLACED ADJACENT TO EXISTING CONCRETE PAVEMENT.
 2. APPLY DOWEL BARS WHERE HEAVY TRAFFIC WILL BE CROSSING.
 3. CONTRACTOR SHALL SEAL JOINTS WITH POLYURETHANE SEALANT, MEETING IOWA DEPARTMENT OF TRANSPORTATION SPECIFICATIONS.

5 THICKENED EDGE CONCRETE PAVEMENT w/REBAR

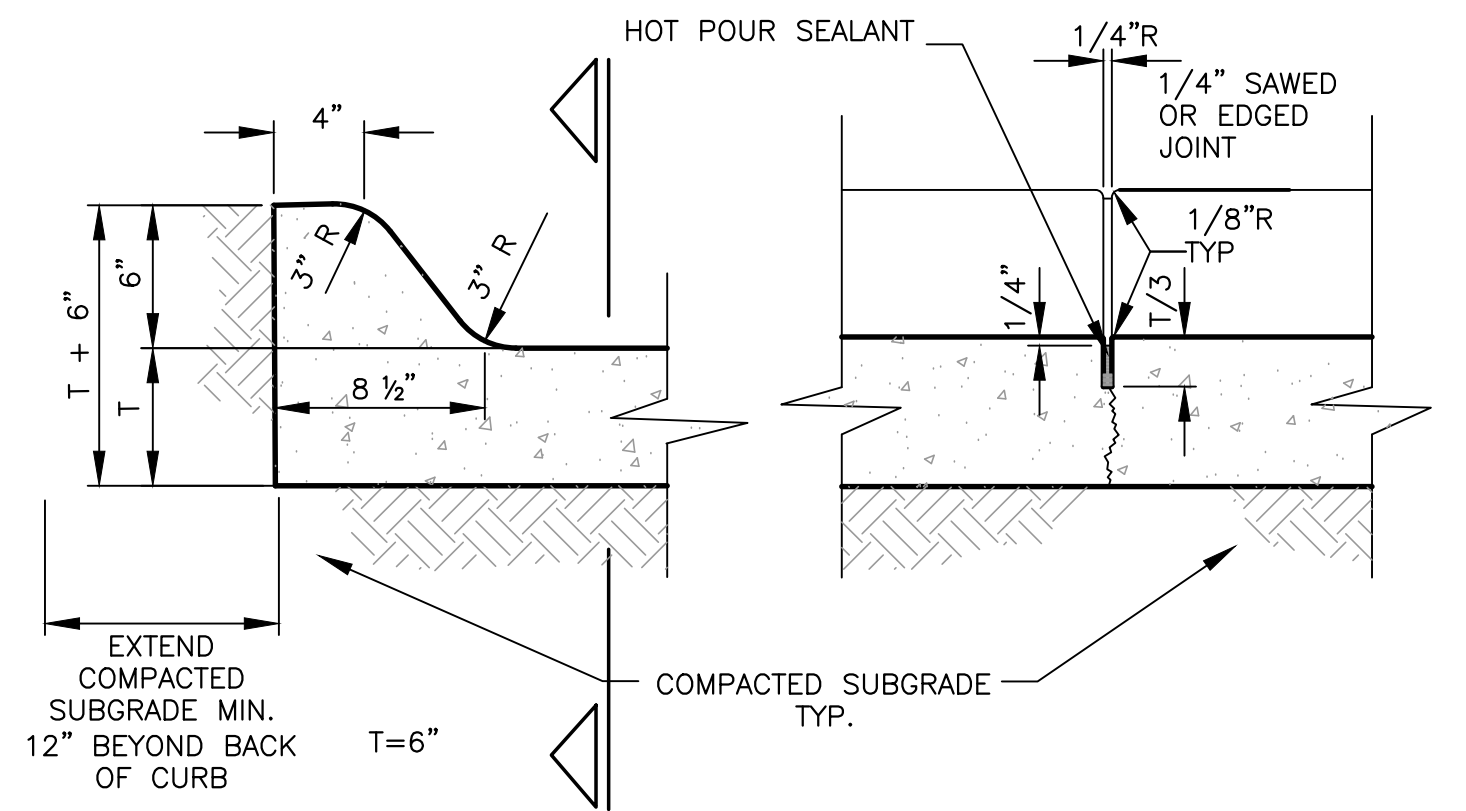
NO SCALE



- NOTES:
1. CONTRACTOR SHALL SEAL JOINTS WITH POLYURETHANE SEALANT, MEETING IOWA DEPARTMENT OF TRANSPORTATION SPECIFICATIONS.

7 6\"/>

NO SCALE

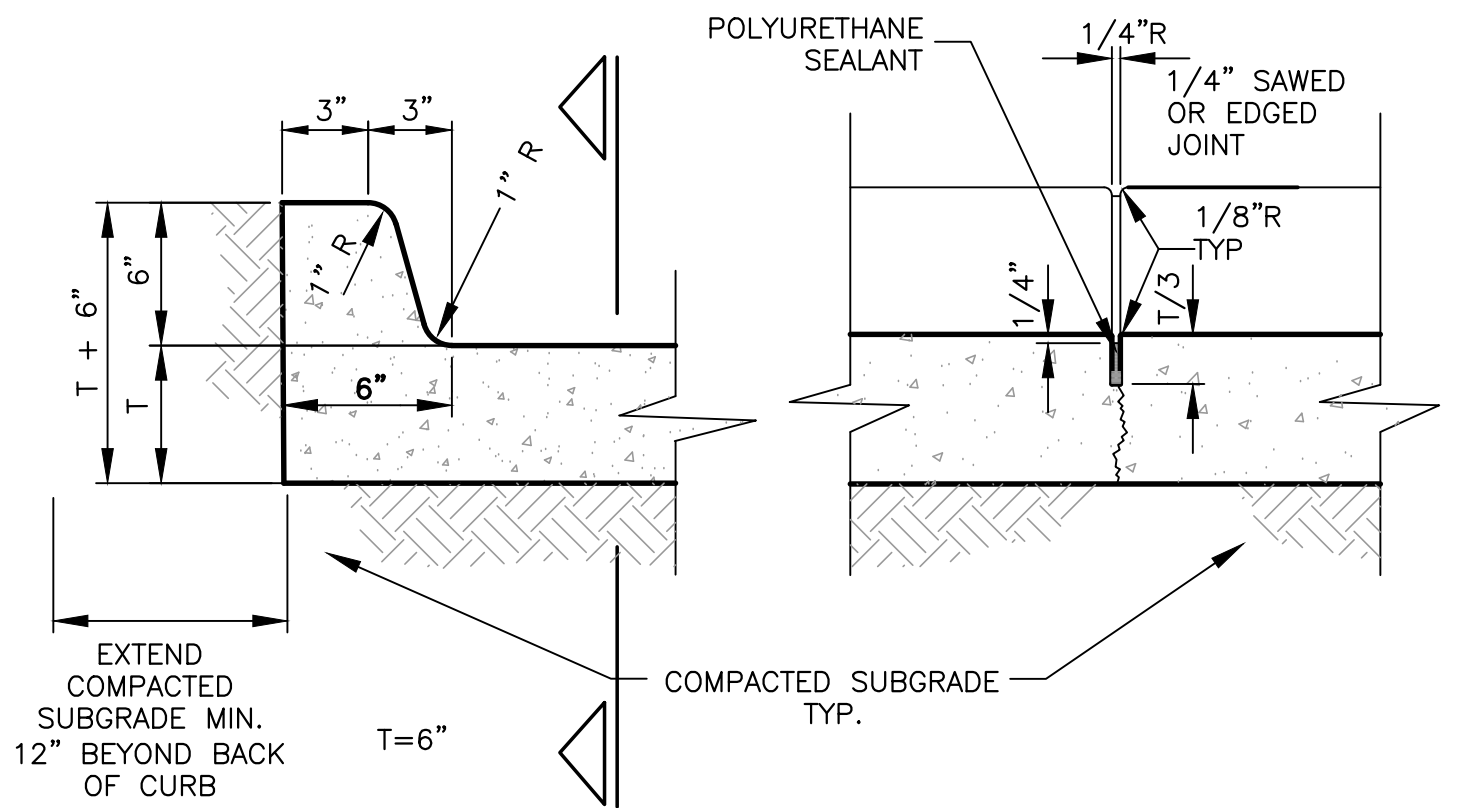


INTEGRAL CURB SECTION SECTION CONTRACTION JOINT

- NOTES:
1. CONTRACTOR SHALL SEAL JOINTS WITH POLYURETHANE SEALANT, MEETING IOWA DEPARTMENT OF TRANSPORTATION SPECIFICATIONS.

