



Planning and Zoning Commission

May 4, 2021

Agenda

Meeting Held Electronically due to COVID-19

5:30 P.M.

Electronic Meeting as Provided Under Iowa Code, Chapter 21*

***Please note that this Grimes Planning and Zoning Meeting will be an electronic meeting pursuant to Iowa Code Section 21.8 due to the national health emergency that makes it impossible or impractical for an in-person meeting.**

The public is welcome and encouraged to attend and participate in this meeting by either internet or phone as follows:

1. Internet- Meeting attendance may be obtained by “Join Zoom Meeting”. Simply enter the following internet address and ID:

Join Zoom Meeting

<https://zoom.us/j/95731751610?pwd=Zy9KNTMweS92Q0Y1aHJYUENFQXpzd09>

Meeting ID: 957 3175 1610

Passcode: 1234

2. By Phone: 877 853 5257 US Toll-free.

Hearing Assistance: If you are hearing impaired, Grimes will provide a sign language communicator on the internet Zoom meeting video presentation upon request. Please contact the Grimes City Clerk Rochelle Williams by email at rwilliams@grimesiowa.gov to request this service.

For any additional assistance or questions in attending the meeting, please call 515-986-3036 from 8 a.m. to 5 p.m., or contact the Grimes City Clerk Rochelle Williams by email at rwilliams@grimesiowa.gov.

For any additional assistance or questions in attending the meeting, please call 515-986-3036 from 8 a.m. to 5 p.m. Monday-Friday.

Meetings will be recorded

AGENDA

A GENERAL AGENDA ITEMS

1. Call to Order
2. Roll Call: Amy Montford, Craig Patterson, Scott Almeida, Danielle Smid, Courtney Strutt Todd
Council Liaison Andrew Borcharding
3. Approval of the Agenda
4. Approval of Previous Minutes

B. PUBLIC AGENDA ITEMS

1. Project # 21-1012: Arby's - Site Plan
2. Project # 21-1013 Destination Market Plat 5 - Final Plat
3. Hy-Vee Fast & Fresh Gas Canopy

D. REPORTS

1. Department Update
2. Council Liaison Update
3. Old Business
4. New Business

E. ADJOURNMENT



101 NE Harvey Street, Grimes, Iowa 50111 | P: 515.986.3036

This meeting of the Grimes Planning and Zoning Commission was called to order Tuesday, April 6, 2021 at 5:30 P.M. and was held electronically due to the global health pandemic.

Roll Call: Present: Scott Almeida, Craig Patterson, Courtney Strutt-Todd, Amy Montford, Council Liaison: Andrew Borcharding

Staff: Alex Pfaltzgraff, Evann Martin, Rachel Greving

Absent: Danielle Smid

A. GENERAL AGENDA ITEMS

1. APPROVAL OF THE AGENDA

Motion by Strutt-Todd, Second by Montford, to approve the agenda

Roll Call: Ayes-All; Nays-0 Motion passes: 4-0

2. APPROVAL OF THE MINUTES

Motion by Patterson, Second by Montford, to approve the minutes from the March 2, 2021 meeting

Roll call: Ayes-All: Nays-0 Motion passes: 4-0

B. PUBLIC AGENDA ITEMS

Project #: 21-1008: Princeton Subdivision Plat 1 Lot 7 – Site Plan Amendment

Staff member Martin presents the details of the project.

The commission asked about the building materials for the new building compared to the building on the lot next to it. The building materials are of higher quality but still match in terms of color.

Motion by Montford, Second by Patterson to approve Princeton Subdivision Plat 1 Lot 7 – Site Plan Amendment

Roll Call: Aye-All Nay-0 **Motion Passes 4-0**

C. PUBLIC FORUM – None

D. REPORTS

1. Department Update – Staff provided an update on development and capital projects around the City as well as a CIP update.

2. Council Liaison Update – N/A

3. **Old Business – N/A**
4. **New Business – N/A**
5. Next meeting May 4, 2021

Meeting is adjourned at 6:04 p.m.

Signature

Planning & Zoning Staff Report



TO: Planning and Zoning Commission
FROM: Evann Martin, Assistant Planner
DATE: May 4, 2021
RE: Arby's - Site Plan

GENERAL INFORMATION:

Applicant:

DRM, Inc.

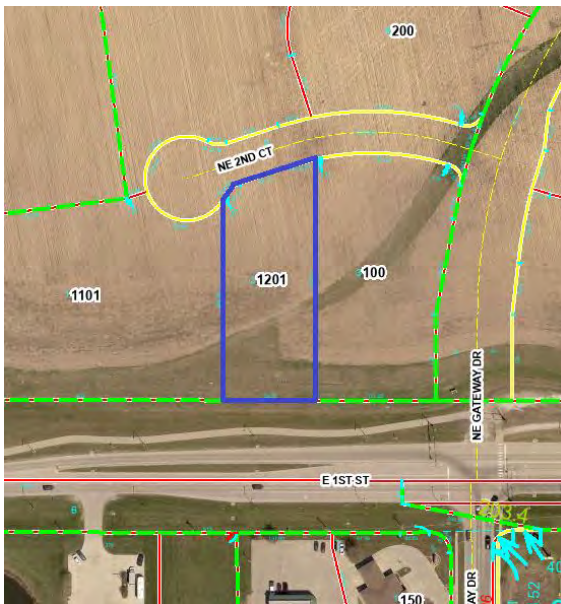
Requested Action

Site Plan

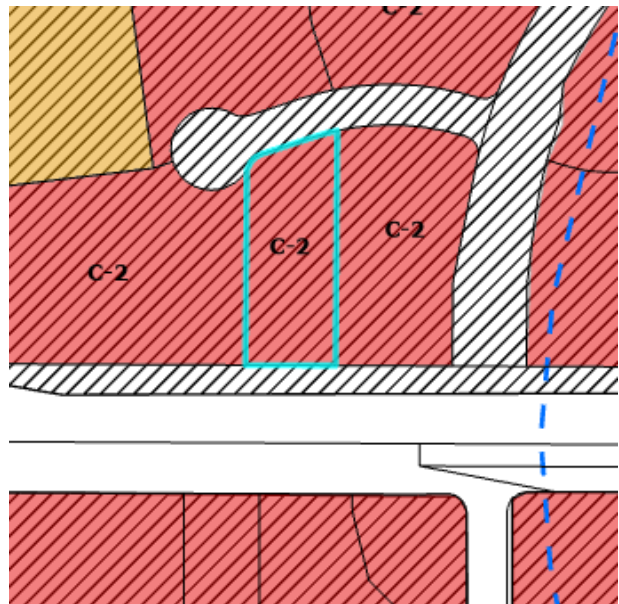
Location

1201 E 1st Street

SUPPORTING INFORMATION:



