

Planning and Zoning Commission
December 7, 2021
Agenda
Meeting Held Electronically due to COVID-19
5:30 P.M.

Electronic Meeting as Provided Under Iowa Code, Chapter 21*

***Please note that this Grimes Planning and Zoning Meeting will be an electronic meeting pursuant to Iowa Code Section 21.8 due to the national health emergency that makes it impossible or impractical for an in-person meeting.**

The public is welcome and encouraged to attend and participate in this meeting by either internet or phone as follows:

- 1. Internet- Meeting attendance may be obtained by “Join Zoom Meeting”. Simply enter the following internet address and ID:**

Join Zoom Meeting

<https://us06web.zoom.us/j/85353545940?pwd=VzV3ZGE4QU9lZklsMDgxMG0wVi8rUT09>

Meeting ID: 853 5354 5940

Passcode: 1234

- 2. By Phone: 877 853 5257 US Toll-free.**

Hearing Assistance: If you are hearing impaired, Grimes will provide a sign language communicator on the internet Zoom meeting video presentation upon request. Please contact the Grimes City Clerk Rochelle Williams by email at rwilliams@grimesiowa.gov to request this service.

For any additional assistance or questions in attending the meeting, please call 515-986-3036 from 8 a.m. to 5 p.m., or contact the Grimes City Clerk Rochelle Williams by email at rwilliams@grimesiowa.gov.

For any additional assistance or questions in attending the meeting, please call 515-986-3036 from 8 a.m. to 5 p.m. Monday-Friday.

Meetings will be recorded

AGENDA

A GENERAL AGENDA ITEMS

1. Call to Order
2. Roll Call: Amy Montford, Craig Patterson, Scott Almeida, Danielle Smid, Courtney Strutt Todd
Council Liaison Andrew Borcharding
3. Approval of the Agenda
4. Approval of Previous Minutes

B. PUBLIC AGENDA ITEMS

1. Project # 21-1044: Freddy's and Panera – Preliminary Plat
2. Project # 21-1042: Freddy's and Panera – Site Plan

C. REPORTS

1. Department Update
2. Council Liaison Update
3. Old Business
4. New Business

D. ADJOURNMENT



101 NE Harvey Street, Grimes, Iowa 50111 | P: 515.986.3036

This meeting of the Grimes Planning and Zoning Commission was called to order Tuesday, November 2, 2021 at 5:30 P.M. and was held electronically due to the global health pandemic.

Roll Call: Present: Craig Patterson, Courtney Strutt-Todd, Amy Montford, Council Liaison: Andrew Borcharding

Staff: Alex Pfaltzgraff, Evann Martin, Rachel Greving

Absent: Almeida, Smid

A. GENERAL AGENDA ITEMS

1. APPROVAL OF THE AGENDA

Motion by Montford, Second by Strutt-Todd, to approve the agenda

Roll Call: Ayes-All; Nays-0 Motion passes: 3-0

2. APPROVAL OF THE MINUTES

Motion by Montford, Second by Strutt-Todd, to approve the minutes from the October 5, 2021 meeting

Roll call: Ayes-All: Nays-0 Motion passes: 3-0

B. PUBLIC AGENDA ITEMS

Project #21-1040: Shine Shop – Site Plan

Staff member Martin presented the details of the project. The property is located west of NE Gateway Drive and north of NE 5th Street, zoned C-2, and located within the Transportation Corridor overlay. The car wash drive thru includes two lanes with five spaces in each lane for queuing. Parking, landscaping and architecture meet requirements.

Motion by Strutt-Todd, Second by Montford to approve Shine Shop – Site Plan

Roll Call: Aye-All Nay-0 **Motion Passes 3-0**

Project #21-1035: Hope Plaza 2 – Site Plan

Staff member Martin presented the details of the project. Located west of Highway 141 and east of NE Gateway Drive, it is currently zoned R-4 and within the Heritage PUD. The applicant is proposing to widen the current driveways as well as bring the sidewalk into the site since there is no connection to the highway. Elevations and landscaping meet all requirements.

The Commission asked if there would be access from two points for customers. Martin stated that the primary customer access would be from Highway 141, and the employee side will most likely be the NE Gateway Drive side. Pfaltzgraff also stated that the viewpoints from NE Gateway Drive would still be good architecturally since it is seen from NE Gateway Drive.

Motion by Strutt-Todd, Second by Montford to approve Hope Plaza 2 – Site Plan

Roll Call: Aye-All Nay-0 **Motion Passes 3-0**

Project #21-1043: Prairie Business Park 2 – Site Plan Amendment

Staff member Martin presented the details of the project. The site plan is for the final building within Prairie Business Park and currently zoned M1-A. The size of the building will be slightly smaller than the existing buildings, and the outdoor storage between the buildings would be expanded a little bit. The color scheme, glazing, and material used will be the same as the existing buildings. Landscaping meets requirements.

Motion by Strutt-Todd, Second by Montford to approve Prairie Business Park 2 – Site Plan Amendment

Roll Call: Aye-All Nay-0 **Motion Passes 3-0**

Project #21-1041: Meadows Plat 1 – Preliminary Plat

Staff member Martin presented the details of the plat. Located at the southwest corner of Highway 44 and NW County Line Road, it is zoned R-4. The proposal includes dividing the plat into 281 single family lots, a section for apartments, and a section for townhomes. The single family lots would be 70' and 60' lots. There are plans for buffering between the existing single family homes and the townhomes and apartments.

The Commission asked how the main road would line up to the access to the school to the north. Pfaltzgraff explained that the access location for the high school is temporary, and would most likely be shifted farther to the west permanently.

The Commission asked if the single-family homes would have two-car garages or enough street parking with the smaller lot sizes. Staff explained that the roadways will have plenty of room for street parking, and houses on the 60' lots will have a minimum requirement of a two-car garage.

Motion by Strutt-Todd, Second by Montford to approve Meadows Plat 1 – Preliminary Plat

Roll Call: Aye-All Nay-0 **Motion Passes 3-0**

Zoning Ordinance Amendment Regarding Format and Fees

Staff member Martin presents the details of the Ordinance Amendment. The purpose of the amendment is to give it a new structure to better organize the ordinances and remove fees from it. Removing the fees, makes it easier when changes need to be made to the fees. There is no change in the language of the ordinances, only a change to the format and removing the fees.

Motion by Strutt-Todd, Second by Montford to approve Zoning Ordinance Amendment
Regarding Format and Fees

Roll Call: Aye-All Nay-0 **Motion Passes 3-0**

C. PUBLIC FORUM – None

D. REPORTS

- 1. Department Update – Staff provided an update on development and capital projects around the City.**
- 2. Council Liaison Update – N/A**
- 3. Old Business – N/A**
- 4. New Business – N/A**
- 5. Next meeting December 7, 2021**

Meeting is adjourned at 6:07 p.m.

Signature

Planning & Zoning Staff Report



TO: Planning and Zoning Commission
FROM: Evann Martin, Assistant Planner
DATE: December 7, 2021
RE: Freddy's and Panera – Preliminary Plat

GENERAL INFORMATION:

Applicant:

Bishop Engineering

Requested Action

Preliminary Plat

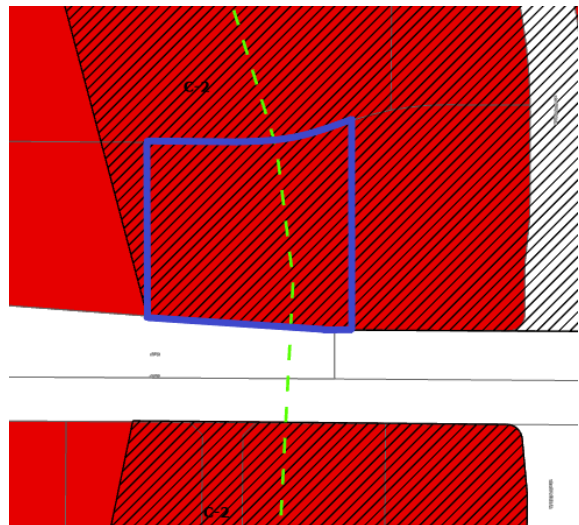
Location

2125 E 1st Street

SUPPORTING INFORMATION:



Location Map



Zoning Map

LAND USES & ZONING:

Location	Existing Land Use	Land Use Plan Designation	Current Zoning
Subject Site	Vacant	Commercial	C-2
North	Commercial	Commercial	C-2
South	Commercial	Commercial	C-2
East	Vacant	Commercial	C-2
West	Commercial	Commercial	C-2

BACKGROUND:

The applicant is requesting approval of a preliminary plat, which will allow for the future subdivision of the property. The proposed preliminary plat will provide for two development lots 1.0 and 1.16 acres in size for the proposed Freddy's and Panera restaurants.

ANALYSIS:

The preliminary plat shows the proposed site plan for both lots. The sites can be accessed from two shared driveways, one off of NE Telkay Lane and another off of the private Menard's drive to the west. Pedestrian access is proposed along NE Telkay Lane, East 1st Street, and the private Menards drive. Sanitary and water are provided off of NE Telkay Lane.

STAFF RECOMMENDATION:

Staff would recommend approval of the preliminary plat for Freddy's and Panera, subject to any remaining staff comments.

CITY OF GRIMES

Evann Martin
Assistant Planner



Development Services

410 SE Main St, Suite 102

Grimes, IA 50111

(515)986-4050

www.grimesiowa.gov

~~October 5, 2021~~

~~November 18, 2021~~

December 1, 2021

Bishop Engineering

Attn: Joel Jackson

3501 104th Street

Des Moines, IA 50322

RE: Freddy's/Panera Site Plan

Dear Project Contact:

The Development Services Department is in receipt of a proposed Site Plan for the Freddy's and Panera. Based on the review of the provided submittal materials, staff have the following comments:

General Comments:

1. Provide construction easement for east driveway connection to Destination Market Plat 5 Lot 2. **Please provide.**
2. Since Lot 1 does not provide the minimum number of parking spaces on its own, please provide a Declaration for shared parking with final plat. **Please provide.**
3. ~~Provide dumpster enclosure details. Provide dumpster enclosure detail for Panera.~~
4. Is there a flag pole proposed on site? The site details for Freddy's include flag pole lights but there doesn't appear to be a flag pole on the site plan. Please confirm.
Please provide a flag pole detail and include the pole height. The pole needs to be setback at least the height of the pole from all property lines. Please label the setback.

C0.1:

1. ~~Update addresses.~~
 - a. ~~Lot 1 2103 E 1st St~~ **Revise to 1st St**
 - b. ~~Lot 2 2151 E 1st St~~
2. ~~Revise City standard note 1.f to obtain knox box at City Hall.~~ www.knoxbox.com rather than

- ~~3. Provide construction schedule.~~
- ~~4. Add Highway 141 Mixed Use Development Corridor District Zone 1 to the zoning.~~
- ~~5. Add maximum building height to zoning. Revise to 45'~~
- ~~6. Update required open space percentage to 20%.~~

C0.2:

- ~~1. Grind curb for SUDAS Type A driveway connection at north entrance.~~

C2.1:

- ~~1. Label width of east driveway.~~
- ~~2. No more than 12 parking spaces are permitted in a row without a landscape island.~~

C3.1:

- ~~1. Adjust ramp grade along the west property line. 8.4% is too steep.~~
- ~~2. Add cross slope for the ramps south of the Panera drive thru.~~
- ~~3. For the ADA parking stalls, label the slope and cross slope.~~
- ~~4. Label the cross slope of the ramps leading to the ADA parking stalls.~~
- ~~5. For the ramp on the north side of Freddy's, please label the ramp slope and cross slopes.~~
- ~~6. Provide truncated domes on the ramps at the two driveway entrances.~~
- ~~7. Provide stop sign locations at the entrance driveways into the site.~~

C4.1:

- ~~2. Existing sanitary MH in driveway will need three piece casting with adjusting mechanism and chimney shrink sleeves.~~
- ~~3. Sanitary services to 6" diameter.~~

- ~~4. Who is responsible for the sanitary sewer from main to MH 33 and 34?~~
- ~~5. Verify proposed 15" RCP will fit into existing storm intake. How will flow from proposed 15" be directed through invert entering existing structure against the flow? Provide flowline information on existing structure. Label the existing flowline elevation to the west (out).~~
- ~~6. Provide valve on domestic and fire lines 5' +/- from building on each building.~~
- ~~7. Label 150' linear hydrant coverage along the route of travel for the fire trucks. Routes cannot be obstructed by parking, landscaping, etc. Please see the attached PDF from the fire marshal showing the suggested hydrant locations. The current locations do not provide coverage for the south sides of the buildings and are obstructed by parking.~~
8. Label FDC and knox box locations. The FDCs are blocked by parking. Please move to an unobstructed location within 100' for a hydrant. Could they be moved to be placed in front of the ADA van loading areas? Staff would also accept remote FDC locations.
- ~~9. Hydrant in the median can't be blocked by parking.~~
- ~~10. Add note to utilize three piece casting for existing storm MH located in the north driveway.~~
11. Because the lot will be split, the utility layout will need to be adjusted. With the current set up, the sanitary and water would need to be 8" public mains with construction drawings prepared. Our preference would be to have a separate private sanitary and water service for both lots. We apologize for the late catch. Please let me know if you have any questions.

C5.1:

- ~~1. Update required open space square footage. A minimum of 20% open space is required for each lot.~~
- ~~2. Update required open space plantings per the 20% open space requirement.~~
- ~~3. Provide shrub calculations per 165A.16.3 and 165A.16.9.~~
- ~~4. Provide ROW landscape buffer planting calculations.~~
- ~~5. Please revise Note 13 to require City authorization for landscape planting changes.~~

- ~~6. Please provide shrubs along the north parking spaces to shield headlights from the street.~~

Architecture (Freddy's):

- ~~1. Provide building material percentages (excluding windows and doors). A minimum of 75% of each façade is required to be primary material. EIFs is not considered primary material. Please see Zone 1 architecture requirements in Section 165A.24 for reference.~~
- ~~2. Provide glazing percentages. The south façade is required to have 20% glazing. Please revise.~~
- ~~3. Provide list of 5 treatments demonstrated on the elevations per 165A.24 (page 15).~~
- ~~4. Update the direction labels of the building faces to match the site plan (north, south, east, west).~~
- ~~5. Label the red LED strip on the elevations.~~
- ~~6. Is the LED strip proposed to changes colors or flash?~~
- ~~7. Any roof mounted equipment will need to be screened from view. Provide screening details for units that will be visible.~~
- ~~8. Provide height dimensions.~~
- ~~9. All signs will be reviewed under separate sign permit.~~

Architecture (Panera):

- ~~1. Provide building material percentages (excluding windows and doors).~~
- ~~2. Provide glazing percentages.~~
- ~~3. Provide material details for roof top equipment screening.~~
- ~~4. Provide listing of 5 treatments demonstrated on the elevations per 165A.24 (page 15).~~
- ~~5. Provide height dimensions.~~

COUNCIL MEETING:

November 23, 2021 at 5:30

Please feel free to contact me at emartin@grimesiowa.gov or at (515) 986-4050 if you have any questions or need additional information.

Sincerely,

Evann Martin
Assistant Planner

FREDDY'S & PANERA - GRIMES

SITE PLAN/PRELIMINARY PLAT

PROPERTY DESCRIPTION:
(FROM TITLE OPINION)
LOT 3 IN MENARDS AT DESTINATION MARKET PLAT 1, AN
OFFICIAL PLAT, NOW INCLUDED IN AND FORMING A PART
OF THE CITY OF GRIMES, POLK COUNTY, IOWA

ADDRESS:
LOT 1 - 2103 E 1ST STREET
LOT 2 - 2151 E 1ST STREET
GRIMES, IOWA 50111

OWNER:
MENARD INC
5101 MENARD DR
EAU CLAIRE, WISCONSIN 54703-9604

PREPARED FOR:
MLY REAL ESTATE INC.
STEVEN YOUNG

ZONING:
INFORMATION OBTAINED FROM
GRIMESIOWA.GOV
ZONED: C-2 COMMERCIAL DISTRICT AND HIGHWAY 141
MIXED USE DEVELOPMENT CORRIDOR DISTRICT ZONE 1
SETBACKS:
FRONT: 25 FEET
SIDE: NONE
REAR: 25 FEET
MAXIMUM BUILDING HEIGHT: 45 FEET
FOR AN OFFICIAL ZONING REPORT PLEASE CALL CITY OF
GRIMES AT 515.986.3036

PARKING REQUIREMENTS:
LOT 1 (PANERA): (10 PER 1000SF OF GFA + 1 PER 100SF
PATIO AREA OVER 300 SF)
STALLS PROVIDED: 33 STALLS (INCL. 2 HC STALLS)
STALLS REQUIRED: $(\frac{1000}{1000}) \cdot 10 + (\frac{1000}{1000}) = 36$ W/ 400SF PATIO

LOT 2 (FREDDY'S): (10 PER 1000SF OF GFA + 1 PER 100SF
PATIO AREA OVER 300 SF)
STALLS PROVIDED: 40 STALLS (INCL. 2 HC STALLS)
STALLS REQUIRED: $(\frac{1000}{1000}) \cdot 10 + (\frac{1000}{1000}) = 35$ STALLS W/ 600SF
PATIO

TOTAL PARKING BOTH LOTS COMBINED:
REQUIRED: 36 + 35 = 71 STALLS
PROVIDED: 32 + 39 = 71 STALLS

OPEN SPACE REQUIREMENTS:
LOT 1 (PANERA):
SITE AREA: 50,508 SF (1.16 AC)
OPEN SPACE: 10,848 SF (28.6%)
REQUIRED: 20%

LOT 2 (FREDDY'S):
SITE AREA: 43,663 SF (1.00 AC)
OPEN SPACE: 10,089 SF (23.10%)
REQUIRED: 20%

IMPERVIOUS SURFACE:
LOT 1 (PANERA):
SITE AREA: 50,508 SF (1.16 AC)
IMPERVIOUS AREA: 39,660 SF
ALLOWABLE: 90% (45,450 SF)

LOT 2 (FREDDY'S):
SITE AREA: 43,663 SF (1.0 AC)
IMPERVIOUS AREA: 33,574 SF
ALLOWABLE: 90% (39,236 SF)

BENCHMARK:
BENCHMARK DATUM = CITY DATUM OR NAVD88, GEOID 12A

POINT #9004
NORTHING = 615591.84
EASTING = 1568441.19
ELEVATION = 984.28
DESCRIPTION: BURY BOLT

POINT #9000
NORTHING = 615464.88
EASTING = 1568456.37
ELEVATION = 983.74
DESCRIPTION: 3" IRON PIPE W/ RED PLASTIC CAP

CONSTRUCTION SCHEDULE:
GRADING - NOV 15, 2021
UTILITIES - MARCH 1, 2021
OPENING - JUNE 1, 2021

UTILITY MAPS PROVIDED BY:
1. ELECTRIC (MIDAM / 515.252.6972)
2. FIBER OPTIC (CENTURYLINK (LUMEN) / 919.547.0147)
3. FIBER OPTIC (IOWA COMMUNICATION NETWORK / 800.572.3940)
4. GAS (BLACK HILLS ENERGY / 515.343.2037)
5. WATER (CITY OF GRIMES / AWOOD@USWATERCORP.NET)



UTILITY NOTE:
THE LOCATION OF THE UTILITIES INDICATED ON THE PLANS HAVE BEEN TAKEN FROM THE FIELD SURVEY, EXISTING PUBLIC
RECORDS, AND PLANS PROVIDED BY OTHERS. SURFACE UTILITY LOCATIONS HAVE BEEN FIELD LOCATED BY BISHOP
ENGINEERING, UNLESS OTHERWISE NOTED. ALL UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE LOCATIONS
ONLY. BISHOP ENGINEERING DOES NOT GUARANTEE THE UNDERGROUND LOCATION OF ANY UTILITIES SHOWN. IT SHALL
BE THE DUTY OF THE CONTRACTOR TO DETERMINE THE LOCATION AND DEPTH OF ANY UNDERGROUND UTILITIES SHOWN
AND IF ANY ADDITIONAL UTILITIES, OTHER THAN THOSE SHOWN ON THE PLANS, MAY BE PRESENT, A REQUEST WAS MADE
TO IOWA ONE CALL FOR UTILITY PROVIDERS TO VERIFY, LOCATE, AND MARK THEIR UTILITIES IN THE FIELD.

GENERAL NOTES:

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH SUDAS STANDARD SPECIFICATIONS AND ANY AND ALL CITY/COUNTY SUPPLEMENTAL SPECIFICATIONS. THE CITY OF GRIMES MUST BE NOTIFIED BY ALL CONTRACTORS 48 HOURS PRIOR TO COMMENCING WORK.
- IN EVENT OF A DISCREPANCY BETWEEN THE QUANTITY ESTIMATES AND THE DETAILED PLANS, THE DETAILED PLANS SHALL GOVERN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL UTILITIES. ANY DAMAGE TO SAID UTILITIES SHALL BE REPAIRED AT THE CONTRACTORS EXPENSE.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CURRENT O.S.H.A. CODES AND STANDARDS. NOTHING INDICATED ON THESE PLANS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH THE APPROPRIATE SAFETY REGULATIONS.
- ALL NECESSARY CONSTRUCTION SIGNS, BARRICADES AND OTHER TRAFFIC CONTROL DEVICES REQUIRED DURING CONSTRUCTION WILL BE FURNISHED BY THE CONTRACTOR. SIGNS, BARRICADES AND OTHER TRAFFIC CONTROL DEVICES MUST BE IN CONFORMANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS."
- BISHOP ENGINEERING SHALL NOT BE LIABLE FOR ANY INJURIES THAT HAPPEN ON SITE. THIS SHALL INCLUDE BUT NOT BE LIMITED TO TRENCH COLLAPSES FROM VARYING SOIL CONDITIONS OR INJURIES CAUSED BY UNDERGROUND UTILITIES INCLUDING UTILITIES THAT ARE NOT SHOWN ON PLAN.
- THE CONTRACTOR IS LIABLE FOR ALL DAMAGES TO PUBLIC OR PRIVATE PROPERTY CAUSED BY THEIR ACTION OR INACTION IN PROVIDING FOR STORM WATER FLOW DURING CONSTRUCTION. DO NOT RESTRICT FLOWS IN EXISTING DRAINAGE CHANNELS, STORM SEWER, OR FACILITIES.
- THE CONTRACTOR SHALL SUBMIT TO THE ENGINEER A SCHEDULE FOR PERFORMANCE OF WORK ITEMS. THIS SCHEDULE SHALL BE PROVIDED BY THE CONTRACTOR AT THE PROJECT PRECONSTRUCTION CONFERENCE. NO WORK SHALL BEGIN UNTIL A SCHEDULE HAS BEEN SUBMITTED AND ACCEPTED. THE CONTRACTOR SHALL THEN PERFORM WORK TO CONFORM TO THE ACCEPTED SCHEDULE.
- LABORATORY TESTS SHALL BE PERFORMED BY THE OWNER UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL PROVIDE SAMPLES OF MATERIAL REQUIRED FOR LABORATORY TESTS AND TESTING IN ACCORDANCE WITH THE URBAN STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS.
- SOIL IMPORT OR EXPORT ON THIS PROJECT SHALL BE CONSIDERED INCIDENTAL AND WILL NOT BE MEASURED OR PAID FOR SEPARATELY.
- THE CONTRACTOR SHALL PROTECT ALL STRUCTURES NOT SHOWN AS REMOVALS ON THE PLANS.
- THE CONTRACTOR SHALL OBTAIN ANY AND ALL NECESSARY PERMITS PRIOR TO ANY CONSTRUCTION. CONTRACTOR SHALL WORK WITH OWNER OR OWNERS REPRESENTATIVE ON ALL REQUIRED STORM WATER DISCHARGE PERMITS FROM THE IOWA DEPARTMENT OF NATURAL RESOURCES AND THE CITY OF GRIMES.
- GRADING AND EROSION CONTROL SHALL BE DONE IN ACCORDANCE WITH THE APPROVED GRADING PLAN, SWPPP, NPDES DOCUMENTS, AND IOWA DEPARTMENT OF NATURAL RESOURCES REQUIREMENTS.
- THE CONTRACTOR SHALL PICK UP ANY DEBRIS SPILLED ONTO THE ADJACENT RIGHT OF WAY OR ABUTTING PROPERTIES AS THE RESULT OF CONSTRUCTION, AT THE END OF EACH WORK DAY.
- THE CONTRACTOR IS RESPONSIBLE FOR THE PROMPT REMOVAL OF ALL MUD THAT HAS BEEN TRACKED OR WASHED UNTO ADJACENT PROPERTY OR RIGHT OF WAY UNTIL SUCH TIME THAT PERMANENT VEGETATION HAS BEEN ESTABLISHED.
- DISPOSE OF ALL EXCESS MATERIALS AND TRASH IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REQUIREMENTS. PROVIDE WASTE AREAS OR DISPOSAL SITES FOR EXCESS MATERIALS NOT DESIRABLE FOR INCORPORATION INTO THE PROJECT.

PAVING NOTES:

- THE PAVING/ GRADING CONTRACTOR SHALL BACKFILL THE PAVING SLAB AND FINE GRADE THE RIGHT OF WAY AS SOON AFTER THE PAVING AS POSSIBLE. ALL AREAS SHALL BE SEEDED IN ACCORDANCE WITH CITY OF GRIMES STANDARD SPECIFICATIONS AND THE CURRENT VERSION OF SUDAS.
- SUBGRADE PREPARATION AND PAVEMENTS WILL BE CONSTRUCTED FOLLOWING RECOMMENDATIONS IN THE SOILS REPORT. APPROVED SOILS ENGINEER MUST SIGN OFF ON SUBBASE PRIOR TO ANY PAVEMENT BEING PLACED.
- SEE DETAILS FOR ALL PAVEMENT THICKNESS.
- ALL PEDESTRIAN WALKWAYS THAT UNLOAD INTO A VEHICLES TRAVELED PATH MUST HAVE A.D.A. DETECTABLE WARNING PANEL(S) AS PER A.D.A. REGULATIONS. PANEL TYPE & COLOR SHALL BE PER CITY STANDARD.
- ALL WALKS, PARKING LOTS, HANDICAP PARKING, RAMPS, ETC. SHALL COMPLY WITH ALL A.D.A. AND CITY CODES. HANDICAP PARKING SIGNAGE IS REQUIRED FOR ALL HANDICAP STALLS AND SHALL BE CONSIDERED INCIDENTAL. IN EVENT OF A DISCREPANCY BETWEEN THE PLANS AND THE A.D.A./CITY CODES THE A.D.A./CITY CODES SHALL GOVERN. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING A.D.A. CODES ARE MET.

UTILITY NOTES:

- QUANTITY CALLOUTS ON PIPE LENGTHS ARE APPROXIMATE AND SHOULD BE USED FOR REFERENCE ONLY.
- THE CONTRACTOR SHALL PROVIDE AS-BUILTS OF ALL UTILITIES, INCLUDING DEPTH AND LOCATION OF ALL SERVICES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION AND ALL COSTS ASSOCIATED WITH AS-BUILT TOPO OF DETENTION POND & DETENTION POND STORM SEWER. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING BISHOP ENGINEERING (DAVID BENTZ AT 515-276-0467) TO PERFORM SAID AS-BUILT SURVEY. IF DETENTION PONDS HAVE BEEN GRADED INCORRECTLY, CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SUBSEQUENT AS-BUILT TOPO SURVEYS UNTIL ISSUES HAVE BEEN RECTIFIED.
- THE CONTRACTOR SHALL COORDINATE THE ADJUSTMENT OF ANY AND ALL EXISTING AND PROPOSED UTILITIES TO PROPOSED GRADES. EXISTING UTILITIES SHALL BE RAISED OR LOWERED IN ACCORDANCE WITH THE UTILITY OWNER REQUIREMENTS. ANY NECESSARY ADJUSTMENTS SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION.
- ACTIVE EXISTING FIELD TILES ENCOUNTERED DURING CONSTRUCTION SHALL BE REPAIRED, REROUTED, OR CONNECTED TO PUBLIC OR PRIVATE STORM SEWER TO REMAIN IN SERVICE.
- ALL PROPOSED RCP STORM SEWER PIPE JOINTS SHALL BE FABRIC WRAPPED AND THE LAST 3 PIPE SECTIONS ON THE APRON SHALL BE TIED WITH RF-14 TYPE II CONNECTORS. ALL APRONS SHALL HAVE A STANDARD FOOTING AND TRASH GUARD.
- ALL RIP RAP CALLED OUT ON PLANS SHALL BE UNDERLAIN WITH ENGINEERING FABRIC.
- SANITARY SEWER SERVICE CONNECTIONS SHALL BE PLACED AT A SLOPE OF NO LESS THAN 2%. SERVICES SHALL MAINTAIN 18" OF VERTICAL SEPARATION FROM THE WATERMAIN WITH 18" OF COMPACTED LOW PERMEABILITY SOIL BETWEEN THE UTILITIES WITHIN 10' OF THE CROSSING.
- MANDREL AND PRESSURE TESTS SHALL BE REQUIRED FOR ALL PROPOSED SANITARY LINES. TELEVISIONING OF THE SANITARY SEWER SYSTEM SHALL BE COMPLETED PRIOR TO PAVING UNLESS OTHERWISE APPROVED BY JURISDICTION.
- WATERMAINS SHALL BE C-900. SIZE OF WATERMAIN AS SHOWN ON PLANS.
- THRUST BLOCKS SHALL BE INSTALLED AS REQUIRED AND SHALL BE CONSIDERED INCIDENTAL TO WATERMAIN CONSTRUCTION.
- PROPOSED WATERMAIN SHALL BE PRESSURE TESTED, BACTERIA TESTED AND CHLORINATED. THE FILLING OF THE WATER MAIN SHALL BE DONE BY THE CITY OF GRIMES.
- TRACER WIRE SHALL BE ADDED TO ALL WATER MAIN, AND BROUGHT TO THE SURFACE AT EVERY HYDRANT.
- ALL HYDRANTS WILL IMMEDIATELY BE COVERED WITH A BLACK PLASTIC BAG (OR EQUIVALENT) ONCE THE HYDRANT IS INSTALLED. THE CITY OF GRIMES WILL NOTIFY THE CONTRACTOR WHEN THE BAGS CAN BE REMOVED.
- THE MINIMUM HYDRANT LEAD SHALL BE 3.5 FEET.

UTILITY CONFLICT NOTES:

- UTILITY CONFLICTS MAY EXIST ACROSS THE SITE WITH NEW UTILITIES, GRADING, PAVING ETC. MOST UTILITY CONFLICTS HAVE BEEN CALLED OUT FOR CONTRACTOR CONVENIENCE.
- CONTRACTOR IS RESPONSIBLE FOR ALL UTILITY CONFLICTS THAT ARE EITHER CALLED OUT ON THE PLANS OR THAT CAN BE SEEN ON THE PLANS BETWEEN AN EXISTING UTILITY AND PROPOSED CONSTRUCTION

WETLAND NOTES:

- BISHOP ENGINEERING DOES NOT PERFORM WETLAND STUDIES OR WETLAND MITIGATION. IT IS THE OWNER'S RESPONSIBILITY TO DETERMINE IF ANY WETLANDS ARE LOCATED ON THE PROJECT SITE AND PERFORM ANY NECESSARY MITIGATION PRIOR TO THE COMMENCEMENT OF CONSTRUCTION ACTIVITIES.

SURVEY NOTES:

- SURVEY WORK WAS COMPLETED BY BISHOP ENGINEERING ON 8-14-2021. SEE SITE SURVEY PROVIDED AS PART OF THIS SET OF PLANS FOR EXISTING SITE CONDITIONS AND BOUNDARY INFORMATION.

CITY OF GRIMES STANDARD NOTES:

1. GENERAL NOTES:

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CURRENT VERSION OF THE IOWA STATEWIDE URBAN DESIGN AND SPECIFICATIONS FOR PUBLIC IMPROVEMENTS ON THE DATE OF APPROVAL AND THE CITY OF GRIMES SUPPLEMENTAL SPECIFICATIONS.
- A PRECONSTRUCTION MEETING IS REQUIRED PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE THIS MEETING. CONTACT CITY OF GRIMES ENGINEERING DEPT. (515.986.4050).
- ALL PERMITS (IDNR, SWP, IDOT, ARMY CORP., ETC.) SHALL BE OBTAINED PRIOR TO THE START OF CONSTRUCTION.
- THE DEVELOPER AND/OR CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE THE CITY OF GRIMES WITH RECORD DRAWINGS OF ALL IMPROVEMENTS AS PER CITY STANDARD PROCEDURES.
- TYPICAL BUILDING SERVICE LAYOUT TO REFLECT THE CITY'S SERVICE ORDER FROM LEFT TO RIGHT FACING THE LOT, SANITARY, WATER, SUMP
- A KNOX BOX IS REQUIRED BY THE FIRE DEPARTMENT AND SHALL BE OBTAINED AT WWW.KNOXBOX.COM.
- ALL SITE LIGHTING SHALL NOT SPILL ONTO ADJACENT PROPERTIES OR RIGHT-OF-WAYS.
- PROVIDE A 4-YEAR MAINTENANCE BOND FOR ALL PUBLIC IMPROVEMENTS

2. SANITARY SEWER NOTES:

- THE CONTRACTOR IS REQUIRED TO PLACE A TEMPORARY PLUG IN THE EXISTING DOWNSTREAM SANITARY SEWER MANHOLE PRIOR TO THE START OF CONSTRUCTION. THE PLUG SHALL BE REMOVED FOLLOWING APPROVAL OF CONSTRUCTION BY THE CITY OF GRIMES.
- SANITARY GRAVITY PIPE MATERIAL SHALL BE PVC SDR 26 OR TRUSS (8" TO 15").
- SANITARY GRAVITY SERVICE PIPE MATERIAL SHALL BE PVC SDR 23.5 (4" TO 6").
- ALL SANITARY SEWER MANHOLES SHALL HAVE STEPS.
- ALL SANITARY SEWER MANHOLES CASTINGS SHALL BE SEALED WITH HEAT SHRINK SLEEVES.
- ALL SANITARY SEWER MANHOLE CASTINGS LOCATED WITHIN PAVEMENT SHALL BE TYPE B-PCC W/ADJUSTING MECHANISM.
- SANITARY SEWER TESTING, CLEANING & TELEVISIONING SHALL BE COMPLETED PRIOR TO PAVING. THE SEWER SYSTEM SHALL BE FLUSHED WITH WATER PRIOR TO TELEVISIONING.

3. WATER MAIN NOTES:

- ALL FIRE HYDRANTS SHALL BE AMERICAN FLOW CONTROL-WATEROUS PACER WB-67-250, MUELLER SUPER CENTURION 250 (3-WAY A-423), OR CLOW MEDALLION F-2545. ALL HYDRANTS SHALL HAVE THE FOLLOWING: 6" MJ SHOE, 2-1/2" HOSE NOZZLE, 4-1/2" STEAMER NOZZLE, NST THREADS, PENTAGON OPERATING NUT, CHAIN ON CAP, OPEN LEFT, 5-1/2" BURY, AND FACTORY PAINTED RED. THE MINIMUM SPOOL PIPE LENGTH FROM AUXILIARY VALVE TO HYDRANT SHOE SHALL BE 2.0'.
- ALL HYDRANTS WILL IMMEDIATELY BE COVERED WITH A BLACK PLASTIC BAG (OR EQUIVALENT) ONCE THE HYDRANT IS INSTALLED. THE CITY OF GRIMES WILL NOTIFY THE CONTRACTOR WHEN THE BAGS CAN BE REMOVED.
- A TRACER WIRE RECEPTACLE SHALL BE INSTALLED AT EACH HYDRANT, AA MANUFACTURING TRACER WIRE RECEPTACLE MODEL TW-18-2.
- ALL VALVES SHALL BE RESILIENT WEDGE GATE VALVES.
- WATER SERVICE SHALL BE 1-INCH MINIMUM TYPE K COPPER.
- PROPOSED WATER MAIN SHALL BE PRESSURE TESTED AND CHLORINATED BY THE DEVELOPER. THE FILLING OF THE WATER MAIN SHALL BE DONE BY THE CITY OF GRIMES. THE BACTERIA TEST AND SUBMITAL OF TEST TO LAB SHALL BE DONE BY THE DEVELOPER AND RESULTS PROVIDED TO THE CITY OF GRIMES ENGINEERING DEPT. AND BY FAX TO US WATER AT 515-986-7300. IF THE TEST DOES NOT PASS, THE CONTRACTOR WILL BE REQUIRED TO PAY FOR ALL THE WATER USED TO REPEAT THE TEST.
- ALL WATERMAIN FITTINGS TO BE RESTRAINED JOINT, MEGA-LUG OR APPROVED EQUAL.

4. STORM SEWER NOTES:

- ALL STORM SEWER IN THE ROW SHALL BE RCP, UNLESS OTHERWISE APPROVED BY THE CITY.
- ALL FLARED END SECTIONS SHALL HAVE FOOTINGS AND APRON GRATES. THE LAST 3 PIPE SECTIONS AND THE FLARED END SECTION ON ALL CULVERTS SHALL BE TIED. ALL STORM SEWER JOINTS SHALL BE WRAPPED WITH ENGINEERING FABRIC.
- THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY FIELD TILE DAMAGED DURING CONSTRUCTION. THE TILE SHOULD BE DIRECTED TO PUBLIC STORM SEWER IF POSSIBLE. THE CONTRACTOR SHALL RECORD THE ELEVATION AND LOCATION OF ALL TILES.
- STORM SEWER CLEANING & TELEVISIONING SHALL BE COMPLETED PRIOR TO PAVING. THE SEWER SYSTEM SHALL BE FLUSHED WITH WATER PRIOR TO TELEVISIONING.
- USE O RING GASKETS ON STORM SEWERS CROSSING OVER WATERMAIN PER IDNR REQUIREMENT.