3 INTEGRAL CURB DETAIL

NO SCALE

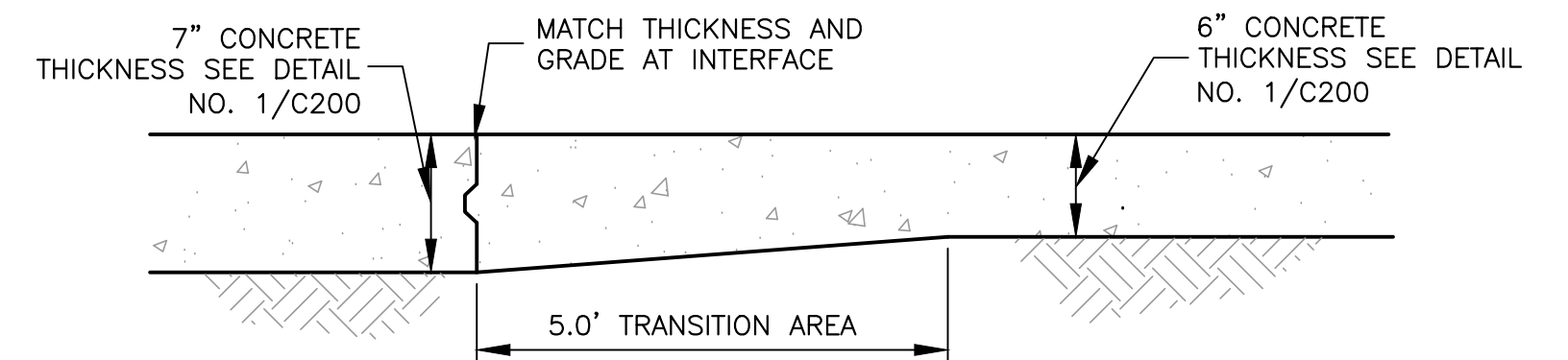


INTEGRAL CURB SECTION SECTION CONTRACTION JOINT

INTEGRAL CURB AT PAY STATION ISLANDS

6 INTEGRAL CURB DETAIL

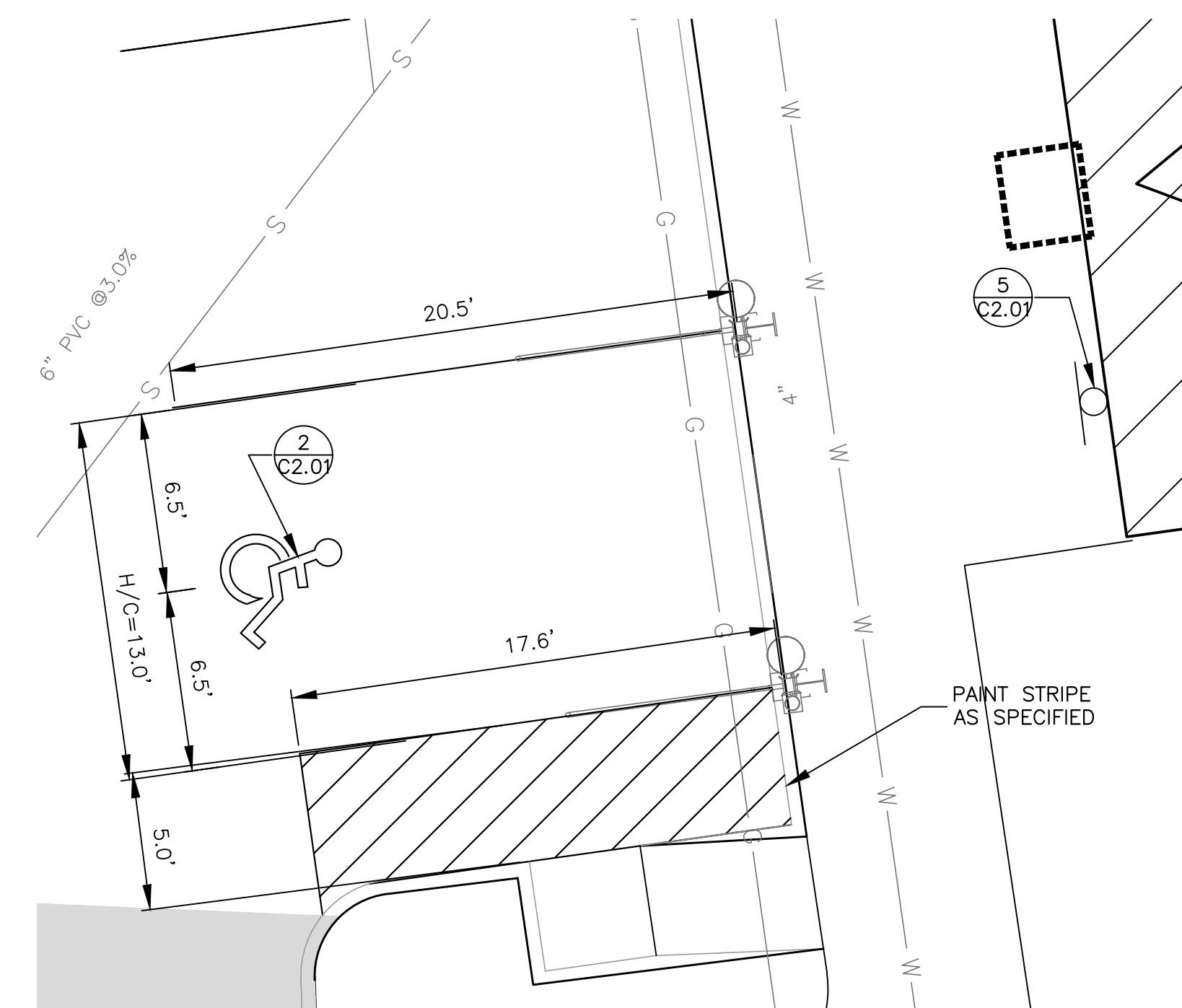
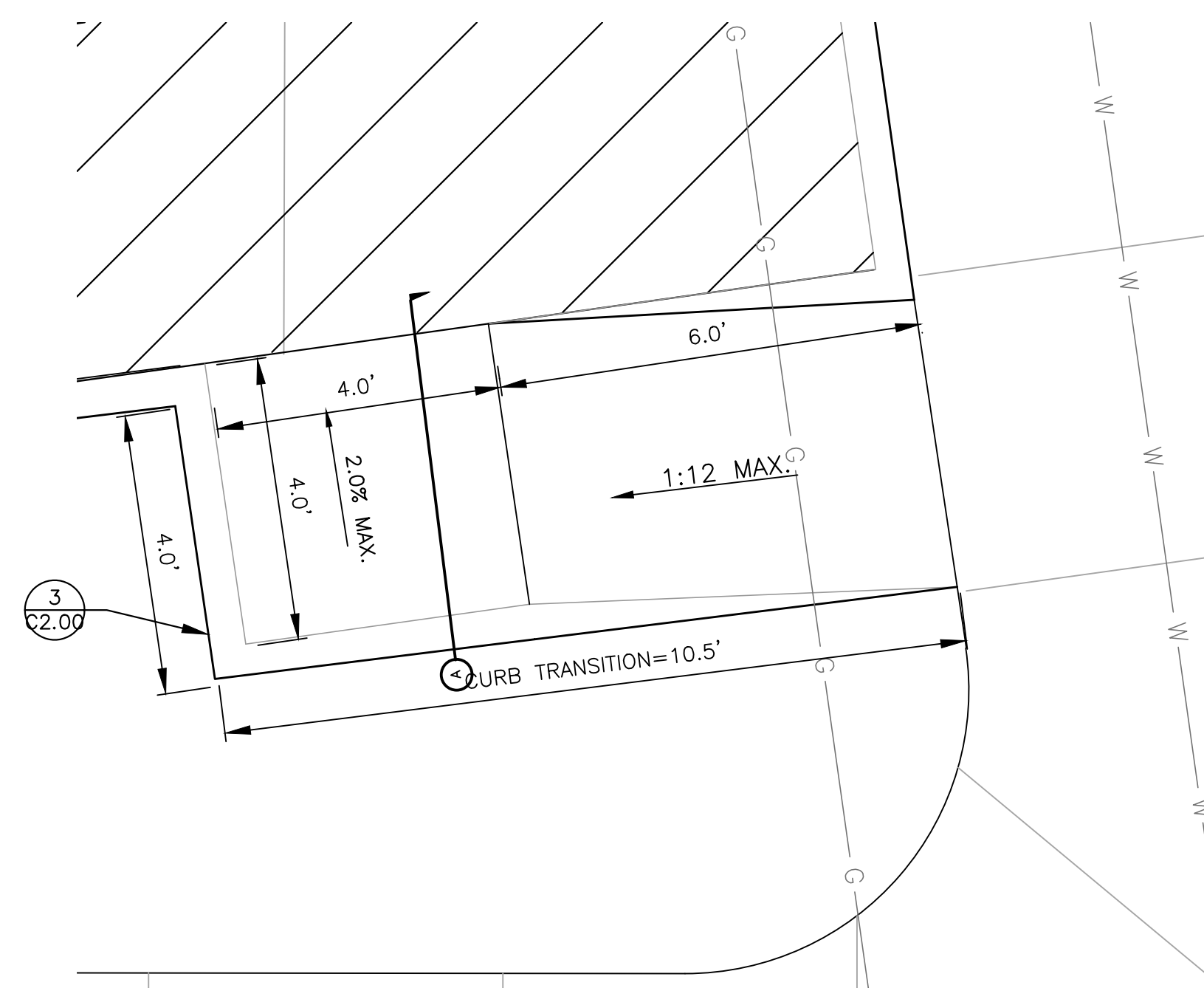
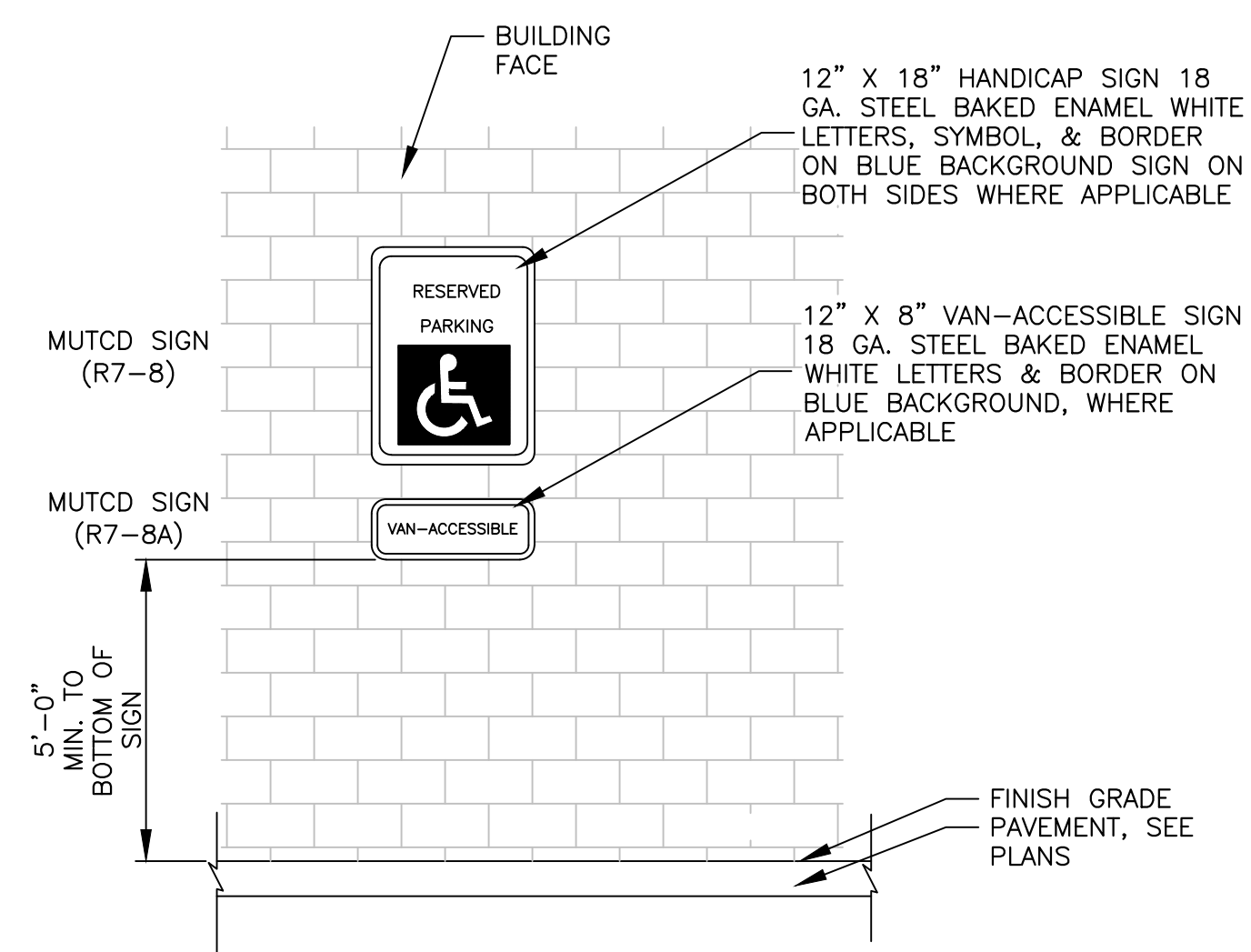
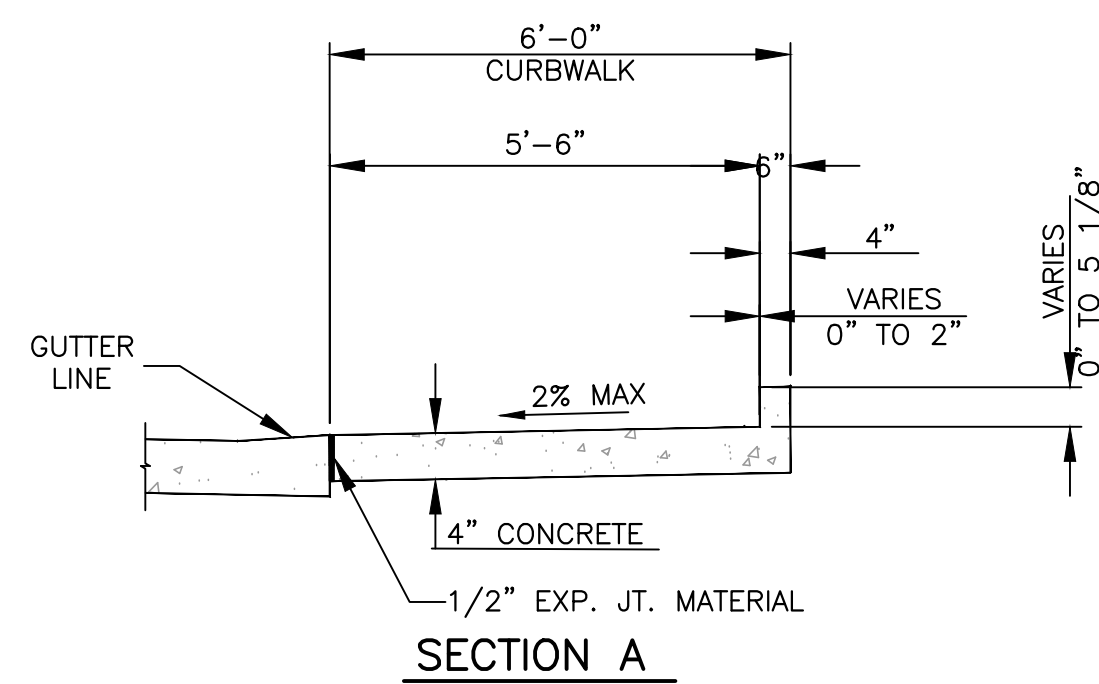
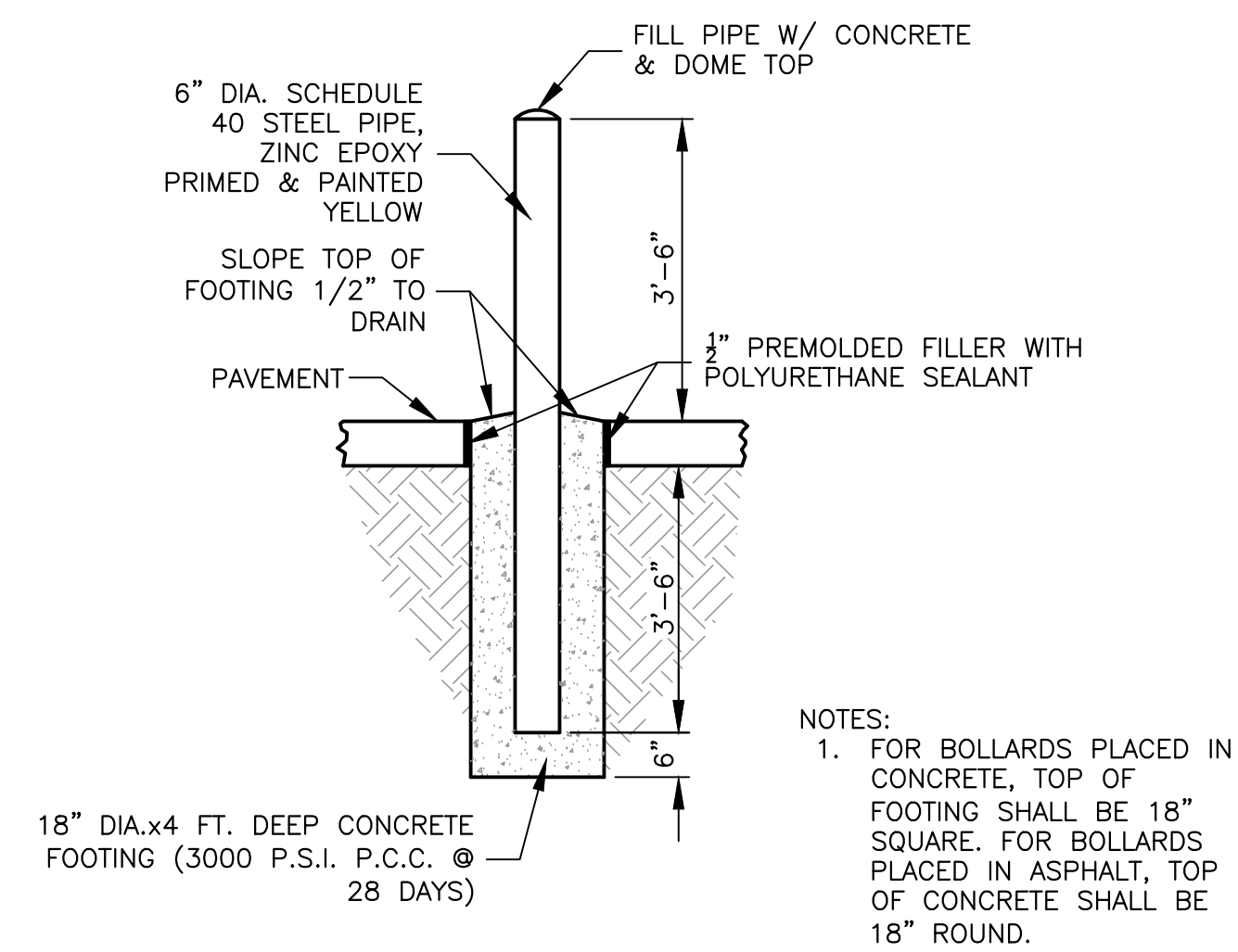
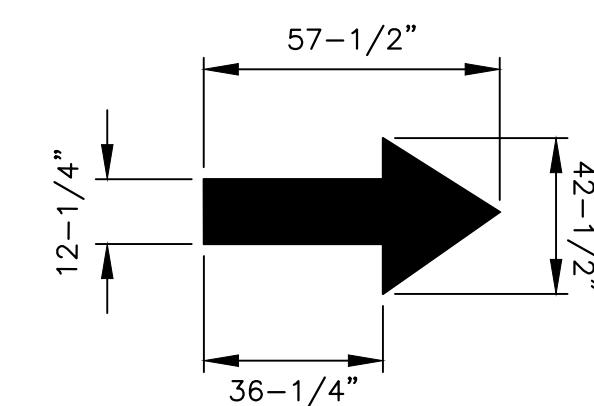
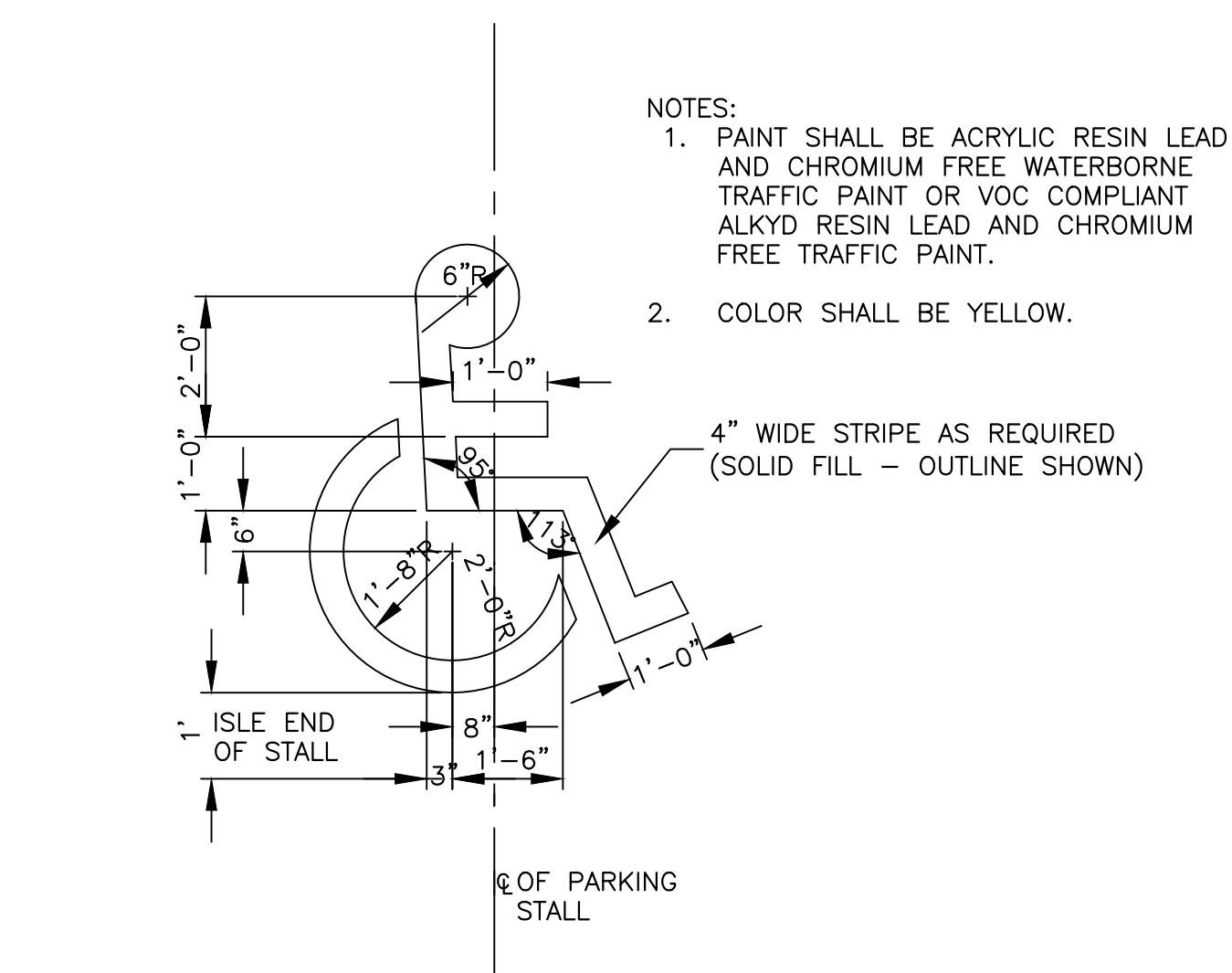
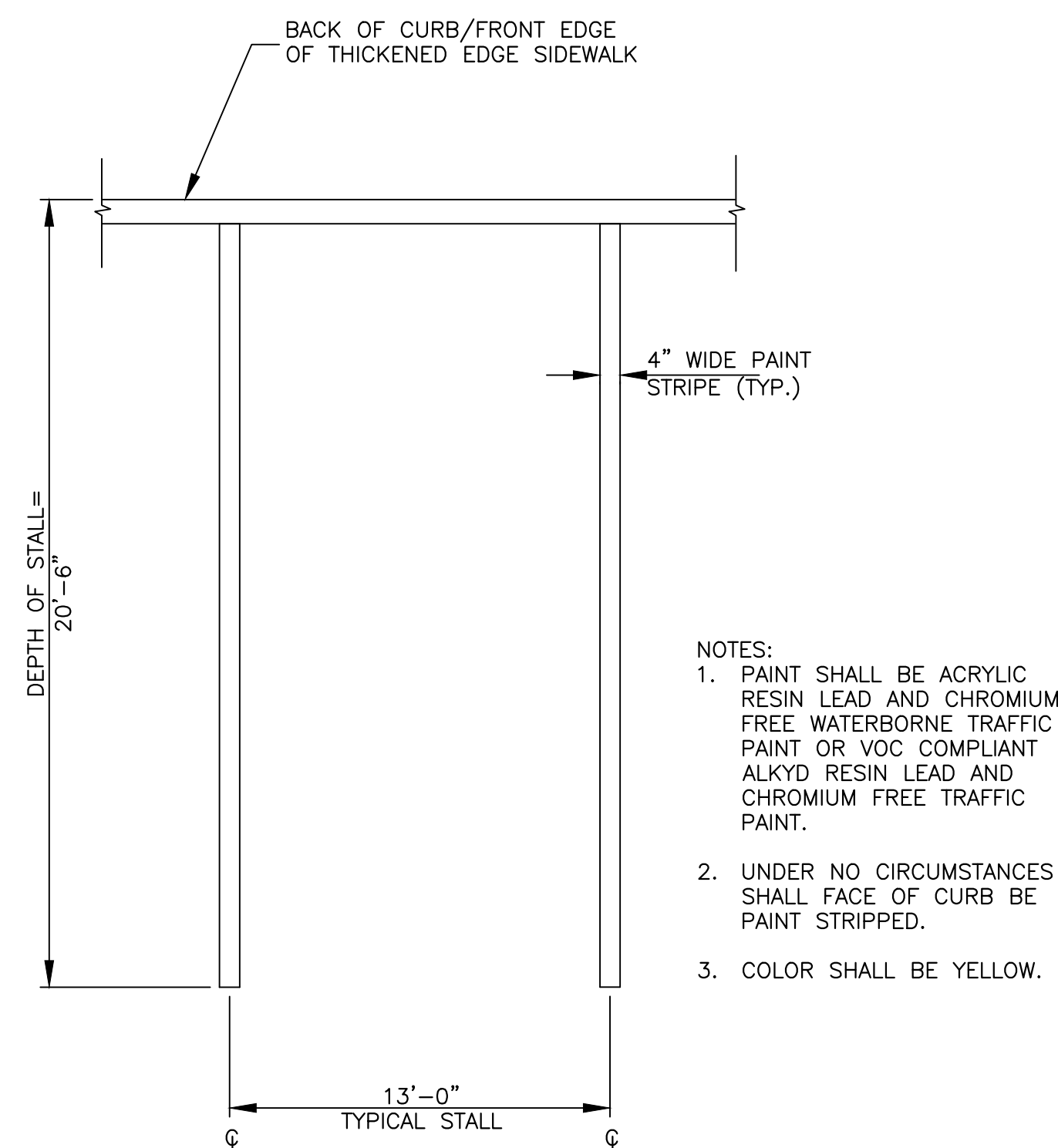
NO SCALE