Location Map



Zoning Map

LAND USES & ZONING:

Location	Existing Land Use	Land Use Plan Designation	Current Zoning
Subject Site	Vacant	Mixed Use 1	C-2
North	Vacant	Mixed Use 1	C-2
South	Commercial/Retail	General Commercial	C-2
East	Vacant	Mixed Use 1	C-2
West	Commercial/Retail	Mixed Use 1	C-2

BACKGROUND:

The applicant is requesting approval of the site plan for a 2,570 square foot Arby's located at 1201 E. 1st Street. The property is located within the C-2 zoning district and is within the Transportation Corridor Mixed Use Development Overlay District.

ANALYSIS:*Building/Elevations:*

The façade is proposed to be principally constructed of brick with red, metal accent band. The south façade provides the required glazing across 40% of the façade length eye level. A cooler/freezer is proposed to be located on the north side of the building which will be screened with brick to match the building. The dumpster enclosure will be constructed of split face block. Staff has advised that the gates be switched to an opaque metal-framed gate as is required for dumpster enclosures.

Site Layout:

The site will be accessed from a shared driveway off of NE 2nd Court. Pedestrian connectivity is provided along E 1st Street and NE 2nd Court. A sidewalk connection is proposed from the building to NE 2nd Court. Outdoor patio seating is proposed on the south side of the building. The drive-thru lane will wrap around the building on the west, south, and east sides. Two order boards are proposed.

Pole mounted light fixtures will be installed within the parking lot. Wall pack lighting will be provided on the building facades.

Parking:

The site provides more than the required number of parking spaces for the site but does not provide more than 25% above the minimum. Parking has been provided for the building and outdoor patio seating with 33 total spaces provided. The drive-thru has provided more than the 5 required queuing spaces.

Landscaping/Streetscape:

The site meets the minimum required number of plantings for the Transportation Corridor Overlay. Landscaping is provided along E. 1st Street and NE 2nd Court, between the west

property line, along the building foundation, and around the transformer to shield it from the right-of-way.

Utilities:

The sanitary sewer will connect to the existing 6" sanitary sewer service on the north side of the site and will run south to the building. A grease interceptor will be installed onsite to accommodate the food service use.

Water will connect to the existing 6" water service on the north side of the lot and will be constructed south to the building. The building is proposed to be fitted with a fire suppression system and therefore the appropriate FDC and hydrant locations have been provided.

Detention is handled within the regional detention basin located to the northwest of the site. Storm sewer onsite will run south to the existing storm sewer that leads to the regional detention basin.

STAFF RECOMMENDATION:

Staff would recommend approval of the site plan for Arby's subject to any remaining staff comments.

CITY OF GRIMES

Evann Martin
Assistant Planner



Development Services

410 SE Main St, Suite 102

Grimes, IA 50111

(515)986-4050

www.grimesiowa.gov

~~March 31, 2021~~

~~April 16, 2021~~

April 30, 2021

Civil Design Advantage

Attn: Doug Mandernach

3405 SE Crossroads Drive, Suite G

Grimes, IA 50111

RE: Arby's Site Plan

Dear Mr. Mandernach:

The Development Services Department is in receipt of a proposed Site Plan for the Arby's. Based on the review of the provided submittal materials, staff have the following comments:

General Comments:

- ~~1. The site plan fees were short \$500. (\$2150, \$1000, \$250 = \$3400)~~
- ~~2. Please add building height requirement to Development Summary.~~

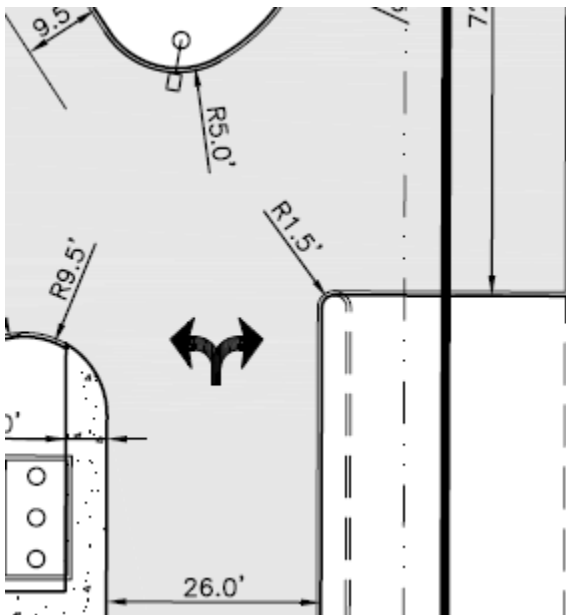
Sheet 2:

- ~~1. On the north side of the lot, it appears the utility callouts are labeled incorrectly. Please revise.~~

Sheet 3:

- ~~1. Update City notes. Attached are the latest notes from 3-12-21.~~
2. Label parking setbacks. 10' required from ROW and 5' from side property lines.
Revise north parking setback to 10'. 10' is now the base requirement so the label should be revised.
- ~~3. Drive thru lane needs to be 12' wide.~~
- ~~4. Angled parking depth is not measured correctly. Please revise. See diagram below.~~

- ~~5. Single drive lanes to be 16' wide.~~
- ~~6. Provide sidewalk connection from NE 2nd Ct to the building. Add domes to north ramp.~~
- ~~7. Provide a two-way through drive along the south of the site to connect to Lot 1 and 3. Two-way drives must be at least 24' wide.~~
- ~~8. 90-degree parking along the south would better accommodate the two-way traffic~~
- ~~9. Provide truck turning movements.~~
- ~~10. Label stop sign locations.~~
- ~~11. Please provide rolled curb where the striped islands are shown on the plans.~~
- ~~12. Under General Note 5, change construction division to Engineering Dept.~~
- ~~13. Under Pavement Thickness add ROW to be 8" PCC.~~
- ~~14. Please revise radius to 10' on island along the drive-thru lane.~~