SHEET INDEX:

C0.1 COVER SHEET

C0.2 SITE SURVEY

C1.1 DEMO PLAN

C2.1 LAYOUT PLAN

C3.1 GRADING PLAN

C4.1 UTILITY PLAN

C5.1 LANDSCAPE PLAN

C6.1 DETAILS SHEET

C7.1 SWPPP



VICINITY MAP
SCALE: 1" = 1,000'

LEGEND:

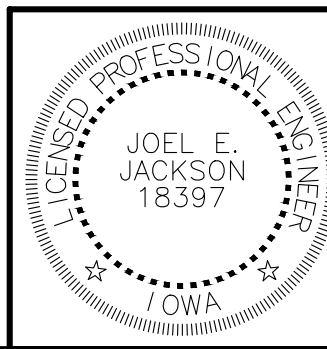
- SAN — SANITARY SEWER
- ST — STORM SEWER
- W — WATER LINE
- G — GAS LINE
- UE — UNDERGROUND ELECTRIC
- OE — OVERHEAD ELECTRIC
- TELE — TELEPHONE LINE
- FO — FIBER OPTIC
- CATV — CABLE TV
- SM — STORM MANHOLE
- CI — CURB INTAKE
- SI — SURFACE INTAKE
- FE — FLARED END SECTION
- SMH — SANITARY MANHOLE
- CO — CLEANOUT
- FH — FIRE HYDRANT
- SP — SPRINKLER
- ICV — IRRIGATION CONTROL VALVE
- WMH — WATER MANHOLE
- W — WELL
- WV — WATER VALVE
- WSH — WATER SHUT OFF
- YH — YARD HYDRANT
- EMH — ELECTRIC MANHOLE
- EM — ELECTRIC METER
- ER — ELECTRIC RISER
- EV — ELECTRIC VAULT
- PP — POWER POLE
- TPP — TRANSFORMER POLE
- LP — LIGHT POLE
- EJC — ELECTRIC JUNCTION BOX
- EP — ELECTRIC PANEL
- TR — TRANSFORMER
- GL — GROUND LIGHT
- GW — GUY WIRE
- EHH — ELECTRIC HANDHOLE
- GM — GAS METER
- GV — GAS VALVE
- ACU — AIR CONDITIONING UNIT
- TRR — TELEPHONE RISER
- TMV — TELEPHONE VAULT
- TMH — TELEPHONE MANHOLE
- TSM — TRAFFIC SIGNAL MANHOLE
- FOM — FIBER OPTIC MANHOLE
- FOR — FIBER OPTIC RISER
- FVV — FIBER OPTIC VAULT
- CTV — CABLE TV RISER
- S — SIGN
- B — BOLLARD
- 7 — DENOTES NUMBER OF PARKING STALLS
- PC — PROPERTY CORNER - FOUND AS NOTED
- PO — PROPERTY CORNER- PLACED AS NOTED
- SC — SECTION CORNER - FOUND AS NOTED

ABBREVIATIONS:

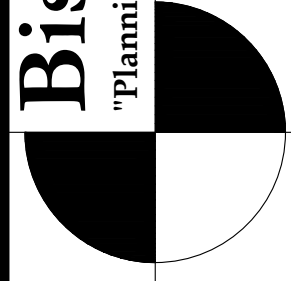
- AC ACRES
- ASPH ASPHALT
- BK BOOK
- CONC CONCRETE
- D DEEDED DISTANCE
- EX EXISTING
- ENCL ENCLOSURE
- FF FINISHED FLOOR
- FL FLOW LINE
- FRAC FRACTIONAL
- M MEASURED DISTANCE
- MH MANHOLE
- OPC ORANGE PLASTIC CAP
- P PLATED DISTANCE
- PG PAGE
- POB POINT OF BEGINNING
- POC POINT OF COMMENCEMENT
- PRA PREVIOUSLY RECORDED AS
- PUE PUBLIC UTILITY EASEMENT
- ROW RIGHT OF WAY
- RPC RED PLASTIC CAP
- SF SQUARE FEET
- SAN SANITARY
- TYP TYPICAL
- YPC YELLOW PLASTIC CAP
- N NORTH
- S SOUTH
- E EAST
- W WEST

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FREDDY'S & PANERA
GRIMES, IOWA

COVER SHEET

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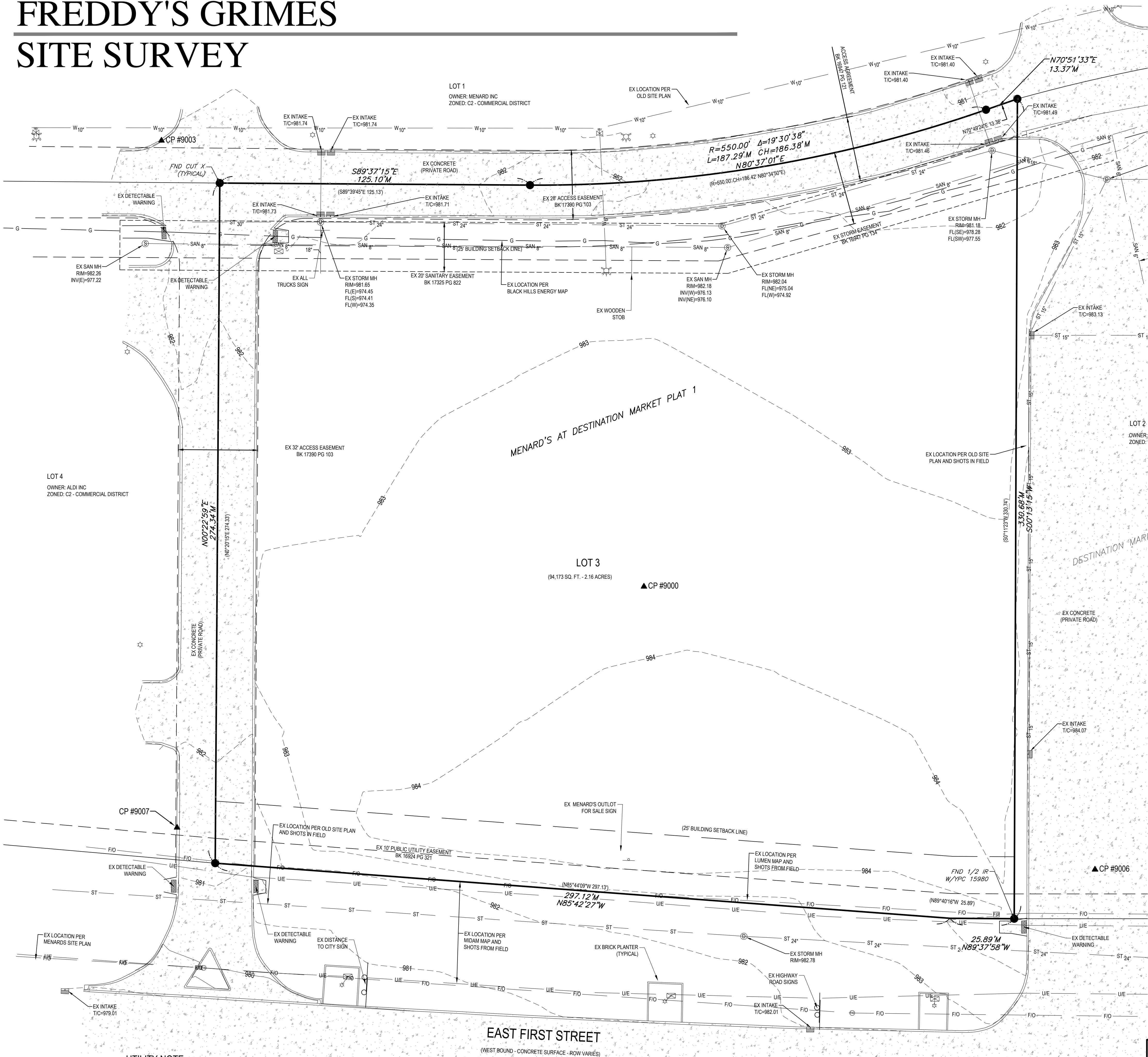
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FREDDY'S GRIMES SITE SURVEY



VICINITY MAP
SCALE: NOT TO SCALE

LEGEND:

- SAN — SANITARY SEWER
- ST — STORM SEWER
- W — WATER LINE
- G — GAS LINE
- UE — UNDERGROUND ELECTRIC
- OIE — OVERHEAD ELECTRIC
- TELE — TELEPHONE LINE
- F/O — FIBER OPTIC
- CATV — CABLE TV

- ① STORM MANHOLE
- ② CURB INTAKE
- ③ SURFACE INTAKE
- ④ FLARED END SECTION
- ⑤ SANITARY MANHOLE
- ⑥ CLEANOUT
- ⑦ FIRE HYDRANT
- ⑧ SPRINKLER
- ⑨ IRRIGATION CONTROL VALVE
- ⑩ WATER MANHOLE
- ⑪ WELL
- ⑫ WATER VALVE
- ⑬ WATER SHUT OFF
- ⑭ YARD HYDRANT
- ⑮ ELECTRIC MANHOLE
- ⑯ ELECTRIC METER
- ⑰ ELECTRIC RISER
- ⑱ ELECTRIC VAULT
- ⑲ POWER POLE
- ⑳ TRANSFORMER POLE
- ⋆ LIGHT POLE
- ⑳ ELECTRIC JUNCTION BOX
- ㉑ ELECTRIC PANEL
- ㉒ TRANSFORMER
- ㉓ GROUND LIGHT
- ㉔ GUY WIRE
- ㉕ ELECTRIC HANDHOLE
- ㉖ GAS METER
- ㉗ GAS VALVE
- ㉘ AIR CONDITIONING UNIT
- ㉙ TELEPHONE RISER
- ㉚ TELEPHONE VAULT
- ㉛ TELEPHONE MANHOLE
- ㉜ TRAFFIC SIGNAL MANHOLE
- ㉝ FIBER OPTIC MANHOLE
- ㉞ FIBER OPTIC RISER
- ㉟ FIBER OPTIC VAULT
- ㊱ CABLE TV RISER
- ㊲ SIGN

- BOLLARDS
- ⑦ DENOTES NUMBER OF PARKING STALLS
- PROPERTY CORNER - FOUND AS NOTED
- PROPERTY CORNER - PLACED 3/4" IRON PIPE WITH YELLOW PLASTIC CAP ID # 26776 OR AS NOTED
- SECTION CORNER - FOUND AS NOTED
- ▲ SITE CONTROL POINT - MONUMENT AS NOTED

PROPERTY DESCRIPTION:

(FROM TITLE OPINION)
LOT 3 IN MENARDS AT DESTINATION MARKET PLAT 1, AN OFFICIAL PLAT, NOW INCLUDED IN AND FORMING A PART OF THE CITY OF GRIMES, POLK COUNTY, IOWA

ADDRESS:

2125 EAST 1ST STREET
GRIMES, IOWA 50111

OWNER:

MENARD INC
5101 MENARD DR
EAU CLAIRE, WISCONSIN 54703-9604

PREPARED FOR:

MLY REAL ESTATE INC.
STEVEN YOUNG

ZONING:

INFORMATION OBTAINED FROM
GRIMESIOWA.GOV
ZONED: COMMERCIAL DISTRICT
SETBACKS:

FRONT: 25 FEET
SIDE: NONE
REAR: 25 FEET

FOR AN OFFICIAL ZONING REPORT PLEASE CALL CITY OF GRIMES AT 515.986.3036

SITE CONTROL AND BENCHMARKS:

BASIS OF BEARING OBTAINED FROM GPS OBSERVATIONS
DATUM = NAD 83, IOWA SOUTH
BENCHMARK DATUM = CITY DATUM OR NAVD88, GEOID 12A)

POINT #9004

NORTHING = 615591.84
EASTING = 1566441.19
ELEVATION = 984.28
DESCRIPTION: BURY BOLT

POINT # 9000

NORTHING = 615464.88
EASTING = 1566456.37
ELEVATION = 983.74
DESCRIPTION: 3/4" IRON PIPE W/ RED PLASTIC CAP

ABBREVIATIONS:

AC ACRES
ASPH ASPHALT
BK BOOK
CONC CONCRETE
D DEEDED DISTANCE
EX EXISTING
ENCL ENCLOSURE
FF FINISHED FLOOR
FL FLOW LINE
FRAC FRACTIONAL
M MEASURED DISTANCE
MH MANHOLE
OPC ORANGE PLASTIC CAP
P PLATTED DISTANCE
PG PAGE
POB POINT OF BEGINNING
POC POINT OF COMMENCEMENT
PRA PREVIOUSLY RECORDED AS
PUE PUBLIC UTILITY EASEMENT
ROW RIGHT OF WAY
RPC RED PLASTIC CAP
SF SQUARE FEET
SAN SANITARY
TYP TYPICAL
YPC YELLOW PLASTIC CAP
N NORTH
S SOUTH
E EAST
W WEST

NOTES:

- ADJACENT PROPERTY OWNER INFORMATION OBTAINED FROM POLK COUNTY ASSESSORS WEB PAGE
- PARENTHESES () DENOTES PREVIOUSLY RECORDED BEARINGS AND DISTANCES



UTILITY NOTE:

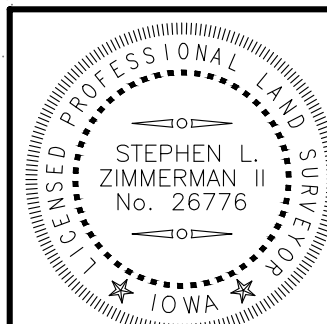
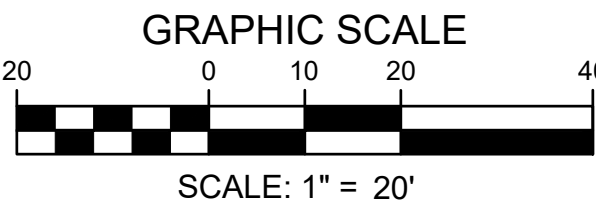
THE LOCATION OF THE UTILITIES INDICATED ON THE PLANS HAVE BEEN TAKEN FROM THE FIELD SURVEY. EXISTING PUBLIC RECORDS, AND PLANS PROVIDED BY OTHERS. SURFACE UTILITY LOCATIONS HAVE BEEN FIELD LOCATED BY BISHOP ENGINEERING. UNLESS OTHERWISE NOTED, ALL UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE LOCATIONS ONLY. BISHOP ENGINEERING DOES NOT GUARANTEE THE UNDERGROUND LOCATION OF ANY UTILITIES SHOWN. IT SHALL BE THE DUTY OF THE CONTRACTOR TO DETERMINE THE LOCATION AND DEPTH OF ANY UNDERGROUND UTILITIES SHOWN AND IF ANY ADDITIONAL UTILITIES, OTHER THAN THOSE SHOWN ON THE PLANS, MAY BE PRESENT. A REQUEST WAS MADE TO IOWA ONE CALL FOR UTILITY PROVIDERS TO VERIFY, LOCATE, AND MARK THEIR UTILITIES IN THE FIELD.

UTILITY MAPS PROVIDED BY:

- ELECTRIC (MIDAM / 515.252.6972)
- FIBER OPTIC (CENTURYLINK (LUMEN) / 918.547.0147)
- FIBER OPTIC (IOWA COMMUNICATION NETWORK / 800.572.3940)
- GAS (BLACK HILLS ENERGY / 515.343.2037)
- WATER (CITY OF GRIMES / AWOOD@USWATERCORP.NET)

FIELD WORK COMPLETED ON: 8-14-2021

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2125 EAST 1ST STREET
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SITE SURVEY

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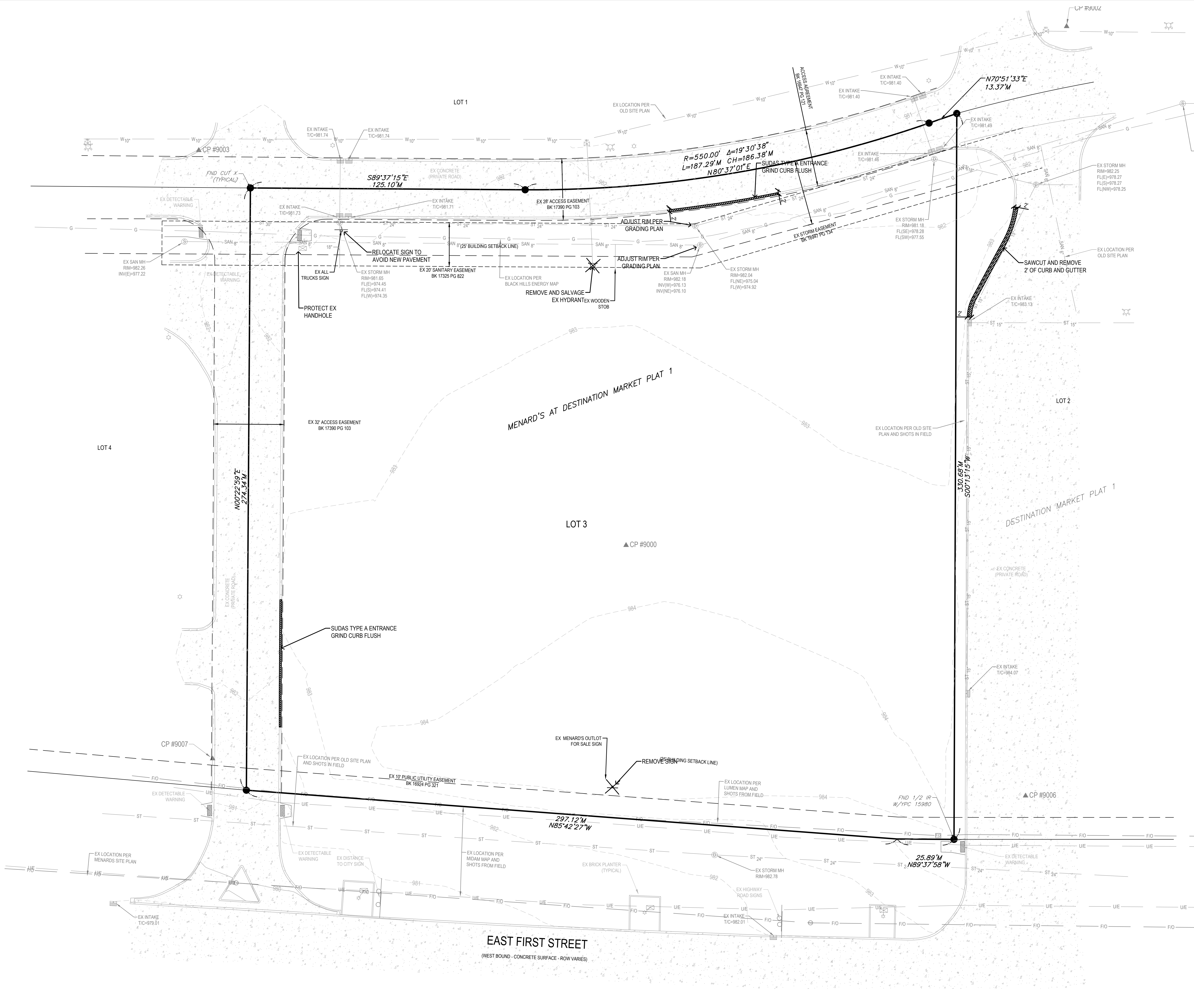
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- DEMO NOTES:
1. SAWCUT & REMOVE ALL PAVEMENT TO FULL DEPTH OF SLAB.
 2. PROTECT ALL TREES NOT CALLED OUT FOR REMOVAL WITH ORANGE CONSTRUCTION FENCE AT THE DRIP LINE.
 3. PAVEMENT STRIPING CALLED OUT FOR REMOVAL SHALL BE SANDBLASTED. NO GRINDING WILL BE ALLOWED.

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FREDDY'S & PANERA
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DEMO PLAN

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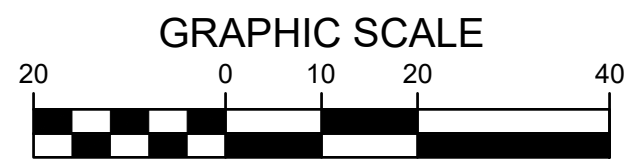
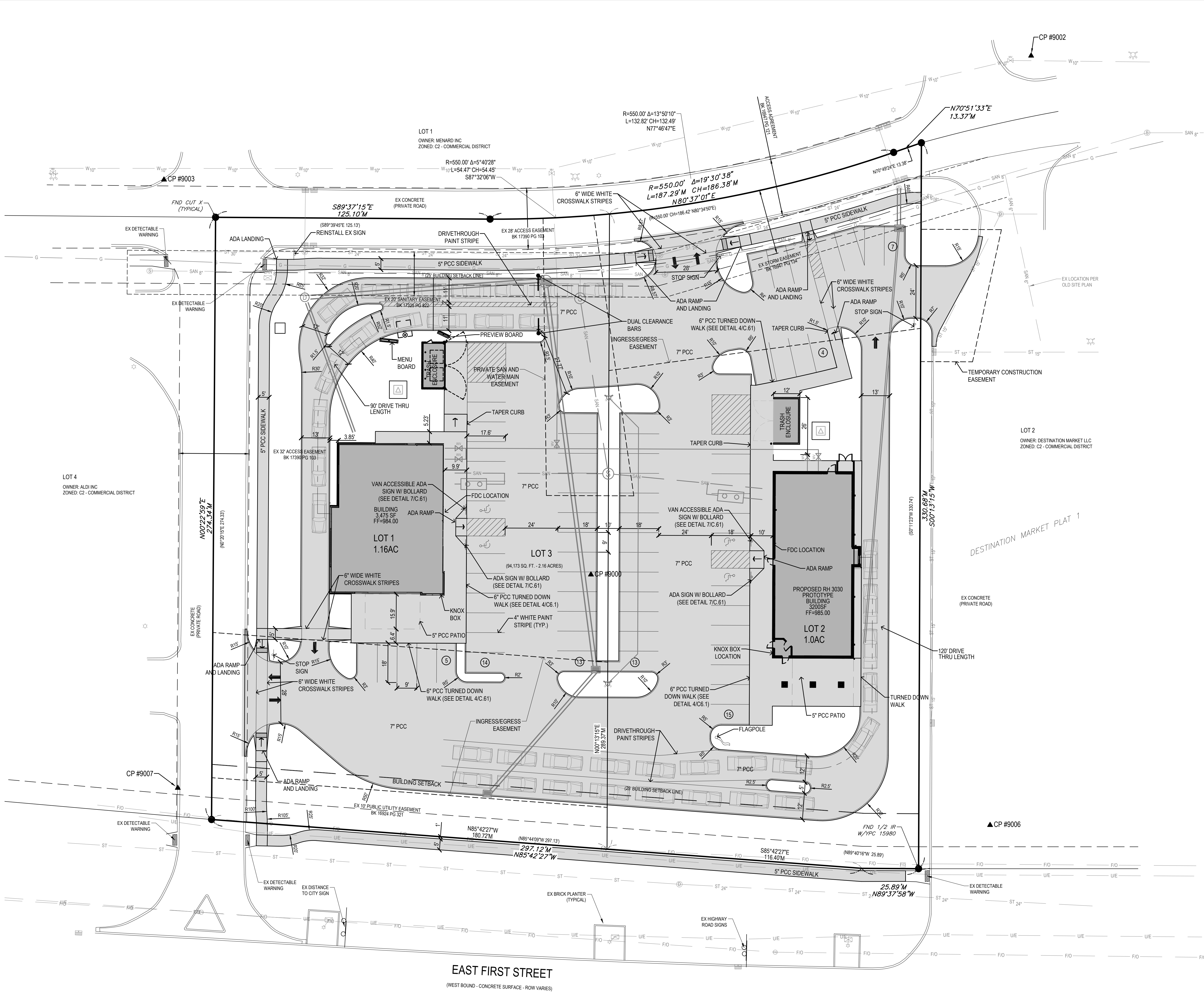
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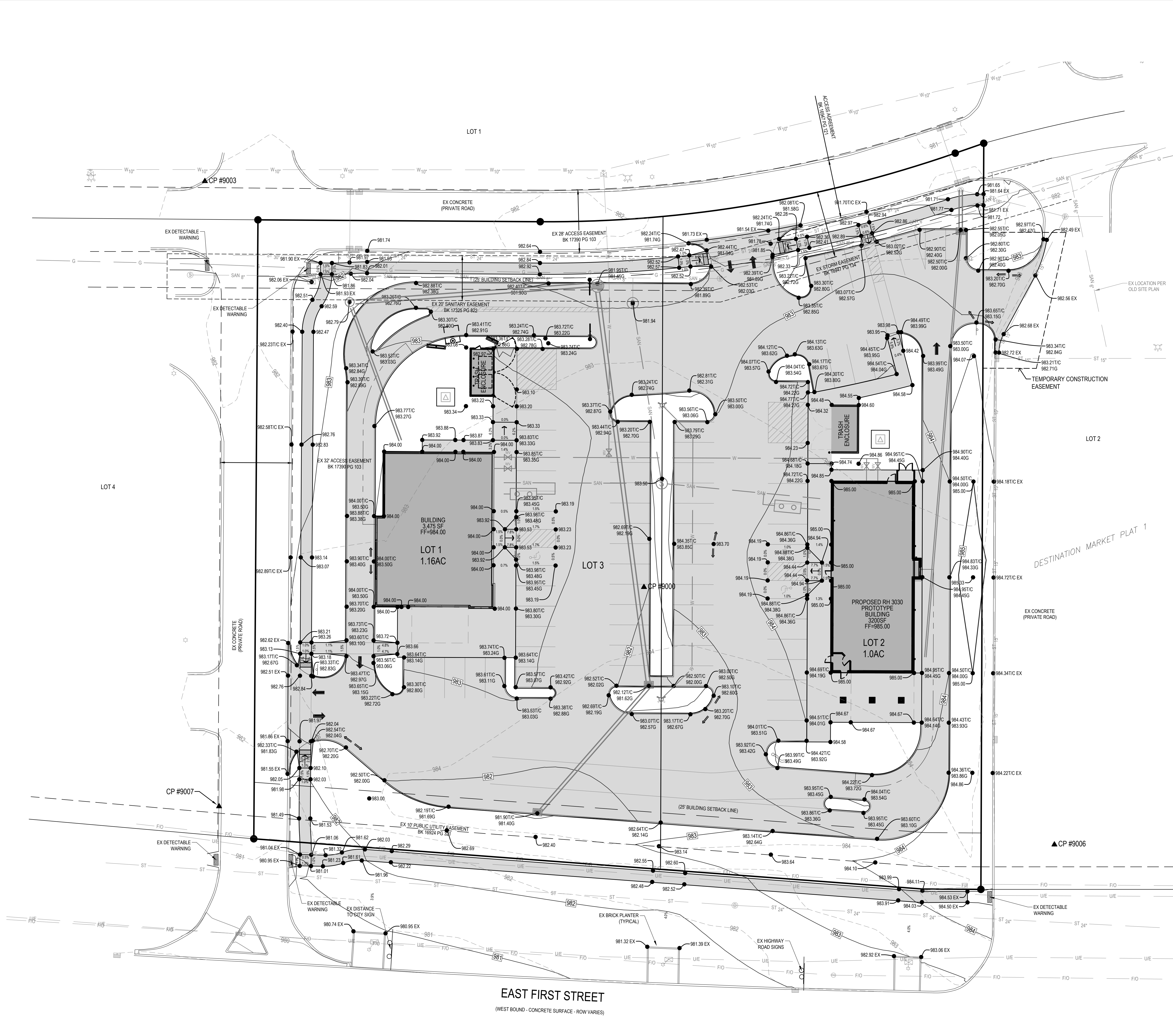
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LAYOUT PLAN

PRELIMINARY- NOT FOR CONSTRUCTION

11/29/2021 12:24:36 PM L:\LAND PROJECTS 2021\10343 - FREDDY'S GRIMES\DWG\C3 GRADING.DWG



TOPSOIL NOTES:

1. STRIP AND STOCKPILE THE TOP 8" OF SOIL ON ALL DISTURBED AREAS.
2. RESPREAD TOPSOIL TO A MINIMUM DEPTH OF 8" ON ALL GREEN (NON PAVED) AREAS. IMPORT TOPSOIL AS NECESSARY TO ACHIEVE A MINIMUM DEPTH OF 8".
3. TOPSOIL SHALL BE FREE OF ALL ROCK AND DEBRIS LARGER THAN 3/4" IN SIZE.
4. TOPSOIL IS DEFINED AS: FERTILE, FRIABLE LOAM, CAPABLE OF SUSTAINING VIGOROUS PLANT GROWTH, FROM WELL DRAINED SITE FREE FROM FLOODING, IN FROZEN OR MUDDY CONDITIONS; REASONABLE FREE FROM SUBSOIL, CLAY LUMPS, ROOTS, GRASS, WEEDS, STONES LARGER THAN 3/4 INCH IN DIAMETER, FOREIGN MATTER; ACIDITY RANGE (PH) OF 5.5 TO 7.5; CONTAINING MINIMUM PERCENT AND MAXIMUM 20 PERCENT ORGANIC MATTER.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ALL TOPSOIL REQUIREMENTS OF NPDES GENERAL PERMIT NO. 2 ARE MET.

GRADING LEGEND:

- | | |
|---------------------------|-----|
| EXISTING CONTOUR | --- |
| PROPOSED CONTOUR | --- |
| FINISHED GROUND ELEVATION | ● |
| TOP OF CURB ELEVATION | ● |
| GUTTER ELEVATION | ● |
| TOP OF WALL ELEVATION | ● |
| BOTTOM OF WALL ELEVATION | ● |
| EDGE OF WALK ELEVATION | ● |
| TOP OF STAIR ELEVATION | ● |
| BOTTOM OF STAIR ELEVATION | ● |

NOTE: WALL ELEVATIONS SHOWN ON PLAN ARE FINISHED GROUND GRADES AT THE TOP AND BOTTOM OF THE WALL.

GRAPHIC SCALE



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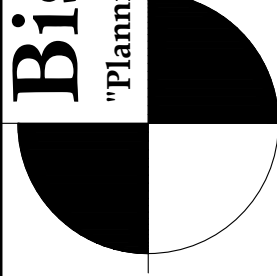
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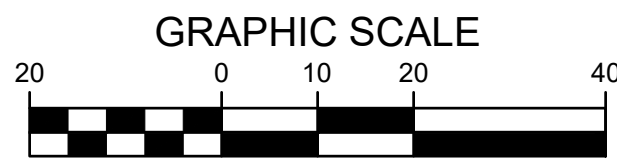


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GRADING PLAN



UTILITY NOTES:

1. ALL PIPED LINES SHALL BE PRIVATE, UNLESS NOTED OTHERWISE.
2. ALL WATER LINES SHALL HAVE A MINIMUM OF 5' OF COVER UNLESS NOTED OTHERWISE.
3. FIRE/HYDRANT ASSEMBLY SHALL INCLUDE THE TEE, BRANCH, VALVE AND HYDRANT.
4. ALL GAS LINES TO BE SHOWN ON PLANS TO BE IN SECTION, WHERE APPLICABLE.
5. STORM SEWER CALLED OUT AS RCP MUST BE CLASS III RCP.
6. STORM SEWER CALLED OUT AS N-12 MAY BE EITHER N-12 OR CLASS III RCP.
7. FOR RCP PIPE, ASSOCIATED F.E.S. MUST BE RCP. FOR N-12 PIPE, ASSOCIATED F.E.S. SHALL BE CMP.
8. ALL PIPES SHALL BE SHOWN FOR REFERENCE ONLY AND MAY NOT BE DRAWN TO A PROPOSED SIZE.
9. PAD SHALL CONFORM TO ALL UTILITY COMPANY DESIGN STANDARDS AND SPECIFICATIONS.

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LANDSCAPE NOTES:

- ALL SODDING & LANDSCAPE PLANTINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE URBAN STANDARD SPECIFICATIONS, UNLESS SPECIFIED OTHERWISE.
- SOD ALL DISTURBED AREAS WITHIN THE CONTRACT LIMITS, UNLESS NOTED OTHERWISE. SOD LIMITS SHOWN ON PLAN ARE FOR REFERENCE ONLY. FINAL LIMITS MAY CHANGE BASED ON CONSTRUCTION ACTIVITIES.
- STAKE SOD ON ALL SLOPES 3 : 1 OR GREATER.
- PLANT QUANTITIES ARE FOR CONTRACTORS CONVENIENCE, THE DRAWING SHALL PREVAIL IF A CONFLICT OCCURS.
- ALL PLANT MATERIAL SHALL CONFORM TO THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1).
- CONTRACTOR SHALL WARRANTY ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR FROM THE DATE OF INITIAL ACCEPTANCE.
- FOR WARRANTY PURPOSES, THE DATE OF INITIAL ACCEPTANCE SHALL BE SUBMITTED IN WRITING TO THE OWNER AND/OR OWNER'S REPRESENTATIVE AFTER ALL PLANT MATERIALS HAVE BEEN INSTALLED AND REVIEWED BY OWNER OR OWNER'S REPRESENTATIVE. PLANT MATERIALS WILL ONLY BE ACCEPTED IF THEY ARE IN AN ALIVE AND THRIVING CONDITION.
- CONDITIONAL ACCEPTANCE OF PLANT MATERIAL MAY BE GIVEN FOR PLANTS INSTALLED IN A DORMANT CONDITION WITH INITIAL ACCEPTANCE OCCURRING THE FOLLOWING SPRING ONCE THEY ARE SHOWN TO BE ALIVE AND THRIVING.
- IT IS THE CONTRACTORS RESPONSIBILITY TO REMOVE IDENTIFICATION TAGS AND CORDS ON ALL PLANT MATERIAL PRIOR TO THE COMPLETION OF THE CONTRACT. IDENTIFICATION TAGS (INCLUDING SIZING INFORMATION) MUST BE LEFT ON UNTIL AFTER ACCEPTANCE BY OWNER OR OWNER'S REPRESENTATIVE.
- CONTRACTOR SHALL PLACE SHREDDED HARDWOOD MULCH AROUND ALL TREES, SHRUBS AND GROUND COVER BEDS TO A DEPTH OF 4 INCHES, UNLESS NOTED.
- STAKING AND GUYING OF TREES SHALL BE AT THE DISCRETION OF THE CONTRACTOR BASED ON CURRENT ACCEPTED NURSERY STANDARDS. GENERALLY, TREES IN LARGE OPEN AREAS SUBJECT O SIGNIFICANT WIND SHALL BE STAKED. STAKE AND WRAP TREES IMMEDIATELY AFTER PLANTING. CONTRACTOR SHALL ADJUST AND MAINTAIN GUYING TENSION THROUGHOUT THE PLANT ESTABLISHMENT PERIOD. REMOVE ALL STAKES AND GUY WIRES NO MORE THAN ONE YEAR AFTER INSTALLATION.
- THE LANDSCAPING CONTRACTOR SHALL HAVE ALL UTILITIES LOCATED BEFORE STARTING ANY SITE WORK OR PLANTING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES.
- NO LANDSCAPE MATERIAL SHALL BE SUBSTITUTED WITHOUT THE AUTHORIZATION OF THE LANDSCAPE ARCHITECT AND THE CITY OF GRIMES.
- ALL EDGING SHALL BE DURAEEDGE 3/16" STEEL EDGING - COLOR BLACK, OR APPROVED EQUAL..
- CONTRACTOR SHALL BE RESPONSIBLE MAINTAINING APPROPRIATE LEVEL OF WATERING FOR ALL NEW PLANTS FOR A PERIOD OF 30 DAYS.
- ALL SHRUB AND PERENNIAL PLANTING BEDS SHALL INCORPORATE TYPAR 3301 NONWOVEN LANDSCAPE FABRIC (OR SIMILAR) AND 3" THICK LAYER OF WASHED RIVER ROCK (1.5" NOMINAL SIZE).
- ALL BEDS TO RECEIVE GRANULAR PRE-EMERGENT WEED CONTROL BEFORE AND AFTER ROCK IS INSTALLED.

PLANTING SCHEDULE

CODE	QUAN	COMMON NAME	LATIN NAME	SIZE	ROOT	NOTES
OVERSTORY TREES						
OG	4	OCTOBER GLORY MAPLE	ACER RUBRUM 'OCTOBER GLORY'	2.0" CAL	B&B	MATCHED SPECIMENS
AH	4	AMERICAN HORNBREAM	CARPINUS CAROLINIANA	2.0" CAL	B&B	MATCHED SPECIMENS
SH	2	SKYLINE HONEYLOCUST	GLEDTISIA TRICANTHOS 'INERMIS' 'SKYLINE'	2.0" CAL	B&B	MATCHED SPECIMENS
KC	7	KENT UCKY COFFEETREE	GYMNOLADUS DIOICUS	2.0" CAL	B&B	MATCHED SPECIMENS
CO	3	CHINKAPIN OAK	QUERCUS MUEHLENBERGII	2.0" CAL	B&B	MATCHED SPECIMENS
RO	3	RED OAK	QUERCUS RUBRA	2.0" CAL	B&B	MATCHED SPECIMENS
ORNAMENTAL TREES						
ER	7	EAST ERN REDBUD	CERCIS CANADENSIS	1.5" CAL	B&B	MATCHED SPECIMENS
PF	4	PRAIRIE FIRE CRABAPPLE	MALUS X PRAIRIE FIRE	1.5" CAL	B&B	MATCHED SPECIMENS
WA	3	WHITE ANGEL CRABAPPLE	MALUS X 'WHITE ANGEL'	1.5" CAL	B&B	MATCHED SPECIMENS
RS	4	ROYAL STAR MAGNOLIA	MAGNOLIA STELLATA 'ROYAL STAR'	1.5" CAL	B&B	MATCHED SPECIMENS
EVERGREEN TREES						
BH	6	BLACK HILLS SPRUCE	PICEA GLAUCOA DENSATA	6'	B&B	FULL FORM TO GROUND
SHRUBS						
EA	7	EMERALD ARBORVITAE	THUJA OCCIDENTALIS 'SMARAGD'	4'	B&B	FULL FORM - MATCHED
RL	33	REDLEAF BARBERRY	BERBERIS THUNBERGII 'ATROPURPUREA'	#5	CONT	FULL FORM - MATCHED
LD	37	LITTLE DEVIL NINEBARK	PHYSCARPUS OPULIFOLIUS 'LITTLE DEVIL'	#3	CONT	FULL FORM - MATCHED
GL	8	GROW LO SUMAC	RHUS AROMATICA 'GROW LOW'	#5	CONT	FULL FORM - MATCHED
KR	4	KNOCKOUT ROSE	ROSA X 'RAD RAZZ'	#5	CONT	FULL FORM - MATCHED
AW	123	ANTHONY WATERER SPIREA	SPIRAEA BUMALDA 'ANTHONY WATERER'	#5	CONT	FULL FORM - MATCHED
CV	4	COMPACT VIBURNUM	VIBURNUM TRILOBUM 'COMPACTA'	#5	CONT	FULL FORM - MATCHED
ORNAMENTAL GRASSES						
KF	30	KARL FOERSTER FEAT HER REED GRASS	CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'	#1	CONT	FULLY ROOTED IN CONTAINER
PV	11	SHENANDOAH SWIT CHGRASS	PANICUM VIRGATUM 'SHENANDOAH'	#1	CONT	FULLY ROOTED IN CONTAINER

SOD: PROVIDE AND INSTALL SOD FROM LOCAL SUPPLIERS. AREAS TO BE SODDED MUST BE FREE OF ALL CONSTRUCTION DEBRIS AND ANY DIRT CLUMPS OVER 1" IN DIAMETER. THOROUGHLY WATER SOD UPON INSTALLATION. CONTRACTOR TO MAINTAIN WATERING UNTIL SOD IS ESTABLISHED (ROOTS KNITTED INTO SUBSURFACE)