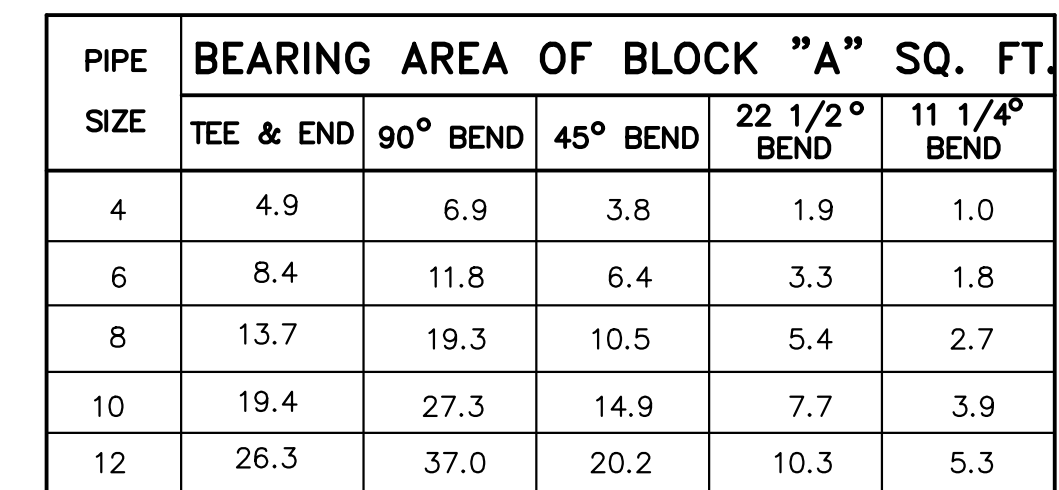


8 TRANSITION SECTION

NO SCALE





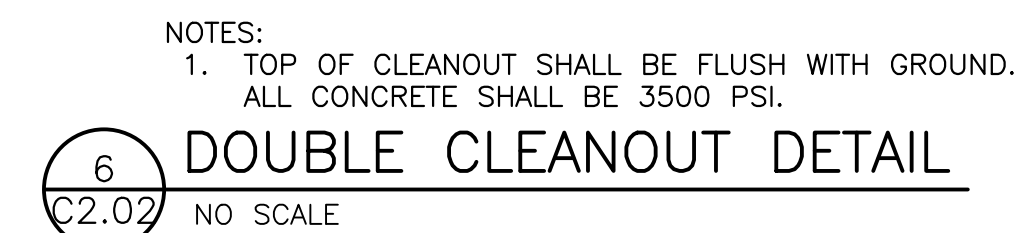


NOTES:

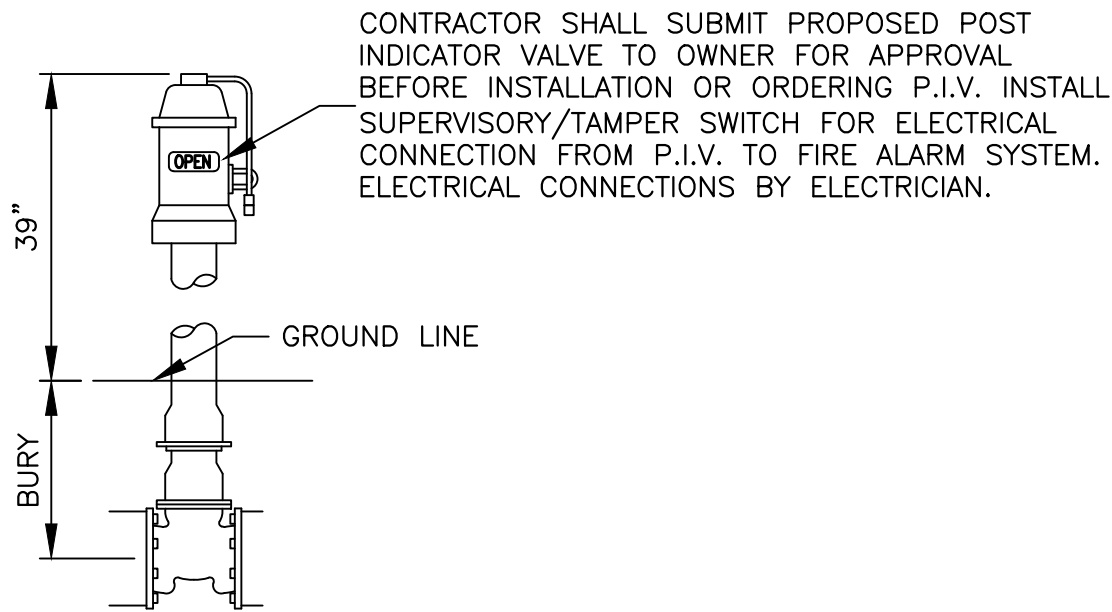
1. ARROW INDICATES DIRECTION OF THRUST.
2. BEAR THRUST BLOCKS AGAINST UNDISTURBED EARTH.
3. DO NOT EXTEND CONCRETE BEYOND BELL FITTING, OR RESTRICT MECHANICAL JOINT BOLT REMOVAL.
4. REQUIRED THRUST BLOCK AREAS "A" ARE BASED ON A SOIL BEARING PRESSURE OF 2000 PSF AND A DESIGN PRESSURE OF 250 PSI.



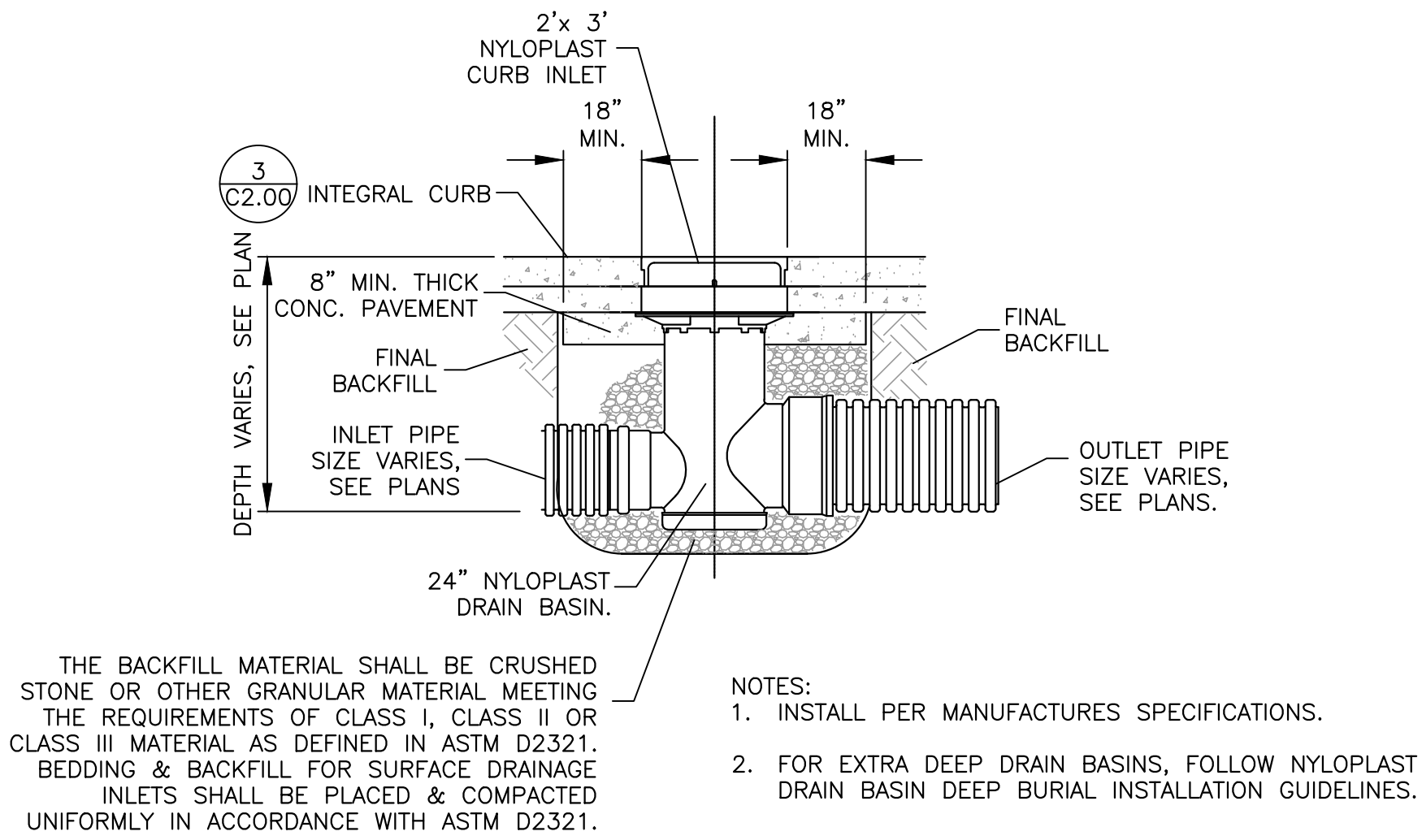
- 4 PIPE ENVELOPE
C2.02 NO SCALE



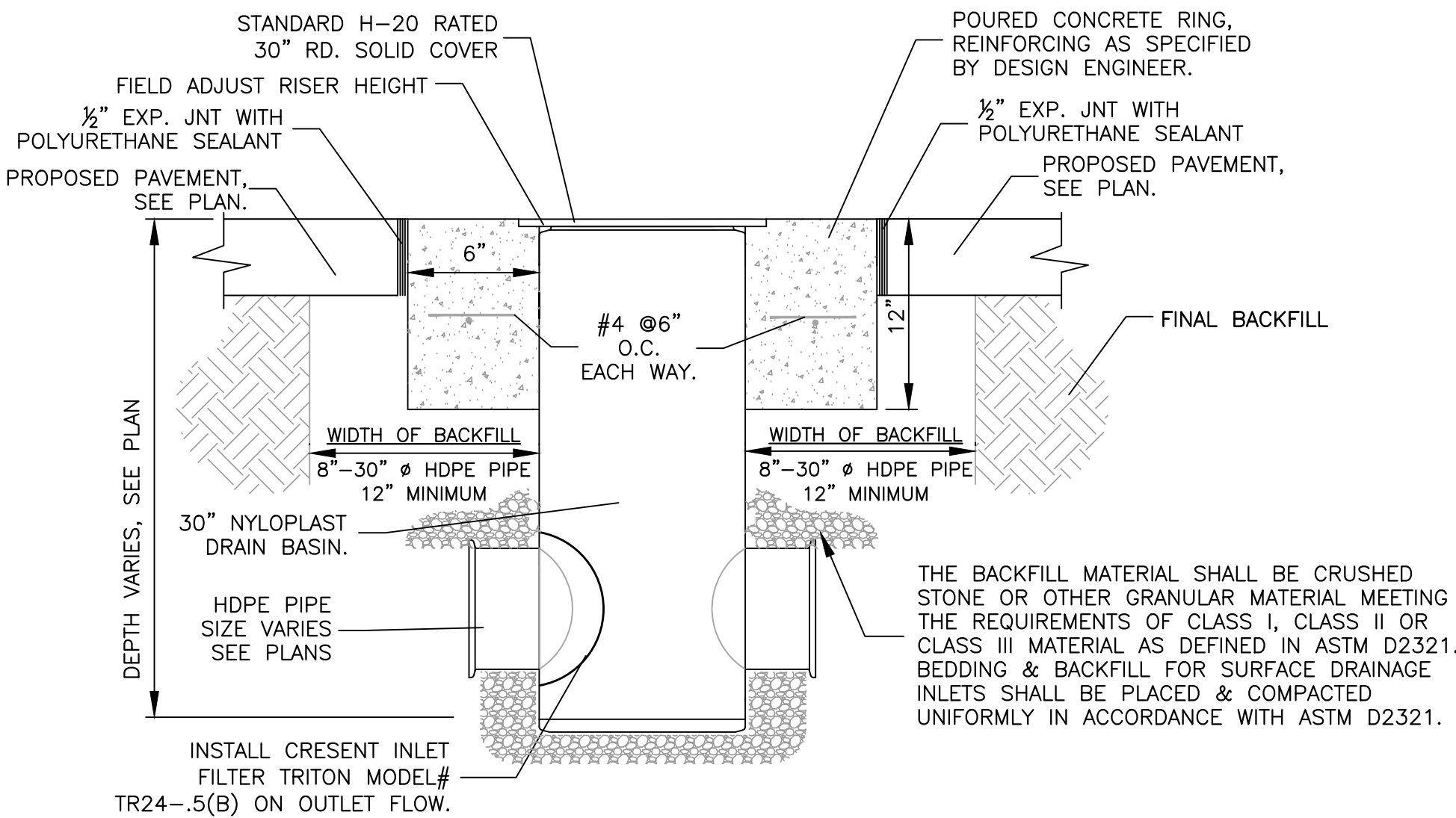
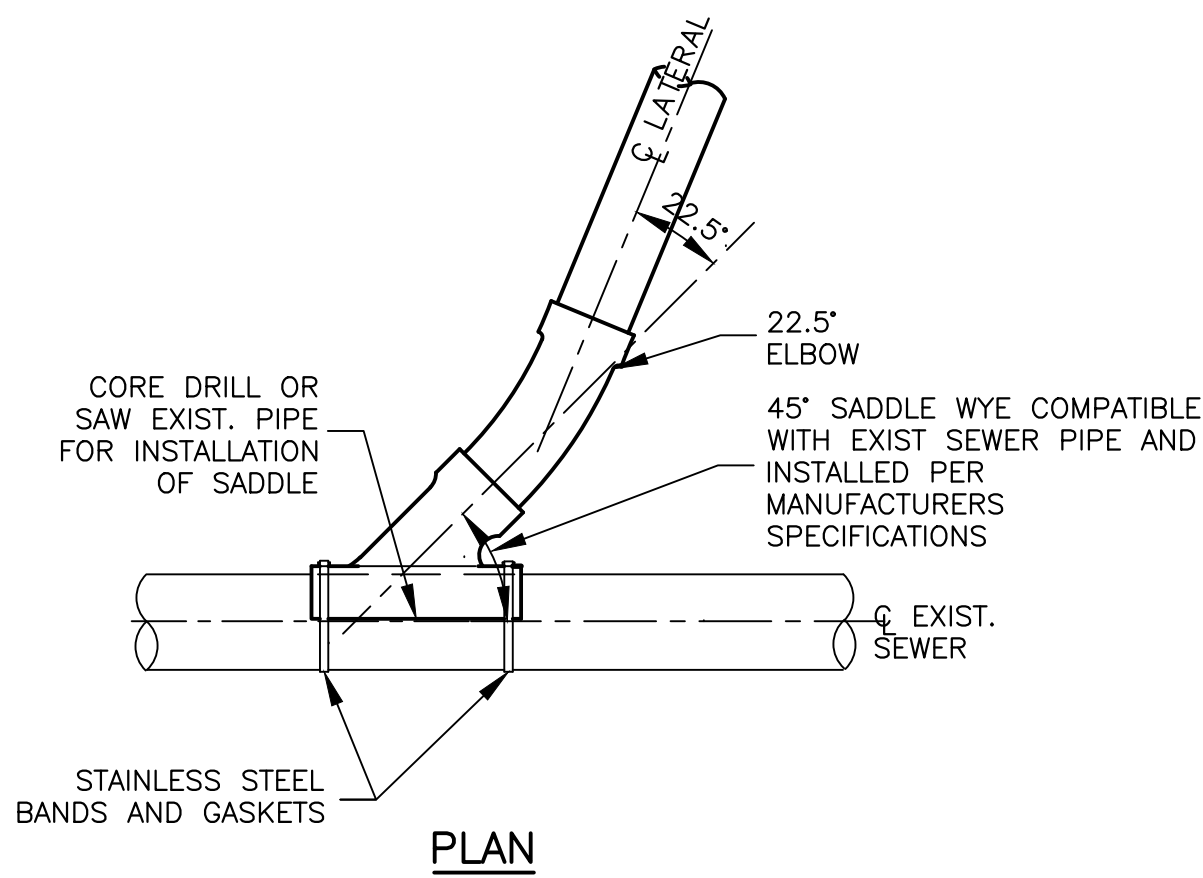
1 POST INDICATOR VALVE DETAIL
C2.03 NO SCALE