Sheet 5:

- ~~1. Please provide the seeding, fertilizing, and mulching quantities~~

Sheet 6:

- ~~1. Label FDC location. Must be within 100' of a hydrant and unobstructed by landscaping, parking, etc.~~
- ~~2. Provide a Knox Box per Section 506.1 and label location.~~
- ~~3. Label length of watermain.~~
- ~~4. Call out curb stop and valve on ends of service stubs.~~
- ~~5. Is there a reason the watermain is not connecting at the end of stub at hydrant removal?~~
- ~~6. Note that storm structure ST-1 will be poured in place.~~
- ~~7. Provide sidewalk isolation joints through driveway by use of expansion joints.~~

Sheet 8:

1. The dumpster gates cannot be chain link with slats. It must be a framed opaque gate. Please revise the gate material.

Sheet 9:

- ~~1. Meets transportation overlay requirements but provide calculations based on Hwy 141. Please revise calculations to reflect Transportation Overlay. Remove tree and shrub per sf requirement. Add west landscape strip calculation (1 tree per 40' required).~~
- ~~2. Revise open space calculation to 10%.~~
- ~~3. Please revise note 4 to sod all disturbed areas~~

Photometric:

- ~~1. Provide lighting cut sheets for pole lights. Provide pole height. How tall are the poles?~~

Elevations:

- ~~1. The cooler/freezer cannot be on the outside of the building. Please continue brick in this area. Please provide masonry screening for the cooler/freezer.~~

- ~~2. Please clarify the rear and side views of the cooler and screen. It appears there are two different heights shown on the rear and side elevation. Screening will need to be at least as tall as the cooler/freezer.~~
- ~~3. Provide glazing calculation for the south elevation. 40% of the wall length is required to be glazed.~~
- ~~4. Any roof mechanical units that can't be screened by the parapet must be screened individually.~~
- ~~5. Provide wall lighting cut sheets.~~

SWPPP

- ~~1. Should Owner/Developer be changed to Strifex LLC?~~
- ~~2. Provide signed SWPPP.~~

Stormwater Management Plan (SWMP)

- ~~1. Please provide final, signed copy.~~

Please provide a letter addressing all comments on this comment letter and/or state what was modified on the site plan to address said comments.

SITE PLAN SUBMITTAL SCHEDULE:

SUBMITTAL DATE:	April 21, 2021 (1 PDF of Site plan with Elevation Plan included)
PLANNING & ZONING:	May 4, 2021 at 5:30 at the Grimes City Hall
COUNCIL MEETING:	May 25, 2021 at 5:30 at the Grimes City Hall

Please feel free to contact me at emartin@grimesiowa.gov or at (515) 986-4050 if you have any questions or need additional information.

Sincerely,

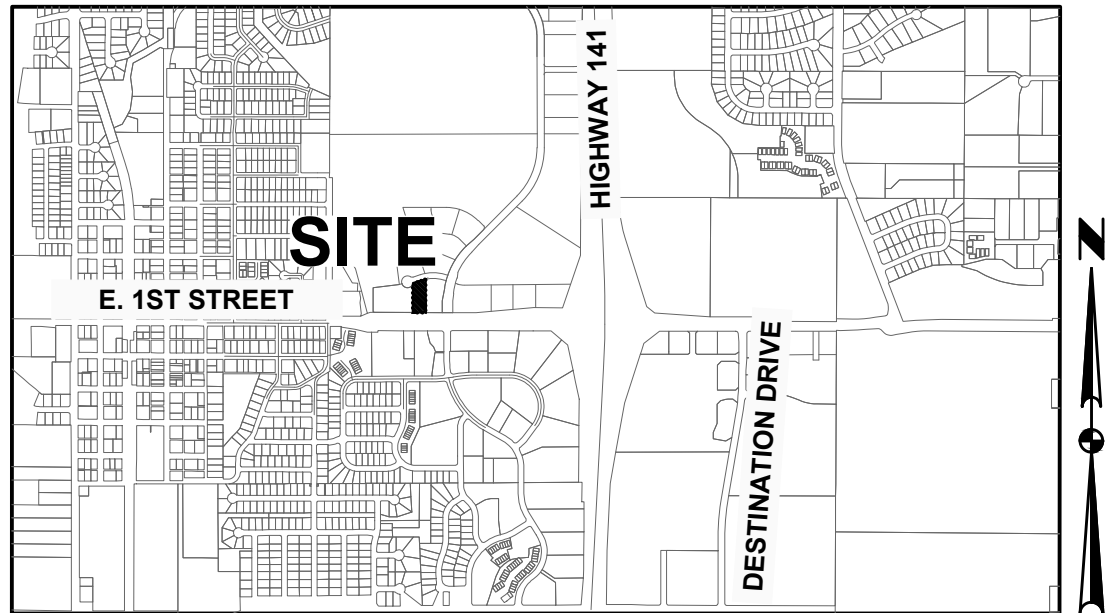
Evann Martin
Assistant Planner

SITE PLAN FOR:
ARBY'S

GRIMES, IOWA

VICINITY MAP

NOT TO SCALE



GRIMES, IOWA

OWNER

STRIFEX LLC
5324 N. 134TH AVENUE
OMAHA, NE 68164
CONTACT: NICK MURRAY
EMAIL: NMURRAY@DRMARBYS.COM
PH: 402-938-5144

APPLICANT

DRM INC.
5324 N. 134TH AVENUE
OMAHA, NE 68164
CONTACT: NICK MURRAY
EMAIL: NMURRAY@DRMARBYS.COM
PH: 402-938-5144

ENGINEER

CIVIL DESIGN ADVANTAGE
3405 SE CROSSROADS DRIVE, SUITE G
GRIMES, IOWA 50111
CONTACT: JOSH TRYGSTAD
EMAIL: JOSH1@CDA-ENG.COM
PH. (515) 369-4400
FX. (515) 369-4410

ARCHITECT

R E D ARCHITECTURE + PLANNING
589 W NATIONWIDE BOULEVARD, SUITE B
COLUMBUS, OHIO 43215
CONTACT: MARK THOMSON
EMAIL: MTHOMSON@REDARCHITECTS.COM
PH. (614) 487-8770
FX. (614) 487-8777