GENERAL LANDSCAPE REQUIREMENTS

LOT 1 (PANERA)	
SITE AREA	50,500 SF
OPEN SPACE PROVIDED	14,453 SF
OPEN SPACE REQUIRED (20%)	10,100 SF

LOT 2 (FREDDY'S)	
SITE AREA	43,593 SF
OPEN SPACE PROVIDED	12,088 SF
OPEN SPACE REQUIRED (20%)	8,720 SF

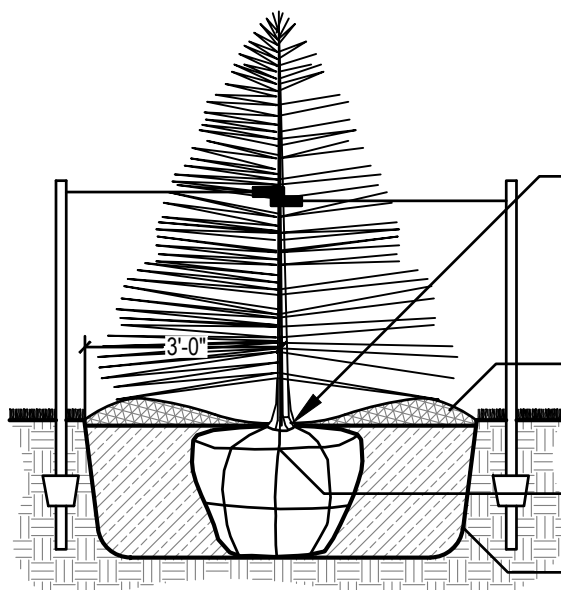
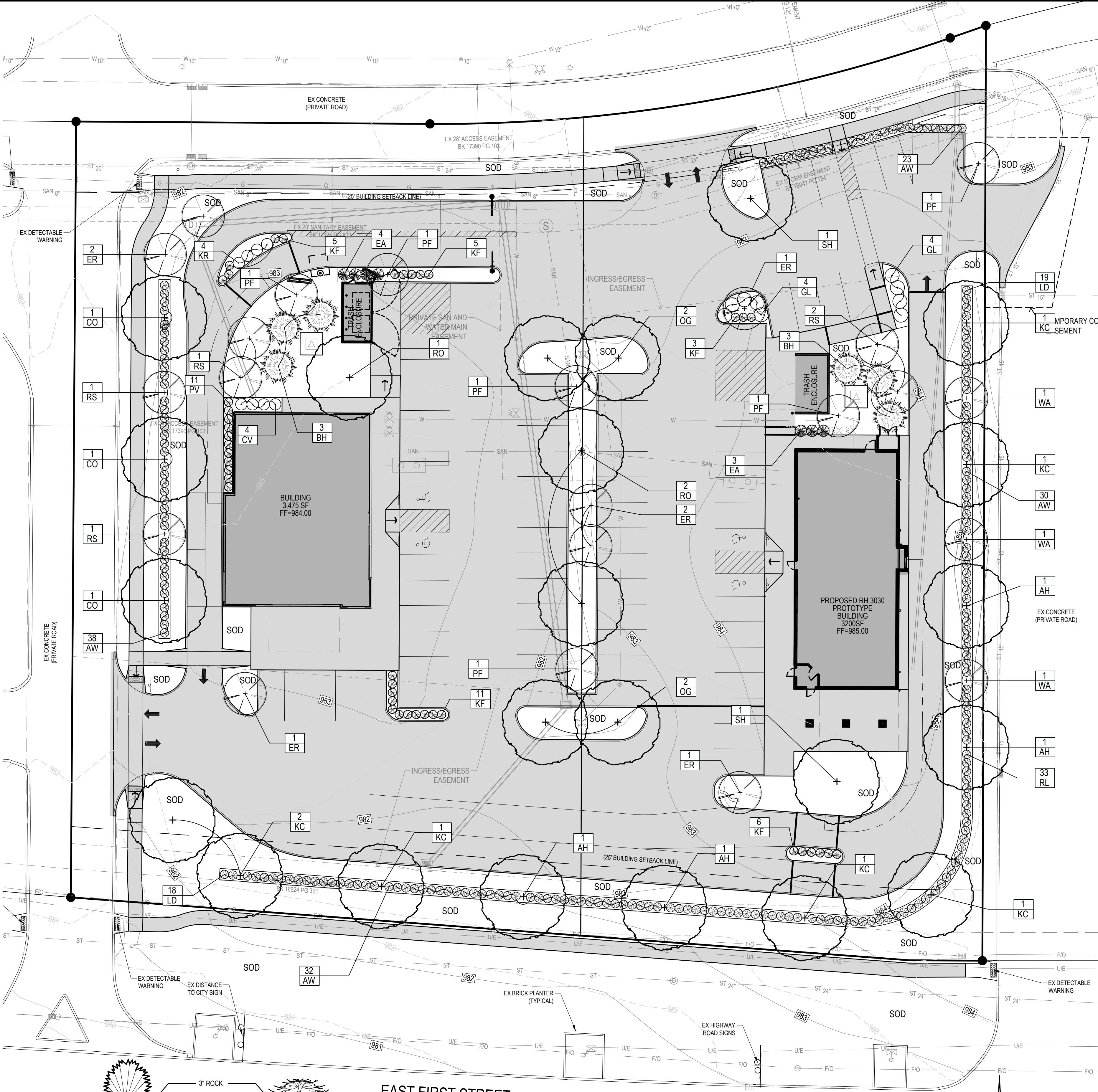
GENERAL OPEN SPACE REQUIREMENT
LOT 1 (PANERA)
TOTAL REQUIRED TREES (2 / 1,000 SF REQUIRED OPEN SPACE)
TOTAL TREES PROVIDED (50% OVERSTORY, 2" CAL)
TOTAL SHRUBS REQUIRED (1 / 500 SF REQUIRED OPEN SPACE)
TOTAL SHRUBS PROVIDED

LOT 2 (FREDDY'S)
TOTAL REQUIRED TREES (2 / 1,000 SF REQUIRED OPEN SPACE)
TOTAL TREES PROVIDED (50% OVERSTORY, 2" CAL)
TOTAL SHRUBS REQUIRED (1 / 500 SF REQUIRED OPEN SPACE)
TOTAL SHRUBS PROVIDED

BUFFER PLANTING ADJACENT TO EAST 1ST ST (PER 163.16.3)
TOTAL LENGTH OF FRONTAGE
TOTAL REQUIRED TREES (1 / 50 LF)
TOTAL TREES PROVIDED
TOTAL SHRUBS REQUIRED (1 / 4 LF)
TOTAL SHRUB PROVIDED

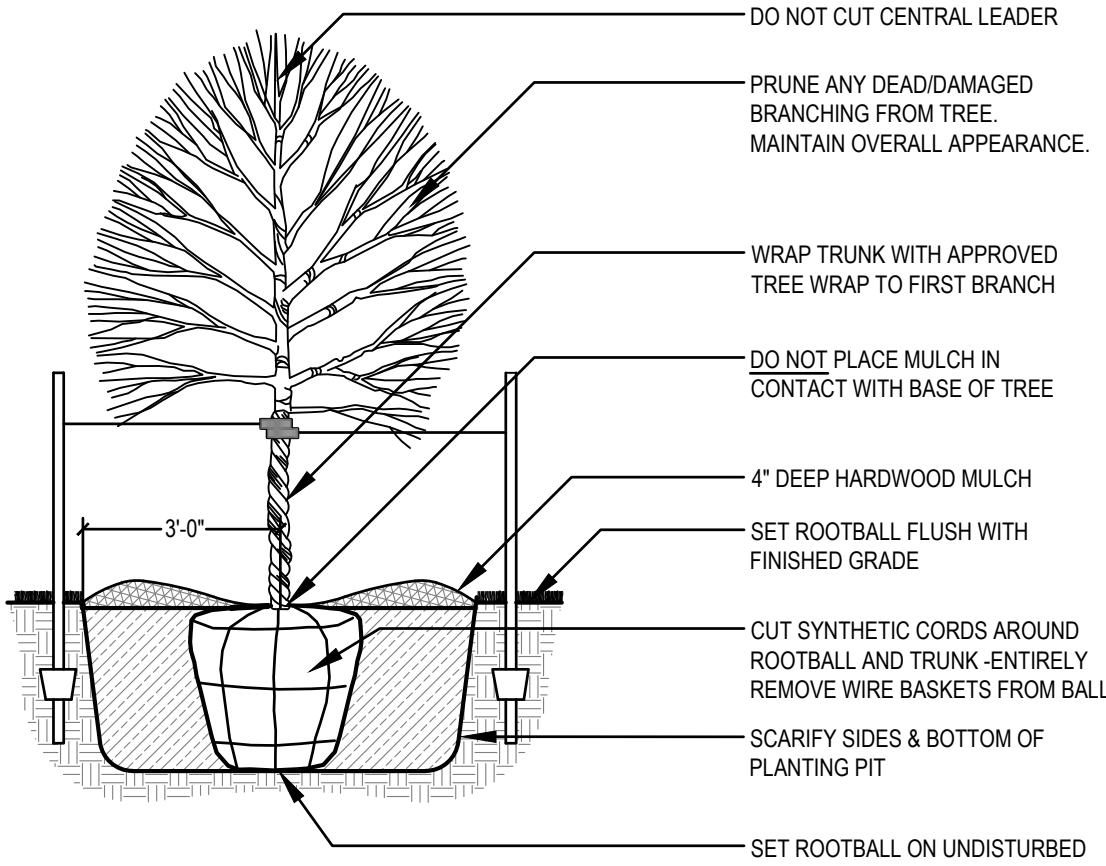
IRRIGATION NOTES:

- FOR BIDDING PURPOSES, THIS PROJECT DOES NOT INCLUDE A SITE IRRIGATION SYSTEM.
- CONTRACTOR SHALL SUBMIT TO THE OWNER OR OWNER'S REPRESENTATIVE A SEPARATE PROPOSAL FOR A SITE IRRIGATION SYSTEM. PROPOSAL SHALL BE DESIGN/BUILD FOR A COMPLETE OPERATIONAL IRRIGATION SYSTEM APPROPRIATE FOR THE SITE. IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DESIGN, COORDINATION, TESTING, PERMITS, INSPECTIONS, ETC.



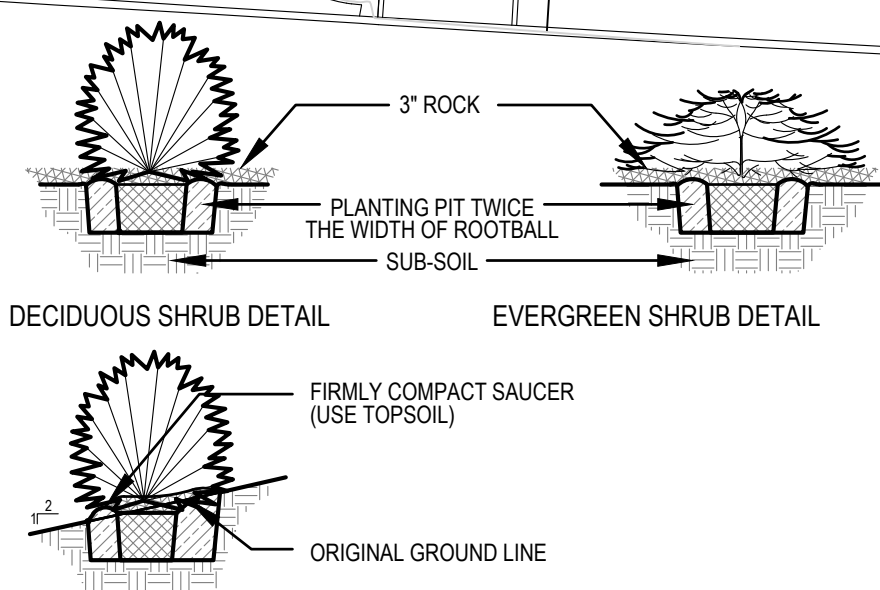
EVERGREEN TREE PLANTING (B&B)

SCALE: NOT TO SCALE



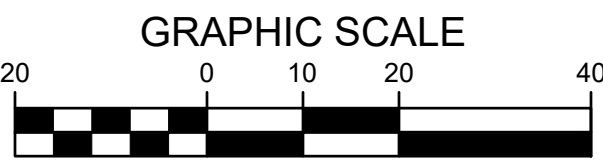
DECIDUOUS TREE PLANTING (TYP.)

SCALE: NOT TO SCALE



SHRUB PLANTING (TYP.)

SCALE: NOT TO SCALE



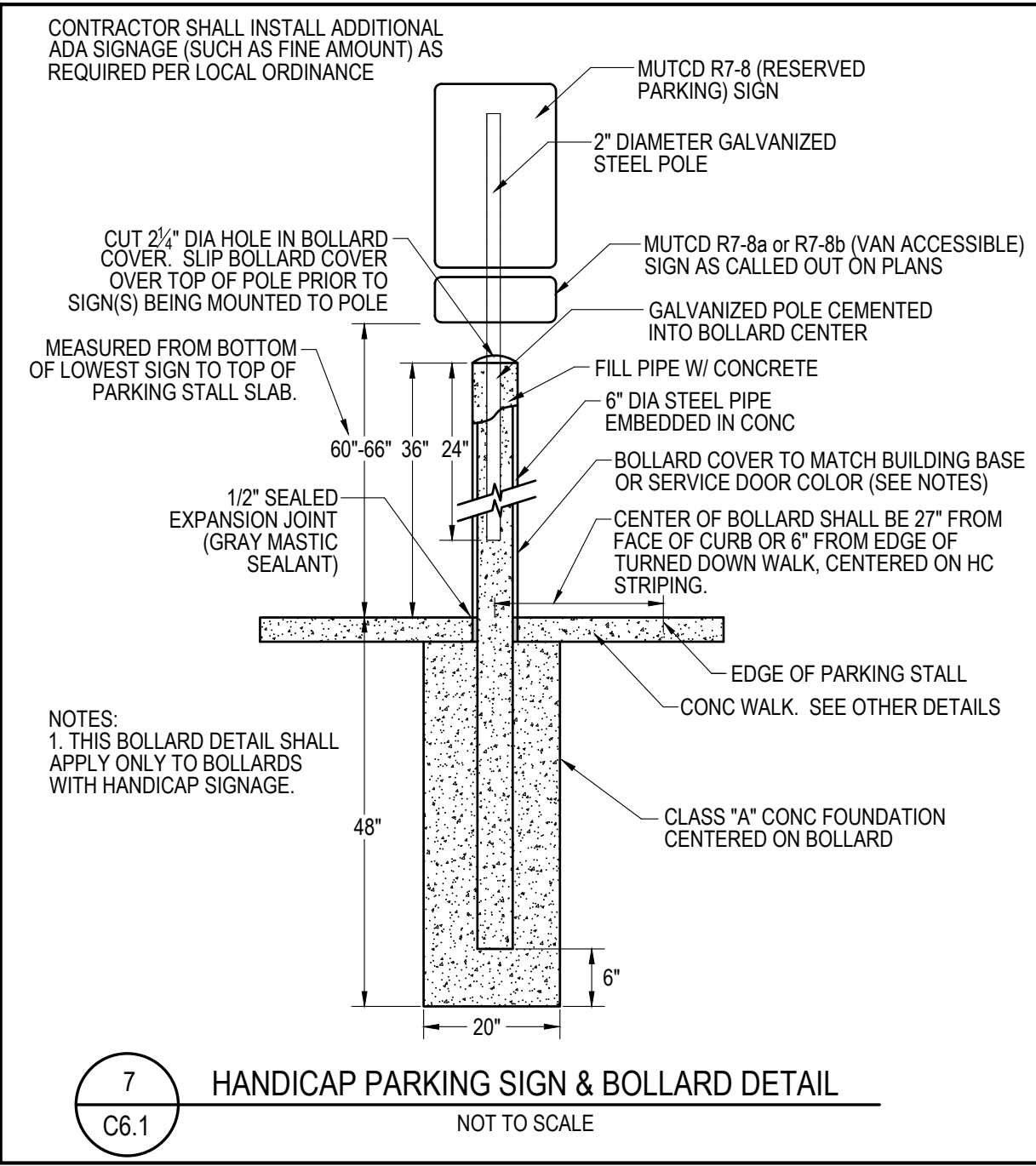
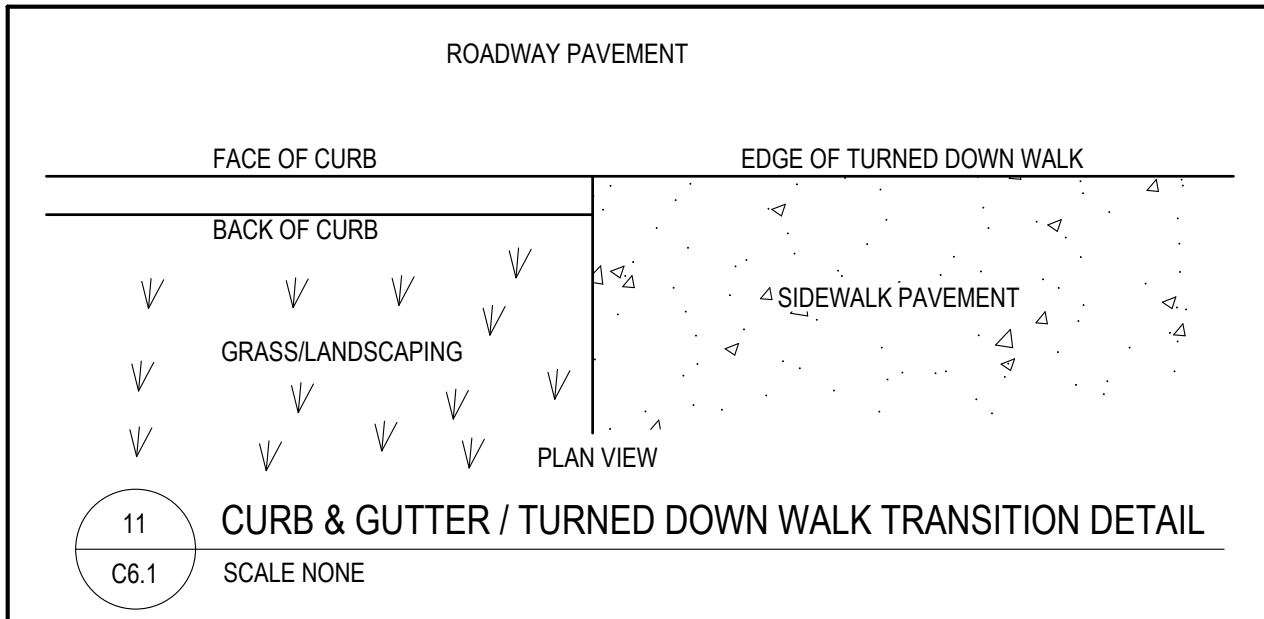
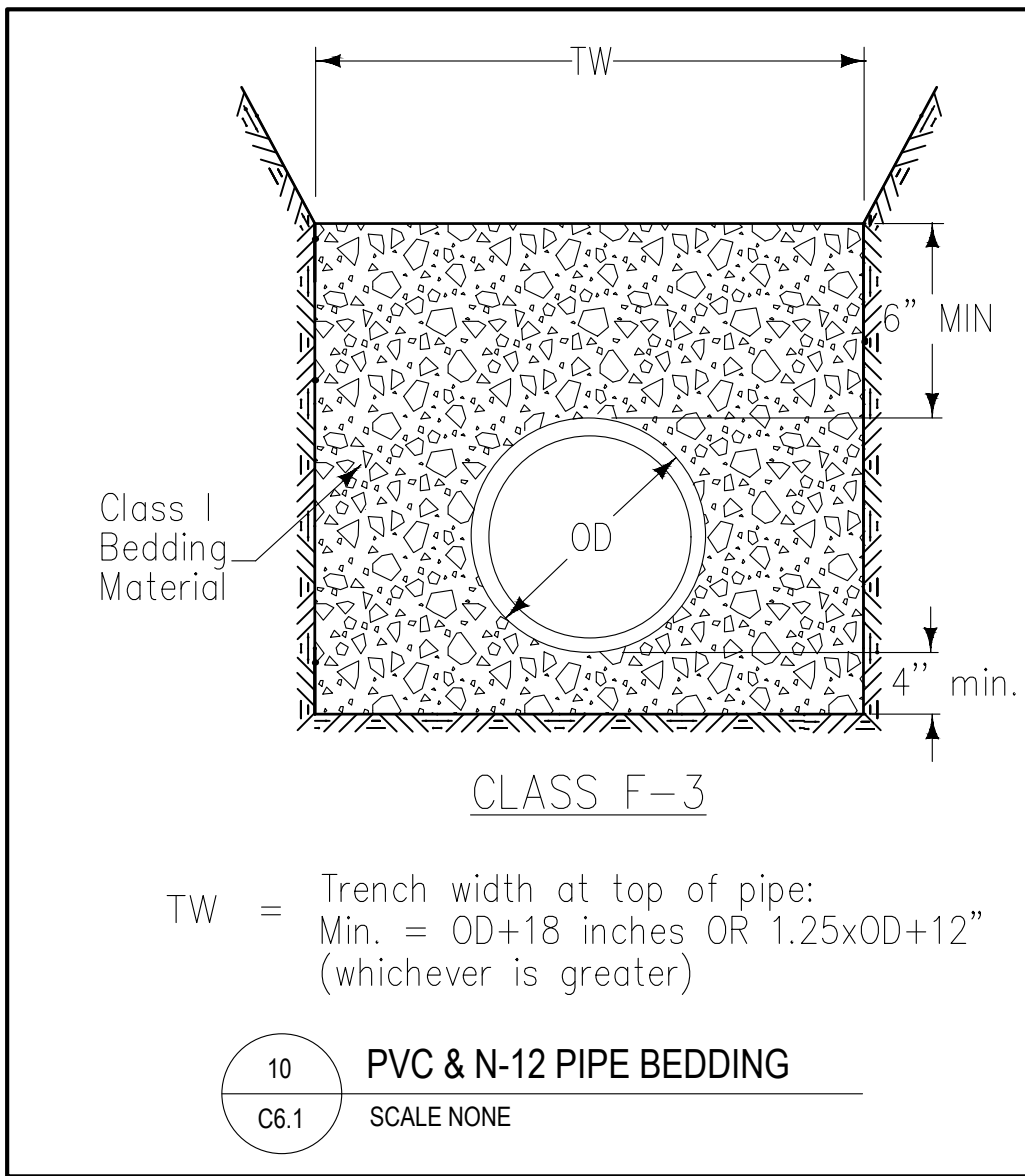
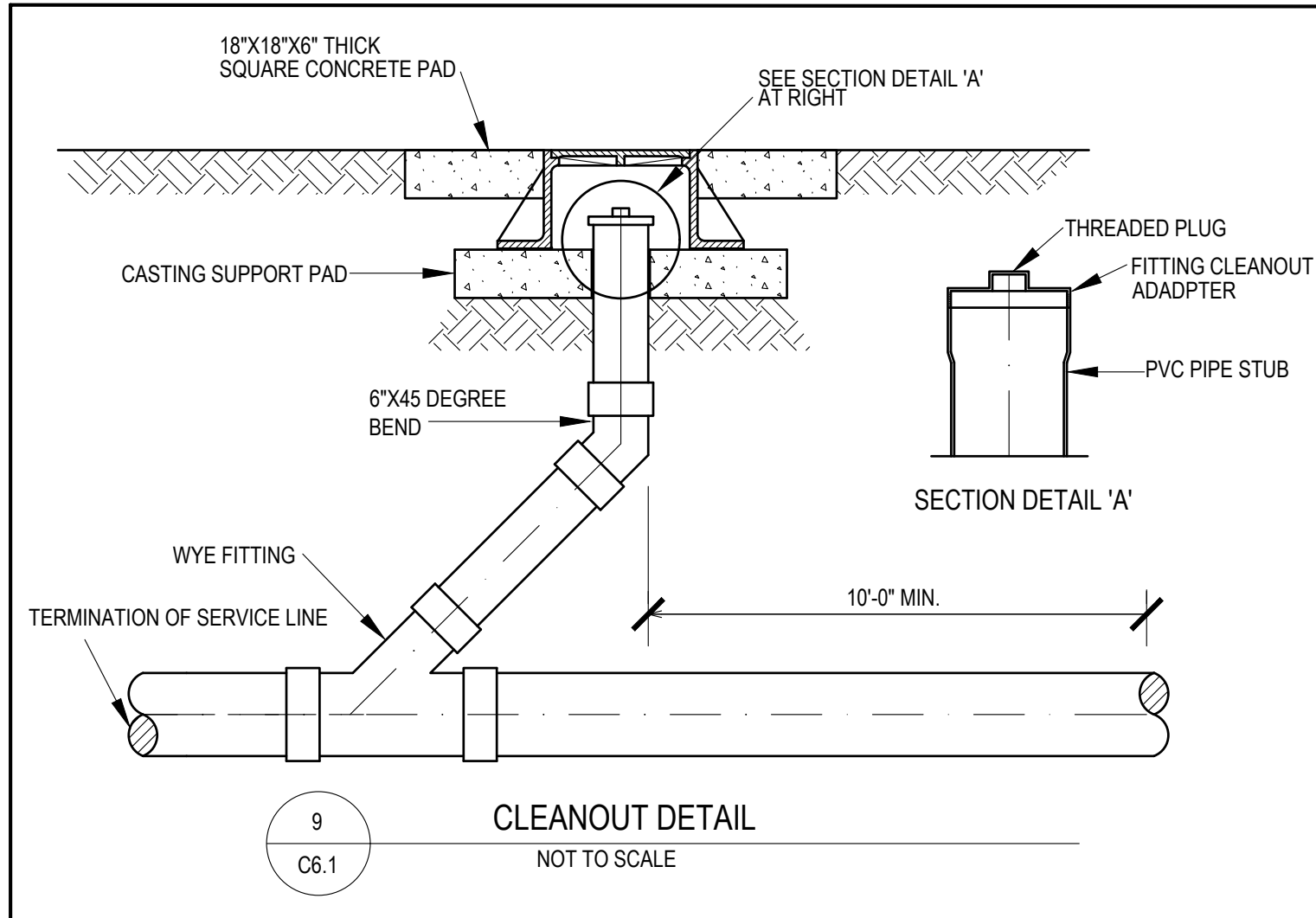
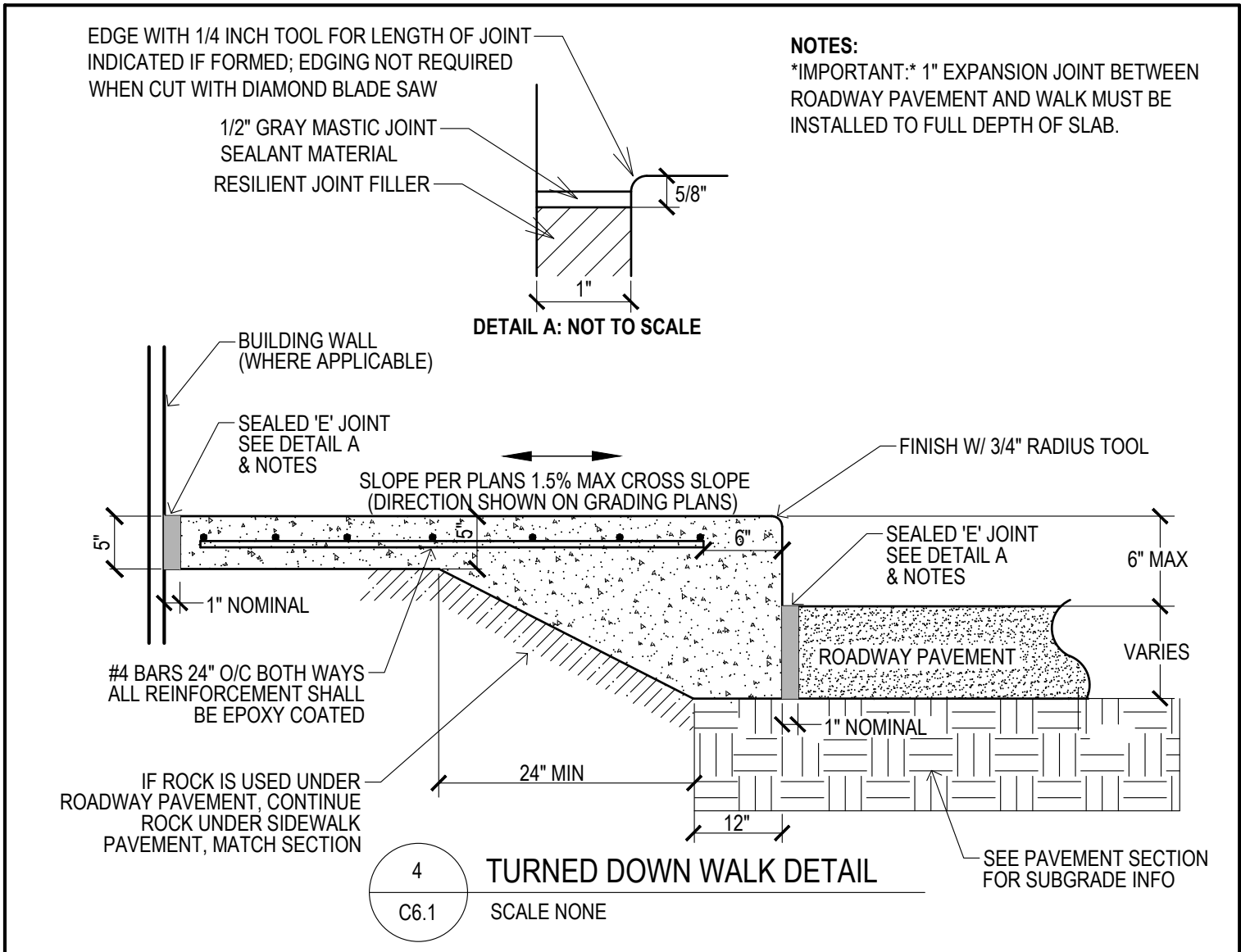
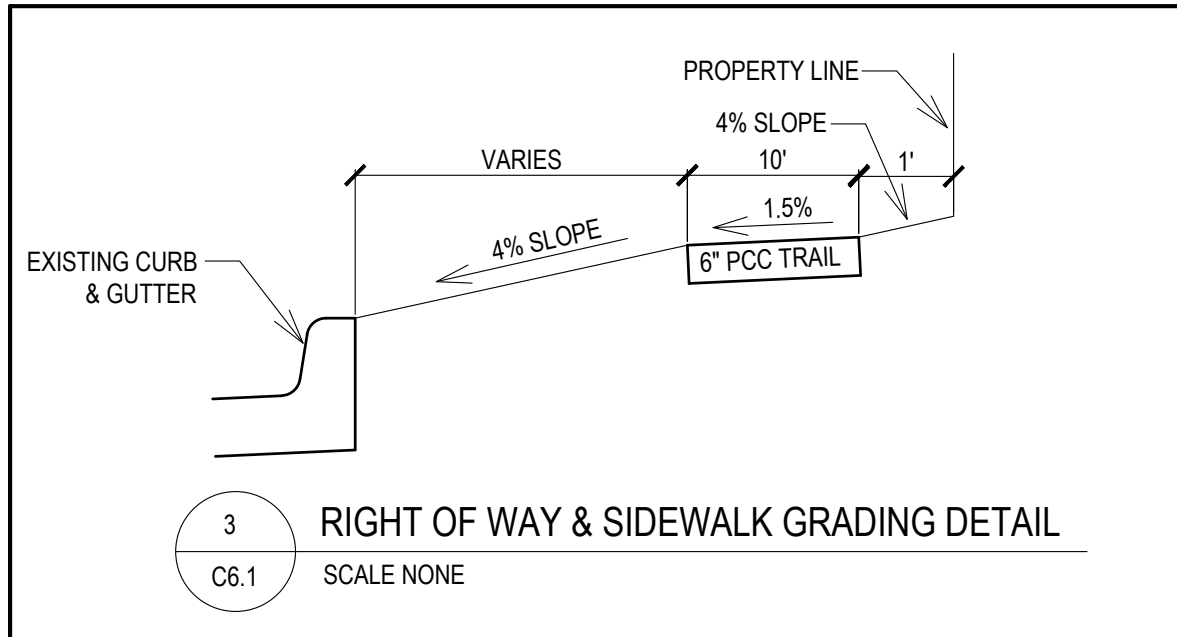
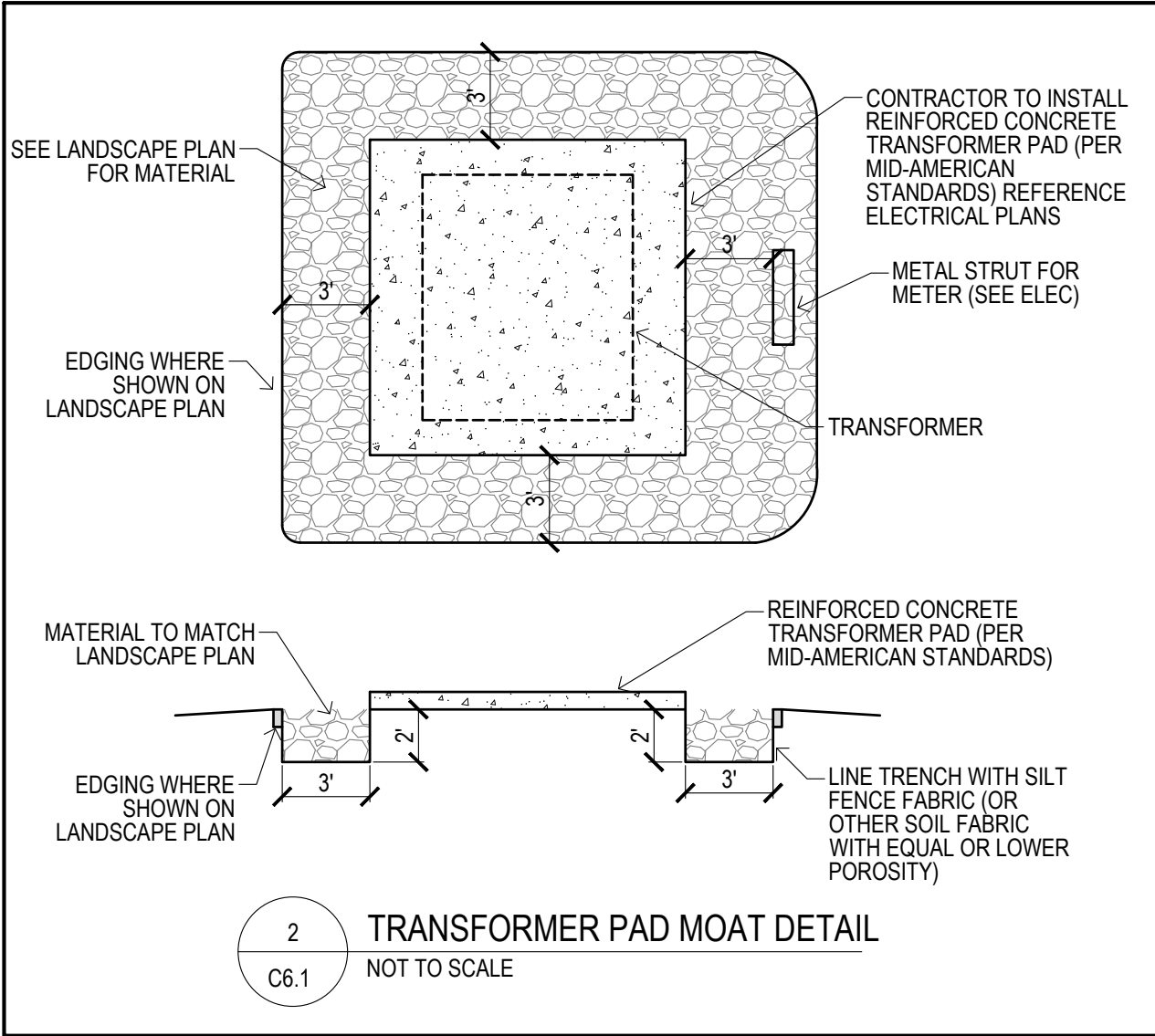
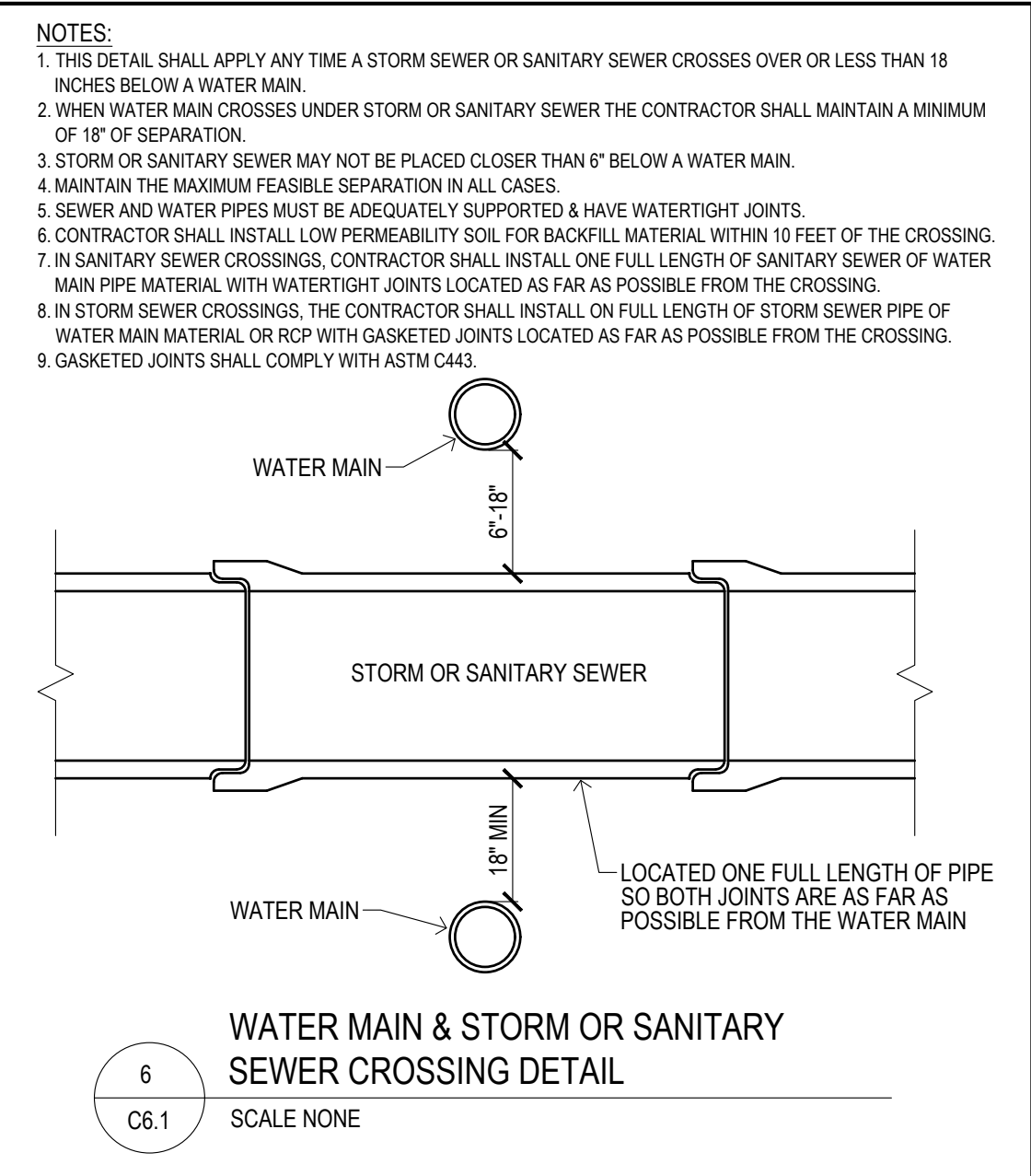
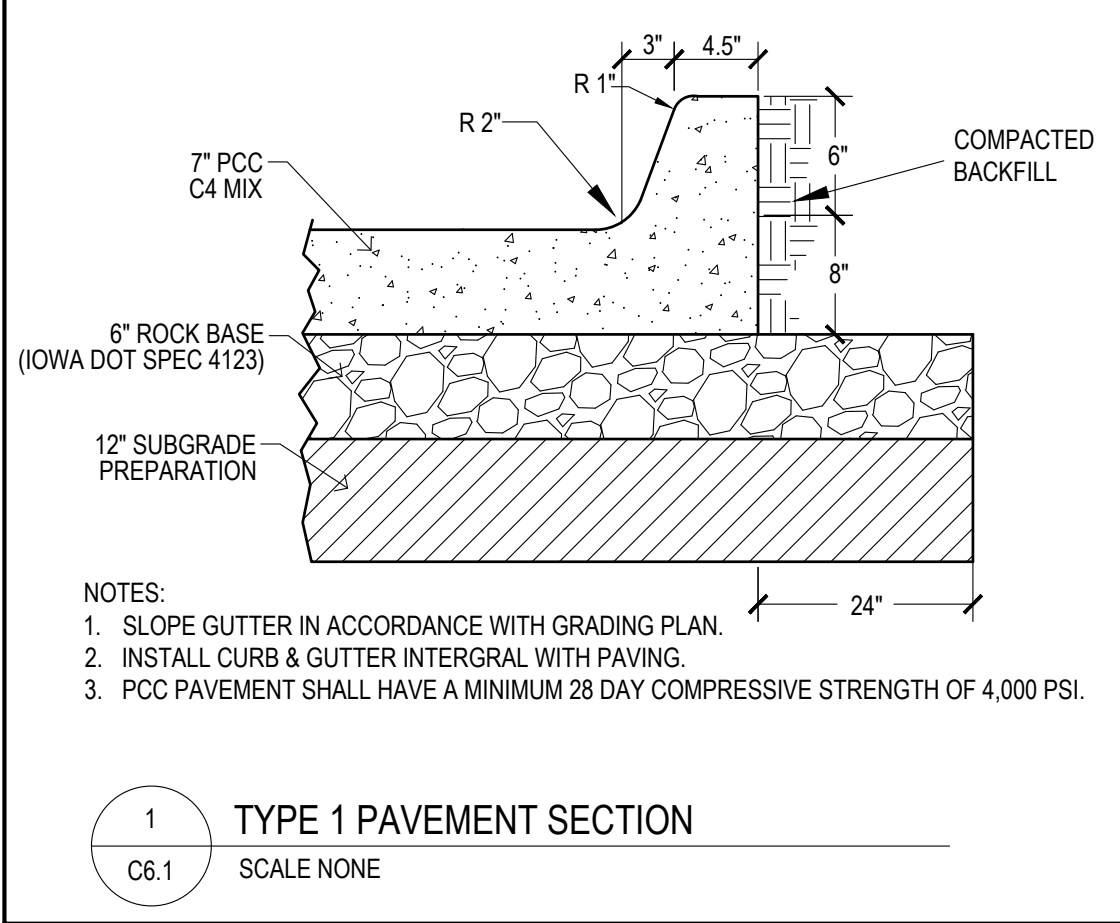
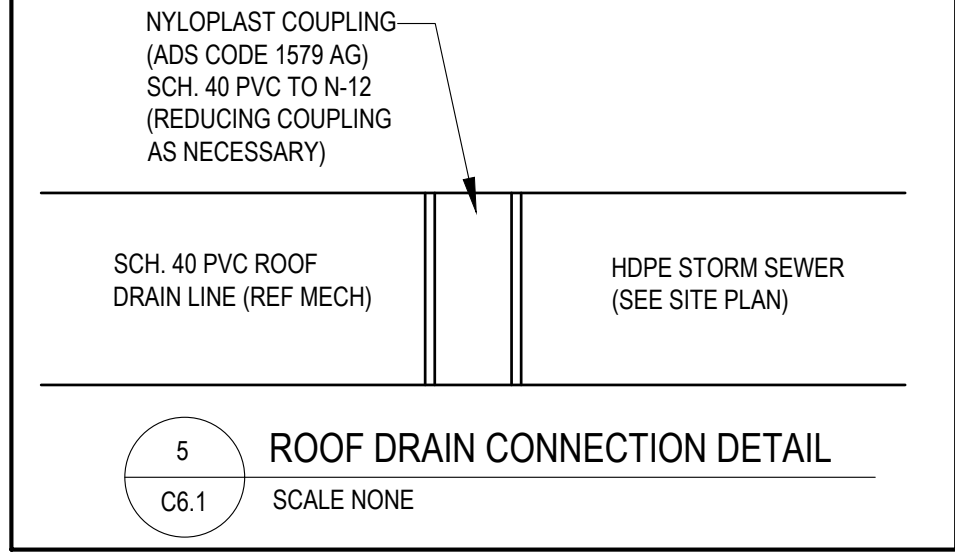
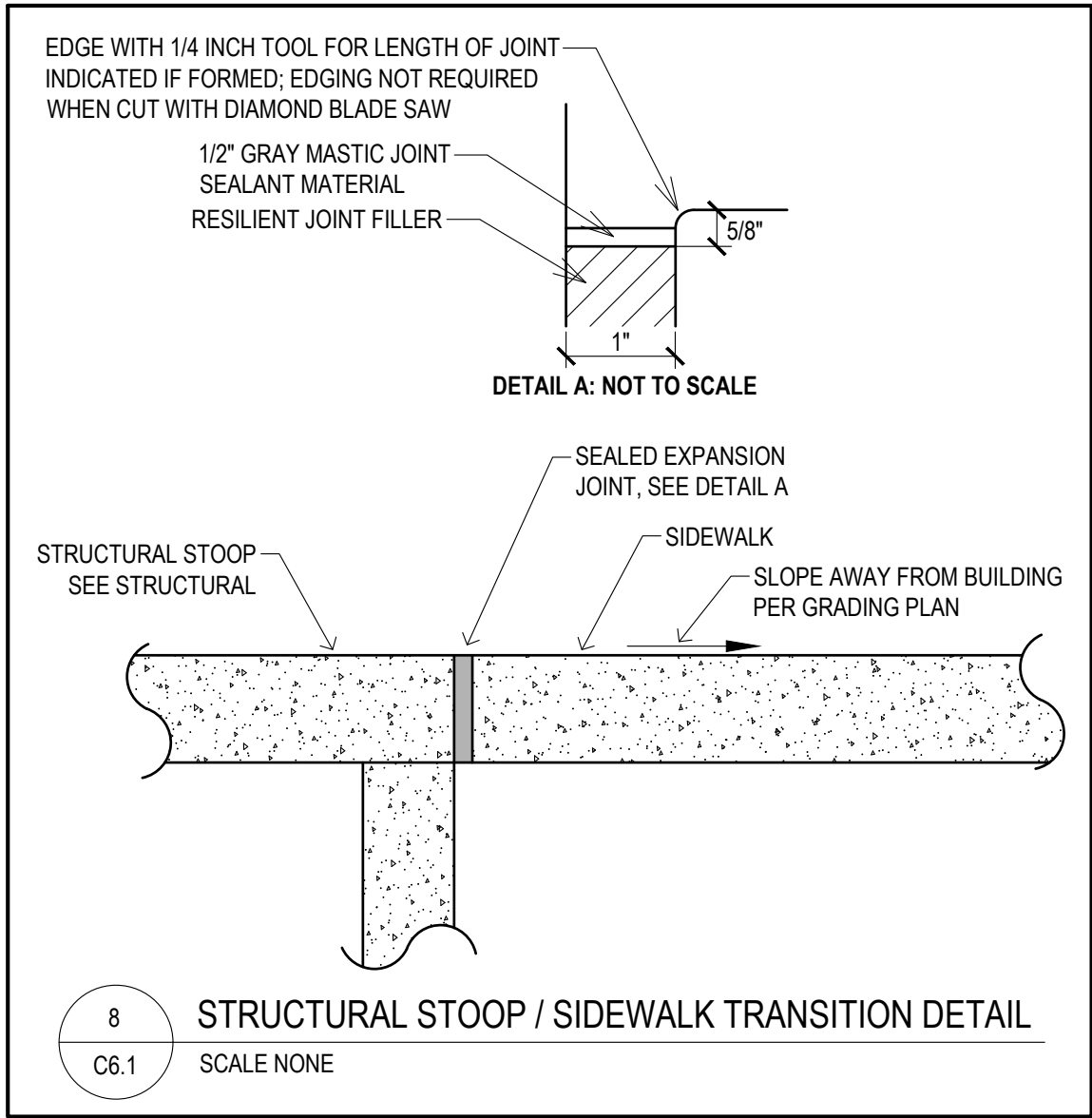
Bishop Engineering