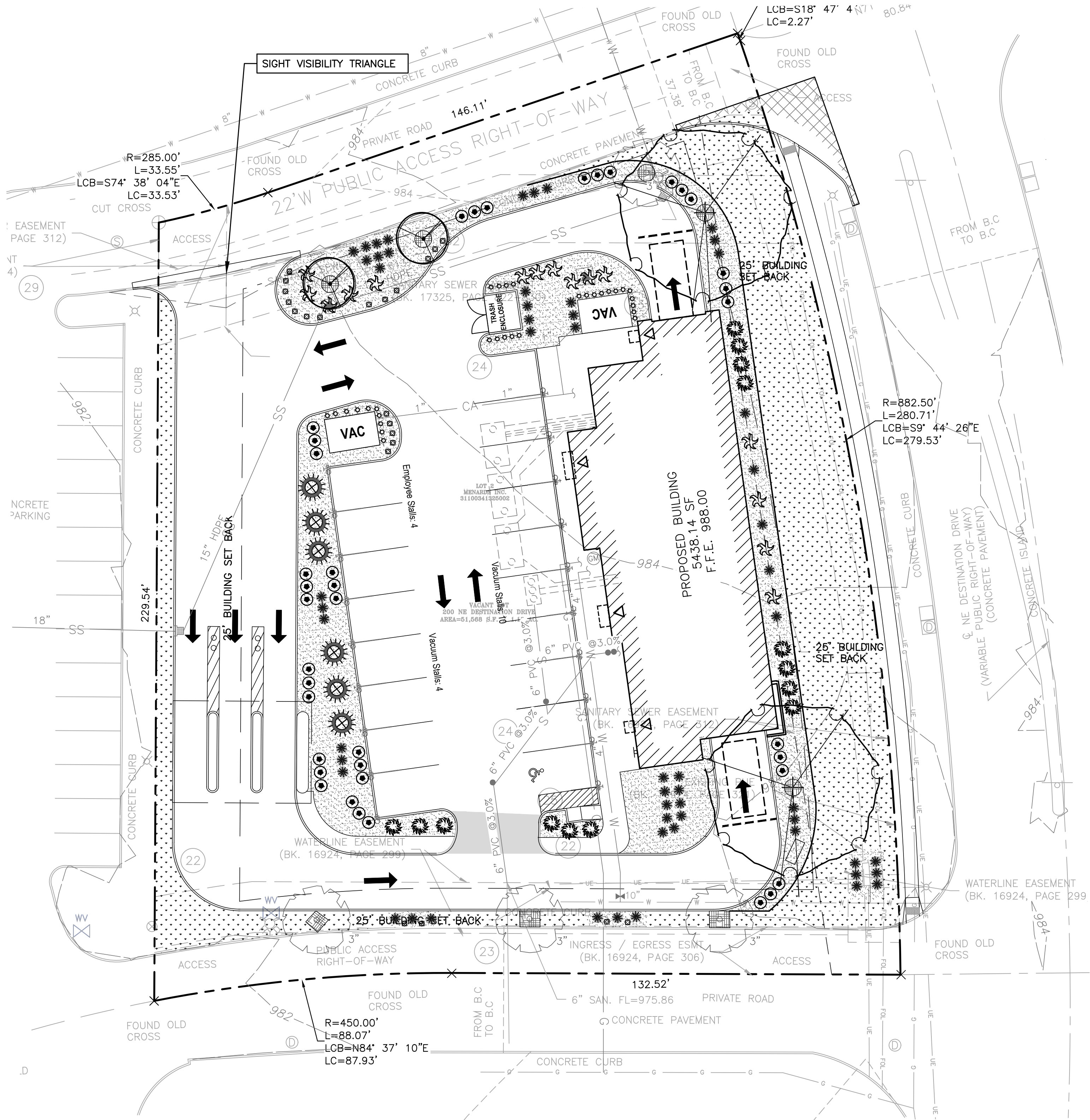
2 NYLOPLAST CURB INLET
C2.03 NO SCALE



3 SANITARY SEWER TAP
C2.03 NO SCALE

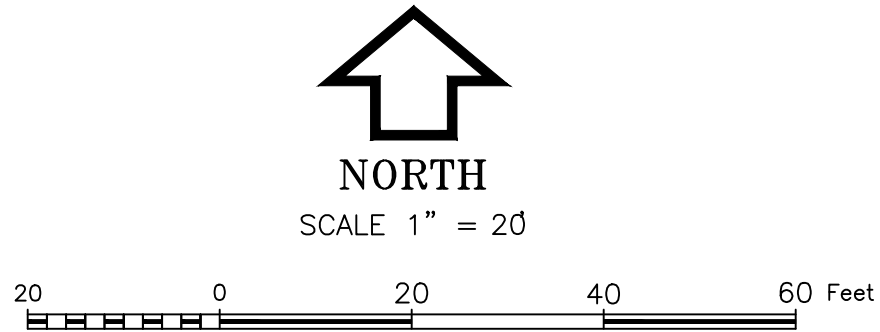


4 30" NYLOPLAST JUNCTION BOX
C2.03 NO SCALE



LANDSCAPE REQUIREMENTS:

INTERIOR LOT REQUIREMENTS: 1 ISLAND (60SF)/12 PARKING STALLS
4 ISLANDS PROVIDED
PERIMETER OF LOT ADJACENT TO PUBLIC RIGHT OF WAY REQUIREMENTS: 1 TREE/ 50' REQUIRED
1 SHRUB/4'REQUIRED
NE DESTINATION DR – ROW TREES – 0
NE DESTINATION DR – EXISTING TREES –4 TO BE TRANSPLANTED OUT OF UTILITY EASEMENT
SOUTH PRIVATE DRIVE –3 TRANSPLANTED TREES (2" CALIPER)
NORTH PRIVATE DRIVE –2 PROPOSED, TRANSPLANTED (2" CALIPER)
NE DESTINATION DR – ROW SHRUBS – 41 SHRUBS/ORNAMENTAL GRASSES PROVIDED.
NE DESTINATION DR – SHRUBS ON LOT ENTRANCE/EXIT TUNNEL – 18 SHRUBS/ORNAMENTAL GRASSES.

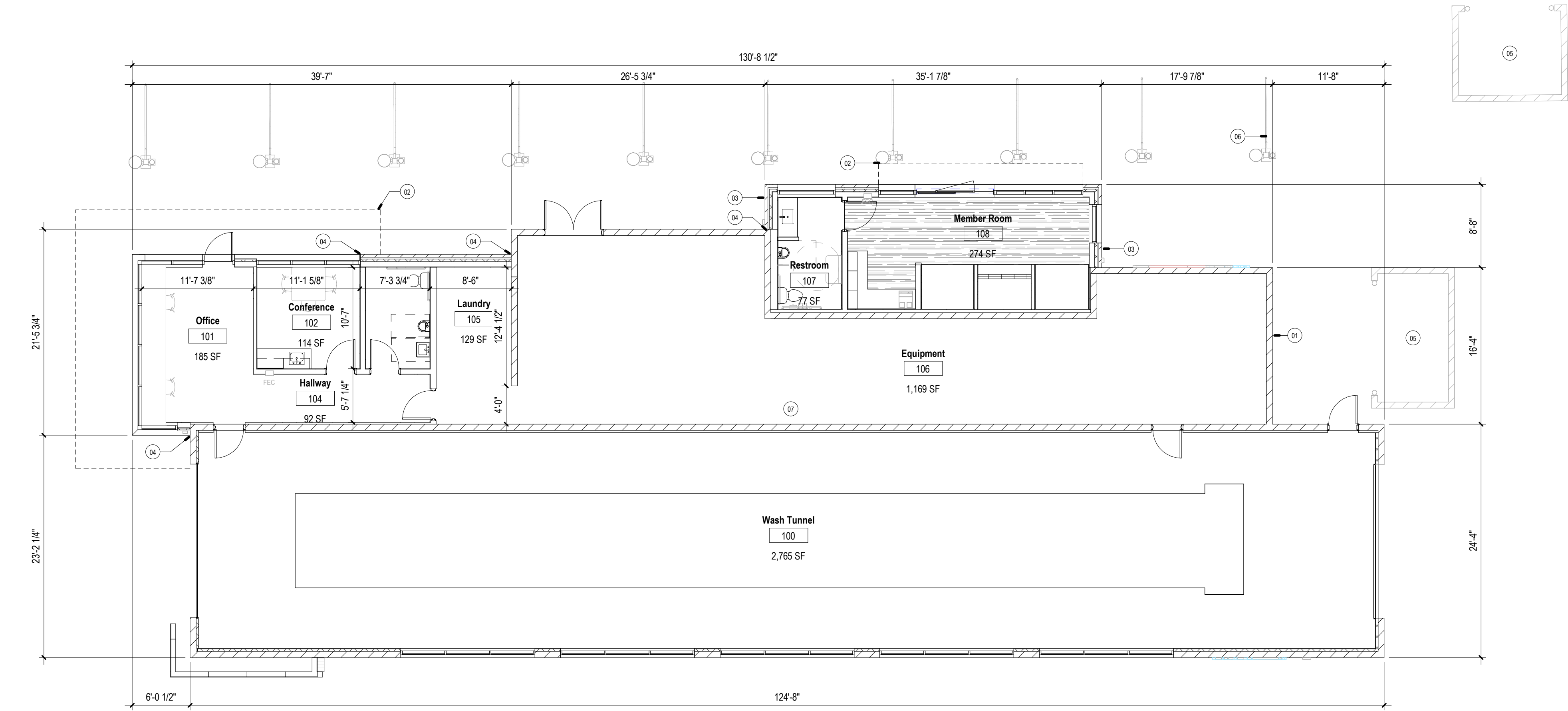


LANDSCAPE SCHEDULE (PROVIDED AND INSTALLED BY CONTRACTOR)								
	QUANTITY	COMMON NAME	SCIENTIFIC NAME	%of TREE ON SITE	HEIGHT	WIDTH	METHOD	SIZE
	4	TRANSPLANT TREES – 2" CALIPER ESTIMATED		2"–50%				
	2	SHADEMASTER HONEYLOCUST	GLEDITSIA TRIACANTHOS	1½"–25%	60'–80'	60'–80'	B&B	2" CAL.
	2	DONALD WYMAN, CRABAPPLE	MALUS "DONALD WYMAN"	2"–25%	20'	20'	B&B	2" CAL.
SHRUBS – EVERGREEN								
	15	GOLD LACE JUNIPER	JUNIPERUS CHINENSIS 'GOLD LACE'		3'–4'	5'–6'	GALLON	#2
	14	SEA GREEN CHINESE JUNIPER	JUNIPERUS X PFITZERIANA 'SEA GREEN'		4'–6'	6'–8'	GALLON	#2
SHRUBS – DECIDUOUS								
	31	ORANGE ROCKET BARBERRY	BARBERIS THUNBERGII 'ORANGE ROCKET'		6'–8'	2'	GALLON	#2
	6	REDOSIER DOGWOOD	CORNUS SERICEA 'CARDINAL'		8'–10'	10'	GALLON	#2
	22	RUBY RED STELLA DAYLILY	HEMEROCALLIS 'RUBY RED STELLA'		2'	2'	GALLON	#2
	28	MAGIC CARPET SPIREA	SPIRAEA JAPONICA 'WALBUMA' MAJIC CARPET		1'–2'	2'–3'	GALLON	#2
	39	DOUBLE KNOCK OUT ROSE	ROSA RADTKO PP16,202		3'–4'	3'–4'	GALLON	#2
ORNAMENTAL GRASSES								
	57	FEATHER REED GRASS 'KARL FOERSTER'	CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'		4'	2'	GALLON	#2
GROUNDCOVERS / PERENNIALS								
	~6,803sf	SHRUB BED/PLANTING AREA / 1 1/2 " RIVER ROCK. PROVIDE SAMPLE FOR APPROVAL. INSTALL OVER 5 OZ WOVEN POLYPROPYLENE WEED FABRIC. 3" AVERAGE DEPTH, SEE INERT GROUNDCOVER DETAIL 3, SHEET C1.11. SEPARATE GRASS (OR ROCK) FROM MULCH.						
	~8,477sf	RHIZOMATOUS TALL FESCUE (RTF) SOD						
	~88sf	NATURAL CULTIVATED EDGE, SEPARATE GRASS (OR ROCK) FROM MULCH						
	~59sf	TREE PLANTING AREA – 5' DIAMETER – HARDWOOD MULCH – NATURAL CULTIVATED EDGE.						
	~295sf	NATURAL CULTIVATED EDGE. SEPARATE ROCK / MULCH FROM GRASS, TYP.						

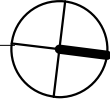
- NOTES:
- BASIC PLANT MATERIAL STANDARDS:
 - EVERGREEN TREES: MINIMUM HEIGHT OF SIX FEET.
 - SHRUBS: MINIMUM TWO-GALLON SIZE CONTAINER, OR THE EQUIVALENT HEIGHT AND/OR SPREAD.
 - GROUND COVER SHRUBS: MINIMUM SPACING UPON INSTALLATION OF 18 INCHES ON CENTER.
 - DECIDUOUS SHADE TREES: MINIMUM CALIPER OF TWO INCHES AS MEASURED 12 INCHES ABOVE GROUND.
 - ALL OTHER SPECIFICATIONS SHALL CONFORM TO THE AMERICAN STANDARDS FOR NURSERY STOCK, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN FOR THAT TYPE OF TREE OR SHRUB AT THE TIME OF INSTALLATION.
 - ALL PLANT MATERIAL SHALL BE INSTALLED FREE OF DISEASE AND IN A MANNER THAT ENSURES THE AVAILABILITY OF SUFFICIENT SOIL AND WATER TO SUSTAIN HEALTHY GROWTH.
 - ALL PLANT MATERIAL SHALL BE PLANTED WITH A MINIMUM OF SIX INCHES OF ORGANIC SOIL AND MULCHED TO A DEPTH OF THREE INCHES.
 - REFER TO GENERAL LANDSCAPE NOTES AND GENERAL IRRIGATION NOTES ON SHEET L1.01.
 - REFER TO UTILITY PLAN SHEET C1.04FOR IRRIGATION SLEEVE LOCATIONS. COORDINATE FINAL LOCATION AND SIZE WITH IRRIGATION CONTRACTOR.

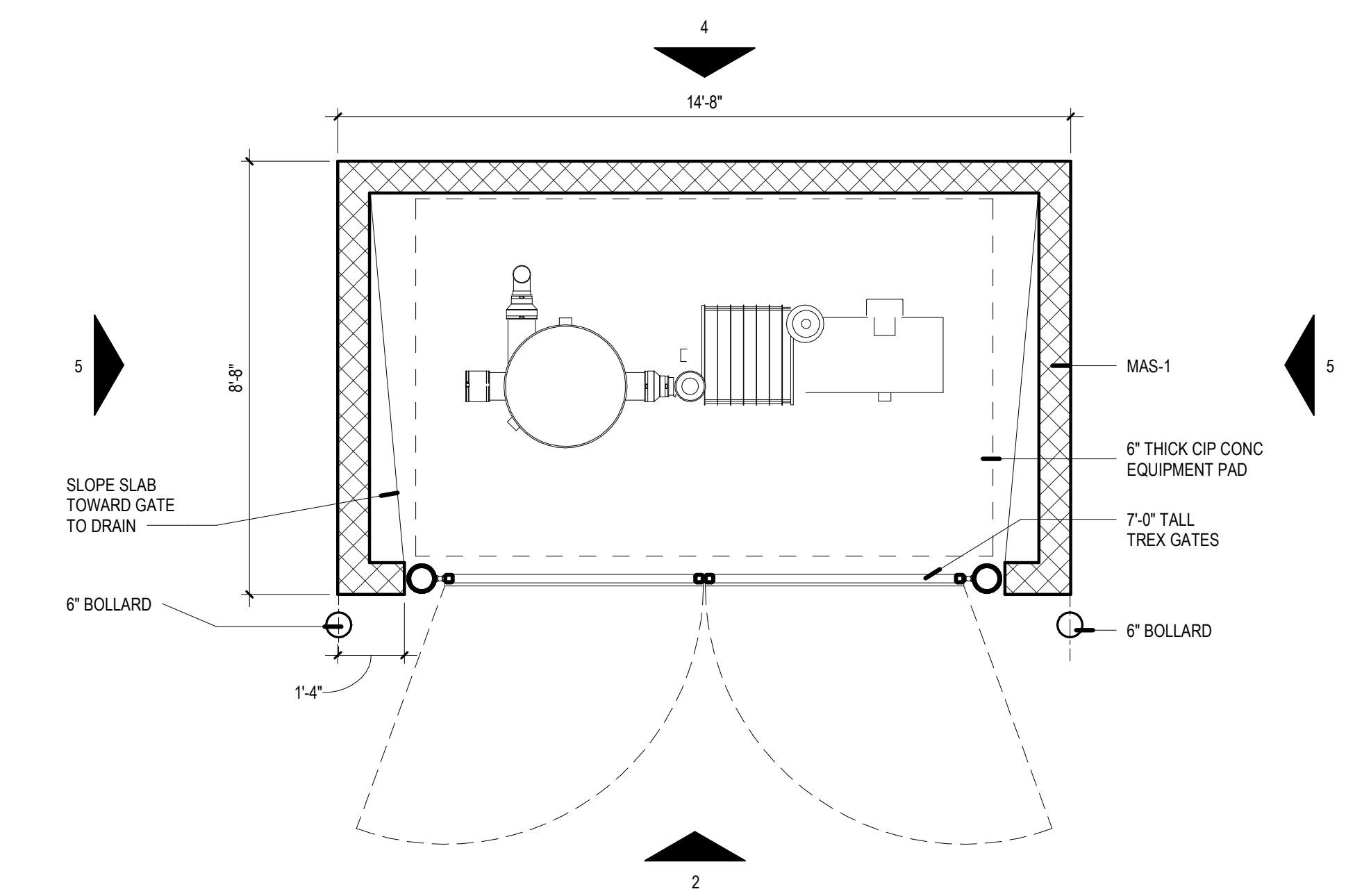
FLOOR PLAN NOTES

MARK	DESCRIPTION
01	ELECTRICAL PANEL / METER
02	CANOPY OVERHEAD
03	BUILDING OFFSET GREATER THAN 4'-0" IN DEPTH
04	COLOR/MATERIAL CHANGE
05	VACUUM/TRASH ENCLOSURE
06	VACUUM STATION
07	TOTAL BUILDING SOFT = 5,450 sqft