BENCHMARKS

BURY BOLT ON HYDRANT @ SE CORNER OF HWY
44 & SE GATEWAY DRIVE
ELEVATION=940.44

CITY BENCHMARK G6J-012
CAP BOLT ON HYDRANT @ SW CORNER 5TH ST &
NORTH LITTLE BEAVER DR.
ELEVATION=926.02

CITY BENCHMARK G6N-004
CAP BOLT ON FIRE HYDRANT AT THE SOUTHWEST
CORNER OF NORTH 4TH STREET AND NORTH
LITTLE BEAVER DRIVE
ELEVATION=927.36

DEVELOPMENT SUMMARY

LOT 2

AREA: 1.00 ACRES (43,588 SF)

ZONING: C-2 GENERAL AND HIGHWAY SERVICE COMMERCIAL DISTRICT

*PROPERTY IS WITHIN TRANSPORTATION CORRIDOR MIXED USE DEVELOPMENT OVERLAY DISTRICT

SETBACKS:

FRONT: 25'
SIDE: NONE
REAR: 25'

PROPOSED BUILDING USES: RESTAURANT / RETAIL

BUILDING HEIGHT: 20'-5 1/4"

OPEN SPACE CALCULATION:

TOTAL SITE: = 43,588 SF (1.00 AC.)
BUILDING: - 2,570 SF
PARKING AREAS: - 7,453 SF
DRIVEWAYS: - 18,053 SF
SIDEWALK: - 1,037 SF
PATIO: - 520 SF
OPEN SPACE PROVIDED = 13,925 SF (31.95%)

OPEN SPACE REQUIRED = 4,359 SF (10%)

IMPERVIOUS AREA: = 29,663 SF (68.05%)

PARKING CALCULATION:

REQUIRED:
RESTAURANT (10/1000 SF GFA)

REQUIRED: 26 SPACES
PROVIDED: 33 SPACES*

*INCLUDES 2 ACCESSIBLE PARKING SPACES

FLOOD ZONE CLASSIFICATION

SUBJECT PROPERTY IS LOCATED IN UNSHADED ZONE 'X' (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AS SHOWN ON THE FLOOD INSURANCE RATE MAPS FOR THE CITY OF GRIMES, POLK COUNTY, IOWA, COMMUNITY PANEL NUMBER 19153C0160F WITH A REVISION DATE OF 02/01/2019.

CONSTRUCTION SCHEDULE

ANTICIPATED START DATE = SPRING 2021
ANTICIPATED FINISH DATE = FALL 2021

SUBMITTAL DATES

FIRST SUBMITTAL: 03/17/2021
SECOND SUBMITTAL: 04/06/2021

INDEX OF SHEETS

NO.	DESCRIPTION
1	COVER SHEET
2	TOPOGRAPHIC SURVEY AND DEMOLITION PLAN
3	DIMENSION PLAN
4	GRADING PLAN
5	EROSION AND SEDIMENT CONTROL PLAN
6	UTILITY PLAN
7-8	DETAILS
9	LANDSCAPE PLAN

LEGAL DESCRIPTION

LOT 2, HOPE COMMERCIAL PLAT 2, AN OFFICIAL PLAT IN THE CITY OF GRIMES, POLK COUNTY, IOWA.

PROJECT SITE ADDRESS

LOT 2: 1201 E 1ST STREET, IA 50111

BULK REGULATIONS

MIN. FRONT YARD SETBACK = 25'
MIN. SIDE YARD SETBACK = NONE REQUIRED, EXCEPT WHEN ADJOINING ANY "R" DISTRICT OR STREET RIGHT-OF-WAY LINE, IN WHICH CASE -25 FEET
MIN. REAR YARD SETBACK = 25'; HOWEVER, FOR EVERY FOOT THE FRONT YARD IS INCREASED OVER 25', THE REAR YARD MAY BE DECREASED IN DIRECT PROPORTION THERETO, BUT IN NO CASE SHALL THE REAR YARD BE LESS THAN 10'
HEIGHT = 45'

UTILITY WARNING

ANY UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY AND RECORDS OBTAINED BY THIS SURVEYOR. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL THE UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION SHOWN.

GENERAL LEGEND

PROPOSED	EXISTING
PROPERTY BOUNDARY	SANITARY MANHOLE
SECTION LINE	WATER VALVE BOX
CENTER LINE	FIRE HYDRANT
RIGHT OF WAY	WATER CURB STOP
BUILDING SETBACK	WELL
PERMANENT EASEMENT	STORM SEWER MANHOLE
TEMPORARY EASEMENT	STORM SEWER SINGLE INTAKE
TYPE SW-501 STORM INTAKE	STORM SEWER DOUBLE INTAKE
TYPE SW-502 STORM INTAKE	FLARED END SECTION
TYPE SW-503 STORM INTAKE	DECIDUOUS TREE
TYPE SW-505 STORM INTAKE	CONIFEROUS TREE
TYPE SW-506 STORM INTAKE	DECIDUOUS SHRUB
TYPE SW-512 STORM INTAKE	CONIFEROUS SHRUB
TYPE SW-513 STORM INTAKE	ELECTRIC POWER POLE
TYPE SW-401 STORM MANHOLE	GUY ANCHOR
TYPE SW-402 STORM MANHOLE	STREET LIGHT
FLARED END SECTION	POWER POLE W/ TRANSFORMER
TYPE SW-301 SANITARY MANHOLE	UTILITY POLE W/ LIGHT
STORM/SANITARY CLEANOUT	ELECTRIC BOX
WATER VALVE	ELECTRIC TRANSFORMER
FIRE HYDRANT ASSEMBLY	ELECTRIC MANHOLE OR VAULT
SIGN	TRAFFIC SIGN
DETECTABLE WARNING PANEL	TELEPHONE JUNCTION BOX
WATER CURB STOP	TELEPHONE MANHOLE/VAULT
SANITARY SEWER	TELEPHONE POLE
SANITARY SERVICE	GAS VALVE BOX
STORM SEWER	CABLE TV JUNCTION BOX
STORM SERVICE	CABLE TV MANHOLE/VAULT
WATERMAIN WITH SIZE	MAIL BOX
WATER SERVICE	BENCHMARK
SAWCUT (FULL DEPTH)	SOIL BORING
SILT FENCE	UNDERGROUND TV CABLE
USE AS CONSTRUCTED	GAS MAIN
MINIMUM PROTECTION ELEVATION	FIBER OPTIC
	UNDERGROUND TELEPHONE
	OVERHEAD ELECTRIC
	UNDERGROUND ELECTRIC
	FIELD TILE
	SANITARY SEWER W/ SIZE
	STORM SEWER W/ SIZE
	WATER MAIN W/ SIZE