3501 104th Street
Des Moines, Iowa 50322-3825
Phone: (515)276-0467 Fax: (515)276-0217
Civil Engineering & Land Surveying

FREDDY'S & PANERA
GRIMES, IOWA

LANDSCAPE PLAN

REFERENCE NUMBER:	
DRAWN BY:	DRL
CHECKED BY:	
REVISION DATE:	9/27/2021 - 1ST SUBMITTAL 11/8/2021 - 2ND SUBMITTAL 11/29/21 - 3RD SUBMITTAL
PROJECT NUMBER:	210343
SHEET NUMBER:	C5.1



STORM WATER POLLUTION PREVENTION PLAN

PROPERTY DESCRIPTION:
(FROM TITLE OPINION)
LOT 3 IN MENARDS AT DESTINATION MARKET PLAT 1, AN OFFICIAL PLAT, NOW INCLUDED IN AND FORMING A PART OF THE CITY OF GRIMES, POLK COUNTY, IOWA

ADDRESS:
2125 EAST 1ST STREET
GRIMES, IOWA 50111

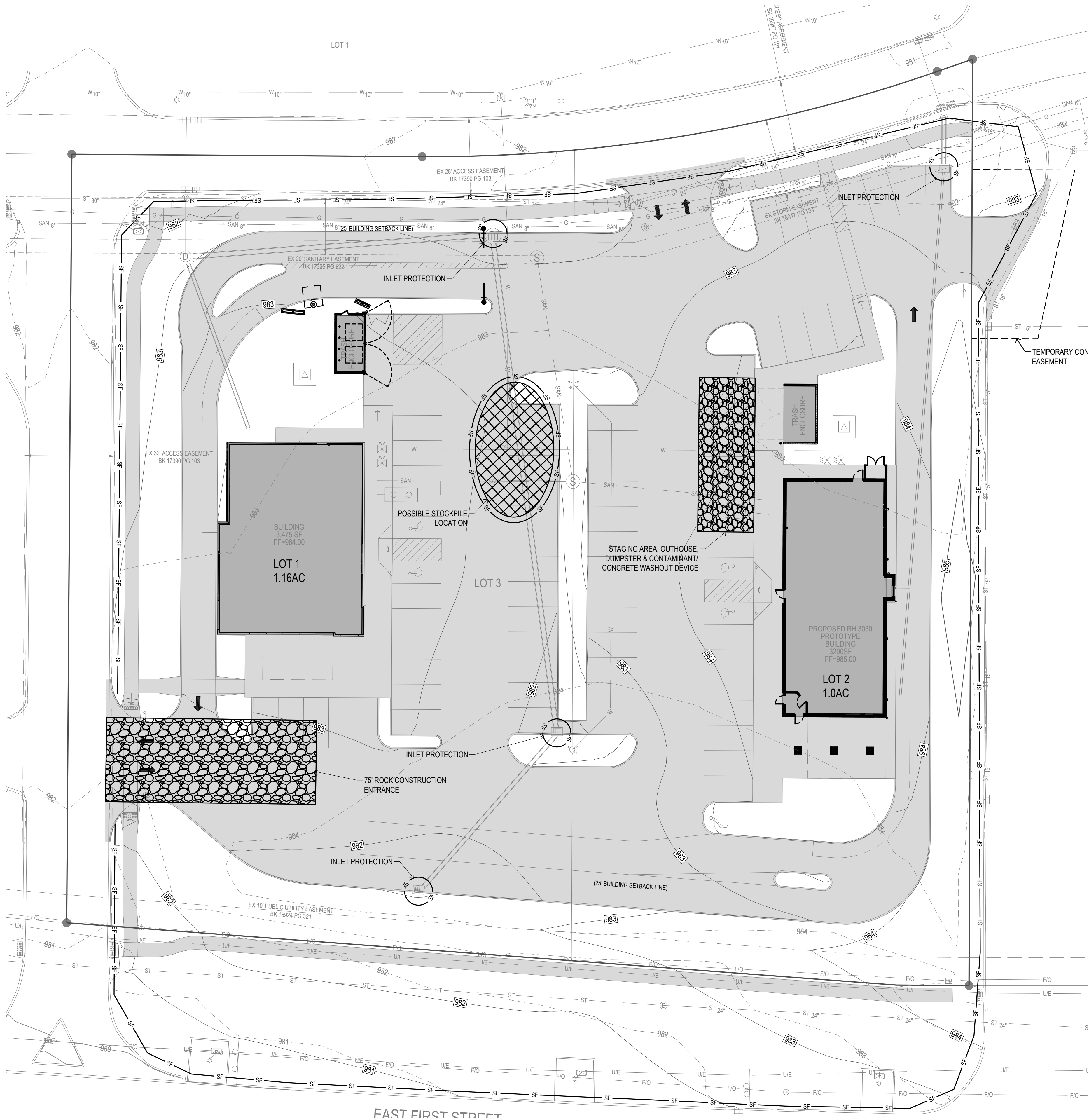
OWNER:
MENARD INC
5101 MENARD DR
EAU CLAIRE, WISCONSIN 54703-9604

SITE AREA:
2.16 ACRES

BENCHMARK:
BENCHMARK DATUM = CITY DATUM OR NAVD88, GEOID 12A

POINT #9004
NORTHING = 615591.84
EASTING = 1566441.19
ELEVATION = 984.28
DESCRIPTION: BURY BOLT

POINT #9000
NORTHING = 615464.88
EASTING = 1566456.37
ELEVATION = 983.74
DESCRIPTION: 3" IRON PIPE W/ RED PLASTIC CAP

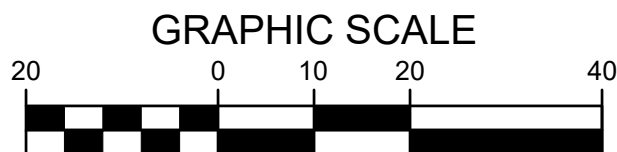
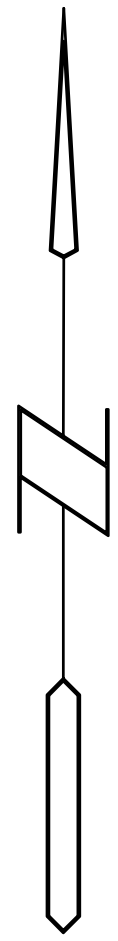


VICINITY MAP
NOT TO SCALE

- EROSION CONTROL NOTES:**
- SEE SUPPLEMENTAL DETAIL STORM WATER POLLUTION PLAN NARRATIVE FOR ALL EROSION CONTROL MEASURES, ADDITIONAL DETAILS AND NOTE. ADDITIONAL NOTES AND MEASURES IN NARRATIVE SHALL BE CONSIDERED INCIDENTAL AND SHALL BE INCLUDED IN THE ORIGINAL BID.
 - SWPPP PLAN AND NARRATIVE ARE CONSIDERED A LIVING DOCUMENT AND WILL NEED PERIODIC UPDATES AND ADJUSTMENTS AS NECESSARY DEPENDING ON SITE CONDITIONS TO ASSURE COMPLIANCE WITH NPDES GENERAL PERMIT NO. 2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO UPDATE THE SWPPP AND IMPLEMENT ANY AND ALL MEASURES NECESSARY TO COMPLY WITH SAID PERMIT NO. 2.
 - INSTALL PERIMETER SILT FENCE AS SHOWN ON PLANS PRIOR TO CONSTRUCTION.
 - INSTALL INTAKE PROTECTION WITH SILT FENCE IMMEDIATELY AFTER STORM SEWER CONSTRUCTION.
 - INSTALL FINISHED PAVING INLET PROTECTION IMMEDIATELY AFTER PAVING IS COMPLETED AROUND INTAKE.
 - OTHER EROSION CONTROL TYPES MAY NOT BE SUBSTITUTED FOR SILT FENCE.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR SUPPLYING A CONCRETE WASHOUT IN ACCORDANCE WITH NPDES GENERAL PERMIT NO. 2 DURING ALL CONCRETE WORK.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR SUPPLYING TEMPORARY RESTROOM FACILITIES. SANITARY WASTE SHALL BE DISPOSED OF PER ALL FEDERAL, STATE AND LOCAL REGULATIONS.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ALL TOPSOIL REQUIREMENTS OF NPDES GENERAL PERMIT NO. 2 ARE MET.

- EROSION CONTROL REMOVAL NOTES:**
- AFTER FINAL STABILIZATION HAS OCCURED, AS DEFINED IN NPDES GENERAL PERMIT NO. 2, CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL TEMPORARY EROSION CONTROL DEVICES INCLUDING, BUT NOT LIMITED TO: SILT FENCE, INLET PROTECTION, AND TEMPORARY STANDPIPES.

- LEGEND:**
- 120--- EXISTING CONTOUR
 - 120--- PROPOSED CONTOUR
 - SF--- SILT FENCE
 - SAN--- SANITARY SEWER
 - ST--- STORM SEWER
 - W--- WATER LINE
 - G--- GAS LINE
 - UE--- UNDERGROUND ELECTRIC
 - O/E--- OVERHEAD ELECTRIC
 - TELE--- TELEPHONE LINE
 - F/O--- FIBER OPTIC
 - CATV--- CABLE TV
 - ⊙ STORM MANHOLE
 - ⊙ CURB INTAKE
 - ⊙ SURFACE INTAKE
 - ⊙ FLARED END SECTION
 - ⊙ SANITARY MANHOLE
 - ⊙ CLEANOUT
 - ⊙ FIRE HYDRANT
 - ⊙ SPRINKLER
 - ⊙ IRRIGATION CONTROL VALVE
 - ⊙ WATER MANHOLE
 - ⊙ WELL
 - ⊙ WATER VALVE
 - ⊙ WATER SHUT OFF
 - ⊙ YARD HYDRANT
 - ⊙ ELECTRIC MANHOLE
 - ⊙ ELECTRIC METER
 - ⊙ ELECTRIC RISER
 - ⊙ ELECTRIC VAULT
 - ⊙ POWER POLE
 - ⊙ TRANSFORMER POLE
 - ⊙ LIGHT POLE
 - ⊙ ELECTRIC JUNCTION BOX
 - ⊙ ELECTRIC PANEL
 - ⊙ TRANSFORMER
 - ⊙ GROUND LIGHT
 - ⊙ GUY WIRE
 - ⊙ ELECTRIC HANDHOLE
 - ⊙ GAS METER
 - ⊙ GAS VALVE
 - ⊙ AIR CONDITIONING UNIT
 - ⊙ TELEPHONE RISER
 - ⊙ TELEPHONE VAULT
 - ⊙ TELEPHONE MANHOLE
 - ⊙ TRAFFIC SIGNAL MANHOLE
 - ⊙ FIBER OPTIC RISER
 - ⊙ FIBER OPTIC FAULT
 - ⊙ CABLE TV RISER
 - ⊙ SIGN



UTILITY NOTE:
THE LOCATION OF THE UTILITIES INDICATED ON THE PLANS ARE TAKEN FROM EXISTING PUBLIC RECORDS AND ARE APPROXIMATE LOCATIONS. THE EXACT LOCATIONS OF ALL UTILITIES MUST BE ASCERTAINED IN THE FIELD. IT SHALL BE THE DUTY OF THE CONTRACTOR TO DETERMINE WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT.

Bishop Engineering
"Planning Your Successful Development"
3501 104th Street
Des Moines, Iowa 50322-3825
Phone: (515)276-0467 Fax: (515)276-0217
Civil Engineering & Land Surveying Established 1959

FREDDY'S & PANERA
GRIMES, IOWA

REFERENCE NUMBER:	
DRAWN BY:	DRL
CHECKED BY:	
REVISION DATE:	9/27/2021 - 1ST SUBMITTAL 11/8/2021 - 2ND SUBMITTAL 11/29/21 - 3RD SUBMITTAL
PROJECT NUMBER:	210343
SHEET NUMBER:	C7.1

SWPPP

Planning & Zoning Staff Report



TO: Planning and Zoning Commission
FROM: Evann Martin, Assistant Planner
DATE: December 7, 2021
RE: Freddy's and Panera – Site Plan

GENERAL INFORMATION:

Applicant:

Bishop Engineering

Requested Action

Site Plan

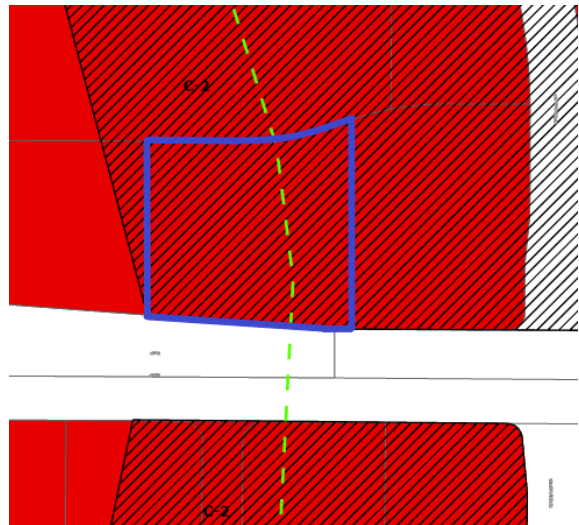
Location

Lot 1 (Panera): 2103 E 1st Street
Lot 2 (Freddy's): 2151 E 1st Street

SUPPORTING INFORMATION:



Location Map



Zoning Map

LAND USES & ZONING:

Location	Existing Land Use	Land Use Plan Designation	Current Zoning
Subject Site	Vacant	Commercial	C-2
North	Commercial	Commercial	C-2
South	Commercial	Commercial	C-2
East	Vacant	Commercial	C-2
West	Commercial	Commercial	C-2

BACKGROUND:

The applicant is requesting approval of the site plan for a 3,475 square foot Panera located at 2103 E 1st Street and a 3,200 Freddy's located at 2151 E 1st Street. These properties are located within the C-2 zoning district and Zone 1 of the Highway 141 Mixed Use Development Corridor District.

ANALYSIS:*Building/Elevations:*

The façade of Panera is proposed to be principally constructed of Nichiha paneling and brick. Fiberglass panels and canopies will provide additional architectural detailing. The dumpster enclosure will be constructed of CMU with metal-framed composite gates. Wall lighting is proposed on south, east, and west elevations with accent lighting above the canopies.

The façade of Freddy's is proposed to be principally constructed of brick with fiber cement and EIFS and red and white awnings. Red LED strip lighting is proposed along the top of the building. Red goosenecks lights will be provided along the west and east sides of the building. The dumpster enclosure will be constructed of paintable split face CMU with metal-framed wood gates.

Site Layout:

The sites will be accessed from a shared driveway along NE Telkay Lane and another shared driveway along the private Menards drive to the west. Pedestrian connectivity to the site will be provided along NE Telkay Lane, E 1st Street and along the private drive. Sidewalk connections into the site will be provided from both NE Telkay Ln and the private Menards drive.

A drive-thru with two lanes will be provided on the north and west side of Panera and another drive-thru with two lanes will be provided on the south and east of Freddy's. More than the required five queueing spaces are provided for each drive-thru. In addition, a 400 square foot patio is proposed on the south side of Panera and a 600 square foot patio is proposed on the south of Freddy's.

Pole lights are proposed throughout the shared parking lot.

Parking:

The site provides more than the required number of parking spaces for the site but does not provide more than 25% above the minimum required spaces therefore no additional open space is required. The site will provide 73 total parking spaces.

Landscaping/Streetscape:

The site meets the minimum required number of plantings within the Highway 141 Corridor District. Landscaping is provided along NE Telkay Lane, E 1st Street, private Menard's drive, within parking islands throughout the site and to shield the transformers from view.

Utilities:

A 6" sanitary sewer service will connect to the existing 8" sanitary sewer on the north side of the site and a grease interceptor will be provided for each site.

A 6" water service will be constructed to the buildings and connect to the existing 10" water main along NE Telkay Lane. Each buildings is proposed to be fitted with a fire suppression system and therefore FDCs and appropriate hydrant coverage has been provided.

Storm sewer onsite will run north and west to the existing regional detention basin located northwest of the site.

STAFF RECOMMENDATION:

Staff would recommend approval of the site plan for Freddy's and Panera subject to any remaining staff comments.

CITY OF GRIMES

Evann Martin
Assistant Planner



Development Services

410 SE Main St, Suite 102

Grimes, IA 50111

(515)986-4050

www.grimesiowa.gov

~~October 5, 2021~~

~~November 18, 2021~~

December 1, 2021

Bishop Engineering

Attn: Joel Jackson

3501 104th Street

Des Moines, IA 50322

RE: Freddy's/Panera Site Plan

Dear Project Contact:

The Development Services Department is in receipt of a proposed Site Plan for the Freddy's and Panera. Based on the review of the provided submittal materials, staff have the following comments:

General Comments:

1. Provide construction easement for east driveway connection to Destination Market Plat 5 Lot 2. **Please provide.**
2. Since Lot 1 does not provide the minimum number of parking spaces on its own, please provide a Declaration for shared parking with final plat. **Please provide.**
3. ~~Provide dumpster enclosure details. Provide dumpster enclosure detail for Panera.~~
4. Is there a flag pole proposed on site? The site details for Freddy's include flag pole lights but there doesn't appear to be a flag pole on the site plan. Please confirm.
Please provide a flag pole detail and include the pole height. The pole needs to be setback at least the height of the pole from all property lines. Please label the setback.

C0.1:

1. ~~Update addresses.~~
 - a. ~~Lot 1 2103 E 1st St~~ **Revise to 1st St**
 - b. ~~Lot 2 2151 E 1st St~~
2. ~~Revise City standard note 1.f to obtain Knox box at City Hall.~~ www.knoxbox.com rather than

- ~~3. Provide construction schedule.~~
- ~~4. Add Highway 141 Mixed Use Development Corridor District Zone 1 to the zoning.~~
- ~~5. Add maximum building height to zoning. Revise to 45'~~
- ~~6. Update required open space percentage to 20%.~~

C0.2:

- ~~1. Grind curb for SUDAS Type A driveway connection at north entrance.~~

C2.1:

- ~~1. Label width of east driveway.~~
- ~~2. No more than 12 parking spaces are permitted in a row without a landscape island.~~

C3.1:

- ~~1. Adjust ramp grade along the west property line. 8.4% is too steep.~~
- ~~2. Add cross slope for the ramps south of the Panera drive thru.~~
- ~~3. For the ADA parking stalls, label the slope and cross slope.~~
- ~~4. Label the cross slope of the ramps leading to the ADA parking stalls.~~
- ~~5. For the ramp on the north side of Freddy's, please label the ramp slope and cross slopes.~~
- ~~6. Provide truncated domes on the ramps at the two driveway entrances.~~
- ~~7. Provide stop sign locations at the entrance driveways into the site.~~

C4.1:

- ~~2. Existing sanitary MH in driveway will need three piece casting with adjusting mechanism and chimney shrink sleeves.~~
- ~~3. Sanitary services to 6" diameter.~~

- ~~4. Who is responsible for the sanitary sewer from main to MH 33 and 34?~~
- ~~5. Verify proposed 15" RCP will fit into existing storm intake. How will flow from proposed 15" be directed through invert entering existing structure against the flow? Provide flowline information on existing structure. Label the existing flowline elevation to the west (out).~~
- ~~6. Provide valve on domestic and fire lines 5' +/- from building on each building.~~
- ~~7. Label 150' linear hydrant coverage along the route of travel for the fire trucks. Routes cannot be obstructed by parking, landscaping, etc. Please see the attached PDF from the fire marshal showing the suggested hydrant locations. The current locations do not provide coverage for the south sides of the buildings and are obstructed by parking.~~
8. Label FDC and knox box locations. The FDCs are blocked by parking. Please move to an unobstructed location within 100' for a hydrant. Could they be moved to be placed in front of the ADA van loading areas? Staff would also accept remote FDC locations.
- ~~9. Hydrant in the median can't be blocked by parking.~~
- ~~10. Add note to utilize three piece casting for existing storm MH located in the north driveway.~~
11. Because the lot will be split, the utility layout will need to be adjusted. With the current set up, the sanitary and water would need to be 8" public mains with construction drawings prepared. Our preference would be to have a separate private sanitary and water service for both lots. We apologize for the late catch. Please let me know if you have any questions.

C5.1:

- ~~1. Update required open space square footage. A minimum of 20% open space is required for each lot.~~
- ~~2. Update required open space plantings per the 20% open space requirement.~~
- ~~3. Provide shrub calculations per 165A.16.3 and 165A.16.9.~~
- ~~4. Provide ROW landscape buffer planting calculations.~~
- ~~5. Please revise Note 13 to require City authorization for landscape planting changes.~~

- ~~6. Please provide shrubs along the north parking spaces to shield headlights from the street.~~

Architecture (Freddy's):

- ~~1. Provide building material percentages (excluding windows and doors). A minimum of 75% of each façade is required to be primary material. EIFs is not considered primary material. Please see Zone 1 architecture requirements in Section 165A.24 for reference.~~
- ~~2. Provide glazing percentages. The south façade is required to have 20% glazing. Please revise.~~
- ~~3. Provide list of 5 treatments demonstrated on the elevations per 165A.24 (page 15).~~
- ~~4. Update the direction labels of the building faces to match the site plan (north, south, east, west).~~
- ~~5. Label the red LED strip on the elevations.~~
- ~~6. Is the LED strip proposed to changes colors or flash?~~
- ~~7. Any roof mounted equipment will need to be screened from view. Provide screening details for units that will be visible.~~
- ~~8. Provide height dimensions.~~
- ~~9. All signs will be reviewed under separate sign permit.~~

Architecture (Panera):

- ~~1. Provide building material percentages (excluding windows and doors).~~
- ~~2. Provide glazing percentages.~~
- ~~3. Provide material details for roof top equipment screening.~~
- ~~4. Provide listing of 5 treatments demonstrated on the elevations per 165A.24 (page 15).~~
- ~~5. Provide height dimensions.~~

COUNCIL MEETING:

November 23, 2021 at 5:30

Please feel free to contact me at emartin@grimesiowa.gov or at (515) 986-4050 if you have any questions or need additional information.

Sincerely,

Evann Martin
Assistant Planner

FREDDY'S & PANERA - GRIMES

SITE PLAN/PRELIMINARY PLAT

PROPERTY DESCRIPTION:

(FROM TITLE OPINION)
LOT 3 IN MENARDS AT DESTINATION MARKET PLAT 1, AN
OFFICIAL PLAT, NOW INCLUDED IN AND FORMING A PART
OF THE CITY OF GRIMES, POLK COUNTY, IOWA

ADDRESS:

LOT 1 - 2103 E 1ST STREET
LOT 2 - 2151 E 1ST STREET
GRIMES, IOWA 50111

OWNER:

MENARD INC
5101 MENARD DR
EAU CLAIRE, WISCONSIN 54703-9604

PREPARED FOR:

MLY REAL ESTATE INC.
STEVEN YOUNG

ZONING:

INFORMATION OBTAINED FROM
GRIMESIOWA.GOV
ZONED: C-2 COMMERCIAL DISTRICT AND HIGHWAY 141
MIXED USE DEVELOPMENT CORRIDOR DISTRICT ZONE 1
SETBACKS:
FRONT: 25 FEET
SIDE: NONE
REAR: 25 FEET
MAXIMUM BUILDING HEIGHT: 45 FEET
FOR AN OFFICIAL ZONING REPORT PLEASE CALL CITY OF
GRIMES AT 515.986.3036

PARKING REQUIREMENTS:

LOT 1 (PANERA): (10 PER 1000SF OF GFA + 1 PER 100SF
PATIO AREA OVER 300 SF)
STALLS PROVIDED: 33 STALLS (INCL. 2 HC STALLS)
STALLS REQUIRED: $\frac{10000}{1000} \times 10 + \frac{1000}{1000} = 36$ W/ 400SF PATIO

LOT 2 (FREDDY'S): (10 PER 1000SF OF GFA + 1 PER 100SF
PATIO AREA OVER 300 SF)
STALLS PROVIDED: 40 STALLS (INCL. 2 HC STALLS)
STALLS REQUIRED: $\frac{10000}{1000} \times 10 + \frac{1000}{1000} = 35$ STALLS W/ 600SF
PATIO

TOTAL PARKING BOTH LOTS COMBINED:
REQUIRED: 36 + 35 = 71 STALLS
PROVIDED: 32 + 39 = 71 STALLS

OPEN SPACE REQUIREMENTS:

LOT 1 (PANERA):
SITE AREA: 50,508 SF (1.16 AC)
OPEN SPACE: 10,848 SF (28.6%)
REQUIRED: 20%

LOT 2 (FREDDY'S):
SITE AREA: 43,663 SF (1.00 AC)
OPEN SPACE: 10,089 SF (23.10%)
REQUIRED: 20%

IMPERVIOUS SURFACE:

LOT 1 (PANERA):
SITE AREA: 50,508 SF (1.16 AC)
IMPERVIOUS AREA: 39,660 SF
ALLOWABLE: 90% (45,450 SF)

LOT 2 (FREDDY'S):
SITE AREA: 43,663 SF (1.0 AC)
IMPERVIOUS AREA: 33,574 SF
ALLOWABLE: 90% (39,236 SF)

BENCHMARK:

BENCHMARK DATUM = CITY DATUM OR NAVD88, GEOID 12A

POINT #9004
NORTHING = 615591.84
EASTING = 1568441.19
ELEVATION = 984.28
DESCRIPTION: BURY BOLT

POINT #9000
NORTHING = 615464.88
EASTING = 1568456.37
ELEVATION = 983.74
DESCRIPTION: 3" IRON PIPE W/ RED PLASTIC CAP

CONSTRUCTION SCHEDULE:

GRADING - NOV 15, 2021
UTILITIES - MARCH 1, 2021
OPENING - JUNE 1, 2021

UTILITY MAPS PROVIDED BY:

- ELECTRIC (MIDAM / 515.252.6972)
- FIBER OPTIC (CENTURYLINK (LUMEN) / 919.547.0147)
- FIBER OPTIC (IOWA COMMUNICATION NETWORK / 800.572.3940)
- GAS (BLACK HILLS ENERGY / 515.343.2037)
- WATER (CITY OF GRIMES / AWOOD@USWATERCORP.NET)



UTILITY NOTE:

THE LOCATION OF THE UTILITIES INDICATED ON THE PLANS HAVE BEEN TAKEN FROM THE FIELD SURVEY, EXISTING PUBLIC RECORDS, AND PLANS PROVIDED BY OTHERS. SURFACE UTILITY LOCATIONS HAVE BEEN FIELD LOCATED BY BISHOP ENGINEERING, UNLESS OTHERWISE NOTED. ALL UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE LOCATIONS ONLY. BISHOP ENGINEERING DOES NOT GUARANTEE THE UNDERGROUND LOCATION OF ANY UTILITIES SHOWN. IT SHALL BE THE DUTY OF THE CONTRACTOR TO DETERMINE THE LOCATION AND DEPTH OF ANY UNDERGROUND UTILITIES SHOWN AND IF ANY ADDITIONAL UTILITIES, OTHER THAN THOSE SHOWN ON THE PLANS, MAY BE PRESENT, A REQUEST WAS MADE TO IOWA ONE CALL FOR UTILITY PROVIDERS TO VERIFY, LOCATE, AND MARK THEIR UTILITIES IN THE FIELD.

GENERAL NOTES:

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH SUDAS STANDARD SPECIFICATIONS AND ANY AND ALL CITY/COUNTY SUPPLEMENTAL SPECIFICATIONS. THE CITY OF GRIMES MUST BE NOTIFIED BY ALL CONTRACTORS 48 HOURS PRIOR TO COMMENCING WORK.
- IN EVENT OF A DISCREPANCY BETWEEN THE QUANTITY ESTIMATES AND THE DETAILED PLANS, THE DETAILED PLANS SHALL GOVERN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL UTILITIES. ANY DAMAGE TO SAID UTILITIES SHALL BE REPAIRED AT THE CONTRACTORS EXPENSE.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CURRENT O.S.H.A. CODES AND STANDARDS. NOTHING INDICATED ON THESE PLANS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH THE APPROPRIATE SAFETY REGULATIONS.
- ALL NECESSARY CONSTRUCTION SIGNS, BARRICADES AND OTHER TRAFFIC CONTROL DEVICES REQUIRED DURING CONSTRUCTION WILL BE FURNISHED BY THE CONTRACTOR. SIGNS, BARRICADES AND OTHER TRAFFIC CONTROL DEVICES MUST BE IN CONFORMANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS."
- BISHOP ENGINEERING SHALL NOT BE LIABLE FOR ANY INJURIES THAT HAPPEN ON SITE. THIS SHALL INCLUDE BUT NOT BE LIMITED TO TRENCH COLLAPSES FROM VARYING SOIL CONDITIONS OR INJURIES CAUSED BY UNDERGROUND UTILITIES INCLUDING UTILITIES THAT ARE NOT SHOWN ON PLAN.
- THE CONTRACTOR IS LIABLE FOR ALL DAMAGES TO PUBLIC OR PRIVATE PROPERTY CAUSED BY THEIR ACTION OR INACTION IN PROVIDING FOR STORM WATER FLOW DURING CONSTRUCTION. DO NOT RESTRICT FLOWS IN EXISTING DRAINAGE CHANNELS, STORM SEWER, OR FACILITIES.
- THE CONTRACTOR SHALL SUBMIT TO THE ENGINEER A SCHEDULE FOR PERFORMANCE OF WORK ITEMS. THIS SCHEDULE SHALL BE PROVIDED BY THE CONTRACTOR AT THE PROJECT PRECONSTRUCTION CONFERENCE. NO WORK SHALL BEGIN UNTIL A SCHEDULE HAS BEEN SUBMITTED AND ACCEPTED. THE CONTRACTOR SHALL THEN PERFORM WORK TO CONFORM TO THE ACCEPTED SCHEDULE.
- LABORATORY TESTS SHALL BE PERFORMED BY THE OWNER UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL PROVIDE SAMPLES OF MATERIAL REQUIRED FOR LABORATORY TESTS AND TESTING IN ACCORDANCE WITH THE URBAN STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS.
- SOIL IMPORT OR EXPORT ON THIS PROJECT SHALL BE CONSIDERED INCIDENTAL AND WILL NOT BE MEASURED OR PAID FOR SEPARATELY.
- THE CONTRACTOR SHALL PROTECT ALL STRUCTURES NOT SHOWN AS REMOVALS ON THE PLANS.
- THE CONTRACTOR SHALL OBTAIN ANY AND ALL NECESSARY PERMITS PRIOR TO ANY CONSTRUCTION. CONTRACTOR SHALL WORK WITH OWNER OR OWNERS REPRESENTATIVE ON ALL REQUIRED STORM WATER DISCHARGE PERMITS FROM THE IOWA DEPARTMENT OF NATURAL RESOURCES AND THE CITY OF GRIMES.
- GRADING AND EROSION CONTROL SHALL BE DONE IN ACCORDANCE WITH THE APPROVED GRADING PLAN, SWPPP, NPDES DOCUMENTS, AND IOWA DEPARTMENT OF NATURAL RESOURCES REQUIREMENTS.
- THE CONTRACTOR SHALL PICK UP ANY DEBRIS SPILLED ONTO THE ADJACENT RIGHT OF WAY OR ABUTTING PROPERTIES AS THE RESULT OF CONSTRUCTION, AT THE END OF EACH WORK DAY.
- THE CONTRACTOR IS RESPONSIBLE FOR THE PROMPT REMOVAL OF ALL MUD THAT HAS BEEN TRACKED OR WASHED UNTO ADJACENT PROPERTY OR RIGHT OF WAY UNTIL SUCH TIME THAT PERMANENT VEGETATION HAS BEEN ESTABLISHED.
- DISPOSE OF ALL EXCESS MATERIALS AND TRASH IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REQUIREMENTS. PROVIDE WASTE AREAS OR DISPOSAL SITES FOR EXCESS MATERIALS NOT DESIRABLE FOR INCORPORATION INTO THE PROJECT.

PAVING NOTES:

- THE PAVING/ GRADING CONTRACTOR SHALL BACKFILL THE PAVING SLAB AND FINE GRADE THE RIGHT OF WAY AS SOON AFTER THE PAVING AS POSSIBLE. ALL AREAS SHALL BE SEEDED IN ACCORDANCE WITH CITY OF GRIMES STANDARD SPECIFICATIONS AND THE CURRENT VERSION OF SUDAS.
- SUBGRADE PREPARATION AND PAVEMENTS WILL BE CONSTRUCTED FOLLOWING RECOMMENDATIONS IN THE SOILS REPORT. APPROVED SOILS ENGINEER MUST SIGN OFF ON SUBBASE PRIOR TO ANY PAVEMENT BEING PLACED.
- SEE DETAILS FOR ALL PAVEMENT THICKNESS.
- ALL PEDESTRIAN WALKWAYS THAT UNLOAD INTO A VEHICLES TRAVELED PATH MUST HAVE A.D.A. DETECTABLE WARNING PANEL(S) AS PER A.D.A. REGULATIONS. PANEL TYPE & COLOR SHALL BE PER CITY STANDARD.
- ALL WALKS, PARKING LOTS, HANDICAP PARKING, RAMPS, ETC. SHALL COMPLY WITH ALL A.D.A. AND CITY CODES. HANDICAP PARKING SIGNAGE IS REQUIRED FOR ALL HANDICAP STALLS AND SHALL BE CONSIDERED INCIDENTAL. IN EVENT OF A DISCREPANCY BETWEEN THE PLANS AND THE A.D.A./CITY CODES THE A.D.A./CITY CODES SHALL GOVERN. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING A.D.A. CODES ARE MET.