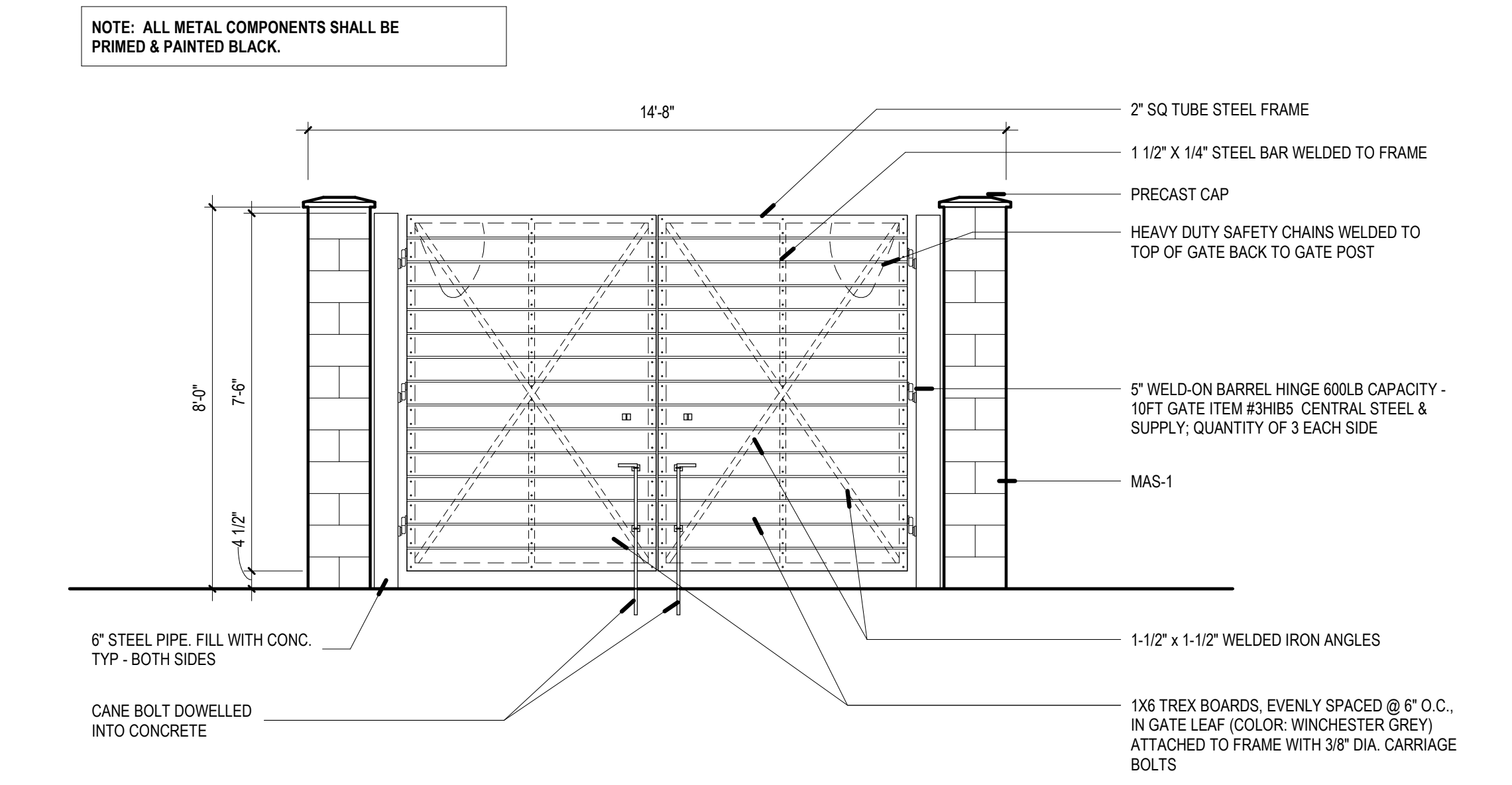


1 FLOOR PLAN
A1 1/8" = 1'-0"

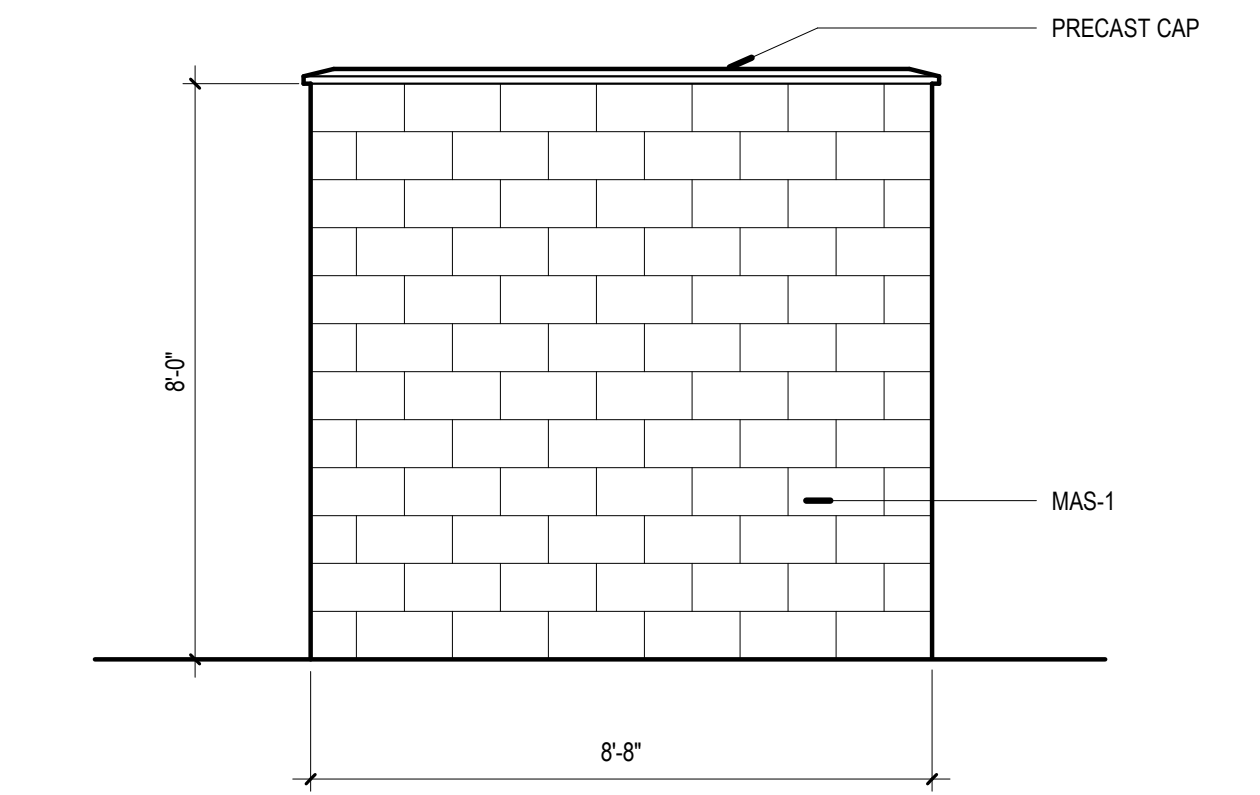




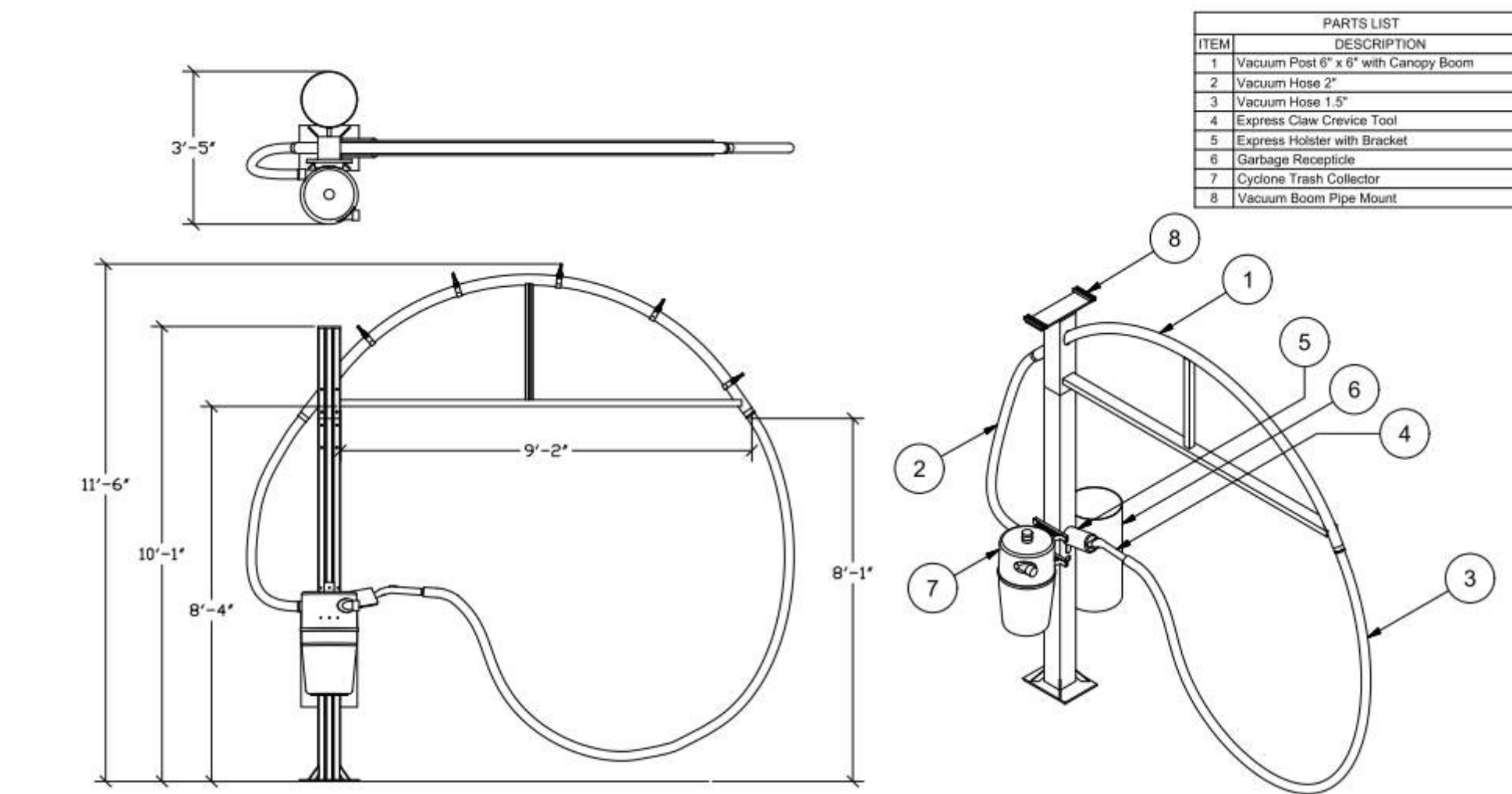
1 VACUUM / TRASH / RECYCLING ENCLOSURE - PLAN
A2 3/8" = 1'-0"



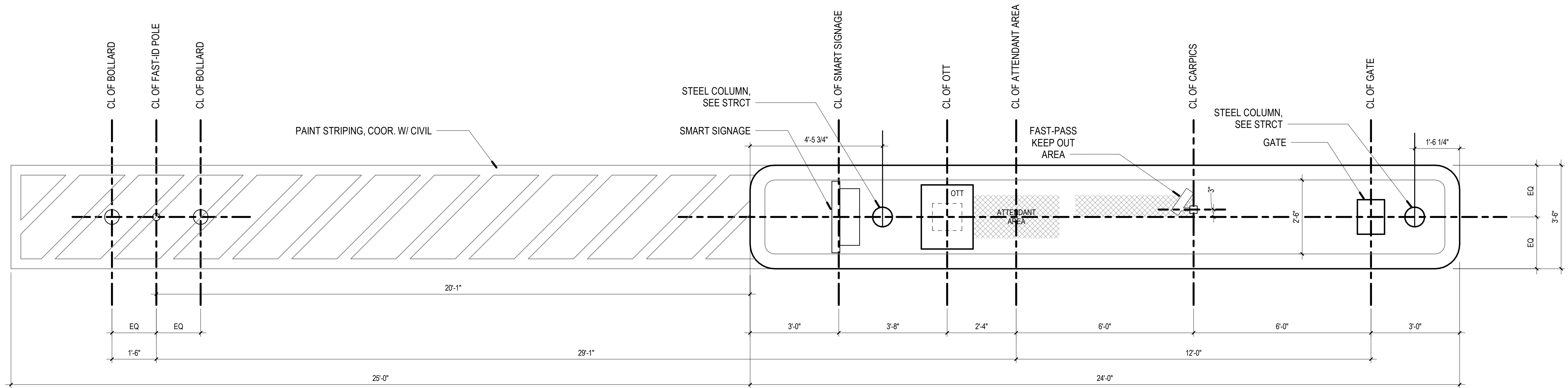
2 VACUUM & TRASH / RECYCLING ENCLOSURE - ELEVATION - FRONT
A2 3/8" = 1'-0"



3 VACUUM & TRASH / RECYCLING ENCLOSURE - SIDE
A2 3/8" = 1'-0"



CUSTOMER VACUUM STATION
N.T.S

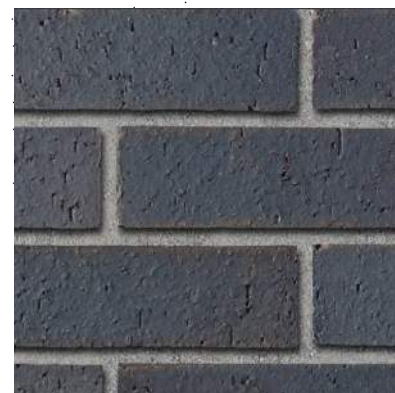


4 ENLARGED PLAN - POINT OF SALE ISLAND LAYOUT
A2 1/2" = 1'-0"

MAS-1



MAS-2



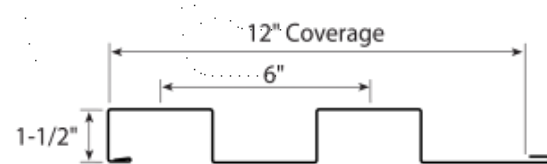
GL-2



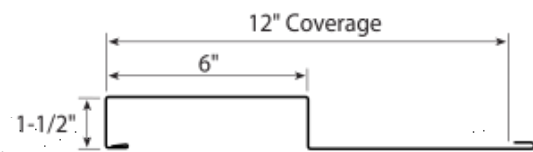
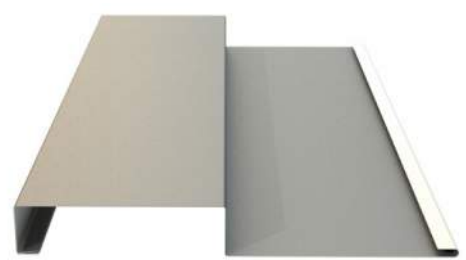
GL-3



MWP-1/2



MWP-3



Rocket Carwash - Grimes
Exterior Material Analysis
4/12/2022

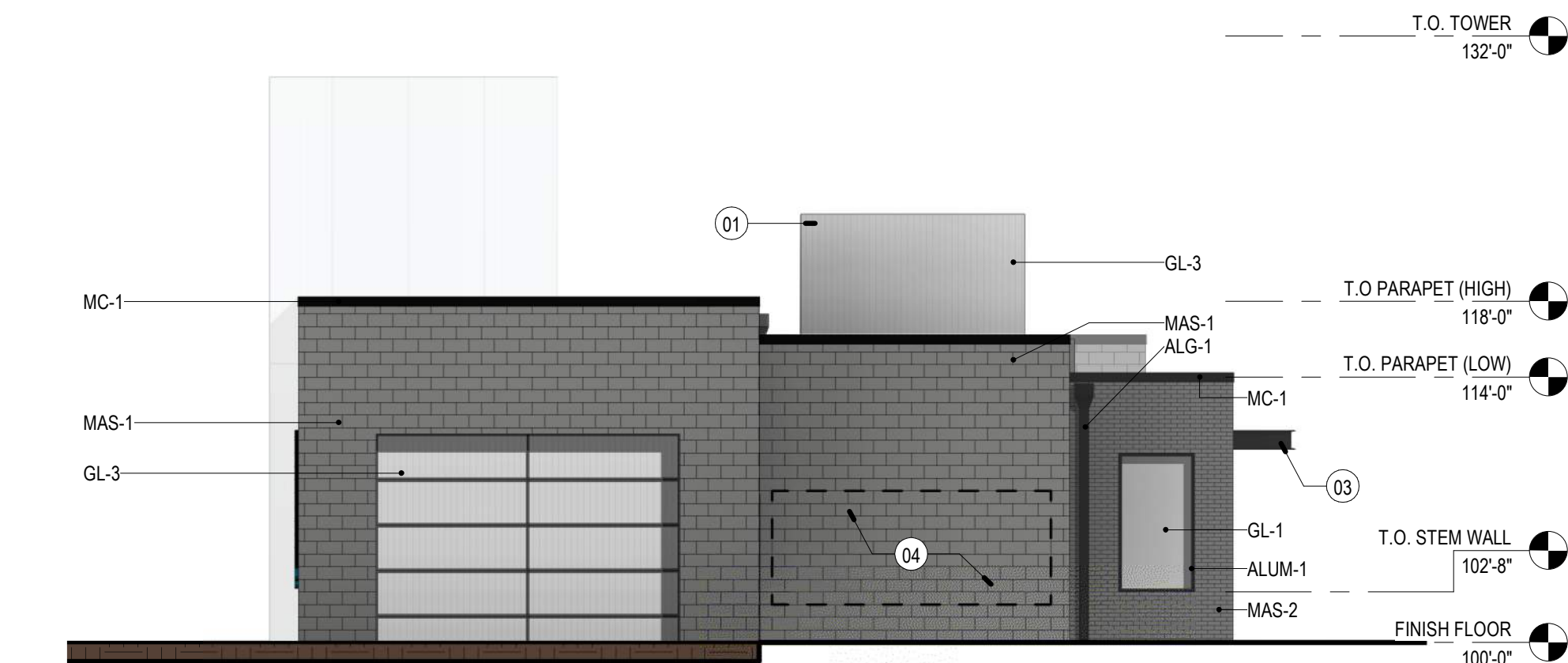
EAST ELEVATION	Material	SF	%
	Masonry	1601	59.1%
	Polycarbonate Panel	409	15.1%
	Glazing	690	25.5%
	Metal Panel	11	0.4%
	Total	2711	100.0%
WEST ELEVATION			
	Masonry	1711	81.8%
	Polycarbonate Panel	161	7.7%
	Metal Panel	219	10.5%
	Total	2091	100.0%
NORTH ELEVATION			
	Masonry	660	74.5%
	Polycarbonate Panel	226	25.5%
	Metal Panel	0	0.0%
	Total	886	100.0%
SOUTH ELEVATION			
	Masonry	438	50.1%
	Polycarbonate Panel	360	41.1%
	Metal Panel	77	8.8%
	Total	875	100.0%
ALL ELEVATIONS			
	Masonry	4410	75.1%
	Polycarbonate Panel	1156	19.7%
	Metal Panel	307	5.2%
	Total	5873	100.0%