THE PROJECT REQUIRES AN IOWA NPDES PERMIT #2 AND CITY OF GRIMES GRADING PERMIT. CIVIL DESIGN ADVANTAGE WILL PROVIDE THE PERMITS AND THE INITIAL STORM WATER POLLUTION PREVENTION PLAN (SWPPP) FOR THE CONTRACTORS USE DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR UPDATING THE SWPPP THROUGHOUT CONSTRUCTION AND MEETING LOCAL, STATE AND FEDERAL REQUIREMENTS.

ALL CONSTRUCTION MATERIALS, DUMPSTERS, DETACHED TRAILERS OR SIMILAR ITEMS ARE PROHIBITED ON PUBLIC STREETS OR WITHIN THE PUBLIC R.O.W.

THE 2020 EDITION OF THE SUDAS STANDARD SPECIFICATIONS, THE PUBLIC RIGHTS-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG) AND ALL CITY SUPPLEMENTALS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.

I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

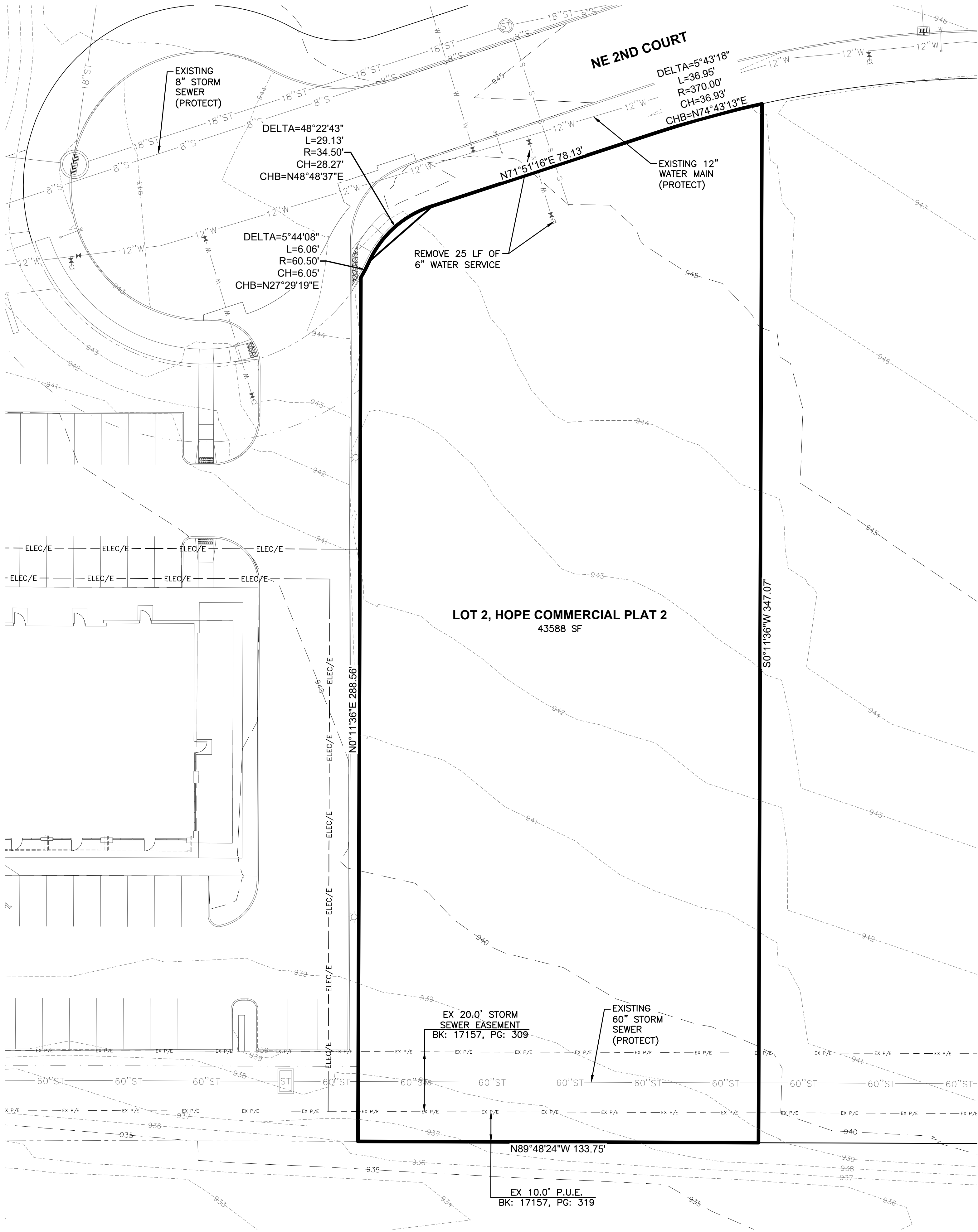
JOSHUA A. TRYGSTAD P.E.
LICENSE NUMBER 19228
MY LICENSE RENEWAL DATE IS DECEMBER 31, 2020
PAGES OR SHEETS COVERED BY THIS SEAL:
SHEETS 1-8

CIVIL DESIGN ADVANTAGE

3405 SE CROSSROADS DR. SUITE G, GRIMES, IOWA 50111
PH: (515) 369-4400 Fax: (515) 369-4410
PROJECT NO. 2101.022

1-800-292-8989
www.iowaonecall.com

Have signs below. Call before you dig.



TOPOGRAPHIC SURVEY NOTES

- EXISTING TOPOGRAPHIC SURVEY INFORMATION FOR THE SITE WAS TAKEN FROM PREVIOUSLY PREPARED TOPOGRAPHIC SURVEY AND DESIGN INFORMATION FROM CONSTRUCTION PLANS FOR HOPE COMMERCIAL PLAT 1 AND HOPE COMMERCIAL PLAT 2. SOME IMPROVEMENTS MAY NOT BE INSTALLED, CONTRACTOR SHALL COORDINATE ALL SITE IMPROVEMENTS WITH ADJACENT CONSTRUCTION ACTIVITIES.