UTILITY NOTES:

- QUANTITY CALLOUTS ON PIPE LENGTHS ARE APPROXIMATE AND SHOULD BE USED FOR REFERENCE ONLY.
- THE CONTRACTOR SHALL PROVIDE AS-BUILTS OF ALL UTILITIES, INCLUDING DEPTH AND LOCATION OF ALL SERVICES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION AND ALL COSTS ASSOCIATED WITH AS-BUILT TOPO OF DETENTION POND & DETENTION POND STORM SEWER. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING BISHOP ENGINEERING (DAVID BENTZ AT 515-276-0467) TO PERFORM SAID AS-BUILT SURVEY. IF DETENTION PONDS HAVE BEEN GRADED INCORRECTLY, CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SUBSEQUENT AS-BUILT TOPO SURVEYS UNTIL ISSUES HAVE BEEN RECTIFIED.
- THE CONTRACTOR SHALL COORDINATE THE ADJUSTMENT OF ANY AND ALL EXISTING AND PROPOSED UTILITIES TO PROPOSED GRADES. EXISTING UTILITIES SHALL BE RAISED OR LOWERED IN ACCORDANCE WITH THE UTILITY OWNER REQUIREMENTS. ANY NECESSARY ADJUSTMENTS SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION.
- ACTIVE EXISTING FIELD TILES ENCOUNTERED DURING CONSTRUCTION SHALL BE REPAIRED, REROUTED, OR CONNECTED TO PUBLIC OR PRIVATE STORM SEWER TO REMAIN IN SERVICE.
- ALL PROPOSED RCP STORM SEWER PIPE JOINTS SHALL BE FABRIC WRAPPED AND THE LAST 3 PIPE SECTIONS ON THE APRON SHALL BE TIED WITH RF-14 TYPE II CONNECTORS. ALL APRONS SHALL HAVE A STANDARD FOOTING AND TRASH GUARD.
- ALL RIP RAP CALLED OUT ON PLANS SHALL BE UNDERLAIN WITH ENGINEERING FABRIC.
- SANITARY SEWER SERVICE CONNECTIONS SHALL BE PLACED AT A SLOPE OF NO LESS THAN 2%. SERVICES SHALL MAINTAIN 18" OF VERTICAL SEPARATION FROM THE WATERMAIN WITH 18" OF COMPACTED LOW PERMEABILITY SOIL BETWEEN THE UTILITIES WITHIN 10' OF THE CROSSING.
- MANDREL AND PRESSURE TESTS SHALL BE REQUIRED FOR ALL PROPOSED SANITARY LINES. TELEVISIONING OF THE SANITARY SEWER SYSTEM SHALL BE COMPLETED PRIOR TO PAVING UNLESS OTHERWISE APPROVED BY JURISDICTION.
- WATERMAINS SHALL BE C-900. SIZE OF WATERMAIN AS SHOWN ON PLANS.
- THRUST BLOCKS SHALL BE INSTALLED AS REQUIRED AND SHALL BE CONSIDERED INCIDENTAL TO WATERMAIN CONSTRUCTION.
- PROPOSED WATERMAIN SHALL BE PRESSURE TESTED, BACTERIA TESTED AND CHLORINATED. THE FILLING OF THE WATER MAIN SHALL BE DONE BY THE CITY OF GRIMES.
- TRACER WIRE SHALL BE ADDED TO ALL WATER MAIN, AND BROUGHT TO THE SURFACE AT EVERY HYDRANT.
- ALL HYDRANTS WILL IMMEDIATELY BE COVERED WITH A BLACK PLASTIC BAG (OR EQUIVALENT) ONCE THE HYDRANT IS INSTALLED. THE CITY OF GRIMES WILL NOTIFY THE CONTRACTOR WHEN THE BAGS CAN BE REMOVED.
- THE MINIMUM HYDRANT LEAD SHALL BE 3.5 FEET.

UTILITY CONFLICT NOTES:

- UTILITY CONFLICTS MAY EXIST ACROSS THE SITE WITH NEW UTILITIES, GRADING, PAVING ETC. MOST UTILITY CONFLICTS HAVE BEEN CALLED OUT FOR CONTRACTOR CONVENIENCE.
- CONTRACTOR IS RESPONSIBLE FOR ALL UTILITY CONFLICTS THAT ARE EITHER CALLED OUT ON THE PLANS OR THAT CAN BE SEEN ON THE PLANS BETWEEN AN EXISTING UTILITY AND PROPOSED CONSTRUCTION

WETLAND NOTES:

- BISHOP ENGINEERING DOES NOT PERFORM WETLAND STUDIES OR WETLAND MITIGATION. IT IS THE OWNER'S RESPONSIBILITY TO DETERMINE IF ANY WETLANDS ARE LOCATED ON THE PROJECT SITE AND PERFORM ANY NECESSARY MITIGATION PRIOR TO THE COMMENCEMENT OF CONSTRUCTION ACTIVITIES.

SURVEY NOTES:

- SURVEY WORK WAS COMPLETED BY BISHOP ENGINEERING ON 8-14-2021. SEE SITE SURVEY PROVIDED AS PART OF THIS SET OF PLANS FOR EXISTING SITE CONDITIONS AND BOUNDARY INFORMATION.

CITY OF GRIMES STANDARD NOTES:

1. GENERAL NOTES:

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CURRENT VERSION OF THE IOWA STATEWIDE URBAN DESIGN AND SPECIFICATIONS FOR PUBLIC IMPROVEMENTS ON THE DATE OF APPROVAL AND THE CITY OF GRIMES SUPPLEMENTAL SPECIFICATIONS.
- A PRECONSTRUCTION MEETING IS REQUIRED PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE THIS MEETING. CONTACT CITY OF GRIMES ENGINEERING DEPT. (515.986.4050).
- ALL PERMITS (IDNR, SWP, IDOT, ARMY CORP., ETC.) SHALL BE OBTAINED PRIOR TO THE START OF CONSTRUCTION.
- THE DEVELOPER AND/OR CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE THE CITY OF GRIMES WITH RECORD DRAWINGS OF ALL IMPROVEMENTS AS PER CITY STANDARD PROCEDURES.
- TYPICAL BUILDING SERVICE LAYOUT TO REFLECT THE CITY'S SERVICE ORDER FROM LEFT TO RIGHT FACING THE LOT, SANITARY, WATER, SUMP
- A KNOX BOX IS REQUIRED BY THE FIRE DEPARTMENT AND SHALL BE OBTAINED AT WWW.KNOXBOX.COM.
- ALL SITE LIGHTING SHALL NOT SPILL ONTO ADJACENT PROPERTIES OR RIGHT-OF-WAYS.
- PROVIDE A 4-YEAR MAINTENANCE BOND FOR ALL PUBLIC IMPROVEMENTS

2. SANITARY SEWER NOTES:

- THE CONTRACTOR IS REQUIRED TO PLACE A TEMPORARY PLUG IN THE EXISTING DOWNSTREAM SANITARY SEWER MANHOLE PRIOR TO THE START OF CONSTRUCTION. THE PLUG SHALL BE REMOVED FOLLOWING APPROVAL OF CONSTRUCTION BY THE CITY OF GRIMES.
- SANITARY GRAVITY PIPE MATERIAL SHALL BE PVC SDR 26 OR TRUSS (8" TO 15").
- SANITARY GRAVITY SERVICE PIPE MATERIAL SHALL BE PVC SDR 23.5 (4" TO 6").
- ALL SANITARY SEWER MANHOLES SHALL HAVE STEPS.
- ALL SANITARY SEWER MANHOLES CASTINGS SHALL BE SEALED WITH HEAT SHRINK SLEEVES.
- ALL SANITARY SEWER MANHOLE CASTINGS LOCATED WITHIN PAVEMENT SHALL BE TYPE B-PCC W/ADJUSTING MECHANISM.
- SANITARY SEWER TESTING, CLEANING & TELEVISIONING SHALL BE COMPLETED PRIOR TO PAVING. THE SEWER SYSTEM SHALL BE FLUSHED WITH WATER PRIOR TO TELEVISIONING.

3. WATER MAIN NOTES:

- ALL FIRE HYDRANTS SHALL BE AMERICAN FLOW CONTROL-WATEROUS PACER WB-67-250, MUELLER SUPER CENTURION 250 (3-WAY A-423), OR CLOW MEDALLION F-2545. ALL HYDRANTS SHALL HAVE THE FOLLOWING: 6" MJ SHOE, 2-1/2" HOSE NOZZLE, 4-1/2" STEAMER NOZZLE, NST THREADS, PENTAGON OPERATING NUT, CHAIN ON CAP, OPEN LEFT, 5-1/2" BURY, AND FACTORY PAINTED RED. THE MINIMUM SPOOL PIPE LENGTH FROM AUXILIARY VALVE TO HYDRANT SHOE SHALL BE 2.0'.
- ALL HYDRANTS WILL IMMEDIATELY BE COVERED WITH A BLACK PLASTIC BAG (OR EQUIVALENT) ONCE THE HYDRANT IS INSTALLED. THE CITY OF GRIMES WILL NOTIFY THE CONTRACTOR WHEN THE BAGS CAN BE REMOVED.
- A TRACER WIRE RECEPTACLE SHALL BE INSTALLED AT EACH HYDRANT, AA MANUFACTURING TRACER WIRE RECEPTACLE MODEL TW-18-2.
- ALL VALVES SHALL BE RESILIENT WEDGE GATE VALVES.
- WATER SERVICE SHALL BE 1-INCH MINIMUM TYPE K COPPER.
- PROPOSED WATER MAIN SHALL BE PRESSURE TESTED AND CHLORINATED BY THE DEVELOPER. THE FILLING OF THE WATER MAIN SHALL BE DONE BY THE CITY OF GRIMES. THE BACTERIA TEST AND SUBMITAL OF TEST TO LAB SHALL BE DONE BY THE DEVELOPER AND RESULTS PROVIDED TO THE CITY OF GRIMES ENGINEERING DEPT. AND BY FAX TO US WATER AT 515-986-7300. IF THE TEST DOES NOT PASS, THE CONTRACTOR WILL BE REQUIRED TO PAY FOR ALL THE WATER USED TO REPEAT THE TEST.
- ALL WATERMAIN FITTINGS TO BE RESTRAINED JOINT, MEGA-LUG OR APPROVED EQUAL.

4. STORM SEWER NOTES:

- ALL STORM SEWER IN THE ROW SHALL BE RCP, UNLESS OTHERWISE APPROVED BY THE CITY.
- ALL FLARED END SECTIONS SHALL HAVE FOOTINGS AND APRON GRATES. THE LAST 3 PIPE SECTIONS AND THE FLARED END SECTION ON ALL CULVERTS SHALL BE TIED. ALL STORM SEWER JOINTS SHALL BE WRAPPED WITH ENGINEERING FABRIC.
- THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY FIELD TILE DAMAGED DURING CONSTRUCTION. THE TILE SHOULD BE DIRECTED TO PUBLIC STORM SEWER IF POSSIBLE. THE CONTRACTOR SHALL RECORD THE ELEVATION AND LOCATION OF ALL TILES.
- STORM SEWER CLEANING & TELEVISIONING SHALL BE COMPLETED PRIOR TO PAVING. THE SEWER SYSTEM SHALL BE FLUSHED WITH WATER PRIOR TO TELEVISIONING.
- USE O RING GASKETS ON STORM SEWERS CROSSING OVER WATERMAIN PER IDNR REQUIREMENT.

SHEET INDEX:

C0.1 COVER SHEET

C0.2 SITE SURVEY

C1.1 DEMO PLAN

C2.1 LAYOUT PLAN

C3.1 GRADING PLAN

C4.1 UTILITY PLAN

C5.1 LANDSCAPE PLAN

C6.1 DETAILS SHEET

C7.1 SWPPP



VICINITY MAP
SCALE: 1" = 1,000'

LEGEND:

- SAN — SANITARY SEWER
- ST — STORM SEWER
- W — WATER LINE
- G — GAS LINE
- UE — UNDERGROUND ELECTRIC
- OE — OVERHEAD ELECTRIC
- TELE — TELEPHONE LINE
- FO — FIBER OPTIC
- CATV — CABLE TV
- SM — STORM MANHOLE
- CI — CURB INTAKE
- SI — SURFACE INTAKE
- FE — FLARED END SECTION
- SMH — SANITARY MANHOLE
- CO — CLEANOUT
- FH — FIRE HYDRANT
- SP — SPRINKLER
- ICV — IRRIGATION CONTROL VALVE
- WMH — WATER MANHOLE
- W — WELL
- WV — WATER VALVE
- WSH — WATER SHUT OFF
- YH — YARD HYDRANT
- EMH — ELECTRIC MANHOLE
- EM — ELECTRIC METER
- ER — ELECTRIC RISER
- EV — ELECTRIC VAULT
- PP — POWER POLE
- TPP — TRANSFORMER POLE
- LP — LIGHT POLE
- EJC — ELECTRIC JUNCTION BOX
- EP — ELECTRIC PANEL
- TR — TRANSFORMER
- GL — GROUND LIGHT
- GW — GUY WIRE
- EHH — ELECTRIC HANDHOLE
- GM — GAS METER
- GV — GAS VALVE
- ACU — AIR CONDITIONING UNIT
- TRR — TELEPHONE RISER
- TMV — TELEPHONE VAULT
- TMH — TELEPHONE MANHOLE
- TSM — TRAFFIC SIGNAL MANHOLE
- FOM — FIBER OPTIC MANHOLE
- FOR — FIBER OPTIC RISER
- FVV — FIBER OPTIC VAULT
- CTVR — CABLE TV RISER
- S — SIGN
- B — BOLLARD
- 7 — DENOTES NUMBER OF PARKING STALLS
- PC — PROPERTY CORNER - FOUND AS NOTED
- PO — PROPERTY CORNER- PLACED AS NOTED
- SC — SECTION CORNER - FOUND AS NOTED

ABBREVIATIONS:

AC ACRES
ASPH ASPHALT
BK BOOK
CONC CONCRETE
DEDED DEEDED DISTANCE
EX EXISTING
ENCL ENCLOSURE
FF FINISHED FLOOR
FL FLOW LINE
FRAC FRACTIONAL
M MEASURED DISTANCE
MH MANHOLE
OPC ORANGE PLASTIC CAP
P PLATED DISTANCE
PG PAGE
POB POINT OF BEGINNING
POC POINT OF COMMENCEMENT
PRA PREVIOUSLY RECORDED AS
PUE PUBLIC UTILITY EASEMENT
ROW RIGHT OF WAY
RPC RED PLASTIC CAP
SF SQUARE FEET
SAN SANITARY
TYP TYPICAL
YPC YELLOW PLASTIC CAP
N NORTH
S SOUTH
E EAST
W WEST

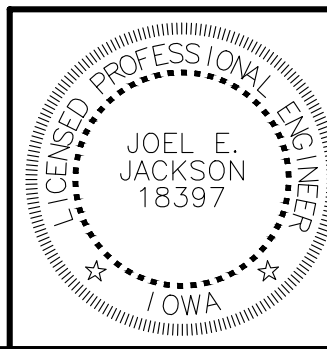
SIGNED:

JOEL E. JACKSON, P.E. 18397

DATE:

LICENSE RENEWAL DATE: DEC. 31, 2022

PAGES OR SHEETS COVERED BY THIS SEAL: C0.1 - C7.1



I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

Bishop Engineering
"Planning Your Successful Development"

3501 104th Street
Des Moines, Iowa 50322-3825
Phone: (515)276-0467 Fax: (515)276-0217
Civil Engineering & Land Surveying
Established 1959

FREDDY'S & PANERA
GRIMES, IOWA

COVER SHEET

REFERENCE NUMBER:

DRAWN BY:

DRL

CHECKED BY:

REVISION DATE:

9/27/2021 - 1ST SUBMITTAL
11/8/2021 - 2ND SUBMITTAL
11/29/21 - 3RD SUBMITTAL

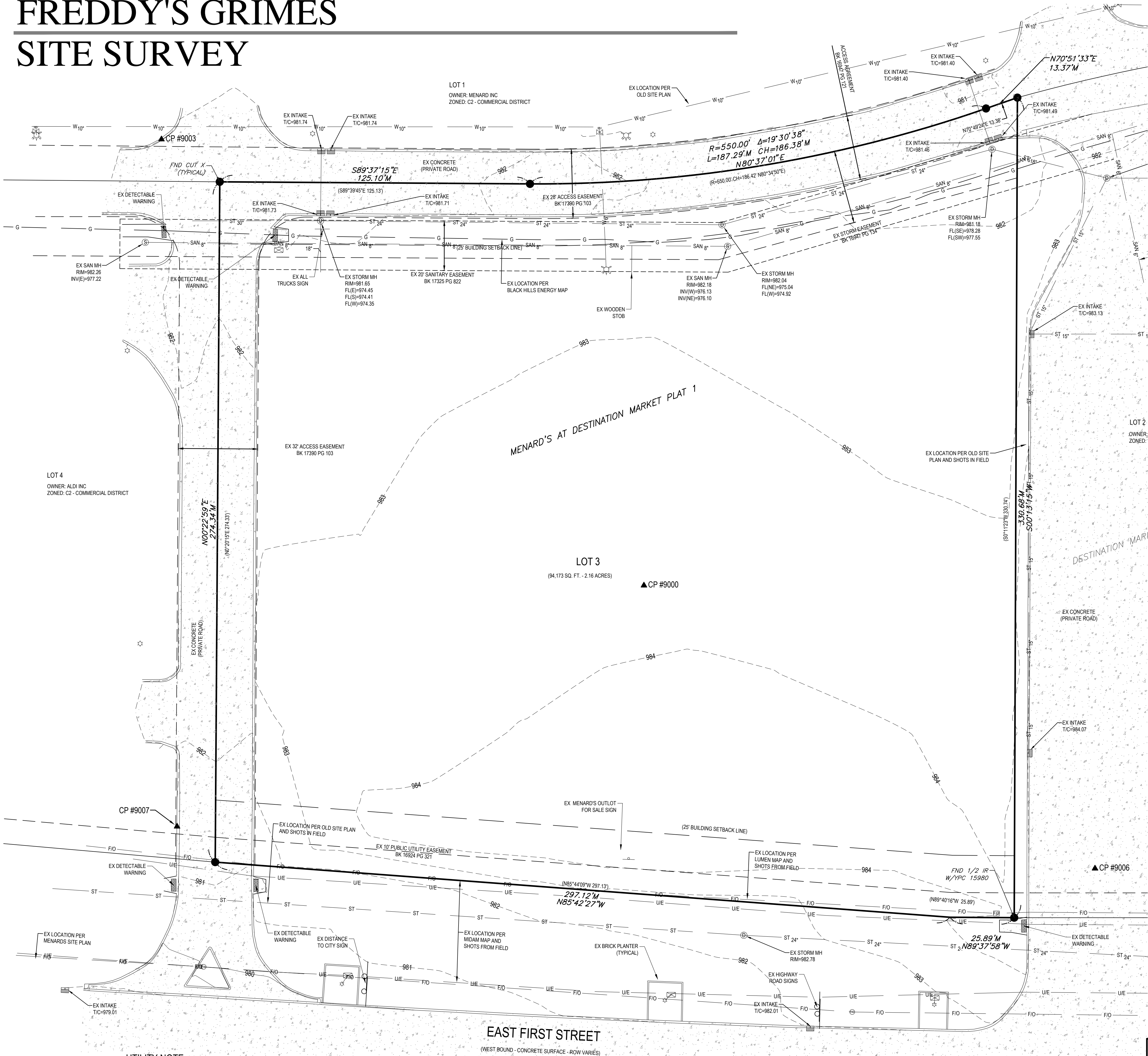
PROJECT NUMBER:

210343

SHEET NUMBER:

C0.1

FREDDY'S GRIMES
SITE SURVEY



VICINITY MAP
SCALE: NOT TO SCALE

LEGEND:

- SAN — SANITARY SEWER
- ST — STORM SEWER
- W — WATER LINE
- G — GAS LINE
- UE — UNDERGROUND ELECTRIC
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- ⑤ — SANITARY MANHOLE
- ⑥ — CLEANOUT
- ⑦ — FIRE HYDRANT
- ⑧ — SPRINKLER
- ⑨ — IRRIGATION CONTROL VALVE
- ⑩ — WATER MANHOLE
- ⑪ — WELL
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- ⑰ — ELECTRIC RISER
- ⑱ — ELECTRIC VAULT
- ⑲ — POWER POLE
- ⑳ — TRANSFORMER POLE
- ㉑ — LIGHT POLE
- ㉒ — ELECTRIC JUNCTION BOX
- ㉓ — ELECTRIC PANEL
- ㉔ — TRANSFORMER
- ㉕ — GROUND LIGHT
- ㉖ — GUY WIRE
- ㉗ — ELECTRIC HANDHOLE
- ㉘ — GAS METER
- ㉙ — GAS VALVE
- ㉚ — AIR CONDITIONING UNIT
- ㉛ — TELEPHONE RISER
- ㉜ — TELEPHONE VAULT
- ㉝ — TELEPHONE MANHOLE
- ㉞ — TRAFFIC SIGNAL MANHOLE
- ㉟ — FIBER OPTIC MANHOLE
- ㊱ — FIBER OPTIC RISER
- ㊲ — FIBER OPTIC VAULT
- ㊳ — CABLE TV RISER
- ㊴ — SIGN
- — BOLLARDS
- ⑦ — DENOTES NUMBER OF PARKING STALLS
- — PROPERTY CORNER - FOUND AS NOTED
- — PROPERTY CORNER - PLACED 3/4" IRON PIPE WITH YELLOW PLASTIC CAP ID # 26776 OR AS NOTED
- ⊙ — SECTION CORNER - FOUND AS NOTED
- ▲ — SITE CONTROL POINT - MONUMENT AS NOTED

PROPERTY DESCRIPTION:

(FROM TITLE OPINION)
LOT 3 IN MENARDS AT DESTINATION MARKET PLAT 1, AN
OFFICIAL PLAT, NOW INCLUDED IN AND FORMING A PART OF
THE CITY OF GRIMES, POLK COUNTY, IOWA

ADDRESS:

2125 EAST 1ST STREET
GRIMES, IOWA 50111

OWNER:

MENARD INC
5101 MENARD DR
EAU CLAIRE, WISCONSIN 54703-9604

PREPARED FOR:

MLY REAL ESTATE INC.
STEVEN YOUNG

ZONING:

INFORMATION OBTAINED FROM
GRIMESIOWA.GOV
ZONED: COMMERCIAL DISTRICT
SETBACKS:

FRONT: 25 FEET
SIDE: NONE
REAR: 25 FEET

FOR AN OFFICIAL ZONING REPORT PLEASE CALL CITY OF
GRIMES AT 515.986.3036

SITE CONTROL AND BENCHMARKS:

BASIS OF BEARING OBTAINED FROM GPS OBSERVATIONS
DATUM = NAD 83, IOWA SOUTH
BENCHMARK DATUM = CITY DATUM OR NAVD88, GEOID 12A)

POINT #9004

NORTHING = 615591.84
EASTING = 1566441.19
ELEVATION = 984.28
DESCRIPTION: BURY BOLT

POINT # 9000

NORTHING = 615464.88
EASTING = 1566456.37
ELEVATION = 983.74
DESCRIPTION: 3/4" IRON PIPE W/ RED PLASTIC CAP

ABBREVIATIONS:

AC ACRES
ASPH ASPHALT
BK BOOK
CONC CONCRETE
D DEEDED DISTANCE
EX EXISTING
ENCL ENCLOSURE
FF FINISHED FLOOR
FL FLOW LINE
FRAC FRACTIONAL
M MEASURED DISTANCE
MH MANHOLE
OPC ORANGE PLASTIC CAP
P PLATTED DISTANCE
PG PAGE
POB POINT OF BEGINNING
POC POINT OF COMMENCEMENT
PRA PREVIOUSLY RECORDED AS
PUE PUBLIC UTILITY EASEMENT
ROW RIGHT OF WAY
RPC RED PLASTIC CAP
SF SQUARE FEET
SAN SANITARY
TYP TYPICAL
YPC YELLOW PLASTIC CAP
N NORTH
S SOUTH
E EAST
W WEST

NOTES:

- ADJACENT PROPERTY OWNER INFORMATION OBTAINED
FROM POLK COUNTY ASSESSORS WEB PAGE
- PARENTHESES () DENOTES PREVIOUSLY RECORDED
BEARINGS AND DISTANCES



UTILITY NOTE:

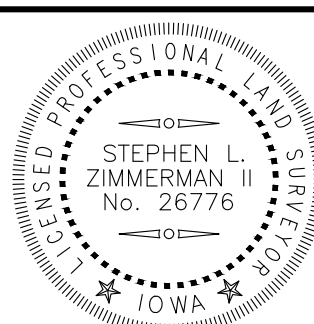
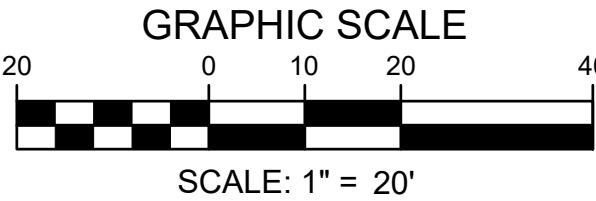
THE LOCATION OF THE UTILITIES INDICATED ON THE PLANS HAVE BEEN TAKEN FROM THE FIELD SURVEY. EXISTING PUBLIC
RECORDS, AND PLANS PROVIDED BY OTHERS. SURFACE UTILITY LOCATIONS HAVE BEEN FIELD LOCATED BY BISHOP
ENGINEERING, UNLESS OTHERWISE NOTED. ALL UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE LOCATIONS
ONLY. BISHOP ENGINEERING DOES NOT GUARANTEE THE UNDERGROUND LOCATION OF ANY UTILITIES SHOWN. IT SHALL
BE THE DUTY OF THE CONTRACTOR TO DETERMINE THE LOCATION AND DEPTH OF ANY UNDERGROUND UTILITIES SHOWN
AND IF ANY ADDITIONAL UTILITIES, OTHER THAN THOSE SHOWN ON THE PLANS, MAY BE PRESENT. A REQUEST WAS MADE
TO IOWA ONE CALL FOR UTILITY PROVIDERS TO VERIFY, LOCATE, AND MARK THEIR UTILITIES IN THE FIELD.

UTILITY MAPS PROVIDED BY:

- ELECTRIC (MIDAM / 515.252.6972)
- FIBER OPTIC (CENTURYLINK (LUMEN) / 918.547.0147)
- FIBER OPTIC (IOWA COMMUNICATION NETWORK / 800.572.3940)
- GAS (BLACK HILLS ENERGY / 515.343.2037)
- WATER (CITY OF GRIMES / AWOOD@USWATERCORP.NET)

FIELD WORK COMPLETED ON: 8-14-2021

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I HEREBY CERTIFY THAT THIS LAND SURVEYING DOCUMENT WAS PREPARED
AND THE RELATED SURVEY WORK WAS PERFORMED BY ME OR UNDER MY
DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED
PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF IOWA.

SIGNED: STEPHEN L. ZIMMERMAN II, P.L.S. 26776 DATE:

LICENSE RENEWAL DATE: DEC. 31, 2022 C0.2
PAGES OR SHEETS COVERED BY THIS SEAL:

Bishop Engineering
"Planning Your Successful Development"

3501 104th Street
Des Moines, Iowa 50322-3825
Phone: (515)276-0467 Fax: (515)276-0217
Civil Engineering & Land Surveying Established 1959

2125 EAST 1ST STREET
GRIMES, IOWA

SITE SURVEY

REFERENCE NUMBER:

DRAWN BY:

MDH

CHECKED BY:

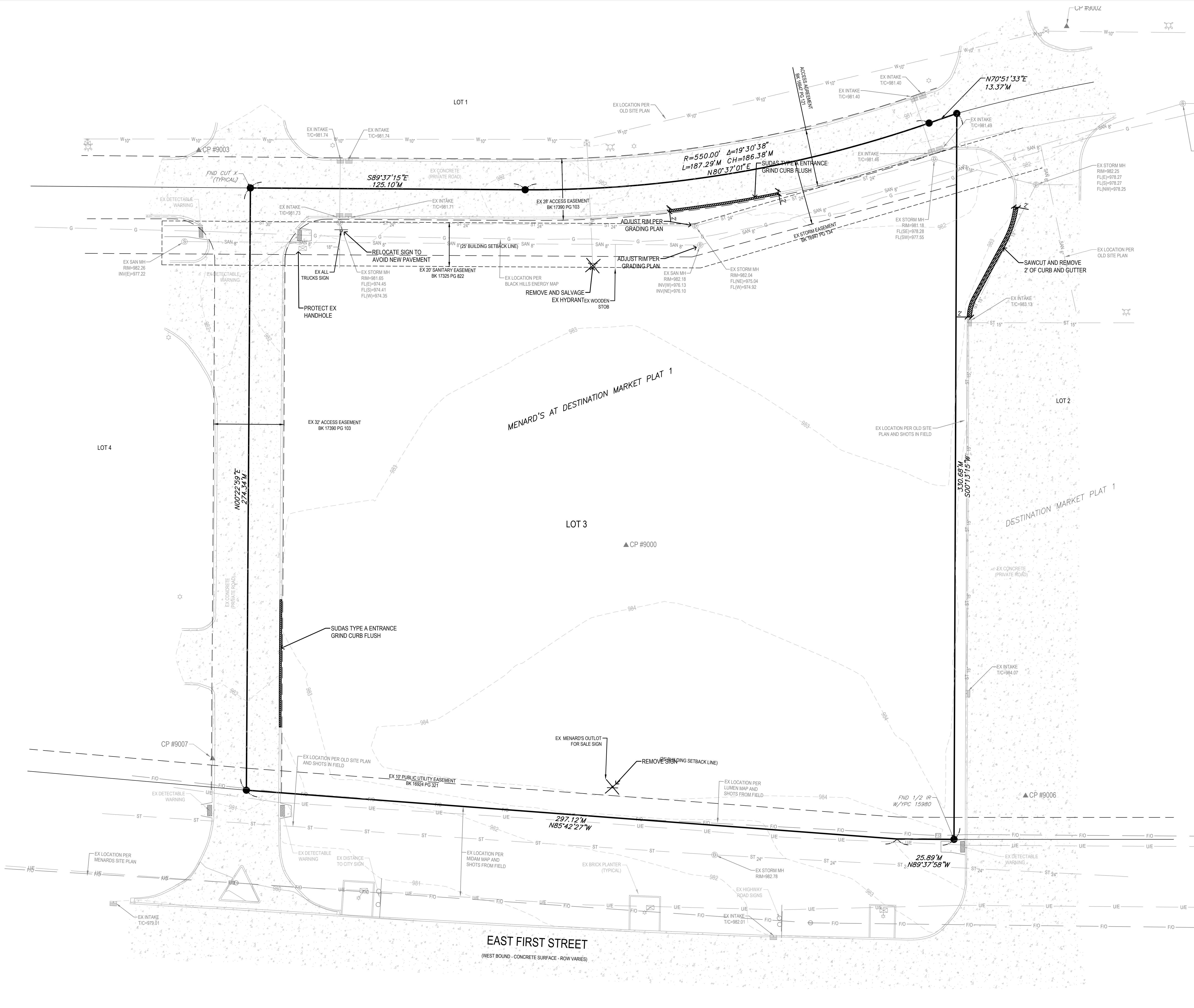
REVISION DATE:

PROJECT NUMBER:

210343

SHEET NUMBER:

C0.2



- DEMO NOTES:
1. SAWCUT & REMOVE ALL PAVEMENT TO FULL DEPTH OF SLAB.
 2. PROTECT ALL TREES NOT CALLED OUT FOR REMOVAL WITH ORANGE CONSTRUCTION FENCE AT THE DRIP LINE.
 3. PAVEMENT STRIPING CALLED OUT FOR REMOVAL SHALL BE SANDBLASTED. NO GRINDING WILL BE ALLOWED.

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FREDDY'S & PANERA
GRIMES, IOWA

DEMO PLAN

REFERENCE NUMBER:

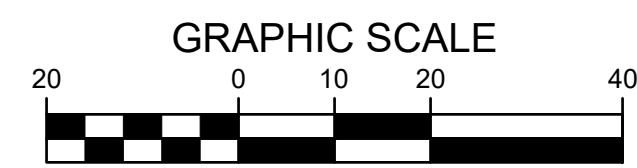
DRAWN BY:
DRL

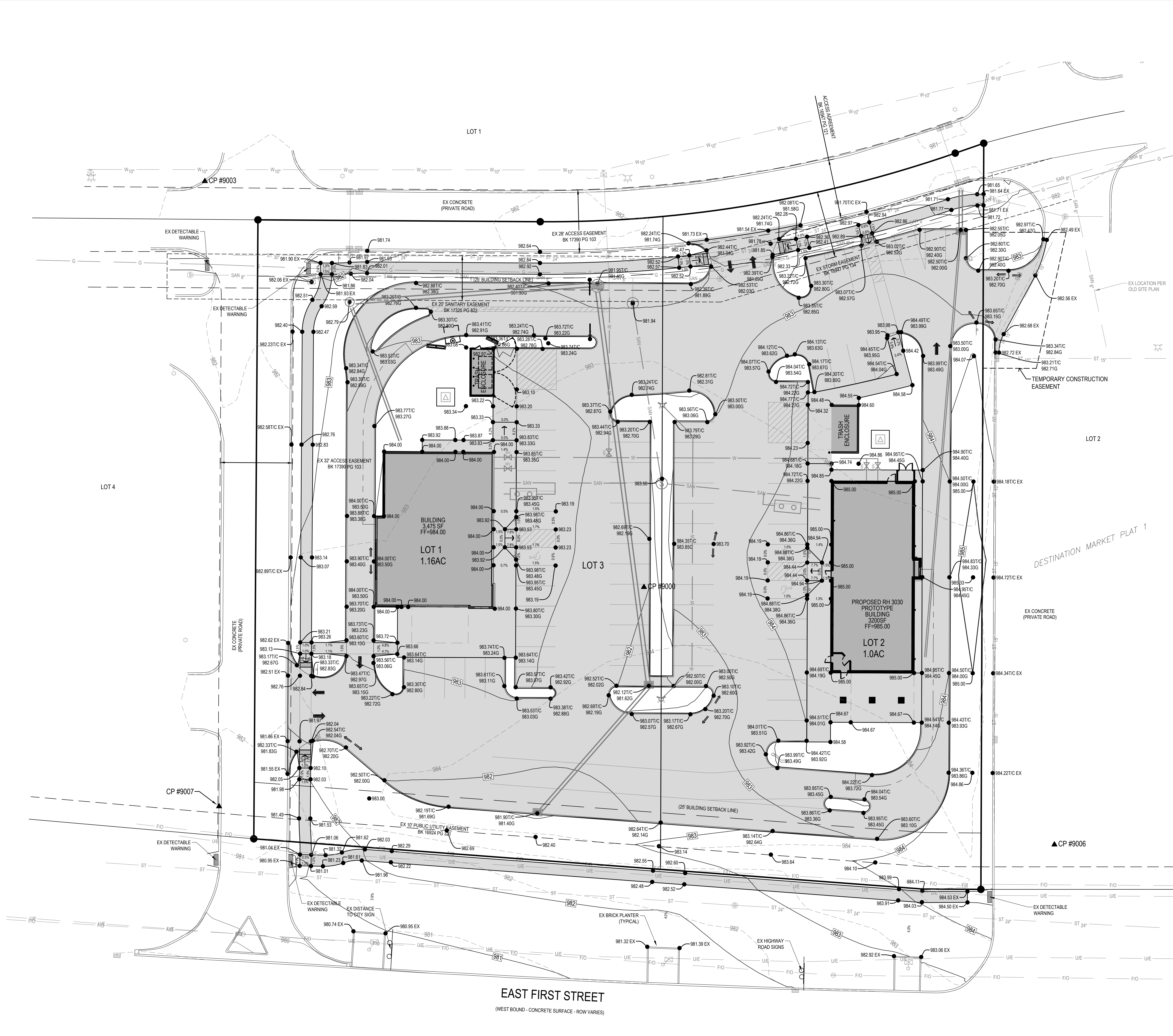
CHECKED BY:

REVISION DATE:
9/27/2021 - 1ST SUBMITTAL
11/8/2021 - 2ND SUBMITTAL
11/29/21 - 3RD SUBMITTAL

PROJECT NUMBER:
210343

SHEET NUMBER:
C1.1

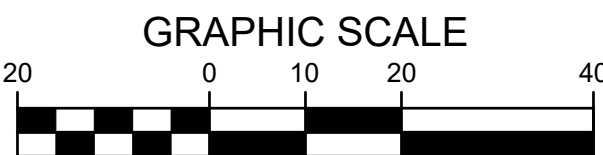




- TOPSOIL NOTES:**
1. STRIP AND STOCKPILE THE TOP 8" OF SOIL ON ALL DISTURBED AREAS.
 2. RESPREAD TOPSOIL TO A MINIMUM DEPTH OF 8" ON ALL GREEN (NON PAVED) AREAS. IMPORT TOPSOIL AS NECESSARY TO ACHIEVE A MINIMUM DEPTH OF 8".
 3. TOPSOIL SHALL BE FREE OF ALL ROCK AND DEBRIS LARGER THAN 3/4" IN SIZE.
 4. TOPSOIL IS DEFINED AS: FERTILE, FRIABLE LOAM, CAPABLE OF SUSTAINING VIGOROUS PLANT GROWTH, FROM WELL DRAINED SITE FREE FROM FLOODING, IN FROZEN OR MUDDY CONDITIONS; REASONABLE FREE FROM SUBSOIL, CLAY LUMPS, ROOTS, GRASS, WEEDS, STONES LARGER THAN 3/4 INCH IN DIAMETER, FOREIGN MATTER; ACIDITY RANGE (PH) OF 5.5 TO 7.5; CONTAINING MINIMUM PERCENT AND MAXIMUM 20 PERCENT ORGANIC MATTER.
 5. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ALL TOPSOIL REQUIREMENTS OF NPDES GENERAL PERMIT NO. 2 ARE MET.

- GRADING LEGEND:**
- | | |
|---------------------------|-----|
| EXISTING CONTOUR | --- |
| PROPOSED CONTOUR | --- |
| FINISHED GROUND ELEVATION | ● |
| TOP OF CURB ELEVATION | ● |
| GUTTER ELEVATION | ● |
| TOP OF WALL ELEVATION | ● |
| BOTTOM OF WALL ELEVATION | ● |
| EDGE OF WALK ELEVATION | ● |
| TOP OF STAIR ELEVATION | ● |
| BOTTOM OF STAIR ELEVATION | ● |

NOTE: WALL ELEVATIONS SHOWN ON PLAN ARE FINISHED GROUND GRADES AT THE TOP AND BOTTOM OF THE WALL.