Exterior Materials Legend

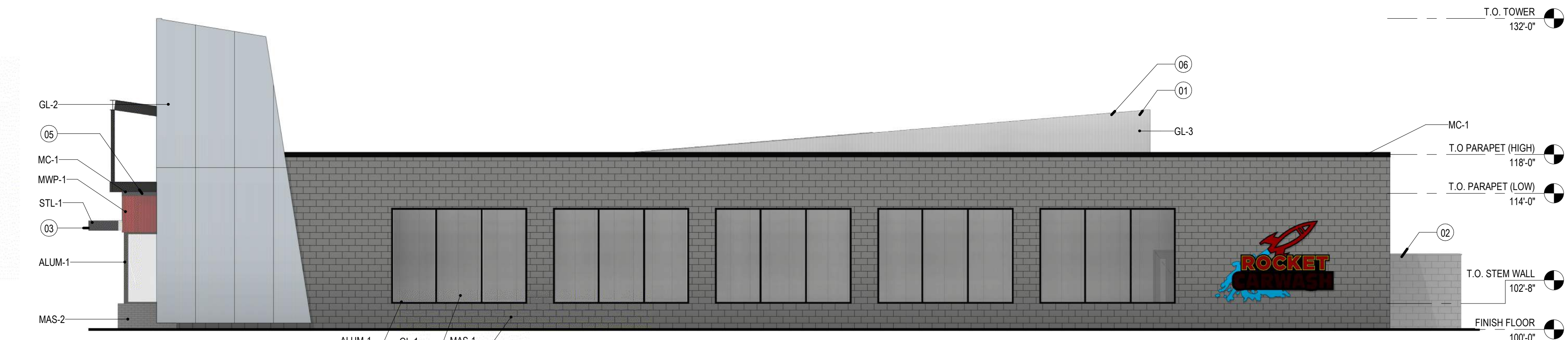
MARK	DESCRIPTION
ALG-1	PREFINISHED ALUM GUTTER & DOWNSPOUT, COLOR : BLACK
ALUM-1	ALUMINUM STOREFRONT : BLACK ANODIZED
GL-1	CLEAR GLAZING, TEMPERED
GL-2	16MM POLYCARBONATE WALL PANEL, COLOR : ICE
GL-3	16MM POLYCARBONATE WALL PANEL, COLOR : CLEAR
GL-4	FROSTED GLAZING, TEMPERED
MAS-1	8" x 8" x 16" INTEGRAL COLORED MASONRY, COLOR : SMOKE
MAS-2	MASONRY VENEER, COLOR: MANGANESE IRONSPOT
MC-1	PREFINISHED ALUMINUM COPING : BLACK
MWP-1	VERTICAL METAL WALL PANEL, COLOR : RED
STL-1	DECORATIVE STEEL CHANNEL : BLACK

Exterior Elevation Notes

MARK	DESCRIPTION
01	MECHANICAL SCREEN
02	VACUUM ENCLOSURE
03	PRE ENGINEERED METAL AWNING
04	ELECTRICAL PANEL / GAS METER
05	VARIATION IN ROOF HEIGHT
06	VARIATION IN ROOF FORMS
07	COLOR, TEXTURE, MATERIAL CHANGE



1 EXTERIOR ELEVATION - NORTH
A3 1/8" = 1'-0"



2 EXTERIOR ELEVATION - EAST
A3 1/8" = 1'-0"

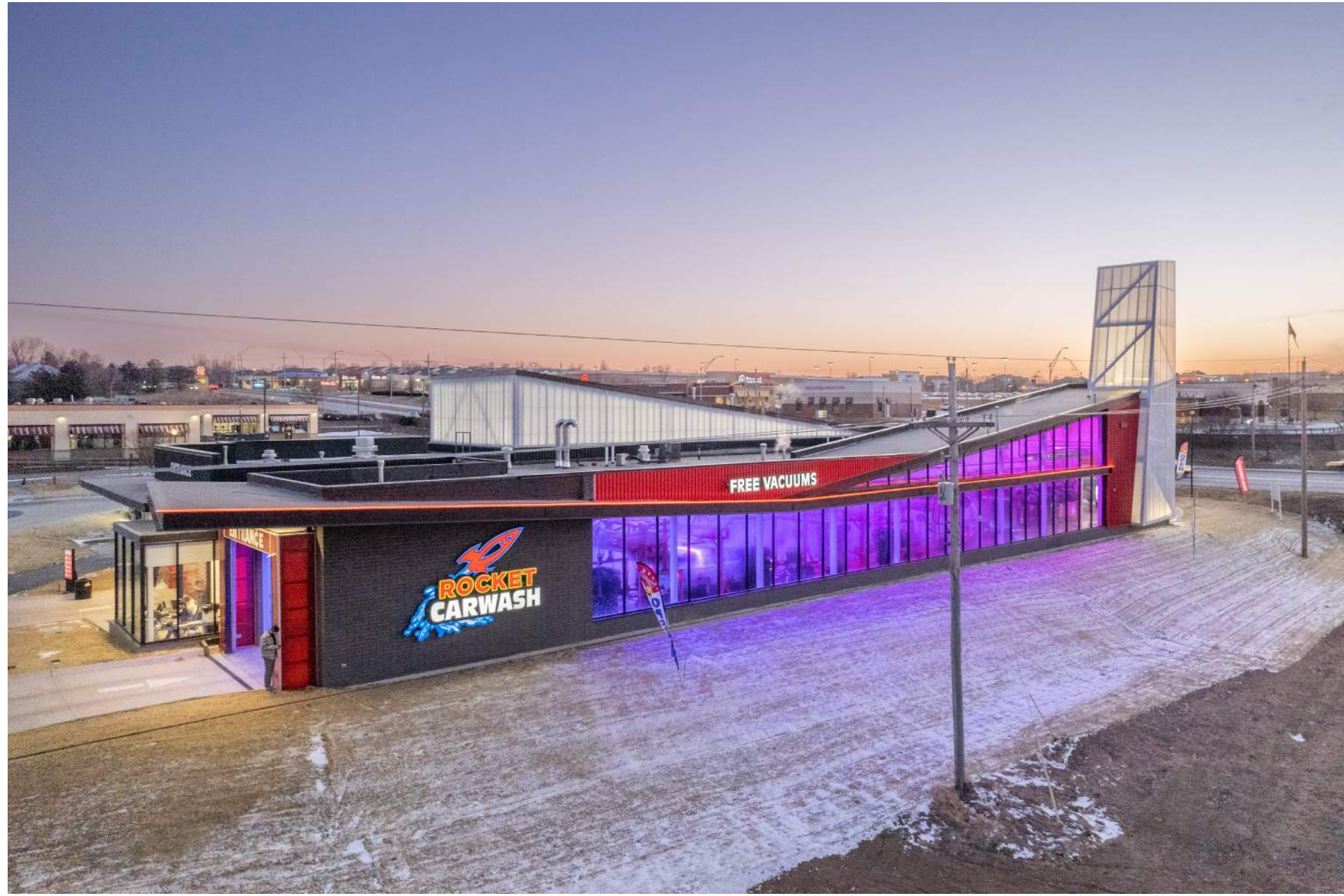


3 EXTERIOR ELEVATION - SOUTH
A3 1/8" = 1'-0"



4 EXTERIOR ELEVATION - WEST
A3 1/8" = 1'-0"

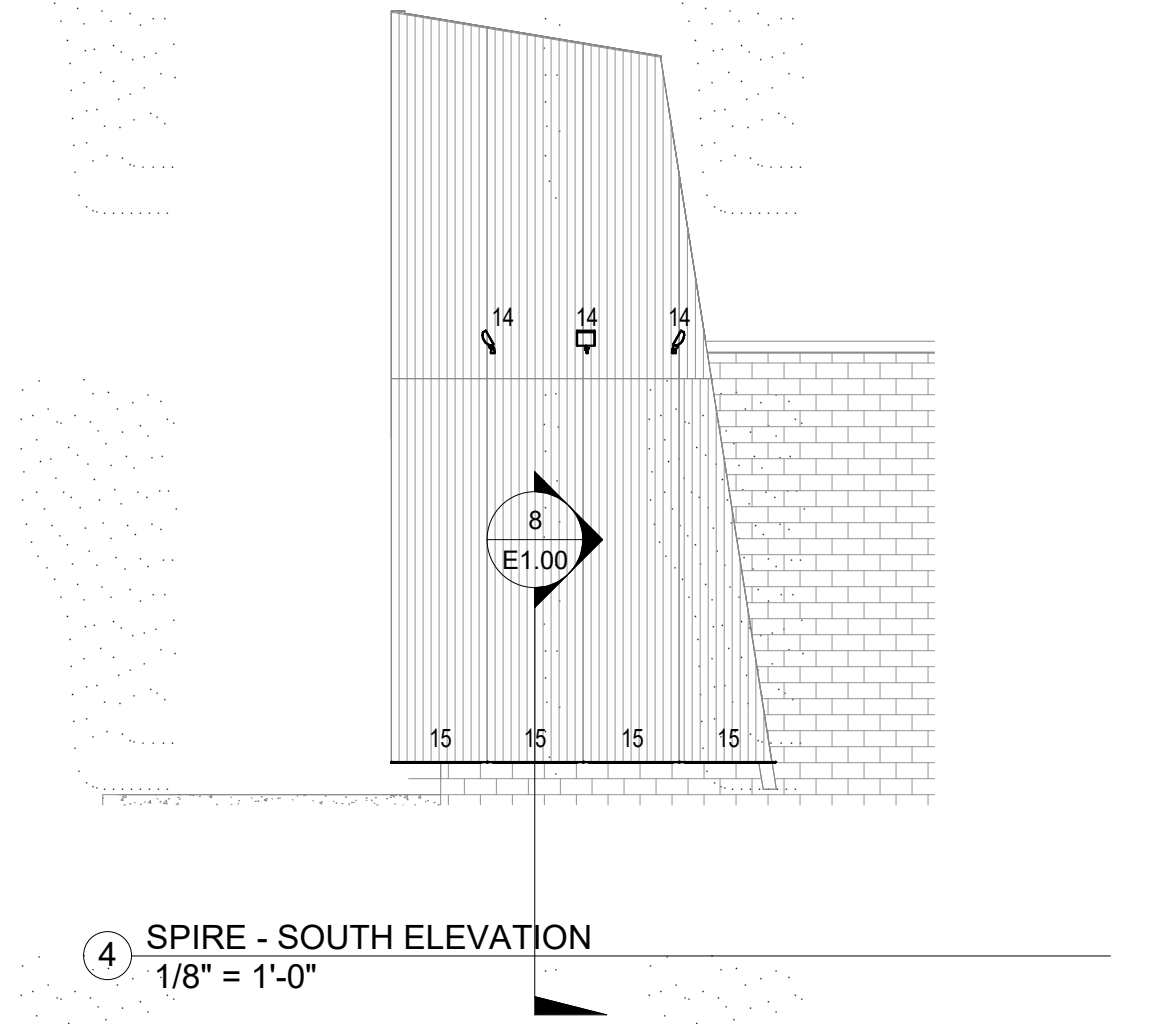
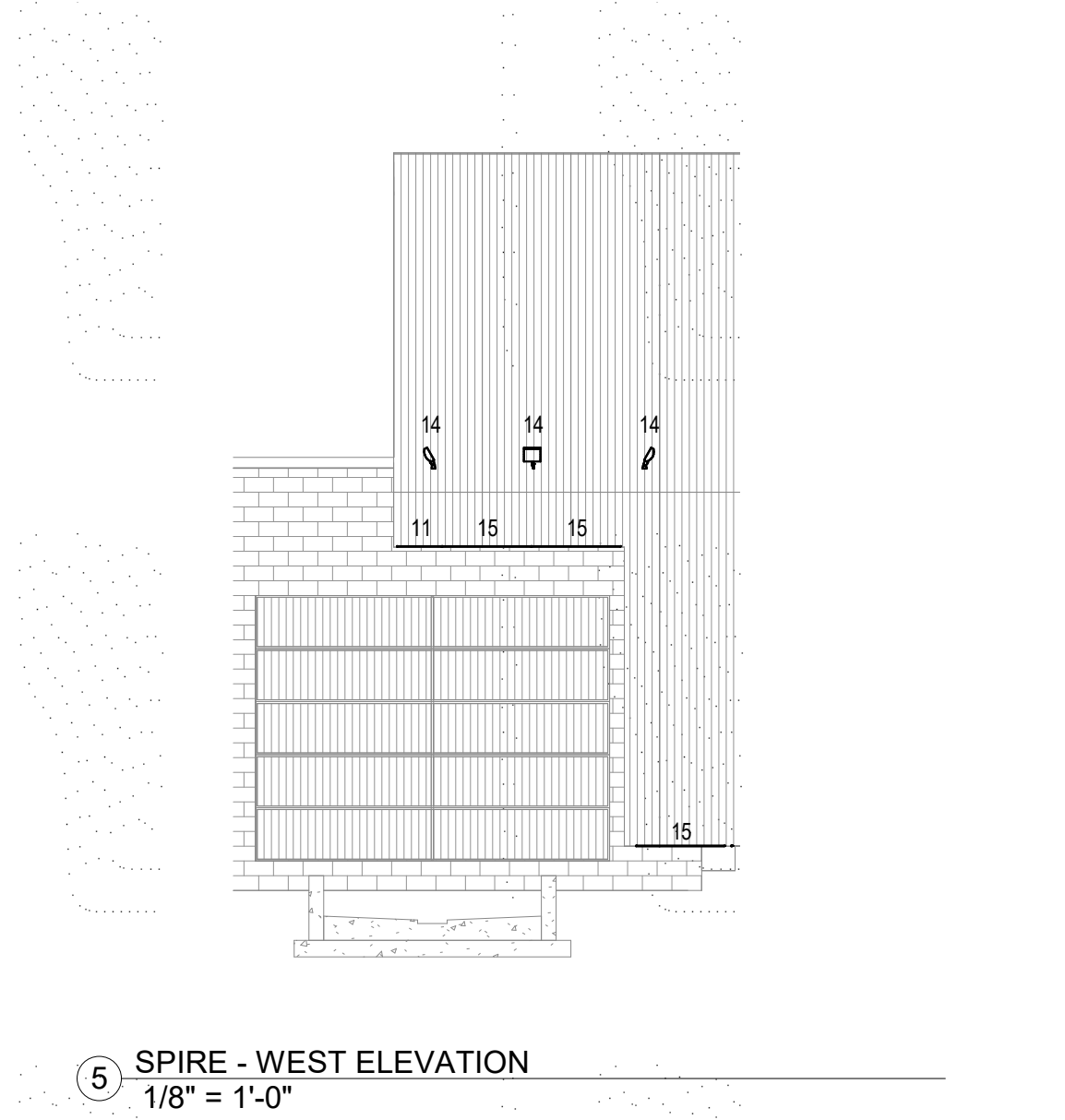




SITE LIGHTING SCHEDULE - CITY REVIEW															
MARK	DESCRIPTION	MANUFACTURER	CATALOG NUMBER	BEAM DIST.	LIGHT SOURCE			ELECTRICAL		FINISH	QTY. PER POLE	POLE SPEC.		ACCEPTABLE MANUFACTURERS	REMARKS
					SPEC.	CCT	TYPE	LOAD	VOLTS			TYPE	HEIGHT		
8	LED WALLPACK	LITHONIA	ARC1 LED P1 40K MVOLT E4WH DBLXD		1,500 LM	4000K	LED	11 W	277 V					NOTE 1	
10	4' LED STRIPLIGHT	LITHONIA	CLX L48 5000LM SEF FDL MVOLT GZ10 40K 80CRI MB		5,000 LM	4000K	LED	35 W	277 V					NOTE 1	
10E	4' EMERGENCY LED STRIPLIGHT	LITHONIA	CLX L48 5000LM SEF FDL MVOLT GZ10 40K 80CRI MB E10WLCF SPD MB		5,000 LM	4000K	LED	35 W	277 V					NOTE 1	
A	AREA LIGHT - TYPE 4 - SINGLE HEAD	LITHONIA	DSX1 LED P1 40K T4M MVOLT RPA DBLXD	IV	6,327 LM	4000K	LED	54 W	277 V	BLACK	1	RSS	20' - 0"	NOTE 1	
B	CANOPY FIXTURE	LITHONIA	CLX L96 6000LM SEF FDL MVOLT GZ10 40K 80CRI MB	-	6,000 LM	4000K	LED	38 W	277 V	BLACK	-	-		NOTE 1	

PARKING LOT LIGHTING CALCULATION STATISTICS					
Area	Average	Maximum	Minimum	Avg/Min	Max/Min
Drives	1.2 fc	2.2 fc	0.3 fc	4.3	7.8
Parking	7.9 fc	26.2 fc	0.7 fc	11.7	38.7
Light Spill	0.3 fc	0.8 fc	0.0 fc	154.1	423.7

- NOTES:
1. CALCULATIONS ARE BASED ON FIXTURE TYPE SCHEDULED. IF FIXTURE OTHER THAN THOSE SPECIFIED IS PROVIDED, THE MANUFACTURER SHALL PROVIDE A DETAILED POINT-BY-POINT CALCULATION TO VERIFY COMPLIANCE WITH LOCAL STREET AND PARKING LOT LIGHTING GUIDELINES.
 2. CALCULATIONS DO NOT INCLUDE CONTRIBUTIONS FROM STREET OR EXISTING LIGHT FIXTURES. ACTUAL FOOTCANDLE LEVELS MAY VARY DEPENDING ON LOCATIONS AND QUANTITIES OF FIXTURES OUTSIDE OF PROPERTY LINE.