DEMOLITION NOTES

- PRIOR TO ANY WORK AT THE SITE, CONTRACTOR SHALL EXAMINE ANY APPLICABLE DRAWINGS AVAILABLE FROM THE OWNER OR ENGINEER AND CONSULT WITH OWNER'S PERSONNEL AND UTILITY COMPANY REPRESENTATIVES. NO COMPENSATION WILL BE ALLOWED FOR DAMAGE FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.
- PRIOR TO DEMOLITION, CONTRACTOR SHALL NOTIFY IN WRITING (48 HRS NOTICE) THE FOLLOWING:
 - CITY
 - APPROPRIATE UTILITY COMPANIES
 - OWNER
 - CIVIL DESIGN ADVANTAGE
 - ARCHITECT
- DO NOT DISTURB EXISTING UTILITIES UNLESS OTHERWISE NOTED. COORDINATE REMOVAL OR ABANDONMENT OF ALL UTILITIES WITH THE APPROPRIATE UTILITY SUPPLIER AND REGULATORY AGENCIES.
- PROTECT EXISTING UTILITIES THAT ARE TO REMAIN. THE LOCATIONS OF ALL UTILITIES INDICATED ON THE PLANS ARE TAKEN FROM EXISTING RECORDS. THE EXACT LOCATION AND ELEVATION OF ALL UTILITIES MUST BE DETERMINED BY THE CONTRACTOR. IT SHALL BE THE DUTY OF THE CONTRACTOR TO ASCERTAIN WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLAN MAY BE PRESENT.
- BACKFILL ALL EXCAVATIONS WITH COHESIVE MATERIAL COMPACTED TO 95% MAXIMUM STANDARD PROCTOR DENSITY AND MOISTURE RANGE OF OPTIMUM MOISTURE TO 4% ABOVE OPTIMUM MOISTURE. TESTING OF BACKFILL TO BE BY A GEOTECHNICAL ENGINEER EMPLOYED BY THE CONTRACTOR. IN THE EVENT OF A TEST FAILURE, ANY RETESTING SHALL BE PAID FOR BY THE CONTRACTOR.
- FIELD VERIFY EXISTING GRADES AND LOCATION OF EXISTING UTILITIES, CONDUIT, LINES, POLES, TREES, PAVING, BUILDING AND OTHER SITE FEATURES PRIOR TO DEMOLITION AND IMMEDIATELY INFORM THE ENGINEER AND/OR OWNER OF ANY DISCREPANCIES.
- DEMOLITION NOTES AS SHOWN ON THE PLAN ARE NOT ALL INCLUSIVE. CONTRACTOR TO ABANDON IN PLACE OR REMOVE AND DISPOSE OF ALL EXISTING SITE IMPROVEMENTS ABOVE AND BELOW GROUND TO COMPLY WITH THE GENERAL INTENT OF THIS DOCUMENT.
- ALL CONSTRUCTION/DEMOLITION DEBRIS SHALL BE DISPOSED OF OFFSITE IN FULL COMPLIANCE WITH CURRENT ENVIRONMENTAL REGULATIONS.
- CONSTRUCTION LIMITS SHALL BE CONFINED TO THE SITE BOUNDARY AS NOTED. ANY DAMAGE TO PROPERTIES OUTSIDE THE SITE BOUNDARY SHALL BE AT THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- ALL WORK SHALL BE IN ACCORDANCE WITH OSHA STANDARDS. NOTHING INDICATED ON THE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.

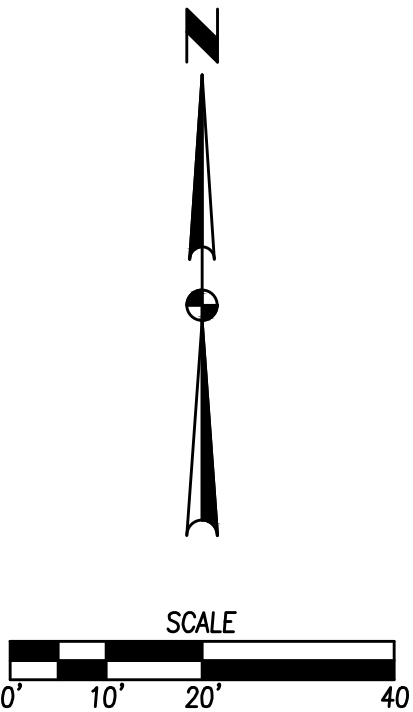
TRAFFIC CONTROL NOTES

- TRAFFIC CONTROL REQUIRED ON ALL PUBLIC STREETS DURING ANY WORK WITHIN EXISTING RIGHT-OF-WAY. CONTRACTOR SHALL SUBMIT A TRAFFIC CONTROL PLAN TO THE CITY FOR APPROVAL PRIOR TO CONSTRUCTION.
- ALL APPLICABLE CITY PERMITS, INCLUDING BUT NOT LIMITED TO CLOSURE PERMITS, SHALL BE OBTAINED PRIOR TO ANY CONSTRUCTION WITHIN CITY R.O.W. OR LANE CLOSURES.
- ALL TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- PERMANENT SIGNING THAT CONVEYS A MESSAGE CONTRARY TO THE MESSAGE OF TEMPORARY SIGNING AND NOT APPLICABLE TO THE WORKING CONDITIONS SHALL BE COVERED BY THE CONTRACTOR WHEN DIRECTED BY THE CITY.
- THE CONTRACTOR SHALL COORDINATE HIS TRAFFIC CONTROL WITH OTHER CONSTRUCTION PROJECTS IN THE AREA.
- SIDEWALK CLOSED SIGNS REQUIRED FOR ALL SIDEWALK CLOSURES, SIGNAGE AND TEMPORARY PEDESTRIAN ACCESS ROUTE THROUGH THE CONSTRUCTION AREA SHALL MEET THE REQUIREMENTS OF PUBLIC RIGHT-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG), SECTION R205 AND IOWA DOT DESIGN MANUAL, CHAPTER 12A-4.
- THE CONTRACTOR IS CAUTIONED NEITHER TO OBSTRUCT NOR REMOVE ANY EXISTING PAVEMENT, NOR TO DISTURB THE EXISTING TRAFFIC PATTERNS MORE THAN IS NECESSARY FOR THE PROPER EXECUTION OF THE WORK.
- ALL SIGNING AND LANE STRIPING WILL NEED TO COMPLY WITH MUTCD. MAINTENANCE AND REPLACEMENT OF THE SIGNING AND STRIPING WILL BE THE RESPONSIBILITY OF THE APPLICANT.