FREDDY'S & PANERA
GRIMES, IOWA

REFERENCE NUMBER:

DRAWN BY:
DRL

CHECKED BY:

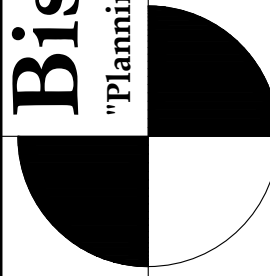
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9/27/2021 - 1ST SUBMITTAL
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11/29/21 - 3RD SUBMITTAL

PROJECT NUMBER:
210343

SHEET NUMBER:

C3.1

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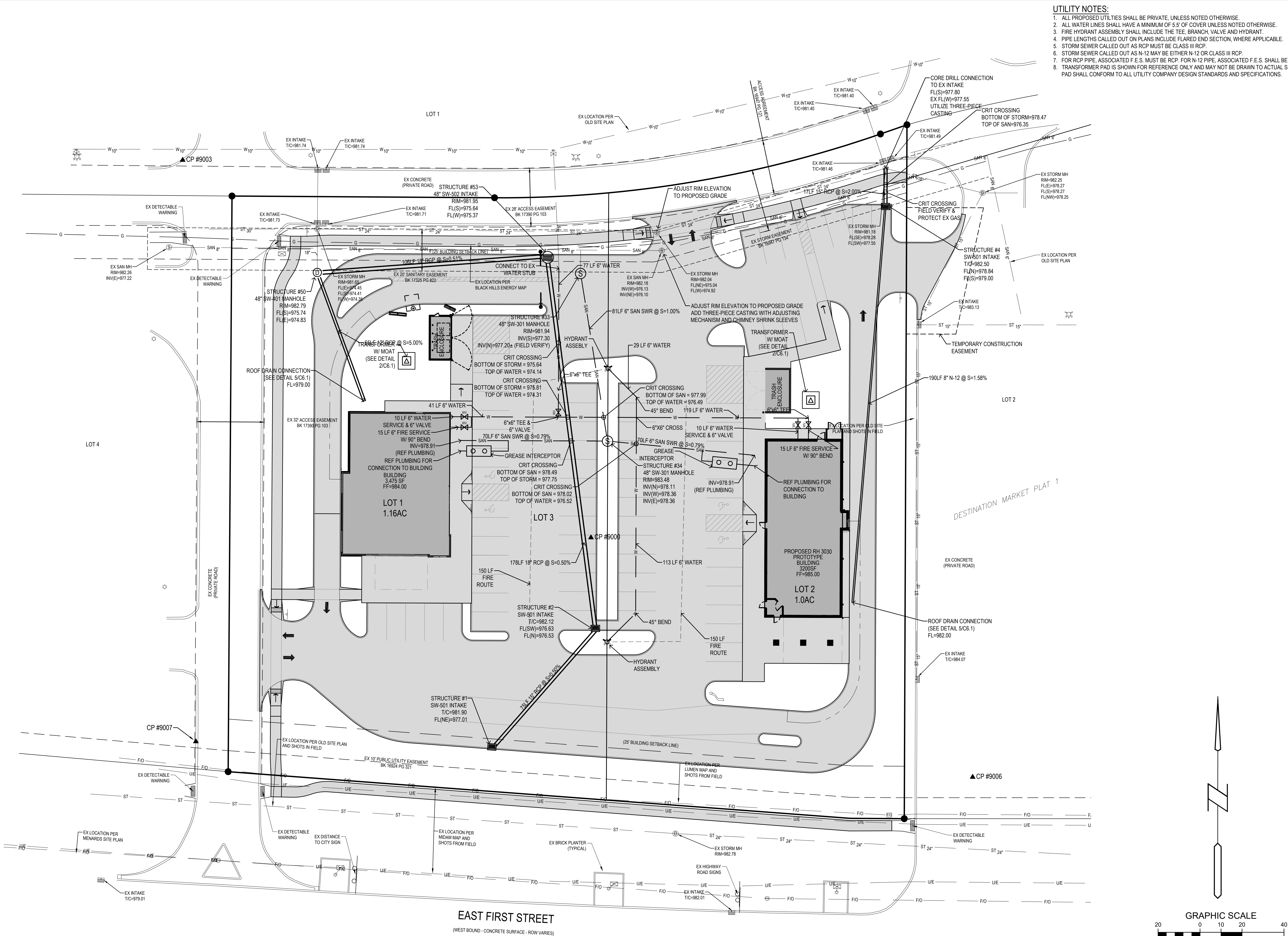


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Civil Engineering & Land Surveying

GRADING PLAN



- UTILITY NOTES:
1. ALL PROPOSED UTILITIES SHALL BE PRIVATE, UNLESS NOTED OTHERWISE.
 2. ALL WATER LINES SHALL HAVE A MINIMUM OF 5'5" OF COVER UNLESS NOTED OTHERWISE.
 3. FIRE HYDRANT ASSEMBLY SHALL INCLUDE THE TEE, BRANCH, VALVE AND HYDRANT.
 4. PIPE LENGTHS CALLED OUT ON PLANS INCLUDE FLARED END SECTION, WHERE APPLICABLE.
 5. STORM SEWER CALLED OUT AS RCP MUST BE CLASS III RCP.
 6. FOR RCP PIPE, ASSOCIATED F.E.S. MUST BE EITHER N-12 OR CLASS III RCP.
 7. FOR RCP PIPE, ASSOCIATED F.E.S. MUST BE RCP. FOR N-12 PIPE, ASSOCIATED F.E.S. SHALL BE CMP.
 8. TRANSFORMER PAD IS SHOWN FOR REFERENCE ONLY AND MAY NOT BE DRAWN TO ACTUAL SIZE. PAD SHALL CONFORM TO ALL UTILITY COMPANY DESIGN STANDARDS AND SPECIFICATIONS.

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FREDDY'S & PANERA
GRIMES, IOWA

UTILITY PLAN

REFERENCE NUMBER:

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DRL

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210343

SHEET NUMBER:

C4.1

LANDSCAPE NOTES:

- ALL SODDING & LANDSCAPE PLANTINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE URBAN STANDARD SPECIFICATIONS, UNLESS SPECIFIED OTHERWISE.
- SOD ALL DISTURBED AREAS WITHIN THE CONTRACT LIMITS, UNLESS NOTED OTHERWISE. SOD LIMITS SHOWN ON PLAN ARE FOR REFERENCE ONLY. FINAL LIMITS MAY CHANGE BASED ON CONSTRUCTION ACTIVITIES.
- STAKE SOD ON ALL SLOPES 3 : 1 OR GREATER.
- PLANT QUANTITIES ARE FOR CONTRACTORS CONVENIENCE, THE DRAWING SHALL PREVAIL IF A CONFLICT OCCURS.
- ALL PLANT MATERIAL SHALL CONFORM TO THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1).
- CONTRACTOR SHALL WARRANTY ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR FROM THE DATE OF INITIAL ACCEPTANCE.
- FOR WARRANTY PURPOSES, THE DATE OF INITIAL ACCEPTANCE SHALL BE SUBMITTED IN WRITING TO THE OWNER AND/OR OWNER'S REPRESENTATIVE AFTER ALL PLANT MATERIALS HAVE BEEN INSTALLED AND REVIEWED BY OWNER OR OWNER'S REPRESENTATIVE. PLANT MATERIALS WILL ONLY BE ACCEPTED IF THEY ARE IN AN ALIVE AND THRIVING CONDITION.
- CONDITIONAL ACCEPTANCE OF PLANT MATERIAL MAY BE GIVEN FOR PLANTS INSTALLED IN A DORMANT CONDITION WITH INITIAL ACCEPTANCE OCCURRING THE FOLLOWING SPRING ONCE THEY ARE SHOWN TO BE ALIVE AND THRIVING.
- IT IS THE CONTRACTORS RESPONSIBILITY TO REMOVE IDENTIFICATION TAGS AND CORDS ON ALL PLANT MATERIAL PRIOR TO THE COMPLETION OF THE CONTRACT. IDENTIFICATION TAGS (INCLUDING SIZING INFORMATION) MUST BE LEFT ON UNTIL AFTER ACCEPTANCE BY OWNER OR OWNER'S REPRESENTATIVE.
- CONTRACTOR SHALL PLACE SHREDDED HARDWOOD MULCH AROUND ALL TREES, SHRUBS AND GROUND COVER BEDS TO A DEPTH OF 4 INCHES, UNLESS NOTED.
- STAKING AND GUYING OF TREES SHALL BE AT THE DISCRETION OF THE CONTRACTOR BASED ON CURRENT ACCEPTED NURSERY STANDARDS. GENERALLY, TREES IN LARGE OPEN AREAS SUBJECT O SIGNIFICANT WIND SHALL BE STAKED. STAKE AND WRAP TREES IMMEDIATELY AFTER PLANTING. CONTRACTOR SHALL ADJUST AND MAINTAIN GUYING TENSION THROUGHOUT THE PLANT ESTABLISHMENT PERIOD. REMOVE ALL STAKES AND GUY WIRES NO MORE THAN ONE YEAR AFTER INSTALLATION.
- THE LANDSCAPING CONTRACTOR SHALL HAVE ALL UTILITIES LOCATED BEFORE STARTING ANY SITE WORK OR PLANTING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES.
- NO LANDSCAPE MATERIAL SHALL BE SUBSTITUTED WITHOUT THE AUTHORIZATION OF THE LANDSCAPE ARCHITECT AND THE CITY OF GRIMES.
- ALL EDGING SHALL BE DURAEEDGE 3/16" STEEL EDGING - COLOR BLACK, OR APPROVED EQUAL..
- CONTRACTOR SHALL BE RESPONSIBLE MAINTAINING APPROPRIATE LEVEL OF WATERING FOR ALL NEW PLANTS FOR A PERIOD OF 30 DAYS.
- ALL SHRUB AND PERENNIAL PLANTING BEDS SHALL INCORPORATE TYPAR 3301 NONWOVEN LANDSCAPE FABRIC (OR SIMILAR) AND 3" THICK LAYER OF WASHED RIVER ROCK (1.5" NOMINAL SIZE).
- ALL BEDS TO RECEIVE GRANULAR PRE-EMERGENT WEED CONTROL BEFORE AND AFTER ROCK IS INSTALLED.

PLANTING SCHEDULE

CODE	QUAN	COMMON NAME	LATIN NAME	SIZE	ROOT	NOTES
OVERSTORY TREES						
OG	4	OCTOBER GLORY MAPLE	ACER RUBRUM 'OCTOBER GLORY'	2.0" CAL	B&B	MATCHED SPECIMENS
AH	4	AMERICAN HORNBREAM	CARPINUS CAROLINIANA	2.0" CAL	B&B	MATCHED SPECIMENS
SH	2	SKYLINE HONEYLOCUST	GLEDTISIA TRICANTHOS 'INERMIS' 'SKYLINE'	2.0" CAL	B&B	MATCHED SPECIMENS
KC	7	KENT UCKY COFFEETREE	GYMNOLADUS DIOICUS	2.0" CAL	B&B	MATCHED SPECIMENS
CO	3	CHINKAPIN OAK	QUERCUS MUEHLENBERGII	2.0" CAL	B&B	MATCHED SPECIMENS
RO	3	RED OAK	QUERCUS RUBRA	2.0" CAL	B&B	MATCHED SPECIMENS
ORNAMENTAL TREES						
ER	7	EAST ERN REDBUD	CERCIS CANADENSIS	1.5" CAL	B&B	MATCHED SPECIMENS
PF	4	PRAIRIE FIRE CRABAPPLE	MALUS X PRAIRIE FIRE	1.5" CAL	B&B	MATCHED SPECIMENS
WA	3	WHITE ANGEL CRABAPPLE	MALUS X 'WHITE ANGEL'	1.5" CAL	B&B	MATCHED SPECIMENS
RS	4	ROYAL STAR MAGNOLIA	MAGNOLIA STELLATA 'ROYAL STAR'	1.5" CAL	B&B	MATCHED SPECIMENS
EVERGREEN TREES						
BH	6	BLACK HILLS SPRUCE	PICEA GLAUCOA DENSATA	6'	B&B	FULL FORM TO GROUND
SHRUBS						
EA	7	EMERALD ARBORVITAE	THUJA OCCIDENTALIS 'SMARAGD'	4'	B&B	FULL FORM - MATCHED
RL	33	REDLEAF BARBERRY	BERBERIS THUNBERGII 'ATROPURPUREA'	#5	CONT	FULL FORM - MATCHED
LD	37	LITTLE DEVIL NINEBARK	PHYSCARPUS OPULIFOLIUS 'LITTLE DEVIL'	#3	CONT	FULL FORM - MATCHED
GL	8	GROW LO SUMAC	RHUS AROMATICA 'GROW LOW'	#5	CONT	FULL FORM - MATCHED
KR	4	KNOCKOUT ROSE	ROSA X 'RAD RAZZ'	#5	CONT	FULL FORM - MATCHED
AW	123	ANTHONY WATERER SPIREA	SPIRAEA BUMALDA 'ANTHONY WATERER'	#5	CONT	FULL FORM - MATCHED
CV	4	COMPACT VIBURNUM	VIBURNUM TRILOBUM 'COMPACTA'	#5	CONT	FULL FORM - MATCHED
ORNAMENTAL GRASSES						
KF	30	KARL FOERSTER FEAT HER REED GRASS	CALAMAGROSIS ACUTIFLORA 'KARL FOERSTER'	#1	CONT	FULLY ROOTED IN CONTAINER
PV	11	SHENANDOAH SWIT CHGRASS	PANICUM VIRGATUM 'SHENANDOAH'	#1	CONT	FULLY ROOTED IN CONTAINER

SOD: PROVIDE AND INSTALL SOD FROM LOCAL SUPPLIERS. AREAS TO BE SODDED MUST BE FREE OF ALL CONSTRUCTION DEBRIS AND ANY DIRT CLUMPS OVER 1" IN DIAMETER. THOROUGHLY WATER SOD UPON INSTALLATION. CONTRACTOR TO MAINTAIN WATERING UNTIL SOD IS ESTABLISHED (ROOTS KNITTED INTO SUBSURFACE)

GENERAL LANDSCAPE REQUIREMENTS

LOT 1 (PANERA)	
SITE AREA	50,500 SF
OPEN SPACE PROVIDED	14,453 SF
OPEN SPACE REQUIRED (20%)	10,100 SF

LOT 2 (FREDDY'S)	
SITE AREA	43,593 SF
OPEN SPACE PROVIDED	12,088 SF
OPEN SPACE REQUIRED (20%)	8,720 SF

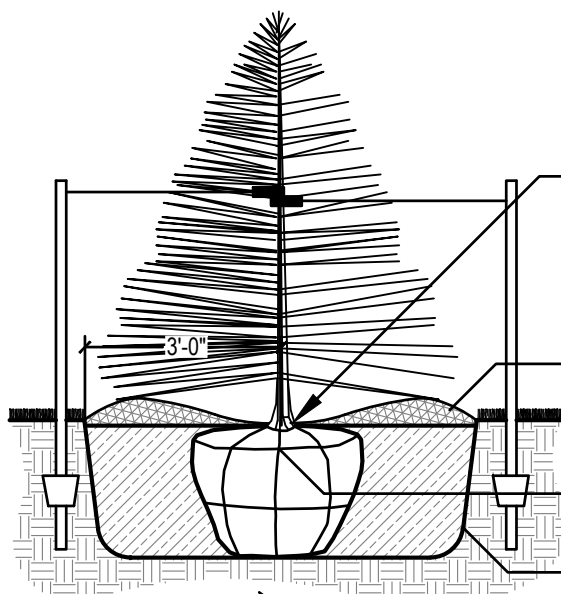
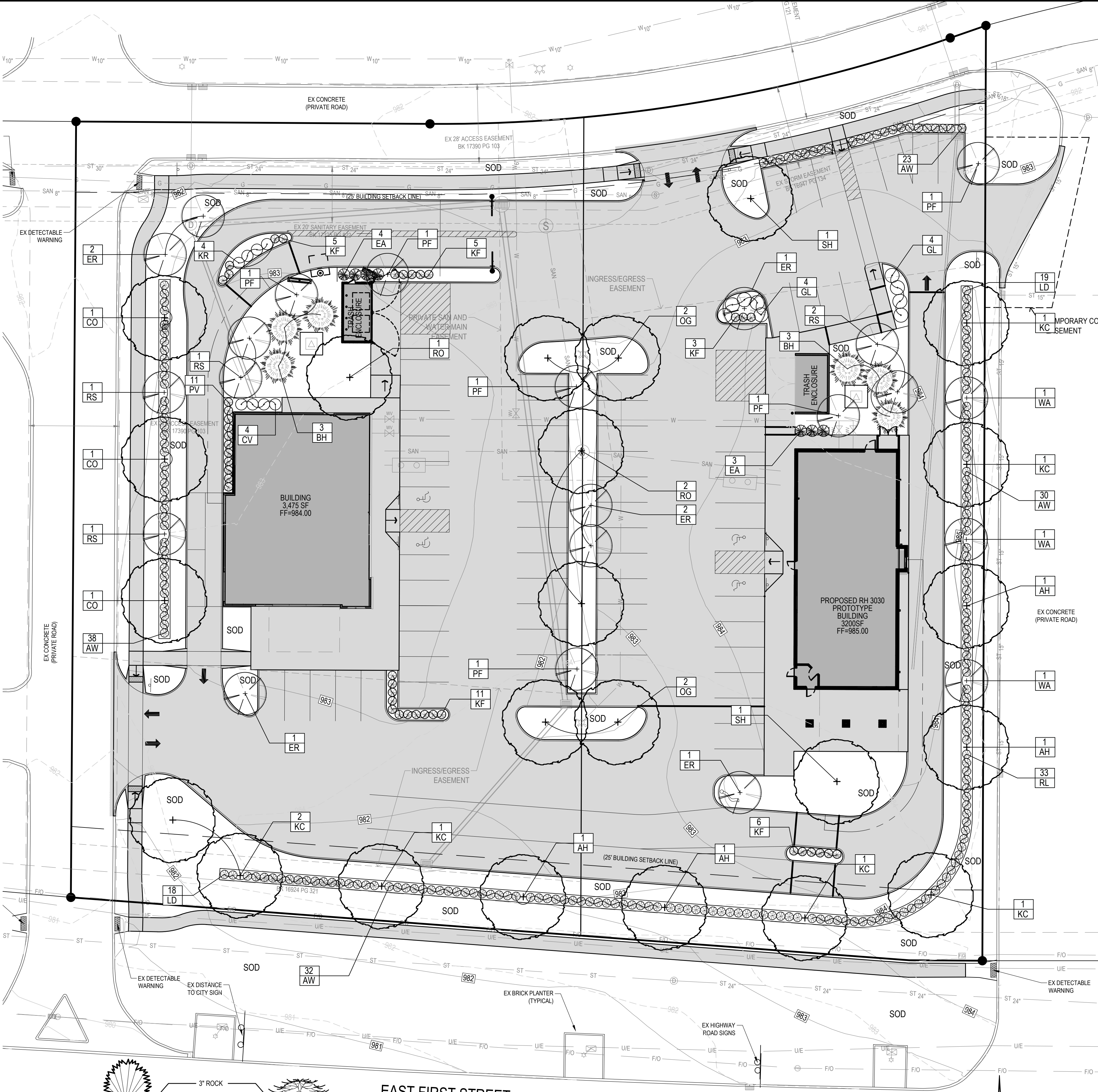
GENERAL OPEN SPACE REQUIREMENT
LOT 1 (PANERA)
TOTAL REQUIRED TREES (2 / 1,000 SF REQUIRED OPEN SPACE)
TOTAL TREES PROVIDED (50% OVERSTORY, 2" CAL)
TOTAL SHRUBS REQUIRED (1 / 500 SF REQUIRED OPEN SPACE)
TOTAL SHRUBS PROVIDED

LOT 2 (FREDDY'S)
TOTAL REQUIRED TREES (2 / 1,000 SF REQUIRED OPEN SPACE)
TOTAL TREES PROVIDED (50% OVERSTORY, 2" CAL)
TOTAL SHRUBS REQUIRED (1 / 500 SF REQUIRED OPEN SPACE)
TOTAL SHRUBS PROVIDED

BUFFER PLANTING ADJACENT TO EAST 1ST ST (PER 163.16.3)
TOTAL LENGTH OF FRONTAGE
TOTAL REQUIRED TREES (1 / 50 LF)
TOTAL TREES PROVIDED
TOTAL SHRUBS REQUIRED (1 / 4 LF)
TOTAL SHRUB PROVIDED

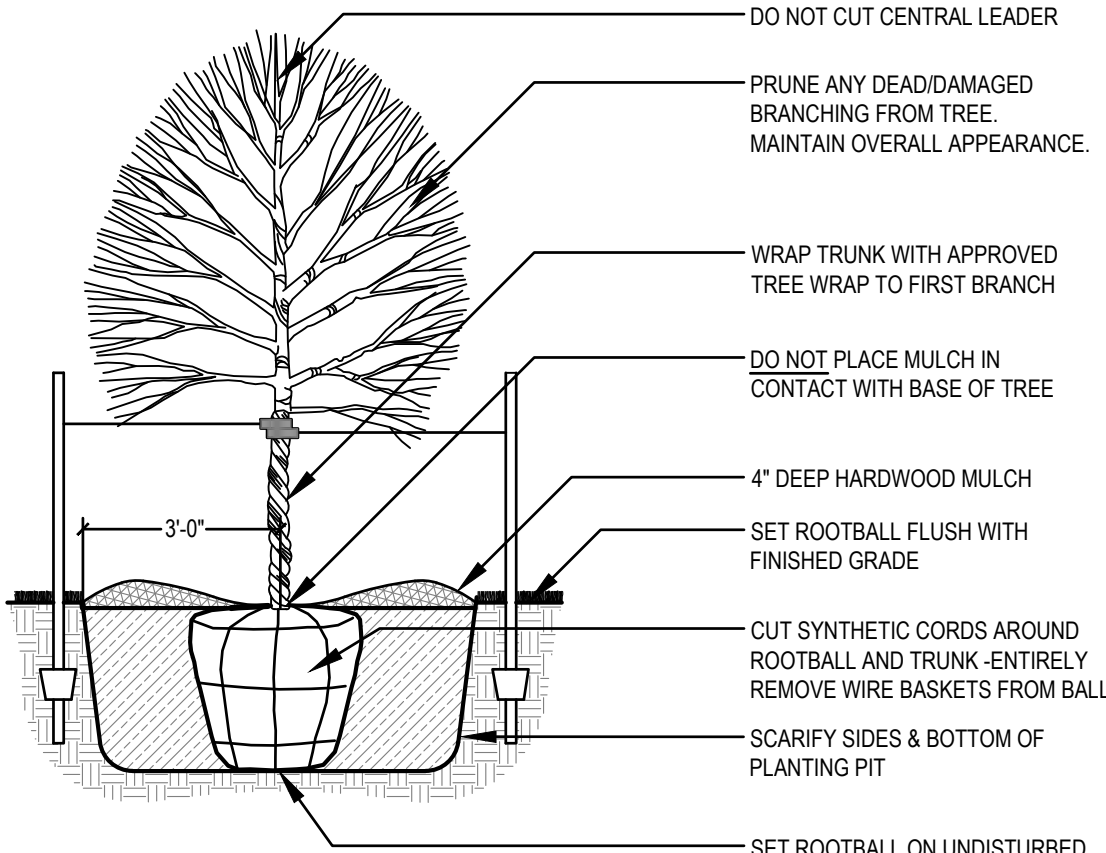
IRRIGATION NOTES:

- FOR BIDDING PURPOSES, THIS PROJECT DOES NOT INCLUDE A SITE IRRIGATION SYSTEM.
- CONTRACTOR SHALL SUBMIT TO THE OWNER OR OWNER'S REPRESENTATIVE A SEPARATE PROPOSAL FOR A SITE IRRIGATION SYSTEM. PROPOSAL SHALL BE DESIGN/BUILD FOR A COMPLETE OPERATIONAL IRRIGATION SYSTEM APPROPRIATE FOR THE SITE. IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DESIGN, COORDINATION, TESTING, PERMITS, INSPECTIONS, ETC.



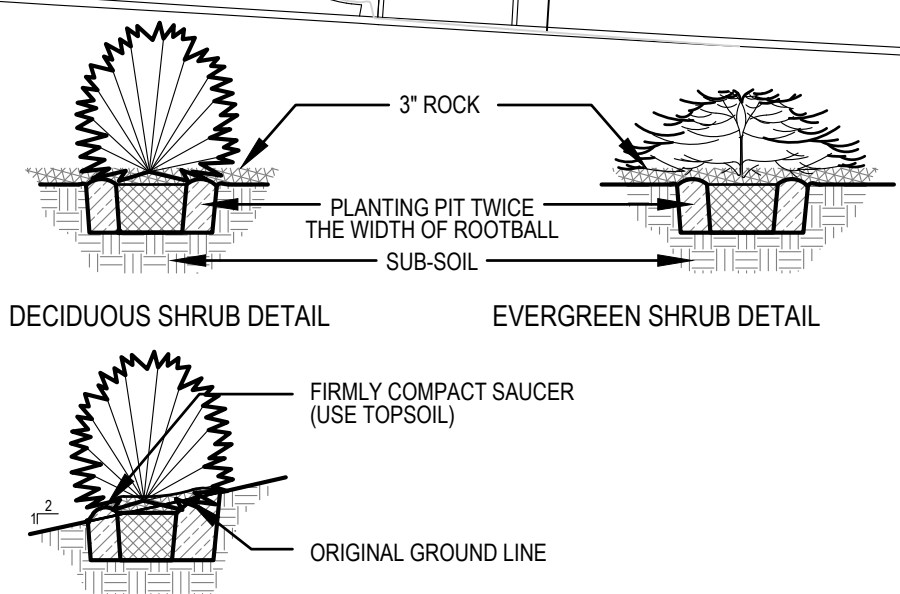
EVERGREEN TREE PLANTING (B&B)

SCALE: NOT TO SCALE



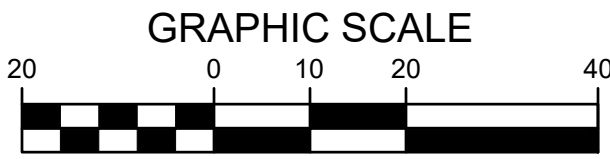
DECIDUOUS TREE PLANTING (TYP.)

SCALE: NOT TO SCALE



SHRUB PLANTING (TYP.)