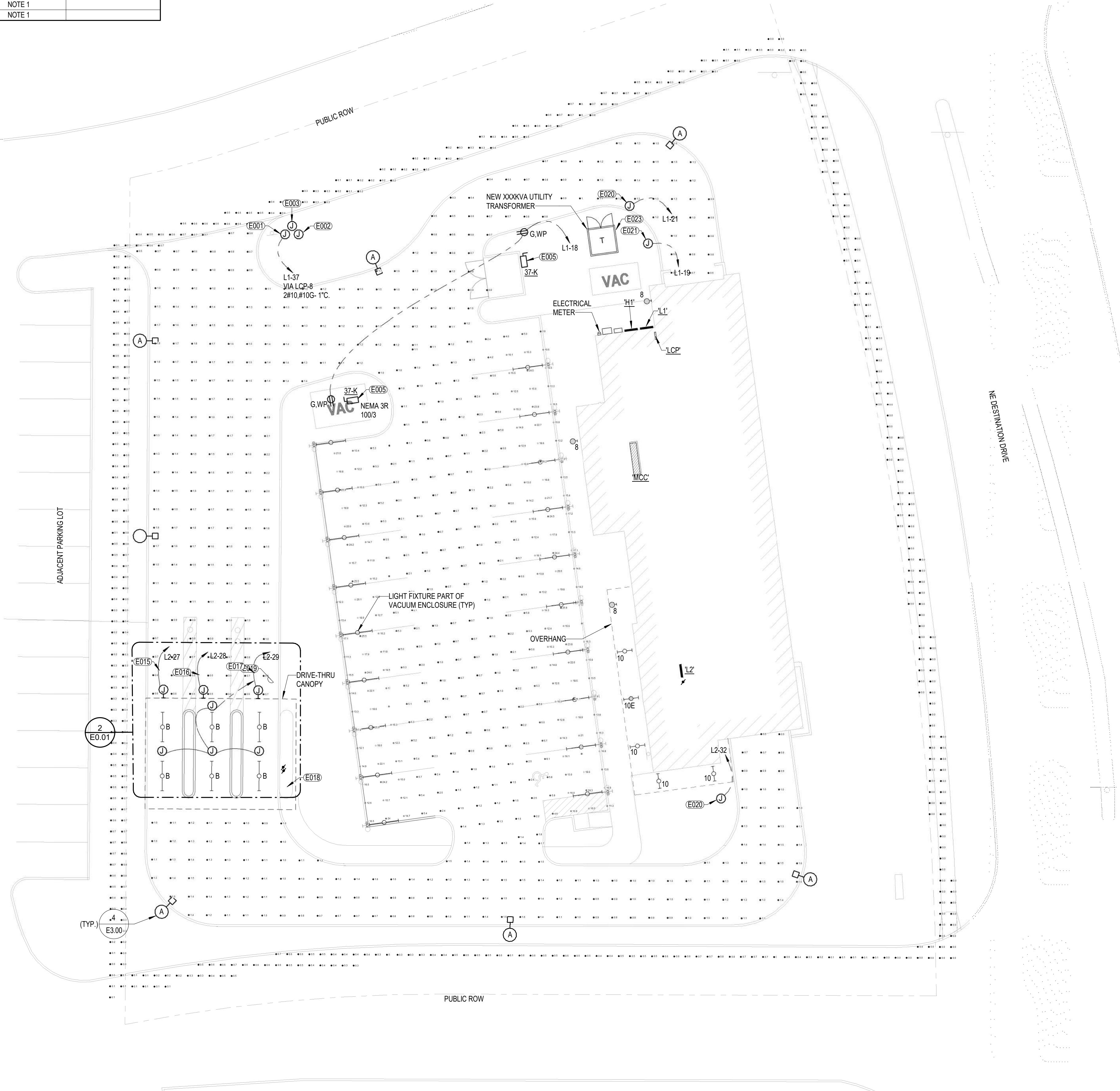
④ SPIRE - SOUTH ELEVATION
1/8" = 1'-0"

② SPIRE - EAST ELEVATION
1/8" = 1'-0"

③ SPIRE - NORTH ELEVATION
1/8" = 1'-0"

⑤ SPIRE - WEST ELEVATION
1/8" = 1'-0"

① ELECTRICAL SITE PLAN REVIEW
1/16" = 1'-0"



Planning & Zoning Staff Report



TO: Planning and Zoning Commission
FROM: Molly Mannel, Assistant Planner
DATE: May 4, 2022
RE: Herndon Property – Rezoning

GENERAL INFORMATION:

Applicant:

Anderson Properties

Requested Action

Rezoning

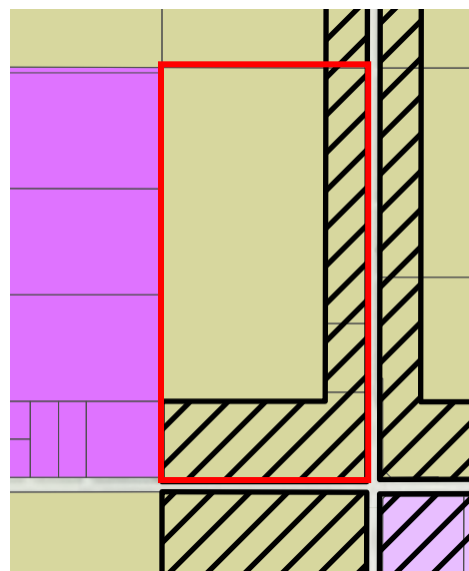
Location

Generally located at the Northwest Corner of SE 37th Street and South James Street

SUPPORTING INFORMATION:



Location Map



Zoning Map

LAND USES & ZONING:

Location	Existing Land Use	Land Use Plan Designation	Current Zoning
Subject Site	Vacant	Business Park	A-1
North	Vacant	Business Park	A-1
South	Vacant	Business Park	A-1
East	Vacant	Business Park and Future Parks & Rec	A-1
West	Industrial	General Industrial	M-2

BACKGROUND:

The applicant is requesting approval of a rezoning from A-1 to M-1A for approximately 77.52 acres generally located at the northwest corner of SE 37th Street and South James Street. The rezoning will allow for commercial and light industrial uses. The proposed concept is similar to Legacy Park.

ANALYSIS:*Land Use:*

The applicant desires to rezone the property to M-1A to provide four individual lots and one outlot for future commercial and light industrial development. The proposed M-1A zoning district is consistent with the surrounding areas and the Business Park land use designation.

Site Layout:

The concept plan shows four development lots and one outlot for future development. Warehouse space and office buildings will be the primary intended uses for this site. Stormwater basins are anticipated to be provided for each individual lot. Internal streets will run through the site to provide connectivity for users and access for the Fire Department.

Landscaping/Streetscape:

Each individual lot will provide landscaping to screen the loading docks from the right-of-way. Lots within the Transportation Corridor Mixed Use Development Overlay District will be required to meet the landscaping standards the for overlay.

Utilities:

Sanitary is existing along South James and crosses through the middle of the site. Water is existing along SE 37th Street and South James Street. Future utilities will be constructed with the future SW 28th Street improvements on the north side of the site.

STAFF RECOMMENDATION:

Staff would recommend approval of the Herndon Property rezoning subject to any remaining staff comments.

CITY OF GRIMES

Molly Mannel
Assistant Planner



Development Services

410 SE Main St, Suite 102

Grimes, IA 50111

(515)986-4050

www.grimesiowa.gov

~~April 5, 2022~~

April 19, 2022

Anderson Properties

Attn: Mark Anderson

4451 NW Urbandale Drive

Urbandale, IA 50322

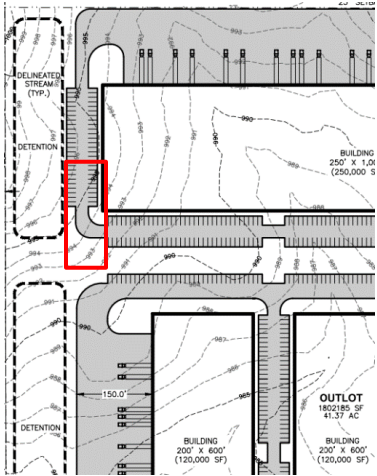
RE: Herndon Property

Dear Mr. Anderson:

The Development Services Department is in receipt of a proposed Rezoning for the Herndon Property. Based on the review of the provided submittal materials, staff have the following comments:

General Comments:

1. ~~Provide legal description of rezone area to the centerline of the ROW in Word format.~~
2. ~~Provide \$2,000 rezone fee.~~ **Please have developer submit fee as soon as possible.**
Approvals can not be given until fee has been received by the city.
3. ~~Provide consent documents (50.1% consent for neighboring property owners).~~
4. ~~Please add Transportation Corridor Mixed Use Development Overlay District to the zoning.~~
5. ~~Provide example elevations.~~ **Is the applicant proposing the buildings to look similar to Legacy Park?**



Concept Plan:

1. — Connect the parking lots of the North buildings to the South (see screenshot and outlined location in red).
2. Provide landscaping screening to hide loading dock areas from the ROW. **Please provide landscaping around the loading docks, north of Lot 3 detention.**
3. — ~~Label 5' sidewalk along north side of SE 37th St and south side of SE 28th St.~~
4. Label 8' trail along north side of SE 28th St.
5. ~~Label ROW to be dedicated to the City.~~
6. ~~Provide general utility layout for the site showing how each lot can be served.~~

Please provide a letter addressing all comments on this comment letter and/or state what was modified on the site plan to address said comments.

SITE PLAN SUBMITTAL SCHEDULE:

SUBMITTAL DATE: April 11, 2022
 April 25, 2022
(1 PDF of Rezoning Map and Concept Plan)

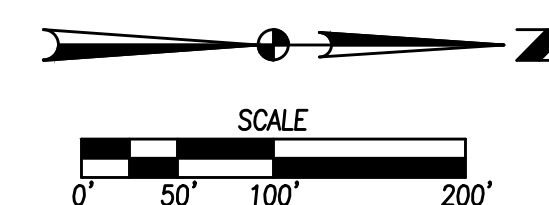
PLANNING & ZONING: May 4th at 5:30 at the Grimes City Hall

COUNCIL MEETING: May 24th at 5:30 at the Grimes City Hall

Please feel free to contact me at mmannel@grimesiowa.gov or at (515) 986-4050 if you have any questions or need additional information.

Sincerely,

Molly Mannel
 Assistant Planner



FILE: H:\2021\2110780\DWG\2110780-CONCEPT OVERALL.DWG
 FILE DATE: 4/11/22 DATE PLOTTED: 4/11/2022 2:15 PM COMMENT:

Planning & Zoning Staff Report



TO: Planning and Zoning Commission
FROM: Molly Mannel, Assistant Planner
DATE: May 4, 2022
RE: Fagen Property – Rezoning

GENERAL INFORMATION:

Applicant:

Signature Companies

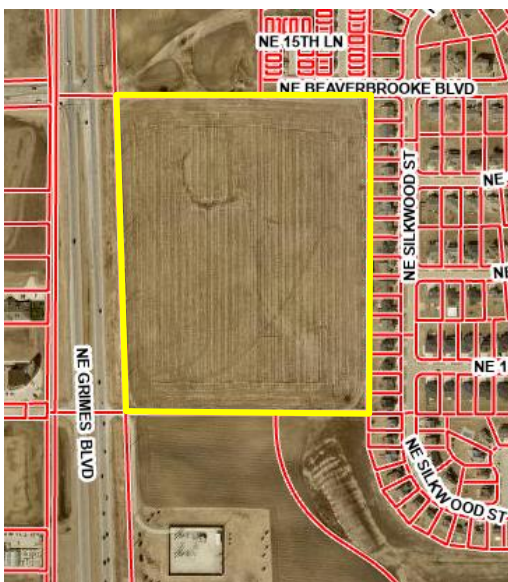
Requested Action

Rezoning

Location

Generally located east of Highway 141 and south of NE Beaverbrook Blvd.

SUPPORTING INFORMATION:



Location Map



Zoning Map

LAND USES & ZONING:

Location	Existing Land Use	Land Use Plan Designation	Current Zoning
Subject Site	Vacant	Mixed-Use 1/Medium Density Residential	A-1
North	Townhomes and Vacant	Mixed-Use 1	C-2
South	Vacant	Mixed-Use 1	A-1 and R-4
East	Single-Family	Low Density Residential	R-1
West	Highway 141/Commercial	Mixed-Use 1	R-4

BACKGROUND:

The applicant is requesting approval of a rezoning from A-1 to R-4 and R-3 Medium for approximately 31.64 acres generally located east of Highway 141 and south of NE Beaverbrooke Blvd. The R-4 zoning district will allow for commercial and high density residential, while the R-3 Medium zoning district will allow for medium density residential along the east side of the property.

ANALYSIS:*Land Use:*

The applicant desires to rezone the property to R-4 and R-3 Medium to provide commercial lots, and high density and medium density housing. The proposed R-4 and R-3 Medium zoning districts are consistent with the surrounding area and the Mixed-Use 1 and Medium Density Residential land use designations.

Site Layout:

The applicant has provided a conceptual plan for the site showing seven development lots and the extension of two public streets: NE Destination Drive and NE Beaverbrooke Blvd. Six of the development lots are proposed to be for commercial use along Highway 141 and west of NE Destination Drive. One lot to the east of NE Destination Drive is proposed to be for residential use. The concept depicts four apartment buildings and 21 rows of either 5-plex or 6-plex townhomes. Internal streets will run through the site to provide connectivity to all residences. The apartment buildings are proposed to provide 50 covered garages, a small dog park, and club house building. Designated parking spaces for townhome visitors will also be provided on the site.

Two detention ponds are proposed for the residential development. Stormwater basins are anticipated for each individual commercial lot. All buildings are required to meet the Highway 141 Mixed Use Development Corridor District architectural standards.

Landscaping/Streetscape:

A 30-foot landscaped buffering will be placed between the east townhomes and the existing single-family homes along NE Silkwood Street. A streetscape is proposed to be placed along

NE Destination Drive. All lots will be required to meet the Highway 141 Mixed Use Development Corridor District landscaping standards.

Utilities:

Water is existing along NE Beaverbrooke Blvd. New water main will be constructed with the NE Destination Drive street improvements. An existing sanitary stub is available at the northwest corner of the site.

Proposed Development Standards:

The Development Agreement for the project is proposed to include the following development standards:

Medium-Density Residential: Areas designated as Medium-Density Residential are intended for attached or detached dwelling units.

Development Standards:

Setbacks:

Front – 30'

Rear – 20'

Side – 10'

Building Separation – 20'

Maximum Building Height: 35 Feet – 2 Stories

Minimum Dwelling Size: 2-bedroom – 1,078 square feet finished area. 3-bedroom – 1,253 square feet finished area.

Building Materials: Minimum 75% brick/stone/masonry

Open Space: Minimum 20%

Maximum Density: 8 dwelling units per acre

High-Density Residential: Areas designated as High-Density Residential are intended for multi-family dwelling units.

Development Standards:

Setbacks:

Front – 30'

Rear – 20'

Side – 20'

Building Separation – 20'

Maximum Building Height: 3 Stories – 50'

Building Materials: Minimum 75% brick/stone/masonry

Open Space: Minimum 20%

Maximum Density: 21 dwelling units per acre

Commercial: The area designated as Commercial is intended to provide commercial uses. The commercial area will allow uses permitted in the C-2 zoning district.

Development Standards:

Open Space: Minimum 20%

Setbacks:

Front – 20'

Rear – 25'

Side – 0'

Maximum Height – 45'

Maximum Stories – 3

Building Materials: Minimum 75% brick/stone/masonry

ROW Dedication:

Right-of-way dedication for NE Destination Drive and NE Beaverbrooke Boulevard will be required as part of the PUD.

Public Improvements:

The required public improvements for this rezone include NE Destination Drive and NE Beaverbrooke Boulevard. A new water main will be constructed with the NE Destination Drive street improvements. All required public improvements will be outlined in the Development Agreement and reflected on the rezoning concept.

Parkland Dedication:

Approximately 2.82 acres of parkland dedication will be required. A fee in lieu of providing parkland onsite will be an acceptable option for the City of improve parks in the area.

STAFF RECOMMENDATION:

Staff would recommend approval of the Fagen Property rezoning subject to any remaining staff comments.