FEMA FLOOD INSURANCE RATE MAP

REFERENCE OF EFFECTIVE FIRM

POLK COUNTY, PANEL 160 OF 555
MAP NUMBER= 19153C0160F
EFFECTIVE DATE FEBRUARY DATE= FEBRUARY 1, 2019





GENERAL NOTES

1. THE 2020 EDITION OF THE SUDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.
2. ALL WORK SHALL COMPLY WITH ADA ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES.
3. ALL WORK SHALL BE IN ACCORDANCE WITH THE SUDAS CODES AND STANDARDS. NOTHING INDICATED ON THE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.
4. PRIOR TO ANY WORK AT THE SITE, THE CONTRACTOR SHALL EXAMINE ANY APPLICABLE DRAWINGS AVAILABLE FROM THE OWNER, ENGINEER, AND/OR ARCHITECT, AND CONSULT WITH OWNER'S PERSONNEL AND UTILITY COMPANY REPRESENTATIVES. NO COMPENSATION WILL BE ALLOWED FOR DAMAGE FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.
5. ONE WEEK PRIOR TO CONSTRUCTION WITHIN CITY R.O.W. OR ANY CONNECTION TO PUBLIC SEWERS CONTRACTOR SHALL NOTIFY THE CITY'S ENGINEERING DEPARTMENT.
6. ALL CONSTRUCTION WITHIN PUBLIC R.O.W.'S / EASEMENTS, AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, SHALL COMPLY WITH THE SUDAS CODES OF GRIMES STANDARDS.
7. ALL DIMENSIONS ARE TO BACK OF CURB, BUILDING FACE OR PROPERTY LINE UNLESS OTHERWISE NOTED.
8. CONTRACTOR TO VERIFY BUILDING DIMENSIONS WITH ARCHITECTURAL PLANS.
9. PLACE 3/4" INCH EXPANSION JOINT BETWEEN ALL P.C.C. PAVEMENT/SIDEWALKS AND BUILDING. PLACE 1/2" INCH EXPANSION JOINT BETWEEN SIDEWALKS AND P.C.C. PAVEMENT.
10. REMOVE ALL DEBRIS SPLIT UPON R.O.W. AT THE END OF EACH WORK DAY.
11. ALL PROPERTY PINS SHALL BE PROTECTED FROM GRADING OR OTHER OPERATIONS. ANY PINS DISTURBED SHALL BE RESET AT THE CONTRACTOR'S EXPENSE.
12. ALL EXISTING CONSTRUCTION MATERIALS AND EQUIPMENT IN THE RIGHT OF WAY.
13. THE CONTRACTOR SHALL NOT DISTURB DESIRABLE GRASS AREAS AND DESIRABLE TREES OUTSIDE THE CONSTRUCTION LIMITS. THE CONTRACTOR WILL NOT BE PERMITTED TO PARK OR SERVICE VEHICLES AND EQUIPMENT OR USE THESE AREAS FOR STORAGE OF MATERIALS. STORAGE, PARKING AND SERVICE AREAS WILL BE SUBJECT TO THE APPROVAL OF THE OWNER.
14. THE CONTRACTOR IS RESPONSIBLE FOR REPLACING ANY AREAS OF PAVEMENT OR SIDEWALK NOT TO BE REMOVED THAT IS DAMAGED DUE TO OPERATING EQUIPMENT ON THE PAVEMENT OR SIDEWALK.
15. THE CONTRACTOR SHALL BE REQUIRED TO PLACE TEMPORARY WARNING DEVICES AND SAFETY FENCE AT CERTAIN LOCATIONS WHERE PERMITS ARE REQUIRED. THE CONTRACTOR SHALL STAGE THE SAME DAY. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF WORK BETWEEN SUPPLIERS AND SUBCONTRACTORS INVOLVED IN THE PROJECT, INCLUDING STAGING OF CONSTRUCTION DETAILS.
16. CONCRETE REMOVAL FOR DRIVEWAY APPROACHES SHALL BE REMOVED TO THE NEAREST STATIONING JOINT. CONTRACTOR SHALL VERIFY REMOVAL LIMITS WITH CITY OF GRIMES CONSTRUCTION INSPECTOR PRIOR TO ANY CONCRETE REMOVAL.
17. ALL PERMITS AND ADDITIONAL FEES REQUIRED TO COMPLETE THE WORK SHALL BE INCLUDED IN THE CONTRACTOR BID.
18. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL NOTIFY (48 HRS NOTICE) THE FOLLOWING:
 - A. CITY OF GRIMES
 - B. APPROPRIATE UTILITY COMPANIES
 - C. OWNER
 - D. CIVIL DESIGN ADVANTAGE
19. PARKING LOT STRIPING SHALL BE A 4" WHITE STRIPE UNLESS OTHERWISE NOTED (MINIMUM TWO COATS).
20. ALL EXTERIOR LIGHTING SHALL BE LOW-GLARE FULL CUTOFF TYPE FIXTURES AND SHALL NOT EXCEED ZERO FOOT-CANDLES BEYOND THE PROPERTY LINE. THE CONTRACTOR SHALL COORDINATE FINAL LIGHTING AND DESIGN WITH THE CITY OF GRIMES.
21. ANY SITE CHANGES THAT DIFFER FROM THE SITE PLAN MUST BE APPROVED BY THE CITY OF GRIMES PRIOR TO INSTALLATION/AMENDMENT.