SCALE: NOT TO SCALE



FREDDY'S & PANERA
GRIMES, IOWA

LANDSCAPE PLAN

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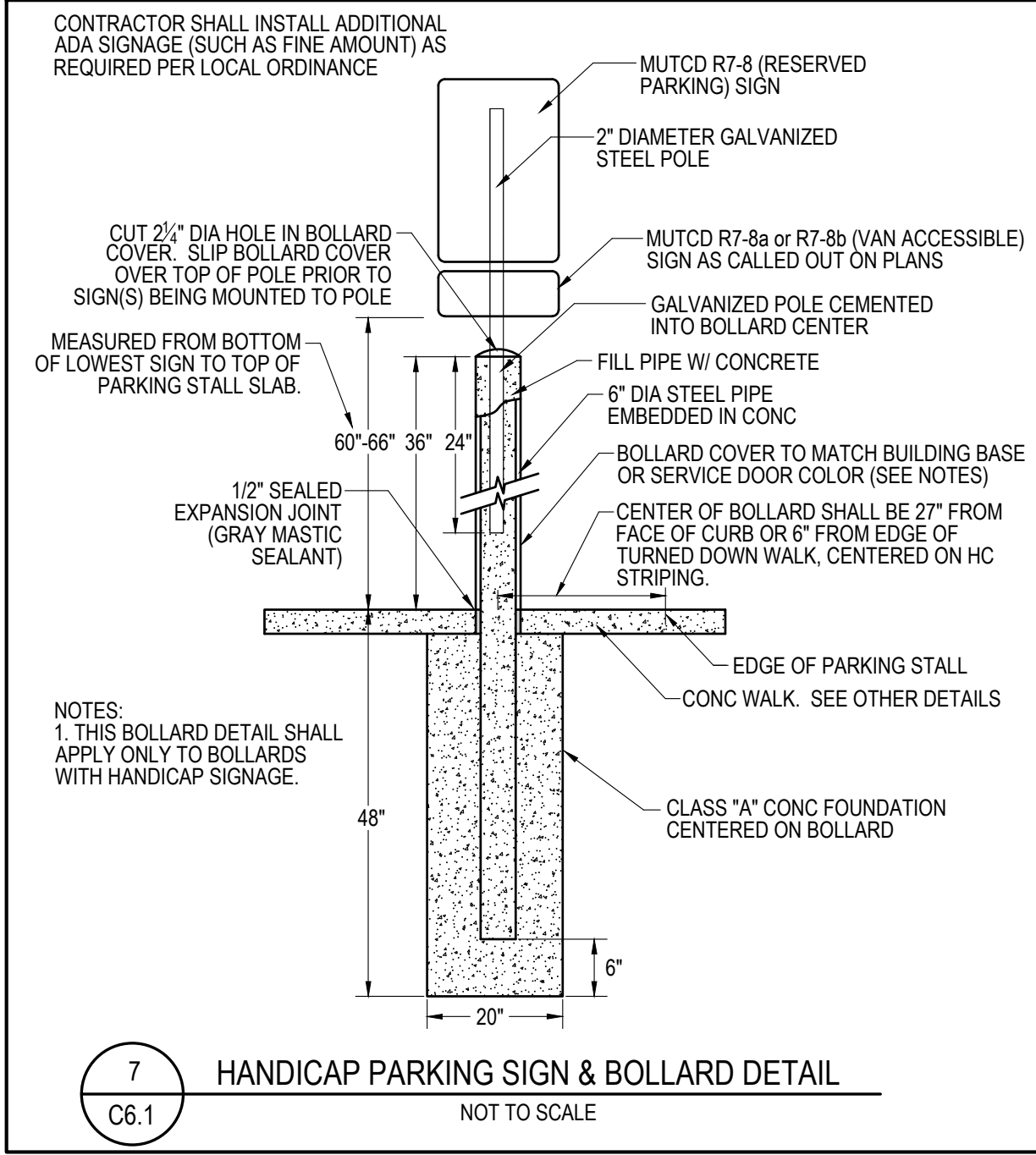
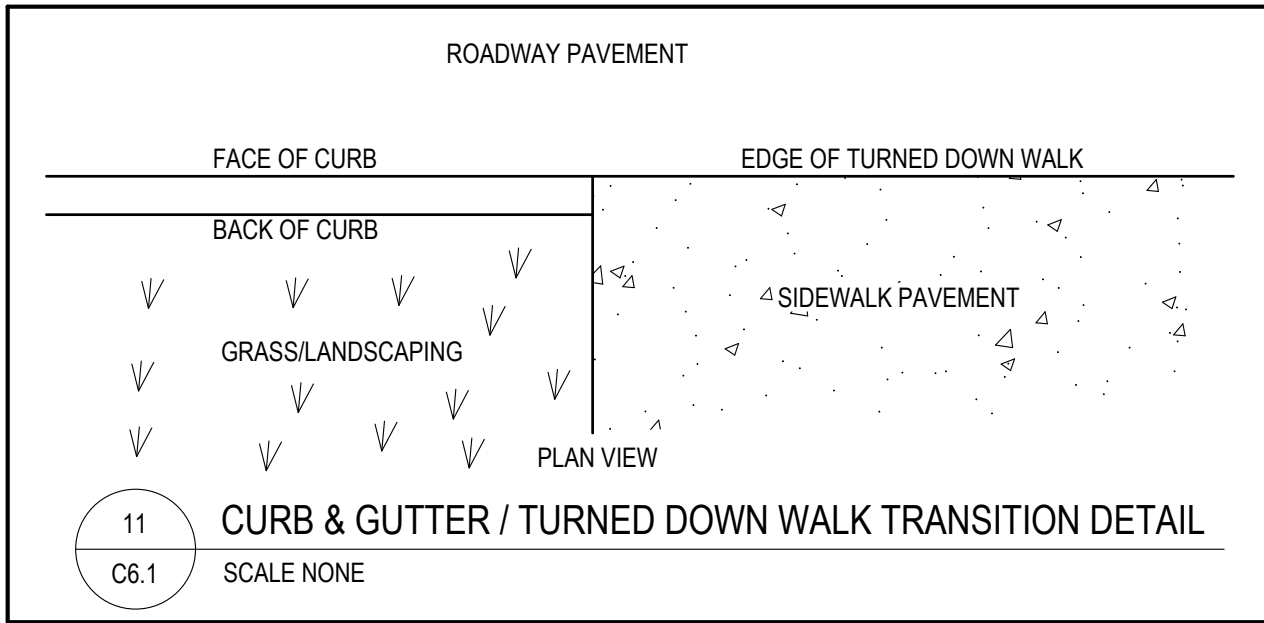
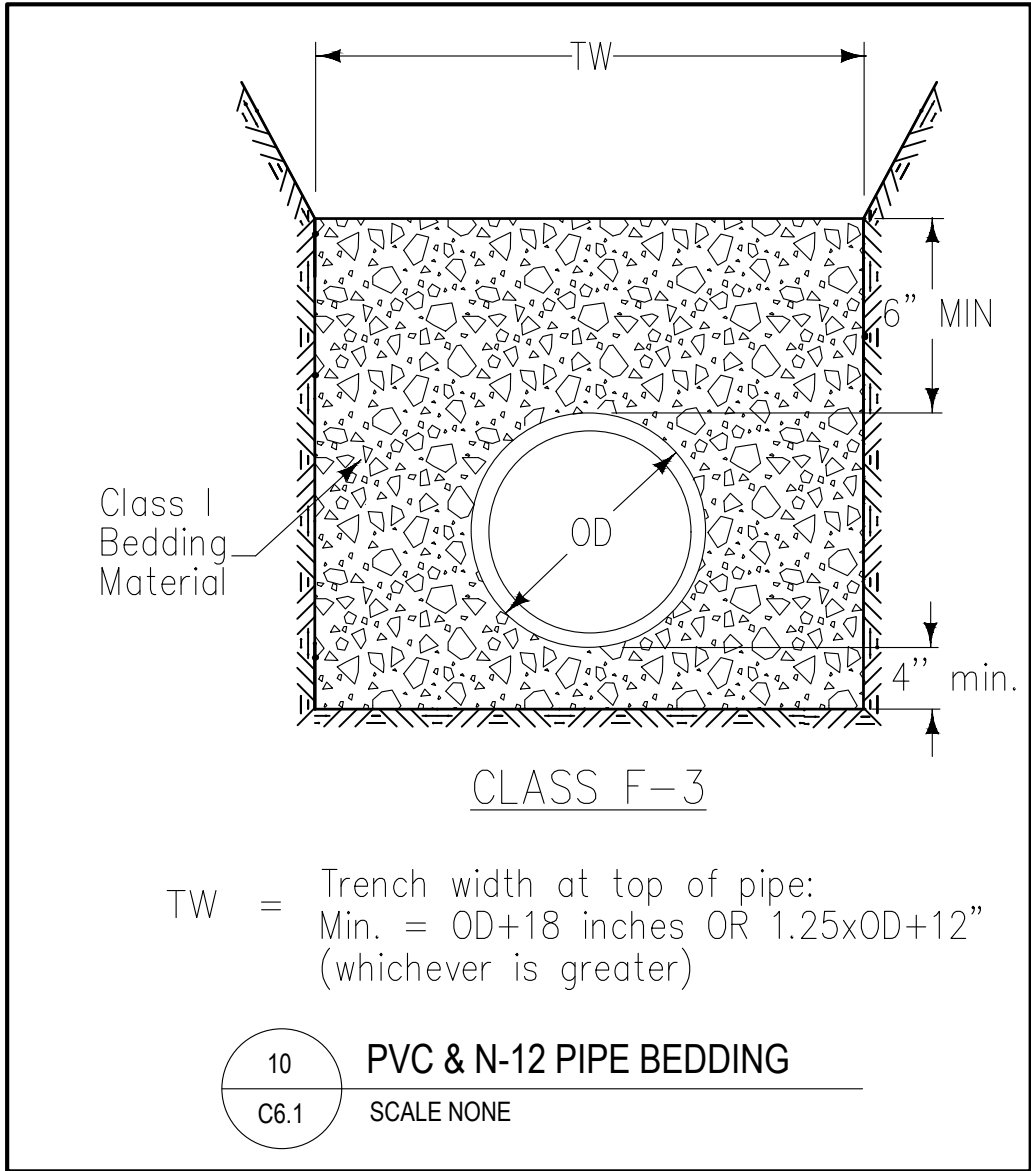
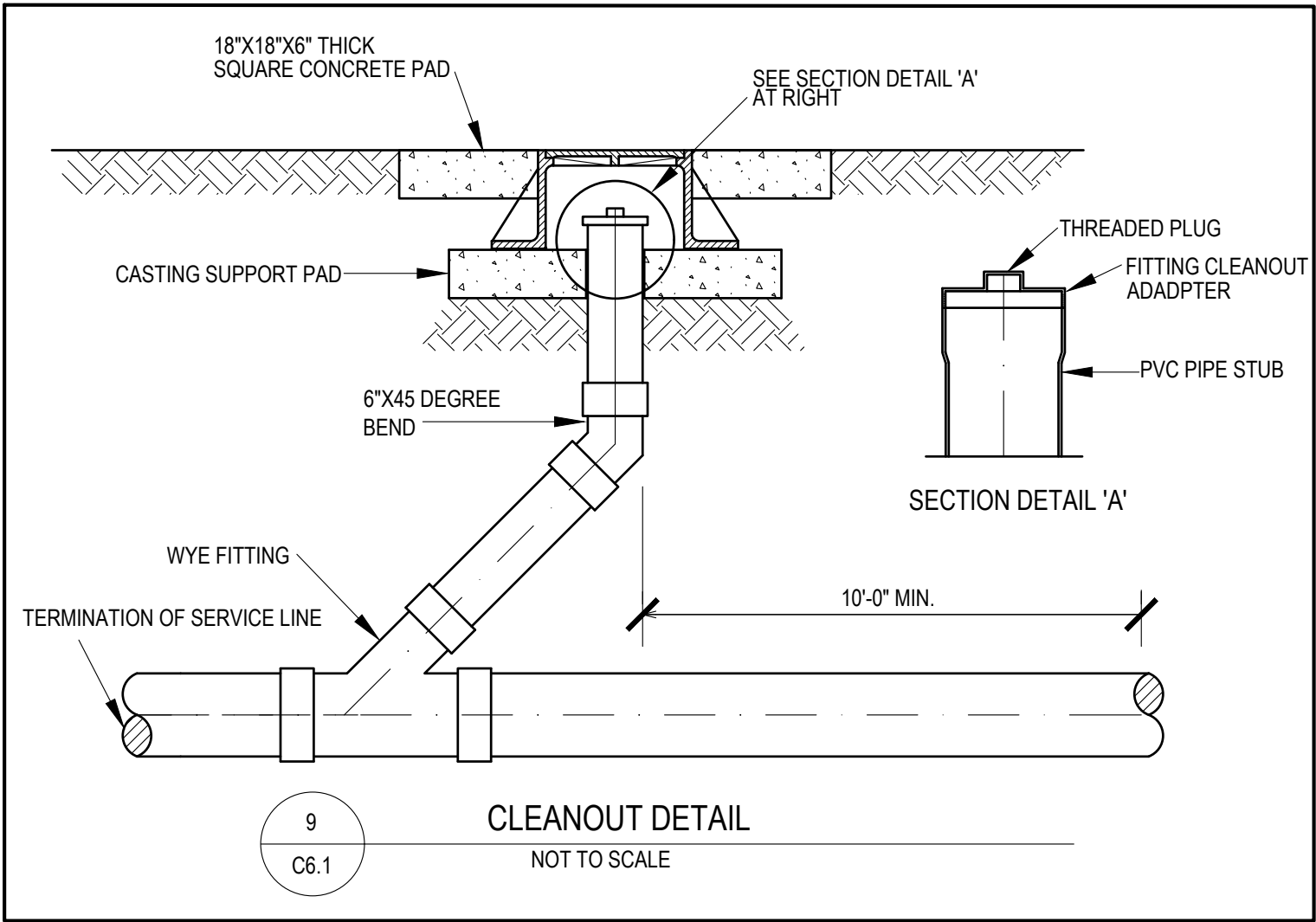
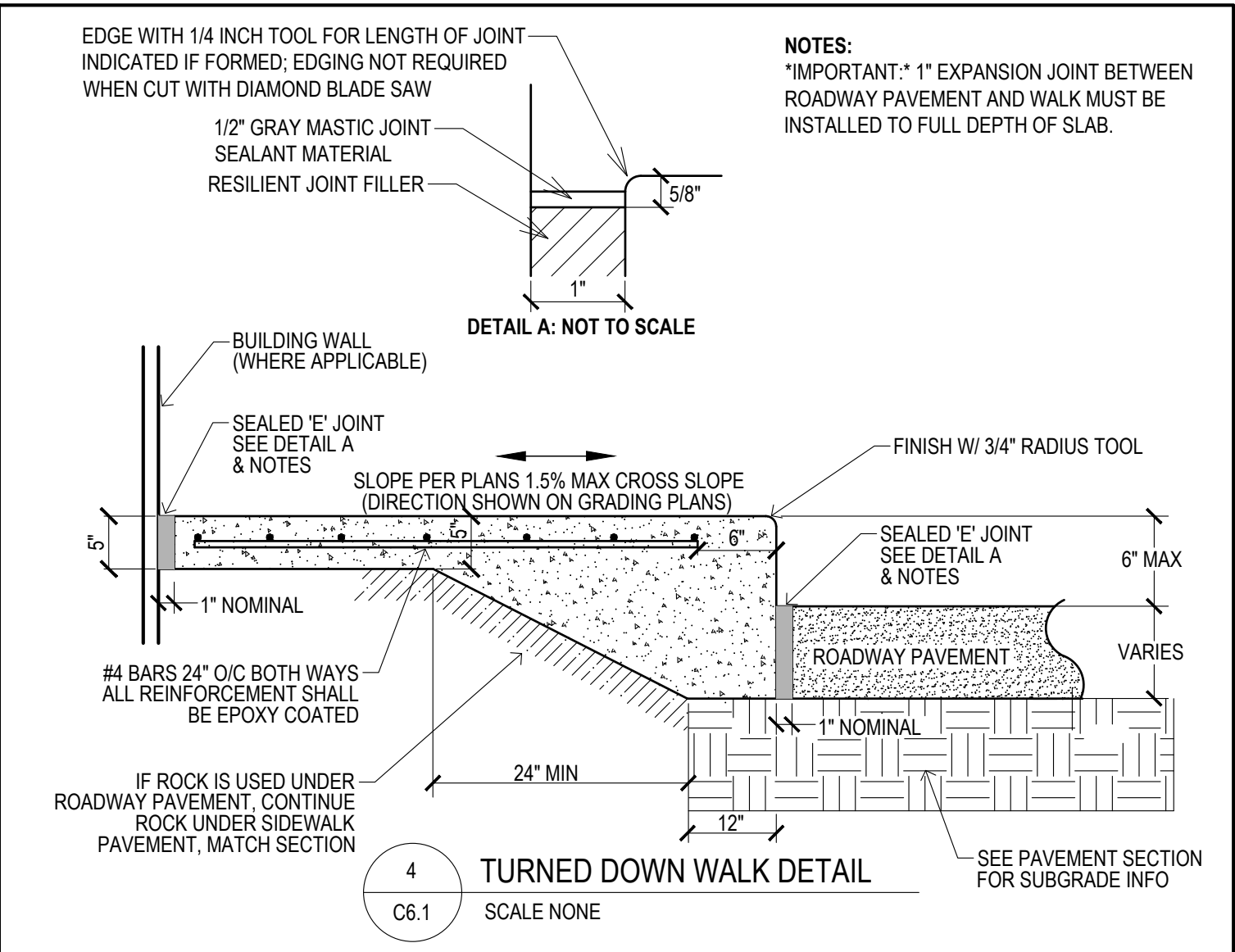
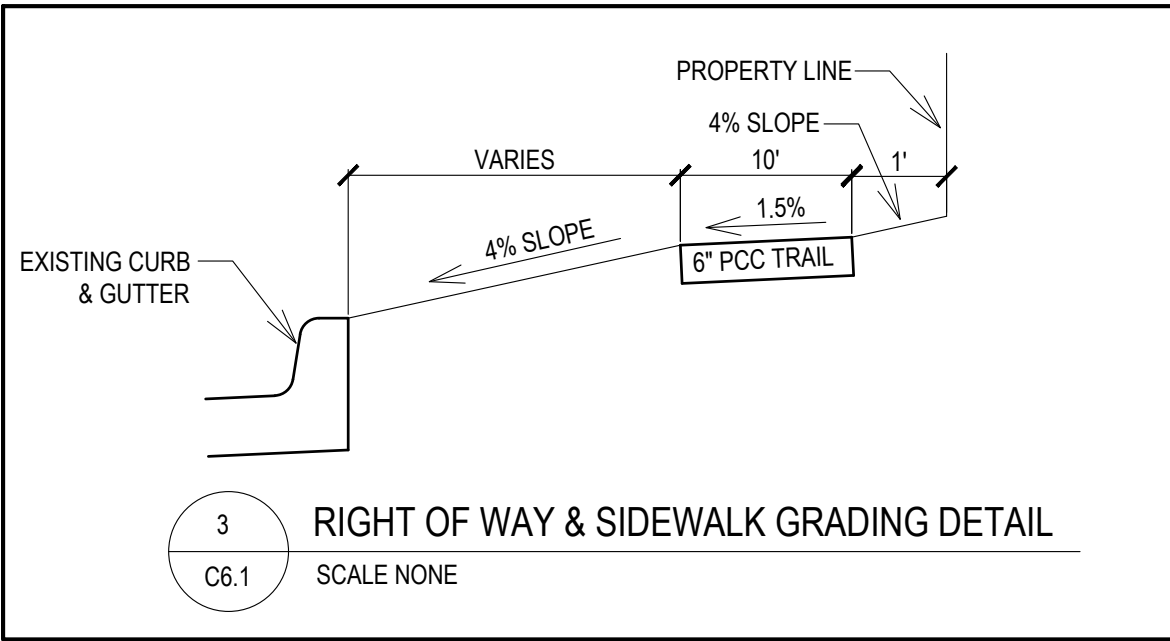
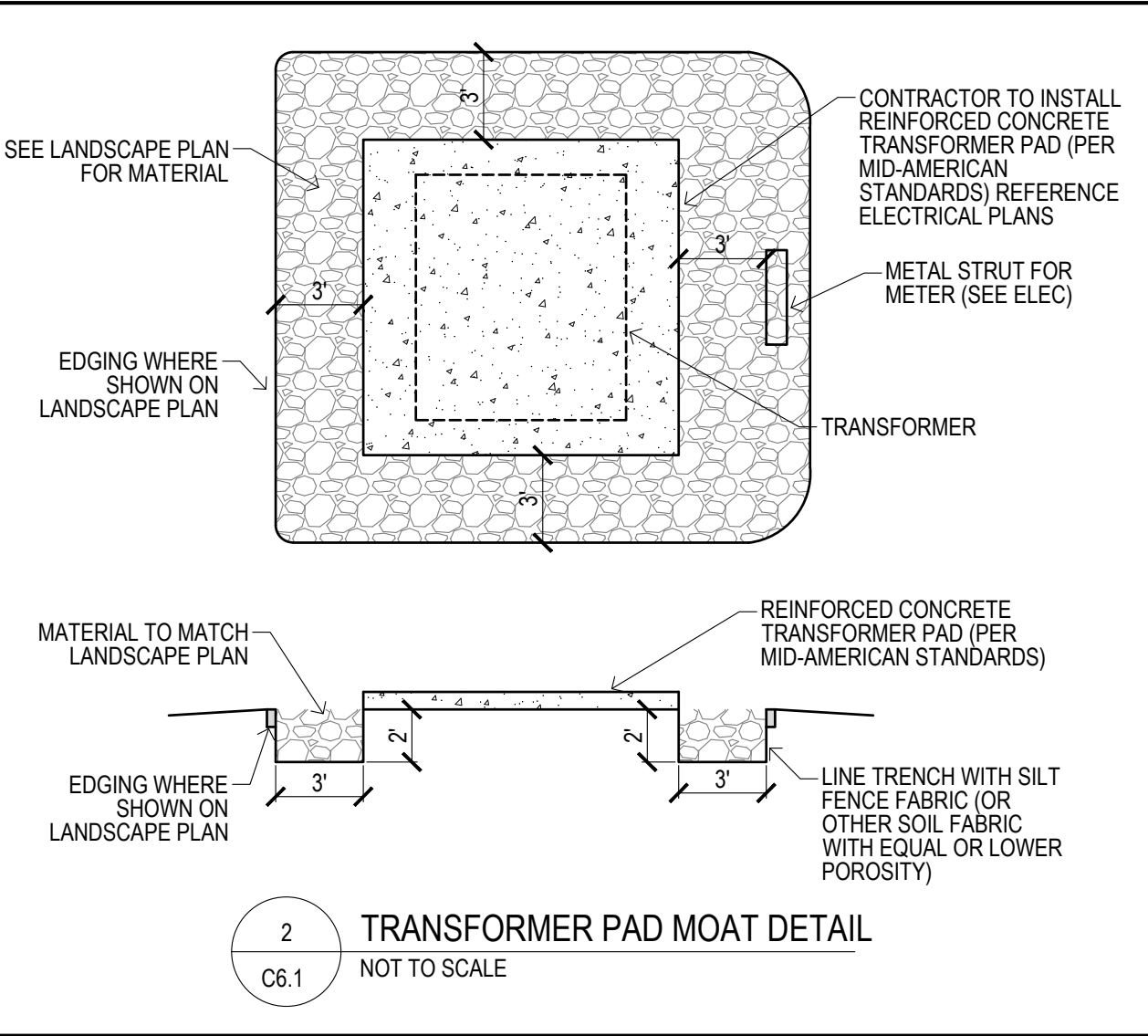
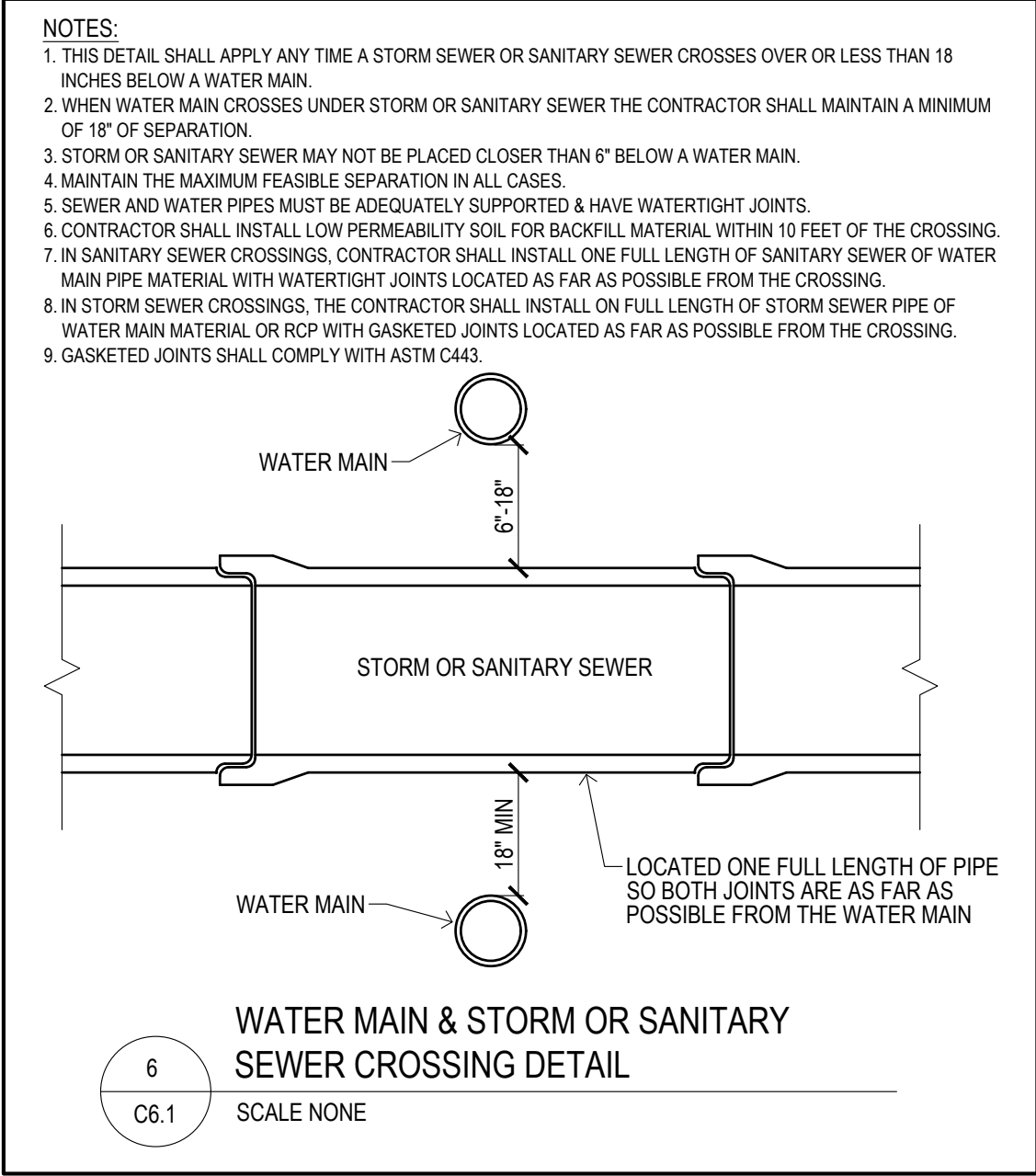
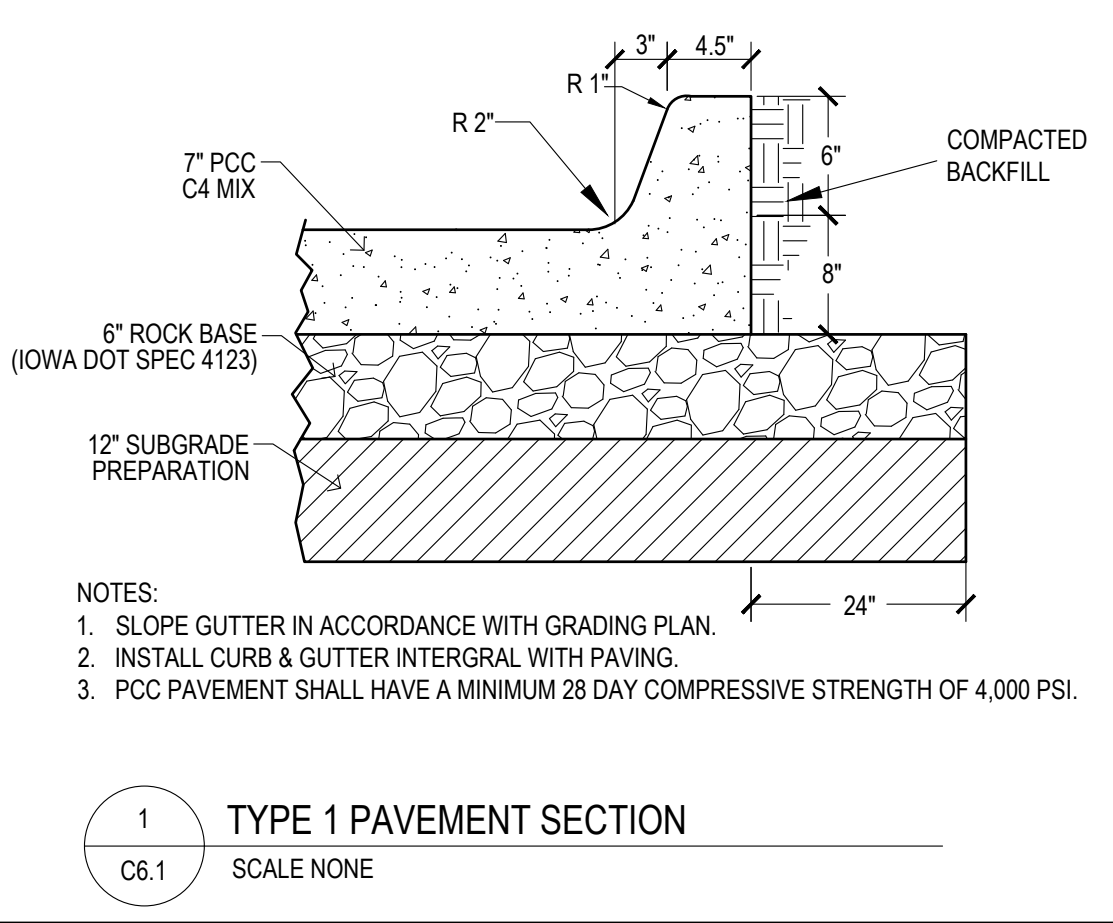
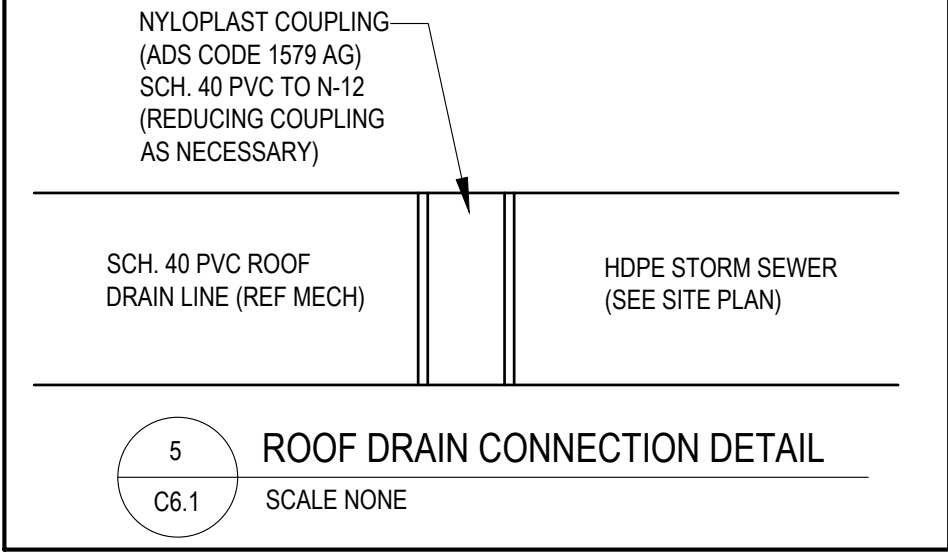
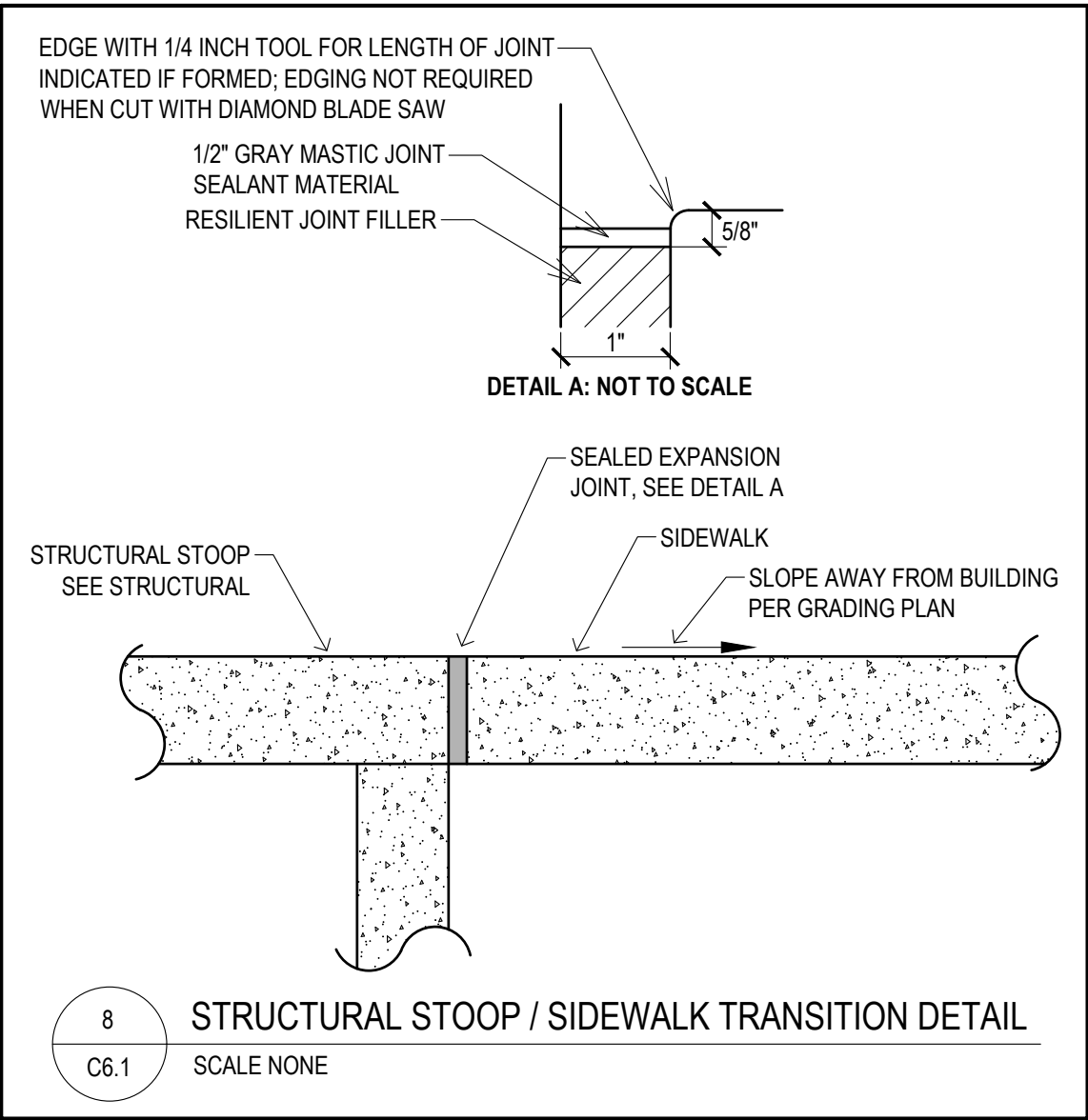
11/29/21 - 3RD SUBMITTAL

PROJECT NUMBER:

210343

SHEET NUMBER:

C5.1



STORM WATER POLLUTION PREVENTION PLAN

PROPERTY DESCRIPTION:
(FROM TITLE OPINION)
LOT 3 IN MENARDS AT DESTINATION MARKET PLAT 1, AN
OFFICIAL PLAT, NOW INCLUDED IN AND FORMING A PART
OF THE CITY OF GRIMES, POLK COUNTY, IOWA

ADDRESS:
2125 EAST 1ST STREET
GRIMES, IOWA 50111

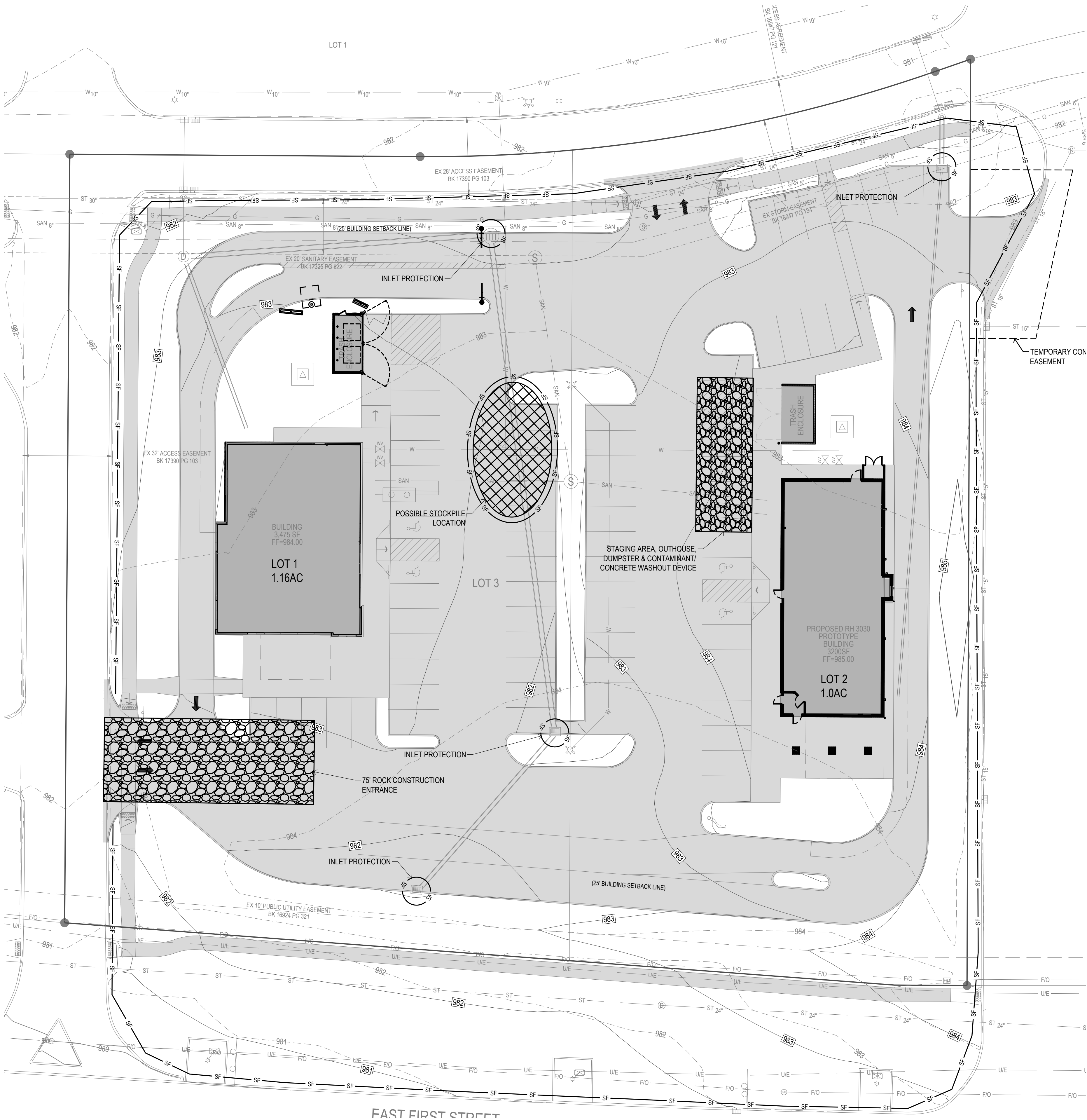
OWNER:
MENARD INC
5101 MENARD DR
EAU CLAIRE, WISCONSIN 54703-9604

SITE AREA:
2.16 ACRES

BENCHMARK:
BENCHMARK DATUM = CITY DATUM OR NAVD88, GEOID 12A

POINT #9004
NORTHING = 615591.84
EASTING = 1566441.19
ELEVATION = 984.28
DESCRIPTION: BURY BOLT

POINT #9000
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DESCRIPTION: 3" IRON PIPE W/ RED PLASTIC CAP

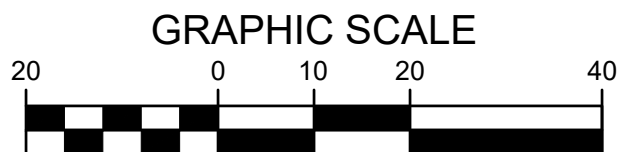
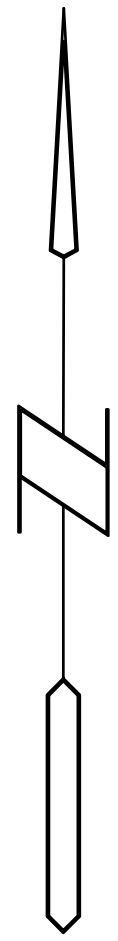


VICINITY MAP
NOT TO SCALE

- EROSION CONTROL NOTES:**
- SEE SUPPLEMENTAL DETAIL STORM WATER POLLUTION PLAN NARRATIVE FOR ALL EROSION CONTROL MEASURES, ADDITIONAL DETAILS AND NOTE. ADDITIONAL NOTES AND MEASURES IN NARRATIVE SHALL BE CONSIDERED INCIDENTAL AND SHALL BE INCLUDED IN THE ORIGINAL BID.
 - SWPPP PLAN AND NARRATIVE ARE CONSIDERED A LIVING DOCUMENT AND WILL NEED PERIODIC UPDATES AND ADJUSTMENTS AS NECESSARY DEPENDING ON SITE CONDITIONS TO ASSURE COMPLIANCE WITH NPDES GENERAL PERMIT NO. 2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO UPDATE THE SWPPP AND IMPLEMENT ANY AND ALL MEASURES NECESSARY TO COMPLY WITH SAID PERMIT NO. 2.
 - INSTALL PERIMETER SILT FENCE AS SHOWN ON PLANS PRIOR TO CONSTRUCTION.
 - INSTALL INTAKE PROTECTION WITH SILT FENCE IMMEDIATELY AFTER STORM SEWER CONSTRUCTION.
 - INSTALL FINISHED PAVING INLET PROTECTION IMMEDIATELY AFTER PAVING IS COMPLETED AROUND INTAKE.
 - OTHER EROSION CONTROL TYPES MAY NOT BE SUBSTITUTED FOR SILT FENCE.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR SUPPLYING A CONCRETE WASHOUT IN ACCORDANCE WITH NPDES GENERAL PERMIT NO. 2 DURING ALL CONCRETE WORK.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR SUPPLYING TEMPORARY RESTROOM FACILITIES. SANITARY WASTE SHALL BE DISPOSED OF PER ALL FEDERAL, STATE AND LOCAL REGULATIONS.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ALL TOPSOIL REQUIREMENTS OF NPDES GENERAL PERMIT NO. 2 ARE MET.

- EROSION CONTROL REMOVAL NOTES:**
- AFTER FINAL STABILIZATION HAS OCCURED, AS DEFINED IN NPDES GENERAL PERMIT NO. 2, CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL TEMPORARY EROSION CONTROL DEVICES INCLUDING, BUT NOT LIMITED TO: SILT FENCE, INLET PROTECTION, AND TEMPORARY STANDPIPES.

- LEGEND:**
- 120--- EXISTING CONTOUR
 - 120--- PROPOSED CONTOUR
 - SF--- SILT FENCE
 - SAN--- SANITARY SEWER
 - ST--- STORM SEWER
 - W--- WATER LINE
 - G--- GAS LINE
 - UE--- UNDERGROUND ELECTRIC
 - O/E--- OVERHEAD ELECTRIC
 - TELE--- TELEPHONE LINE
 - F/O--- FIBER OPTIC
 - CATV--- CABLE TV
 - ⊙ STORM MANHOLE
 - ⊕ CURB INTAKE
 - ⊙ SURFACE INTAKE
 - ⊕ FLARED END SECTION
 - ⊙ SANITARY MANHOLE
 - ⊕ CLEANOUT
 - ⊙ FIRE HYDRANT
 - ⊕ SPRINKLER
 - ⊙ IRRIGATION CONTROL VALVE
 - ⊕ WATER MANHOLE
 - ⊙ WELL
 - ⊕ WATER VALVE
 - ⊙ WATER SHUT OFF
 - ⊕ YARD HYDRANT
 - ⊙ ELECTRIC MANHOLE
 - ⊕ ELECTRIC METER
 - ⊙ ELECTRIC RISER
 - ⊕ ELECTRIC VAULT
 - ⊙ POWER POLE
 - ⊕ TRANSFORMER POLE
 - ⊙ LIGHT POLE
 - ⊕ ELECTRIC JUNCTION BOX
 - ⊙ ELECTRIC PANEL
 - ⊕ TRANSFORMER
 - ⊙ GROUND LIGHT
 - ⊕ GUY WIRE
 - ⊙ ELECTRIC HANDHOLE
 - ⊕ GAS METER
 - ⊙ GAS VALVE
 - ⊕ AIR CONDITIONING UNIT
 - ⊙ TELEPHONE RISER
 - ⊕ TELEPHONE VAULT
 - ⊙ TELEPHONE MANHOLE
 - ⊕ TRAFFIC SIGNAL MANHOLE
 - ⊙ FIBER OPTIC RISER
 - ⊕ FIBER OPTIC FAULT
 - ⊙ CABLE TV RISER
 - ⊕ SIGN



UTILITY NOTE:
THE LOCATION OF THE UTILITIES INDICATED ON THE PLANS ARE TAKEN FROM EXISTING PUBLIC RECORDS AND ARE APPROXIMATE LOCATIONS. THE EXACT LOCATIONS OF ALL UTILITIES MUST BE ASCERTAINED IN THE FIELD. IT SHALL BE THE DUTY OF THE CONTRACTOR TO DETERMINE WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT.

Bishop Engineering
"Planning Your Successful Development"
3501 104th Street
Des Moines, Iowa 50322-3825
Phone: (515)276-0467 Fax: (515)276-0217
Civil Engineering & Land Surveying
Established 1959

FREDDY'S & PANERA
GRIMES, IOWA

REFERENCE NUMBER:
DRAWN BY: DRL
CHECKED BY:
REVISION DATE: 9/27/2021 - 1ST SUBMITTAL 11/8/2021 - 2ND SUBMITTAL 11/29/21 - 3RD SUBMITTAL
PROJECT NUMBER: 210343
SHEET NUMBER: C7.1

SWPPP



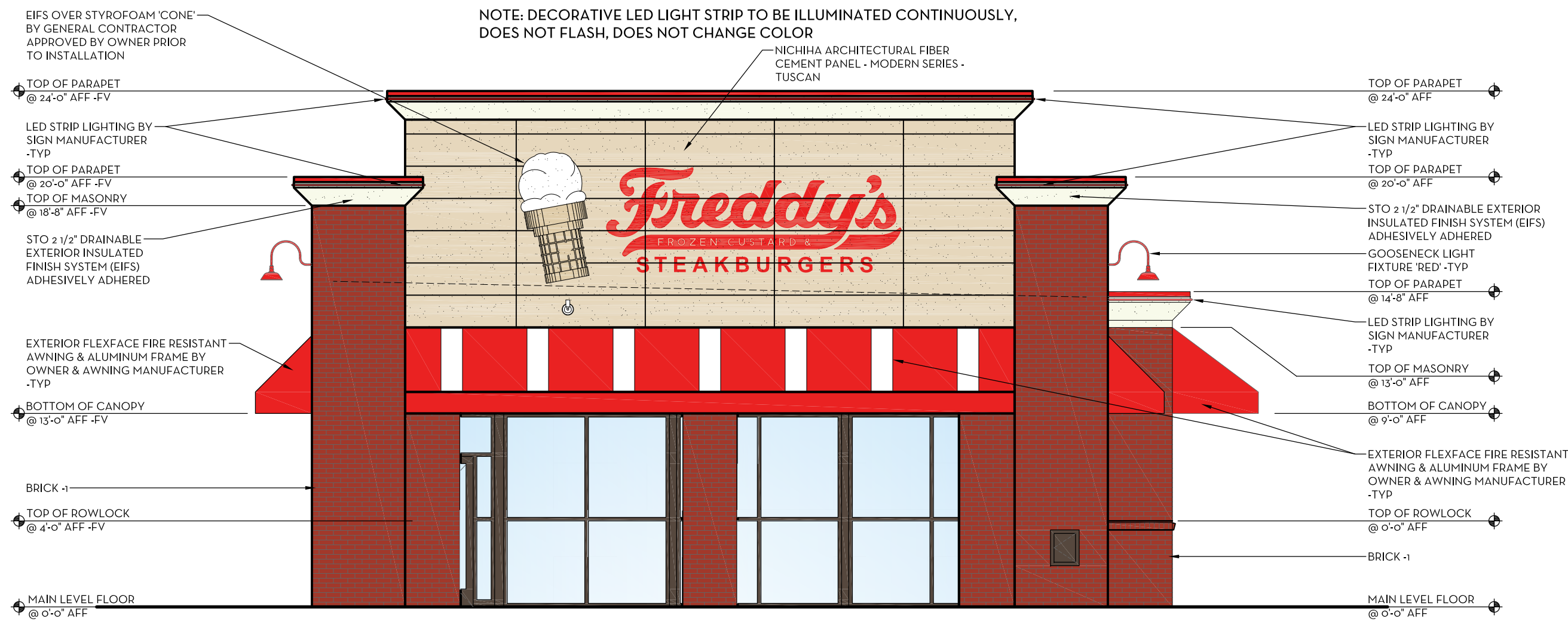
EXTERIOR FACADE CALCULATIONS

WEST FACADE WALL AREA EXCLUDING
WINDOWS AND DOORS: 1508 SF
BRICK: 978 SF (65%)
FIBER CEMENT: 408 SF (27%)
EIFS: 122 SF (8%)

WEST FACADE WINDOWS AND DOORS: 212 SF

1 EXTERIOR ELEVATION - WEST
SCALE: 3/16" = 1'-0"

- NOTE: PER 165A.24: (5) EXTERIOR FACADE TREATMENTS
1. VERTICAL ARCHITECTURAL TREATMENT A MINIMUM OF 12" IN WIDTH.
 2. COLOR, TEXTURE, OR MATERIAL CHANGE
 3. ARCHITECTURAL BANDING
 4. AWNINGS
 5. DECORATIVE PARAPET
 6. COVERED WALKWAY / PATIO

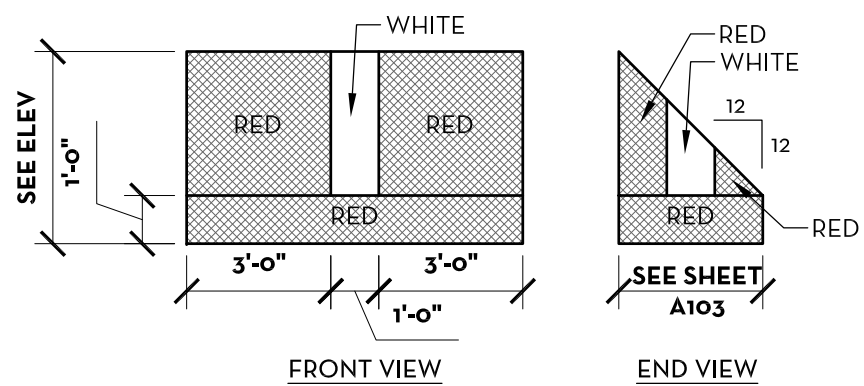


EXTERIOR FACADE CALCULATIONS

SOUTH FACADE WALL AREA EXCLUDING
WINDOWS AND DOORS: 646 SF
BRICK: 314 SF (49%)
FIBER CEMENT: 279 SF (42%)
EIFS: 60 SF (9%)

SOUTH FACADE WINDOWS AND DOORS: 255 SF

2 EXTERIOR ELEVATION - SOUTH
SCALE: 1/4" = 1'-0"



NOTE TO AWNING MANUFACTURER &
AWNING INSTALLER. AWNING FRAME TO BE
ENGINEERED FOR APPROVAL BY LOCAL
CODE & DESIGNED TO MISS ALL BUILDING
PROTRUSIONS NOT SHOWN ON PLANS

4 AWNING COLOR KEY
SCALE: 1/4" = 1'-0"

GENERAL NOTES:

1. GENERAL CONTRACTOR TO COORDINATE W/ OWNER'S SIGN VENDOR
2. ACCESS REQUIREMENTS FOR SIGNAGE TRANSFORMERS
3. SEE SHEET A600 FOR EXTERIOR FINISH SCHEDULE