CITY OF GRIMES

Molly Mannel

Assistant Planner



Development Services

410 SE Main St, Suite 102

Grimes, IA 50111

(515)986-4050

www.grimesiowa.gov

~~April 5, 2022~~

April 19, 2022

Signature Companies

Attn: Brian Atwood

3430 SE Destination Drive, Suite 400

Grimes, IA 50111

RE: Fagen Property

Dear Mr. Atwood:

The Development Services Department is in receipt of a proposed Rezoning for the Fagen Property. Based on the review of the provided submittal materials, staff have the following comments:

General Comments:

- ~~1. The site is located within the Highway 141 Mixed Use Development Corridor. Please include this within your zoning.~~
- ~~2. Please change the street name from NE Grimes Blvd/HWY 141 to NE Destination Drive on the PUD Exhibit.~~
- ~~3. Please use the previous concept plan that we have been reviewing with your team showing the buffering, detention, development summaries, visitor parking, densities, etc. and add the commercial concept to the plan~~
- ~~4. What is the width of the street that serves the townhomes? Will street parking be allowed? Fire Department is concerned about the street width.~~
- ~~5. Please label sidewalks/trails along public streets on the concept plan.~~

~~Yes, sidewalks will be constructed as each lot develops. Northpointe Townhomes will complete their portion of the sidewalk along Beaverbrooke frontage.~~

~~Please add a sidewalk crossing across Beaverbrooke, near the roundabout, to connect to the north sidewalk.~~

- ~~6. Staff would like to note that the properties along Highway 141 will have a 100' setback requirement. Based on the concept, the setback may be an issue for the commercial properties. If that is a concern for your team, staff would suggest adding the commercial area to the PUD to adjust the setback to better suit the proposed lots and match the commercial development across Highway 141 (which do not have the 100' setback requirement). This would require a revised legal description for the PUD area.~~
- ~~7. Based on the comment above, a revised rezoning map for the PUD would be required to show the 250' buffer around the PUD area.~~
- ~~8. Please provide a map showing the three land use areas: commercial, high density multi-family, medium density townhomes.~~
- ~~9. The consent documents are missing the Exhibit A attachments. Please provide.~~
- ~~10. Provide example elevations for the multi-family and townhomes.~~
11. Provide remaining consent documents to provide 50.1% consent. **Please provide MidAmerican consent documents once received.**
- ~~12. Please update PUD Exhibit to show the C-2 district within the revised PUD Area.~~

Please provide a letter addressing all comments on this comment letter and/or state what was modified on the site plan to address said comments.

SITE PLAN SUBMITTAL SCHEDULE:

SUBMITTAL DATE: ~~April 11, 2022~~
April 25, 2022
(1 PDF of Rezoning Map and Concept Plan)

PLANNING & ZONING: May 4th at 5:30 at the Grimes City Hall

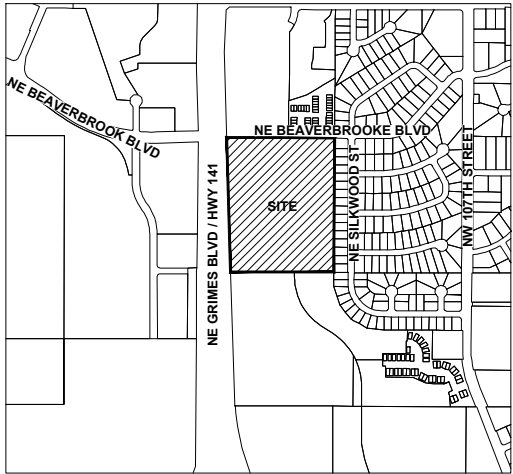
COUNCIL MEETING: May 18th at 5:30 at the Grimes City Hall

Please feel free to contact me at mmannel@grimesiowa.gov or at (515) 986-4050 if you have any questions or need additional information.

Sincerely,

Molly Mannel
Assistant Planner

VICINITY MAP



GRIMES, IOWA

OWNER:

HOPE K FARMS, LLC
CONTACT: REZA KARGARZADEH
4500 WESTOWN PARKWAY, SUITE #277
WEST DES MOINES, IA 50265
PH: (515) 381-3925
EMAIL: RKARGARZ@EPCOMFG.COM

APPLICANT:

SIGNATURE COMPANIES
CONTACT: BRAIN ATWOOD
3430 SE DESTINATION DRIVE, SUITE #400
GRIMES, IOWA 50111
PH: (515) 630-6043
EMAIL: BRAIN@SIGNATURECOMPANIESLLC.COM

ENGINEER / SURVEYOR:

CIVIL DESIGN ADVANTAGE
CONTACT: JARED MURRAY
4121 NW URBANDALE DRIVE
URBANDALE, IOWA 50322
PH: (515) 369-4400
EMAIL: JAREDM@CDA-ENG.COM

P.U.D. AREA

ZONING:
EXISTING: A-1 (AGRICULTURE DISTRICT)

PROPOSED: PUD W/ UNDERLYING R-3 HIGH AND C-2 LOCATED WITHIN THE HIGHWAY 141 MIXED USE CORRIDOR

UNDERLYING R-3 HIGH DENSITY RESIDENTIAL DISTRICT

MINIMUM LOT AREA = 80,000 SF
MINIMUM LOT WIDTH = 200 FT

SETBACKS:
FRONT YARD = 30 FT
REAR YARD = 30 FT
SIDE YARD = 30 FT
1 STORY = 7 FT EACH SIDE / 14 FEET TOTAL
2-3 STORIES = 20 FT EACH SIDE / 40 FEET TOTAL

MAX BUILDING HEIGHT = 50 FT
BUILDING SEPARATION = 16 FT
MAXIMUM DENSITY = 20.50 UNITS / ACRE

OPEN SPACE:

OPEN SPACE REQUIRED = 30%

PARKING REQUIREMENTS:
APARTMENTS = 1.7 SPACES / 1-BED/STUDIO UNIT +
2.0 SPACES / 2 AND 3 BED UNIT
(25% OF UNITS TO HAVE COVERED SPACE)
TOWNHOMES = 2 SPACE / UNIT + 1 GUEST SPACE / 5 UNITS

UNDERLYING C-2: GENERAL HIGHWAY SERVICE AND COMMERCIAL DISTRICT

MIN. FRONT YARD SETBACK = 25'
MIN. SIDE YARD SETBACK = NONE REQUIRED, EXCEPT WHEN ADJOINING ANY "R" DISTRICT OR STREET
RIGHT-OF-WAY LINE, IN WHICH CASE -25 FEET
MIN. REAR YARD SETBACK = 25 FEET; HOWEVER, FOR EVERY FOOT THE FRONT YARD IS INCREASED OVER 25 FEET, THE REAR YARD MAY BE DECREASED IN DIRECT PROPORTION THERETO, BUT IN NO CASE SHALL THE REAR YARD BE LESS THAN 10 FEET
MAX HEIGHT = 45'
MAX # OF STORIES = 3 STORIES

HIGHWAY 141 MIXED USE CORRIDOR

MIN. HIGHWAY 141 SETBACK = 20'
MIN. PUBLIC STREET SETBACK = 25'
MINIMUM OPEN SPACE = 20%

PUD DESCRIPTION

A PART OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 33, TOWNSHIP 80 NORTH, RANGE 25 WEST OF THE FIFTH PRINCIPAL MERIDIAN IN THE CITY OF GRIMES, POLK COUNTY, IOWA AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF OUTLOT 'X', NORTH POINTE PLAT 1, AN OFFICIAL PLAT IN SAID CITY OF GRIMES; THENCE SOUTH 89°49'33" EAST ALONG THE NORTHERLY LINE OF SAID SOUTHWEST QUARTER OF THE NORTHWEST QUARTER, 763.49 FEET; THENCE SOUTH 00°20'06" WEST, 87.38 FEET; THENCE SOUTH 89°39'54" EAST, 179.05 FEET; THENCE SOUTH 00°20'06" WEST, 1117.50 FEET; THENCE NORTH 89°39'54" WEST, 71.79 FEET; THENCE SOUTH 00°20'06" WEST, 120.36 FEET TO THE SOUTH LINE OF SAID SOUTHWEST QUARTER OF THE NORTHWEST QUARTER; THENCE NORTH 89°46'05" WEST ALONG SAID SOUTH LINE, 825.10 FEET TO THE EASTERLY RIGHT OF WAY LINE OF NE GRIMES BOULEVARD; THENCE NORTH 01°38'20" WEST ALONG SAID EASTERLY RIGHT OF WAY LINE, 1325.37 FEET TO THE POINT OF BEGINNING AND CONTAINING 27.42 ACRES (1,194,434 SQUARE FEET).

THE PROPERTY IS SUBJECT TO ANY AND ALL EASEMENTS OF RECORD.

DEVELOPMENTS SUMMARY

TOWNHOMES
3-TOWNHOMES (5 PLEX) = 15 UNITS
18-TOWNHOMES (6 PLEX) = 108 UNITS
TOTAL UNITS PROVIDED = 123 UNITS

PARKING REQUIRED
2 SPACES/UNIT +
1 GUEST SPACE/5 UNITS = 246 SPACES
TOTAL REQUIRED = 271 SPACES

TOTAL PROVIDED
GUEST PARKING = 25 SPACES
DRIVEWAY = 246 SPACES
GARAGES = 246 SPACES
TOTAL PROVIDED = 517 SPACES

PARKLAND DEDICATION

REQUIRED
123 TOWNHOME UNITS
X 1.954 INDIVIDUALS/UNIT
X 0.005 ACRES/INDIVIDUAL = 1.20 ACRES

200 APARTMENTS UNITS
X 1.615 INDIVIDUALS/UNIT
X 0.005 ACRES/INDIVIDUAL = 1.62 ACRES
TOTAL REQUIRED = 2.82 ACRES

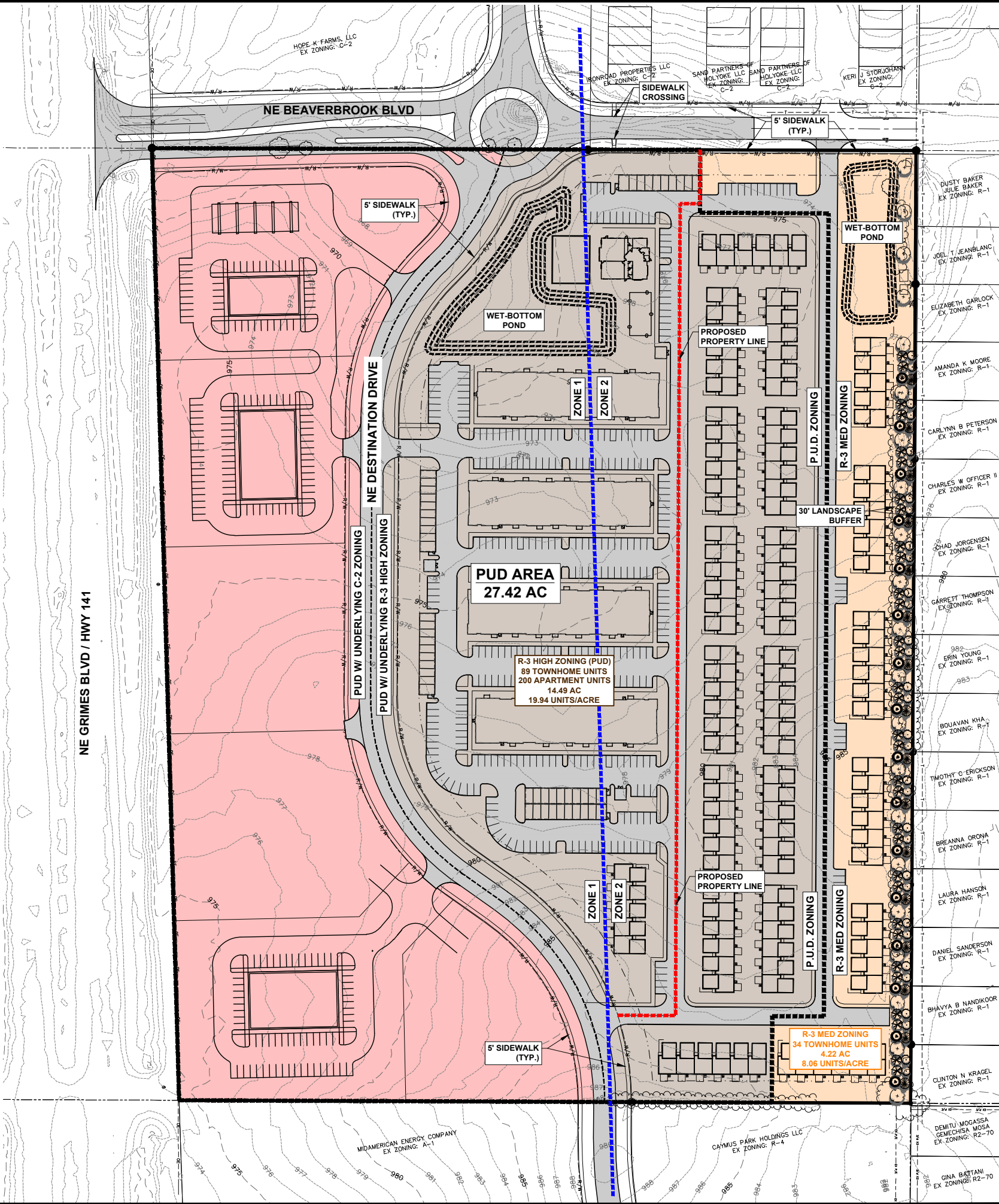
DEVELOPMENT SUMMARY

APARTMENTS
4-APARTMENTS (50 PLEX) = 200 UNITS
*50-PLEX (11)STUDIO, (11)1-BED, (22)2-BED, (6)3-BED
TOTAL UNITS PROVIDED = 200 UNITS

PARKING REQUIRED
1.7 SPACES/ 1-BED/STUDIO UNIT +
2.0 SPACES/ 2 AND 3 BED UNIT = 373.6 SPACES
(25% OF UNITS TO HAVE COVERED SPACE)
TOTAL REQUIRED = 374 SPACES
(50 GARAGES REQUIRED)

PARKING PROVIDED
ON-STREET PARKING = 327 SPACES
GARAGES = 50 SPACES
TOTAL PROVIDED = 377 SPACES

NE GRIMES BLVD / HWY 141



DATE

04/20/2022

REVISIONS

THIRD SUBMITTAL

04/06/2022

03/30/2022

4121 NW URBANDALE DRIVE

URBANDALE, IA 50322

PHONE: (515) 369-4400

TECH: CWO

ENGINEER: JMM

FAGEN PROPERTY

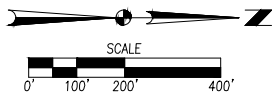
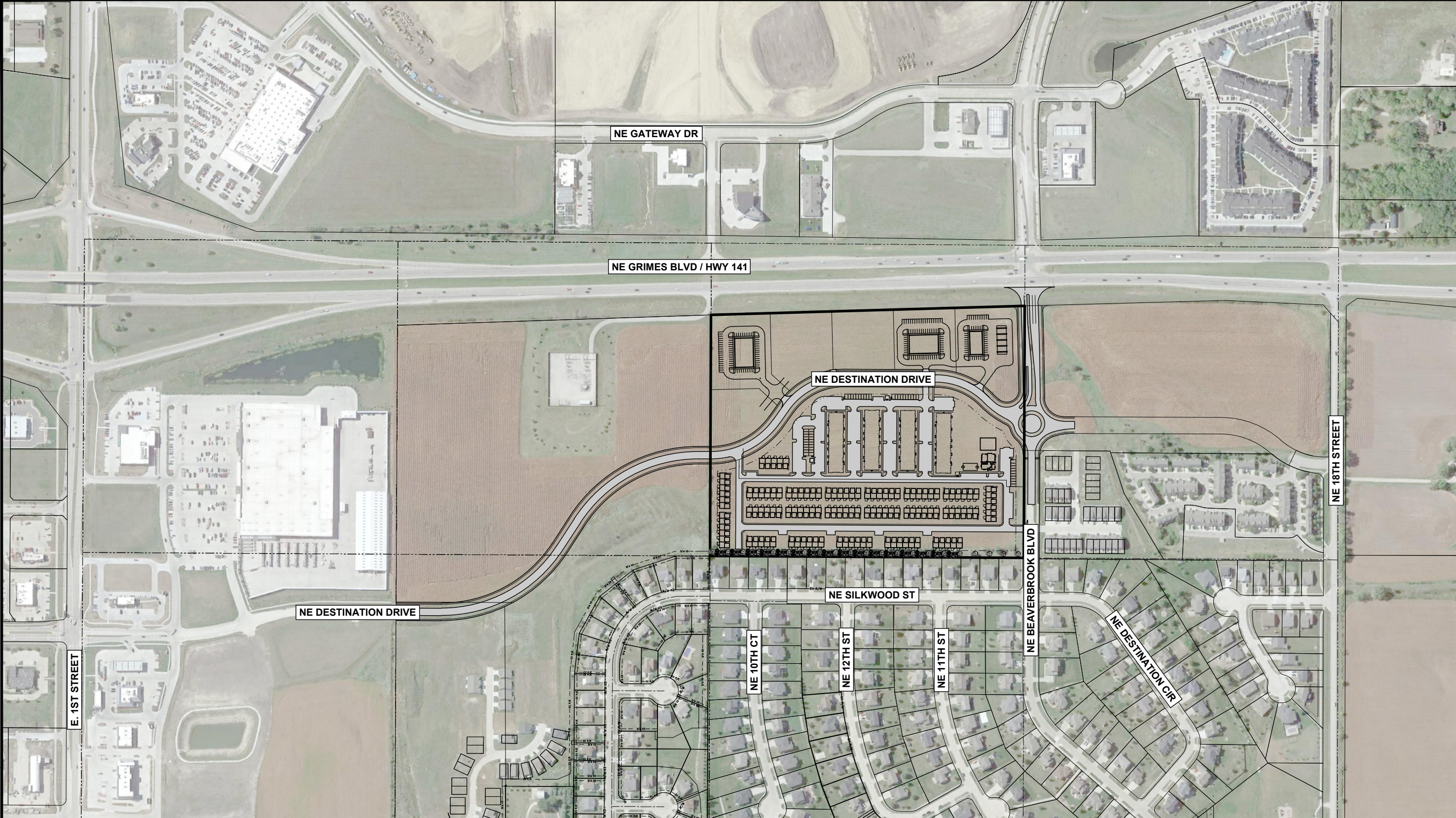
PUD EXHIBIT

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2201.009

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DRAWN BY: J. MURRAY DATE: 4/20/2022 PLOTTED: 4/20/2022 1:13 PM
PLOT: 2201.009



FAGEN PROPERTY
PUD EXHIBIT

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2
2201.009



GRIMES, IOWA

4121 NW URBANDALE DRIVE
URBANDALE, IA 50322
PHONE: (515) 369-4400

ENGINEER: JMM

TECH: CWO

REVISIONS

DATE	REVISIONS
04/20/2022	THIRD SUBMITTAL
04/06/2022	SECOND SUBMITTAL
03/30/2022	FIRST SUBMITTAL