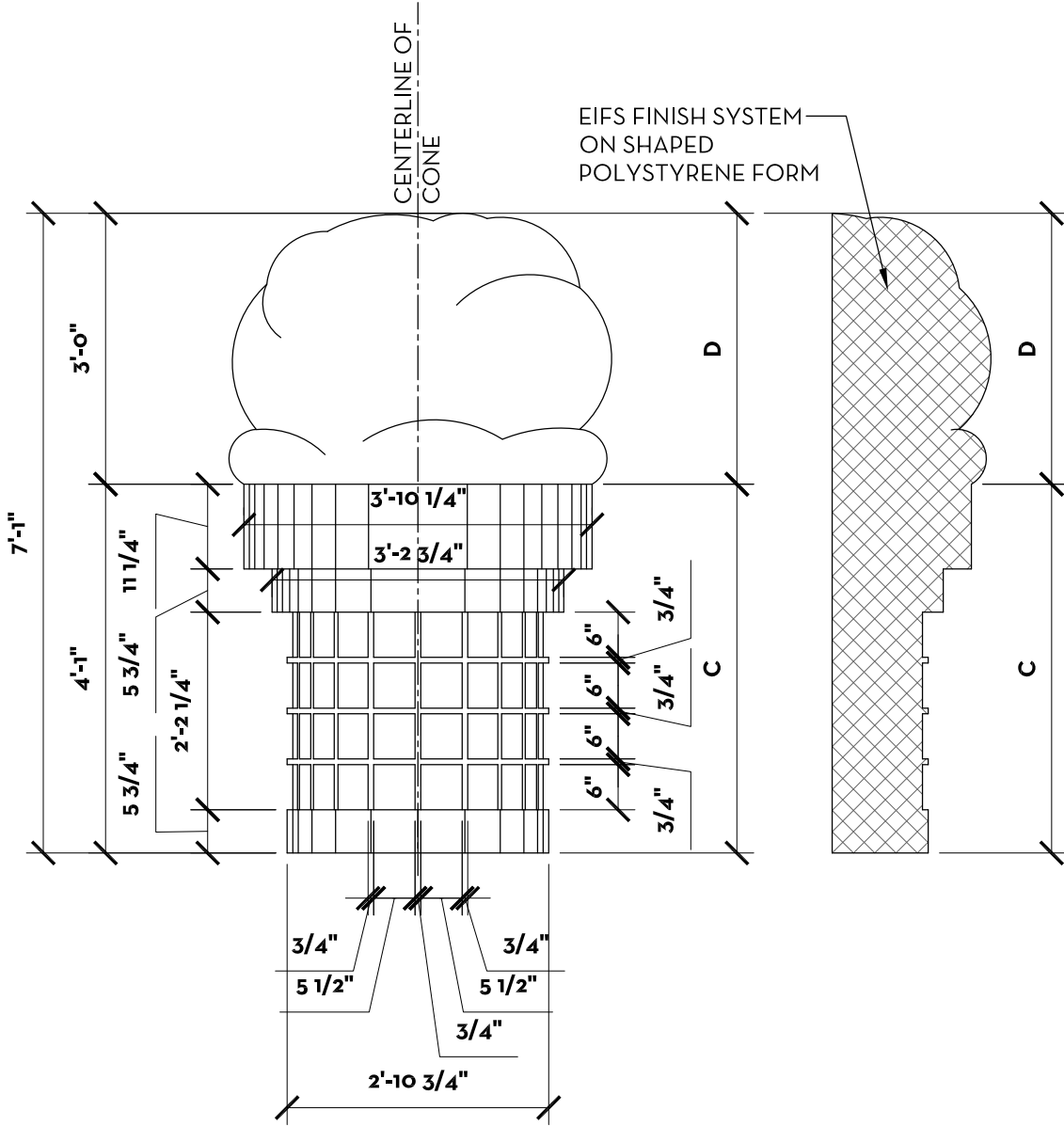
BAR IS ONE INCH ON
OFFICIAL DRAWINGS
IF NOT ONE INCH,
ADJUST SCALE ACCORDINGLY



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DRAWN BY: JAS
APPROVED: SLE
JOB DATE: DEC. 1, 2021
JOB NO: 21032

NO.	DATE	BY	REVISION/DESCRIPTION



3 "CUSTARD" ELEVATION & SECTION
SCALE: 1/2" = 1'-0"

PRELIMINARY
NOT FOR
CONSTRUCTION

FREDDY'S FROZEN CUSTARD
MYL INVESTMENTS, LLC
GRIMES, IA
ARCHITECTURAL
EXTERIOR ELEVATIONS

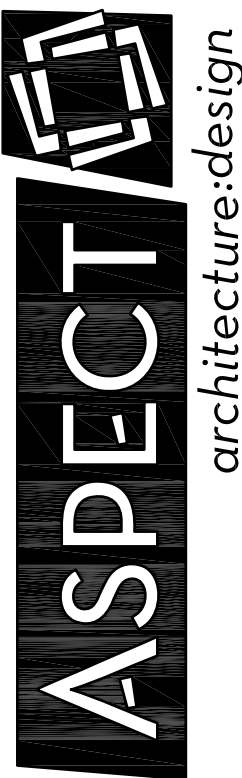
DRAWING

A201

GENERAL NOTES:

1. GENERAL CONTRACTOR TO COORDINATE W/ OWNER'S SIGN VENDOR ACCESS REQUIREMENTS FOR SIGNAGE TRANSFORMERS
2. SEE SHEET A600 FOR EXTERIOR FINISH SCHEDULE

BAR IS ONE INCH ON OFFICIAL DRAWINGS
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JOB DATE: DEC. 1, 2021
JOB NO: 21032

REVISION DESCRIPTION			
NO.	DATE	BY	

FREDDY'S FROZEN CUSTARD
MYL INVESTMENTS, LLC
GRIMES, IA
ARCHITECTURAL
EXTERIOR ELEVATIONS

DRAWING

A202

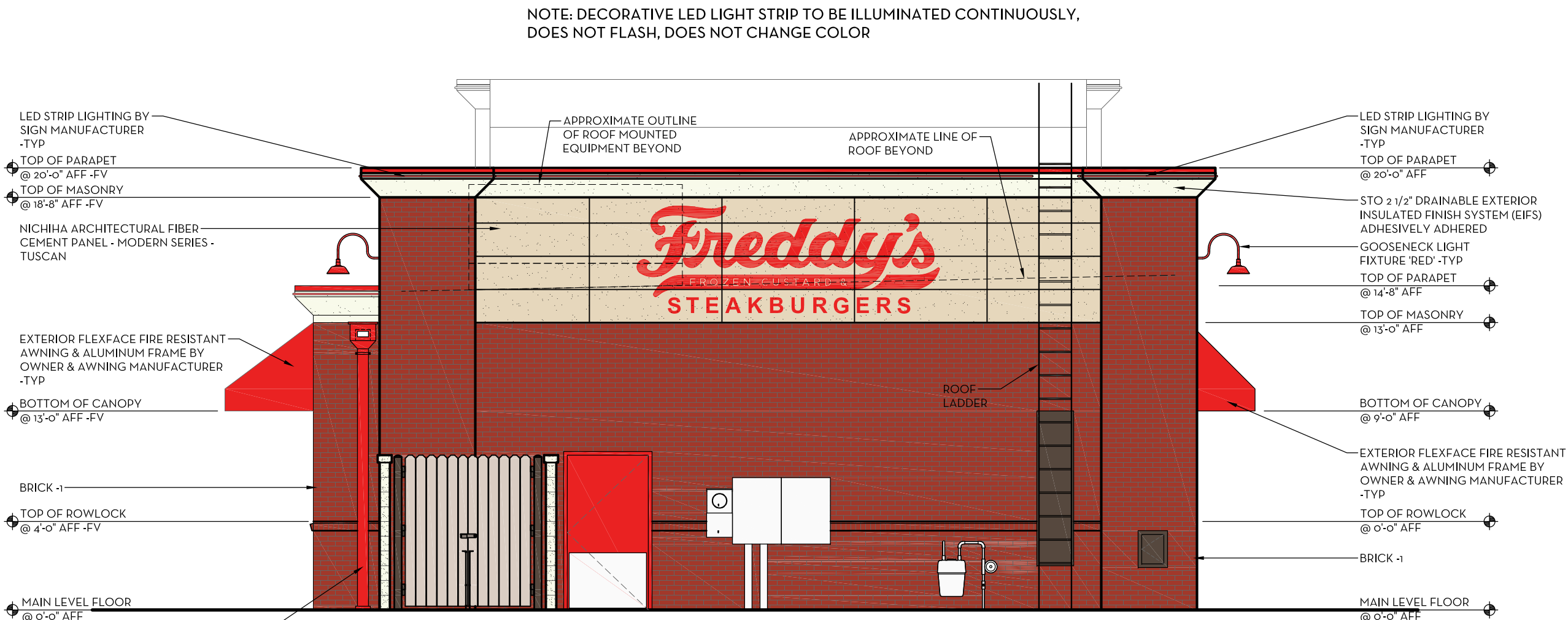
PRELIMINARY
NOT FOR
CONSTRUCTION



EXTERIOR FACADE CALCULATIONS
EAST FACADE WALL AREA EXCLUDING
WINDOWS AND DOORS: 1,657 SF
BRICK: 1,091 SF (66%)
FIBER CEMENT: 427 SF (26%)
EFS: 139 SF (8%)

EAST FACADE WINDOWS AND DOORS: 63 SF

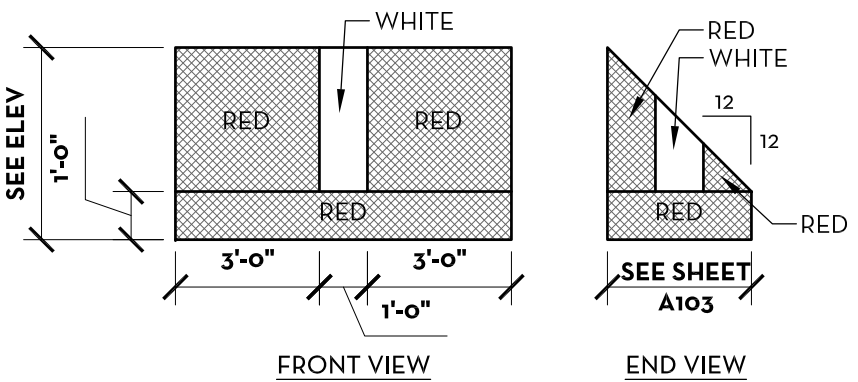
1 EXTERIOR ELEVATION - EAST
SCALE: 3/16" = 1'-0"



EXTERIOR FACADE CALCULATIONS
NORTH FACADE WALL AREA EXCLUDING
WINDOWS AND DOORS: 757 SF
BRICK: 540 SF (71%)
FIBER CEMENT: 160 SF (21%)
EFS: 57 SF (8%)

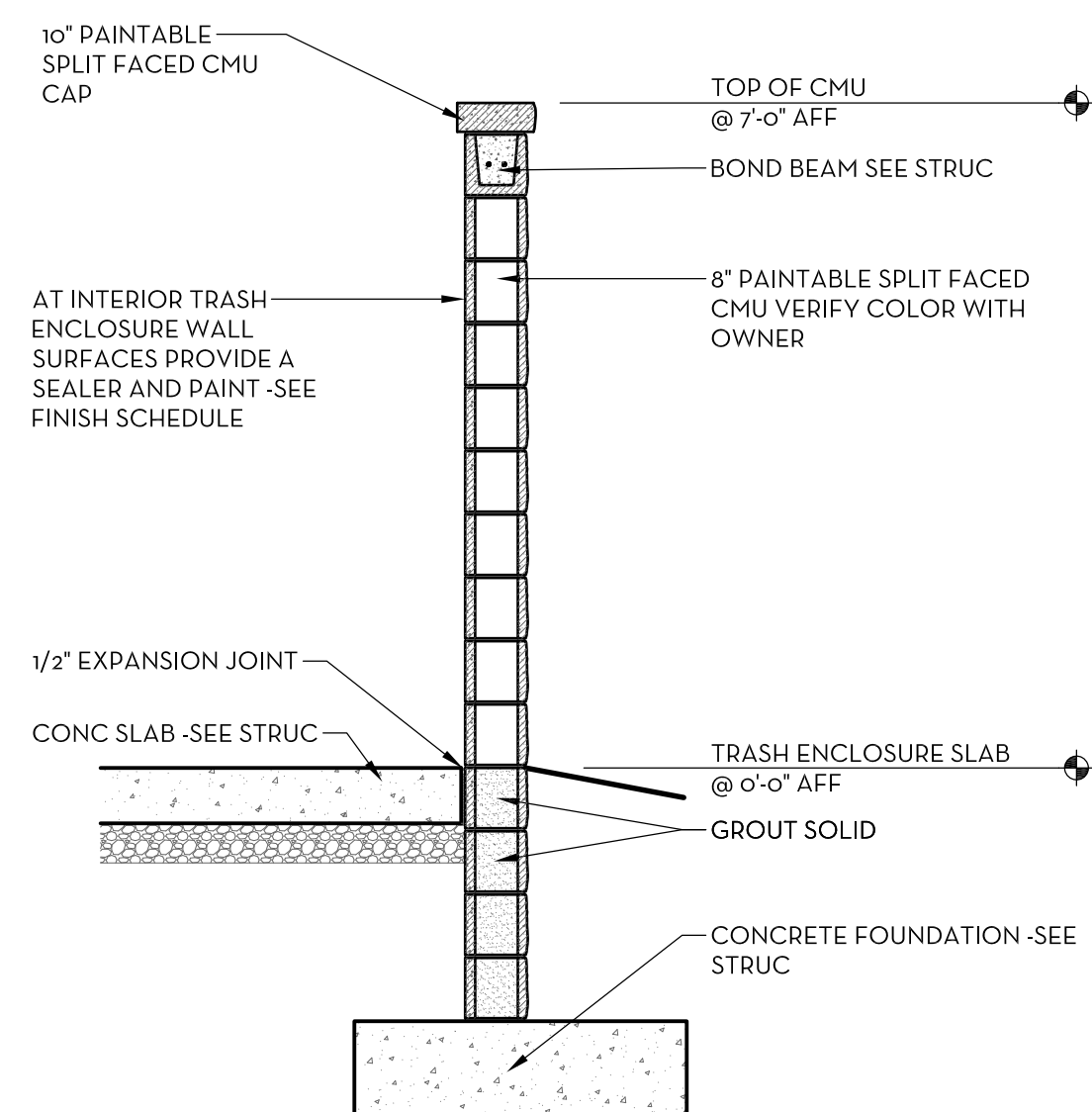
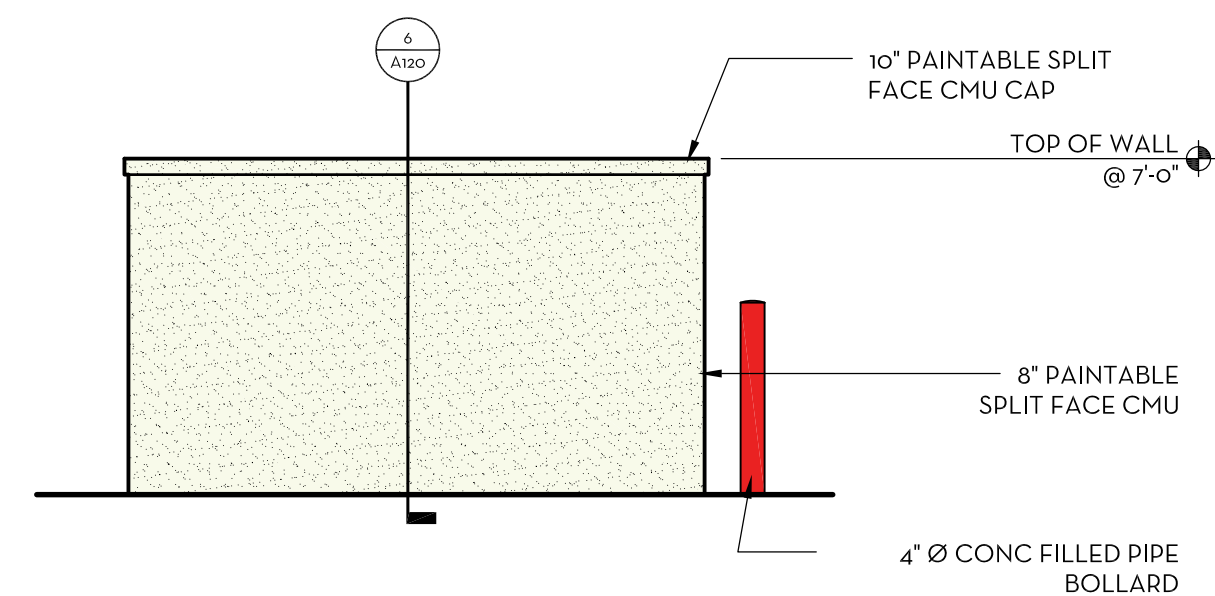
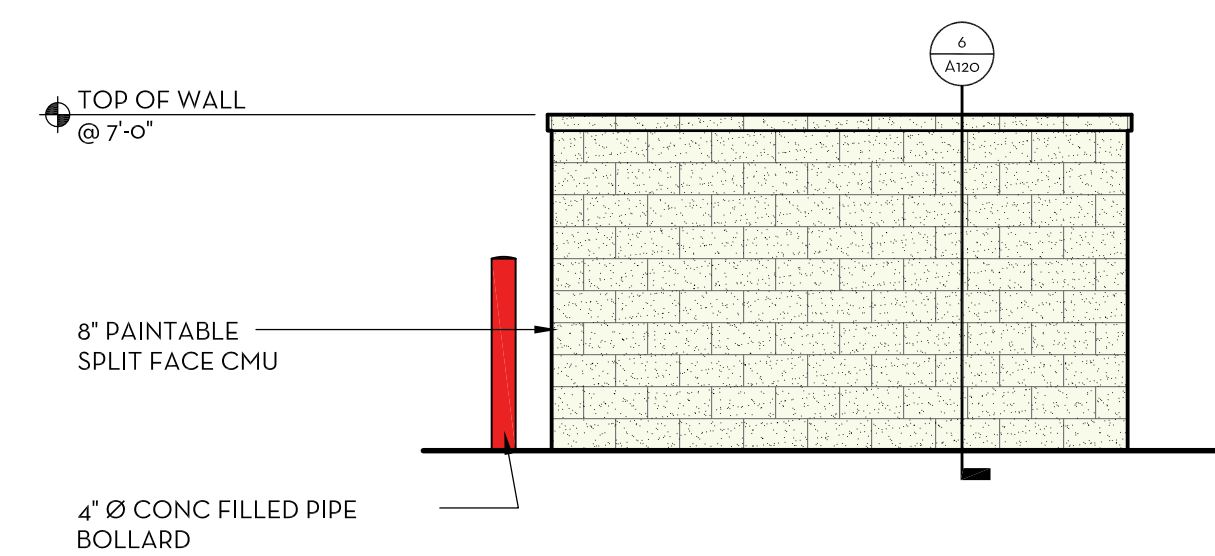
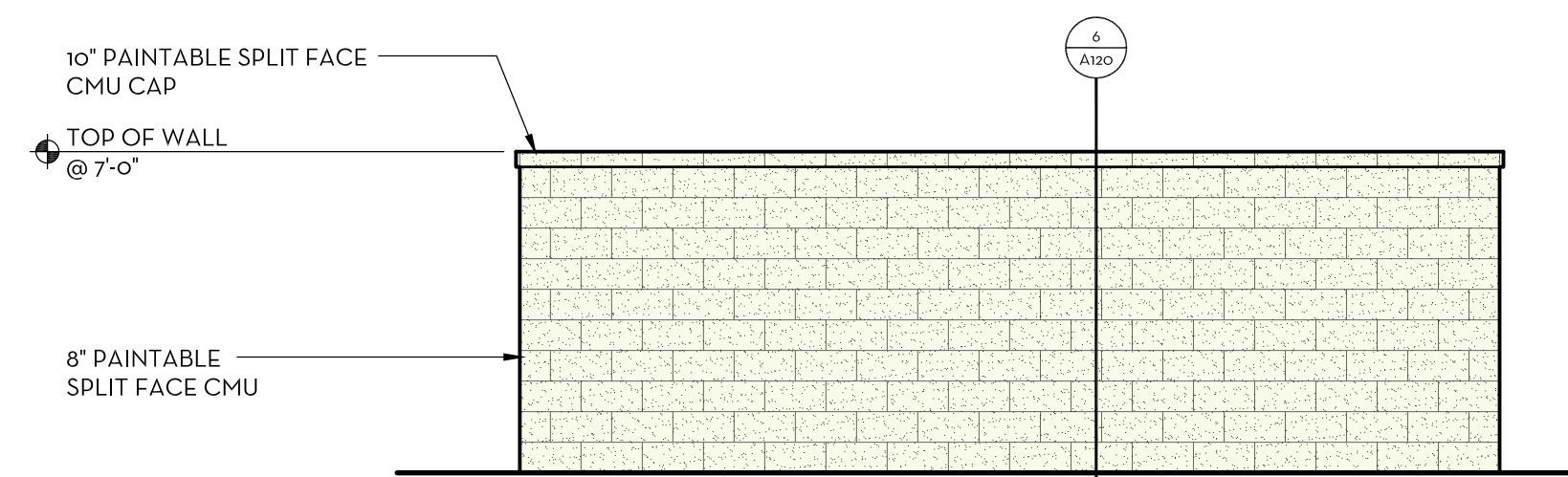
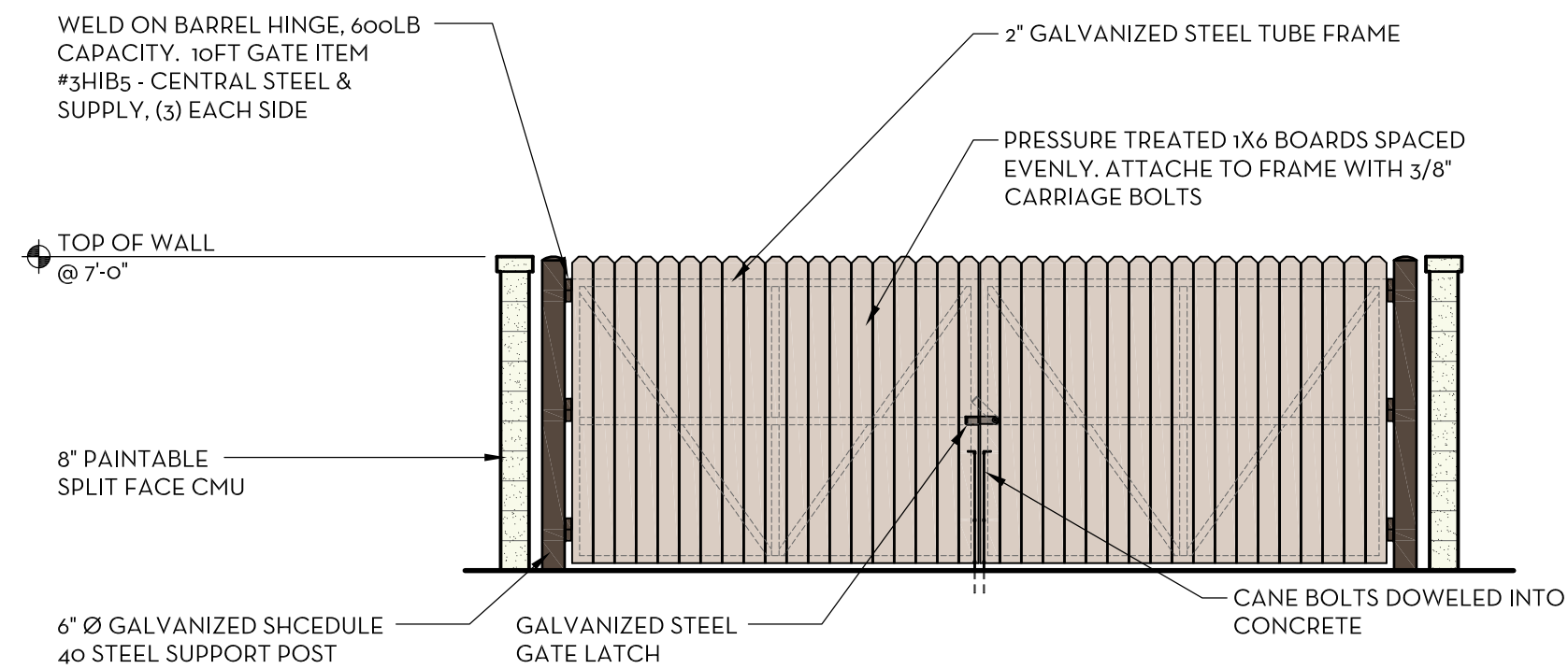
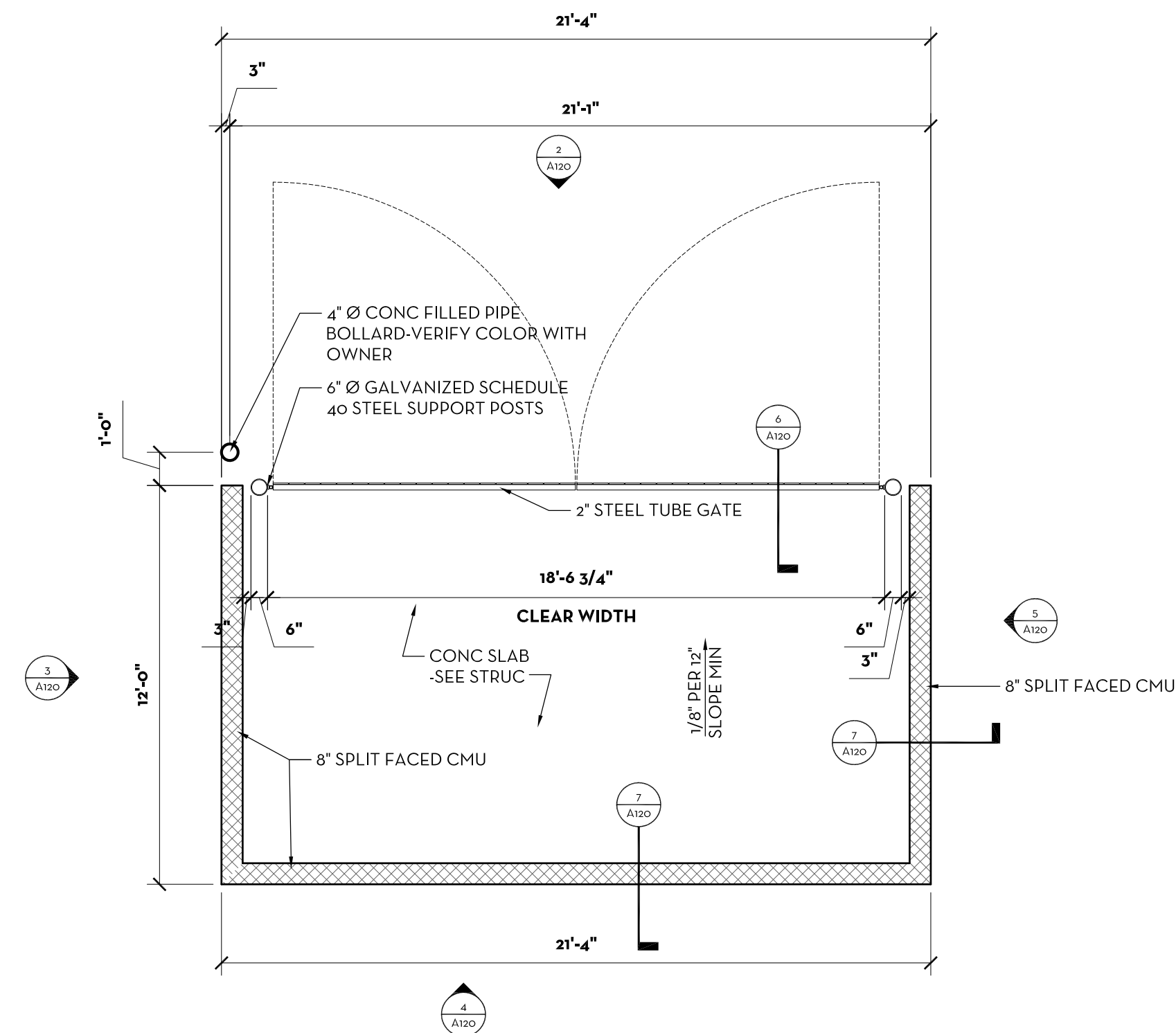
NORTH FACADE WINDOWS AND DOORS: 29 SF

2 EXTERIOR ELEVATION - NORTH
SCALE: 3/16" = 1'-0"



NOTE TO AWNING MANUFACTURER &
AWNING INSTALLER. AWNING FRAME TO BE
ENGINEERED FOR APPROVAL BY LOCAL
CODE & DESIGNED TO MISS ALL BUILDING
PROTRUSIONS NOT SHOWN ON PLANS

3 AWNING COLOR KEY
SCALE: 1/4" = 1'-0"



BAR IS ONE INCH ON
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ADJUST SCALE ACCORDINGLY

ASPECT
architecture:design

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DRAWN BY: TMD
APPROVED: SLE
JOB DATE: NOV. 04, 2021
JOB NO: 21032

[illegible]

FREDDY'S FROZEN CUSTARD
MYL INVESTMENTS, LLC
GRIMES, IA

ARCHITECTURAL
TRASH ENCLOSURE PLAN, EXTERIOR ELEVATIONS,
SECTIONS, AND DETAILS

DRAWING

A12O

PRELIMINARY
NOT FOR
CONSTRUCTION

Donald J. Rethman
Architect In Charge

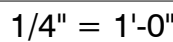
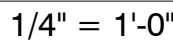
Project Title:

Consultant Copyright Placeholder

IP

GLAZING = 10%

GLAZING/DOOR = 7%

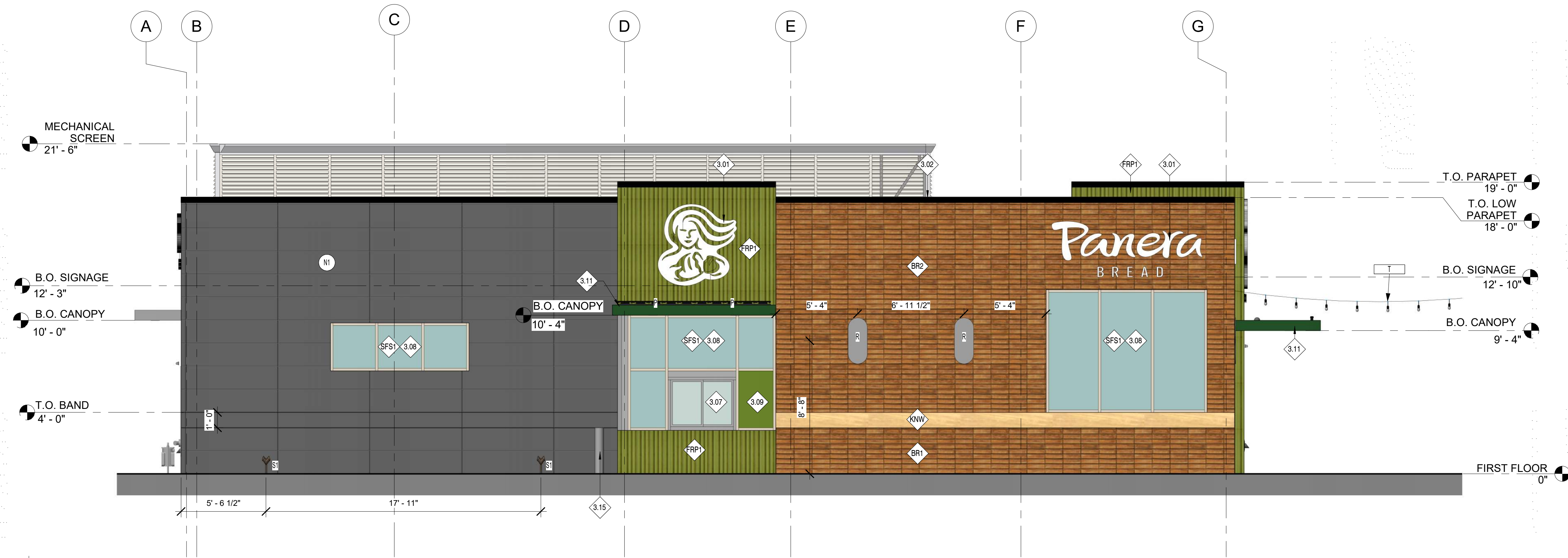


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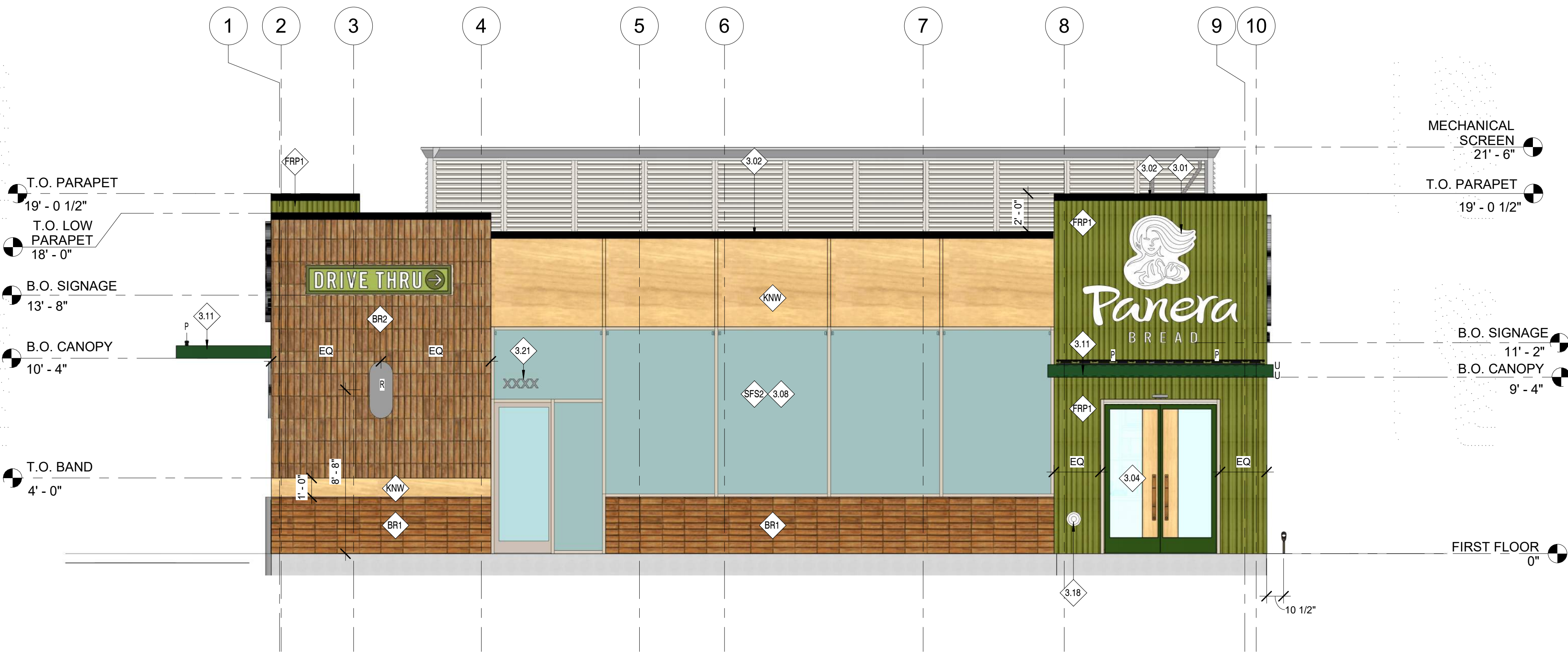
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PR020-02/1



22 LEFT DRIVE THRU EXTERIOR - WEST ELEVATION

1/4" = 1'-0"



24 STOREFRONT EXTERIOR - SOUTH ELEVATION

1/4" = 1'-0"

MATERIAL PERCENTAGES

BR1 = 8%
BR2 = 31%
FRP1 = 13%
KNW = 3%
N1 = 45%

GLAZING = 15%

GENERAL NOTES:

A. ALL GLAZING TO BE G1 UNLESS NOTED OTHERWISE. FOR STOREFRONT / WINDOW ELEVATIONS SEE SHEET A602.

KEYED NOTES

- 3.01 INTERNALLY ILLUMINATED CLIP LETTERS; PROVIDED AND INSTALLED BY SIGN VENDOR UNDER SEPARATE PERMIT. G.C. TO PROVIDE BLOCKING IN WALL FOR SIGN AND PROVIDE ACCESS PANEL ON BACKSIDE OF PARAPET FOR ACCESS AS REQUIRED. (UNDER SEPARATE SIGNAGE PERMIT).
- 3.02 PRE-FINISHED METAL COPING | FINISH:BLACK MATTE, COLOR:#RAL 9005 (49/80350)
- 3.04 MAIN ENTRANCE/EXIT | REFER TO A601 AND A602 FOR ADDITIONAL INFORMATION.
- 3.07 DRIVE-THRU WINDOW | MFR: QUIKSERV | MODEL: FM42E | COLOR TO MATCH STOREFRONT. INSTALLED BY LL.
- 3.08 ALUMINUM STOREFRONT SYSTEM WITH 1" INSULATED GLAZING. COLR:TBD. REFER TO SHEET A602 FOR FURTHER INFORMATION.
- 3.09 BREAK METAL AS REQUIRED. FINISH TO MATCH ADJACENT STOREFRONT SYSTEM.
- 3.11 PRE-MANUFACTURED ALUMINUM CANOPY. INSTALLED BY G.C. | SOLID PANEL OVER DOOR AREA(S) | 8" CHANNEL DEPTH. REFER TO WALL SECTIONS FOR ATTACHMENT METHODS. | COLOR: CUSTOM COLOR TO MATCH PMS 2307C.
- 3.15 6" DIA. CONCRETE BOLLARD | FINISH: PAINT P107 | REFER TO SHEET A014 FOR FURTHER INFORMATION
- 3.18 NICKEL BRONZE NOZZLE RWL/OVERFLOW DRAIN THRU ROOF. MIN. 12" ABOVE GRADE. SEE DETAIL 1/A141.
- 3.21 BUILDING ADDRESS SIGN | VERIFY SIZE, LOCATION, AND STYLE WITH LOCAL FIRE DEPARTMENT
- BR1 BRICK, TYPE: THIN BRICK (HORIZONTAL) FINISH:TBD, DIMS.: 3-5/8"W X 3/4"TH X 11-5/8"L.
- BR2 BRICK, TYPE: THIN BRICK (VERTICAL) FINISH:TBD, DIMS.: 3-5/8"W X 3/4"TH X 11-5/8"L.
- FRP1 FIBERGLASS REINFORCED PANEL | SMOOTH TROWEL FINISH | MFR: FORMGLAS | COLOR: TO MATCH PMS 2307 C
- KNW KNOTWOOD CLADDING| COLOR: TBD
- SFS1 CW-1, "ALUMINUM STOREFRONT | 2" x 6" PROFILE | THERMAL BREAK | COLOR: TBD | 1" CLEAR INSULATED GLAZING: PPG SOLARBAN 70XL (OR APPROVED EQUAL) | REFER TO SHEET A602 FOR ADDITIONAL INFORMATION"
- SFS2 ALUMINUM STOREFRONT | 2" x 4 1/2" PROFILE | THERMAL BREAK | COLOR: TBD | 1" CLEAR INSULATED GLAZING: PPG SOLARBAN 70XL (OR APPROVED EQUAL) | REFER TO SHEET A602 FOR ADDITIONAL INFORMATION
- N1 NICHHA TUFFBLOCK MODERN SERIES - COLOR: PEWTER 17 7/8" H X 71 9/16" L PANEL SIZE (LARGE FORMAT PANELS NOT AVAILABLE IN IA)

MATERIAL PERCENTAGES

BR1 = 18%
BR2 = 27%
FRP1 = 28%
KNW = 27%

GLAZING = 36%

Bakery-Cafe:

0000

SYSTEM: NEXT GEN

Project Team:

Design Forum Architects Inc.

2056 Byers Rd
Miami, OH 45342
Tel: (614) 804-7700

Donald J. Rethman
Architect in Charge

Professional Seal:

Project Title:

Bakery Cafe#0000
XXXXX XXXXX RD
GRIMES, IA



Consultant Copyright Placeholder

No.	Description	Date
1	Bid Set	03/26/21

EXTERIOR ELEVATIONS

Project Number:

Sheet Number:

PBC009.04

Drawn By:

CHANGEUP

Issue Date:

04/26/2021

DPM:

DM:

CPM:

DC

CH

JP

A200



Schedule		Type	Lum.	Height	Quantity	Manufacturer	Catalog Number	Description	Number	Lumens	Light Level	Footcandle	File
1	A	1	1	1	1	1	1	1	1	1	1	1	1
2	B	2	2	2	2	2	2	2	2	2	2	2	2
3	C	3	3	3	3	3	3	3	3	3	3	3	3
4	D	4	4	4	4	4	4	4	4	4	4	4	4

Statistics						
Description	Symbol	Avg	Max	Max/Min	Avg/Min	Min
Calc Zone #2	+	1.3 fc	3.9 fc	N/A	N/A	0.0 fc