PAVEMENT THICKNESS

1. ALL PAVEMENT WORK, PUBLIC OR PRIVATE SHALL BE DONE IN ACCORDANCE WITH SUDAS STANDARDS SPECIFICATIONS.
2. SIDEWALKS, DRIVEWAYS, DRIVE LANES WITHIN PARKING AND PARKING SPACES SHALL BE CLASS C PORTLAND CEMENT CONCRETE (P.C.C.) COARSE AGGREGATE FOR P.C.C. CONSTRUCTION SHALL BE CLASS 3 DURABILITY.
3. PLACE 3/4 INCH EXPANSION JOINT BETWEEN ALL P.C.C. PAVEMENT/SIDEWALKS AND BUILDING. PLACE 1/2 INCH EXPANSION JOINT BETWEEN SIDEWALKS AND P.C.C. PAVEMENT.
4. PAVEMENT THICKNESS:

SIDEWALKS	4" P.C.C.
PATIO	4" P.C.C.
TRAIL	6" P.C.C.
SIDEWALK CURB RAMPS	6" P.C.C.
STANDARD DUTY PAVING	6" P.C.C.
TRASH ENCLOSURE	8" P.C.C.
WITHIN ROW	8" P.C.C.

CITY OF GRIMES STANDARD NOTES FOR SITE PLANS

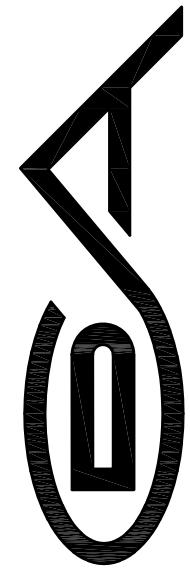
1. General Notes:
- a. All work shall be done in accordance with the current version of the Iowa Statewide Urban Design and Specifications for Public Improvements on the date of approval and the City of Grimes Supplemental Specifications.
 - b. A preconstruction meeting is required prior to the start of construction. The Contractor shall be responsible to coordinate this meeting. Contact City of Grimes Engineering Dept. (515.986.4050).
 - c. All permits (IDNR, SWP, IDOT, Army Corp., etc.) shall be obtained prior to the start of construction.
 - d. The Developer and/or Contractor shall be responsible to provide the City of Grimes with Record Drawings of all improvements as per City standard procedures.
 - e. Typical Building Service Layout to reflect the City's service order from Left to right facing the lot, Sanitary, Water, Sump.
 - f. A Knox box is required by the fire department and shall be obtained at Knoxbox.com.
 - g. All site lighting shall not spill onto adjacent properties or right-of-ways.
 - h. Provide a 4-year maintenance bond for all public improvements.
2. Sanitary Sewer Notes:
- a. The Contractor is required to place a temporary plug in the existing downstream sanitary sewer manhole prior to the start of construction. The plug shall be removed following approval of construction by the City of Grimes.
 - b. Sanitary gravity pipe material shall be PVC SDR 26 or Truss (8" to 15").
 - c. Sanitary gravity service pipe material shall be PVC SDR 23.5 (4" to 6").
 - d. All sanitary sewer manholes shall have steps.
 - e. All sanitary sewer manholes castings shall be sealed with Heat Shrink Sleeves.
 - f. All sanitary sewer manhole castings located within pavement shall be Type B:PCC W/adjusting Mechanism.
 - g. Sanitary Sewer testing, cleaning & televising shall be completed prior to paving. The sewer system shall be flushed with water prior to televising.
3. Water Main Notes:
- a. All fire hydrants shall be American Fire Control-Waterous Pacer WB-67-250, Mueller Super Centurion 250 (4-423), or Clew Medallion F-2645. All hydrants shall have the following: 6" M.U. Shoe, 2-1/2" hose nozzle, 4-1/2" Steamer Nozzle, NST Threads, Pentagon Operating Nut, Chain on cap, open left, 5-1/2" bury, and factory painted red. The minimum spool pipe length from auxiliary valve to hydrant shoe shall be 2.0'.
 - b. All hydrants will immediately be covered with a black plastic bag (or equivalent) once the hydrant is installed. The City of Grimes will notify the Contractor when the bags can be removed.
 - c. A tracer wire receptacle shall be installed at each hydrant, AA Manufacturing Tracer Wire Receptacle Model TW-18-2.
 - d. All valves shall be resilient wedge gate valves.
 - e. Water service shall be 1-inch residential, 2" Commercial minimum type K copper.
 - f. Proposed Water Main shall be pressure tested and chlorinated by the Developer. The filling of the water main shall be done by the City of Grimes. The Backer and submittal of the water main to be done by the Developer and results provided to the City of Grimes Engineering Dept. and by FAX to US Water at 515-986-7300. If the test does not pass, the Contractor will be required to pay for all the water used to repeat the test.
 - g. All watermain fittings to be restrained joint, Mega-lug or approved equal.
4. Storm Sewer Notes:
- a. All storm sewer in the ROW shall be RCP, unless otherwise approved by the City.
 - b. All flared end sections shall have footings and apron grates. The last 3 pipe sections and the flared end section on all culverts shall be tied. All storm sewer joints shall be wrapped with engineering fabric.
 - c. The Contractor is responsible for repairing any field tile damaged during construction. The tile should be directed to public storm sewer if possible. The Contractor shall record the elevation and location of all tiles.
 - d. Storm Sewer cleaning & televising shall be completed prior to paving. The sewer system shall be flushed with water prior to televising.
 - e. Use O ring gaskets on storm sewers crossing over watermain per IDNR requirement.

REVISIONS	DATE
SECOND SUBMITTAL	4-06-21
FIRST SUBMITTAL	3-17-21

3405 S.E. CROSSROADS DRIVE, SUITE G
GRIMES, IOWA 50111
PHONE: (515) 369-4400 FAX: (515) 369-4410

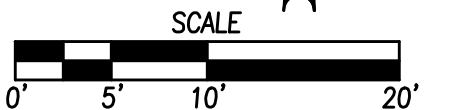
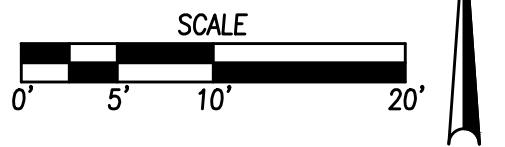
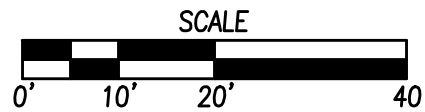
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ENGINEER: JAT



CRIMES AGAINST WOMEN

ARBY'S DIMENSION PLAN



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PHONE: (515) 369-4400 FAX: (515) 369-4410

ENGINEER: JAT

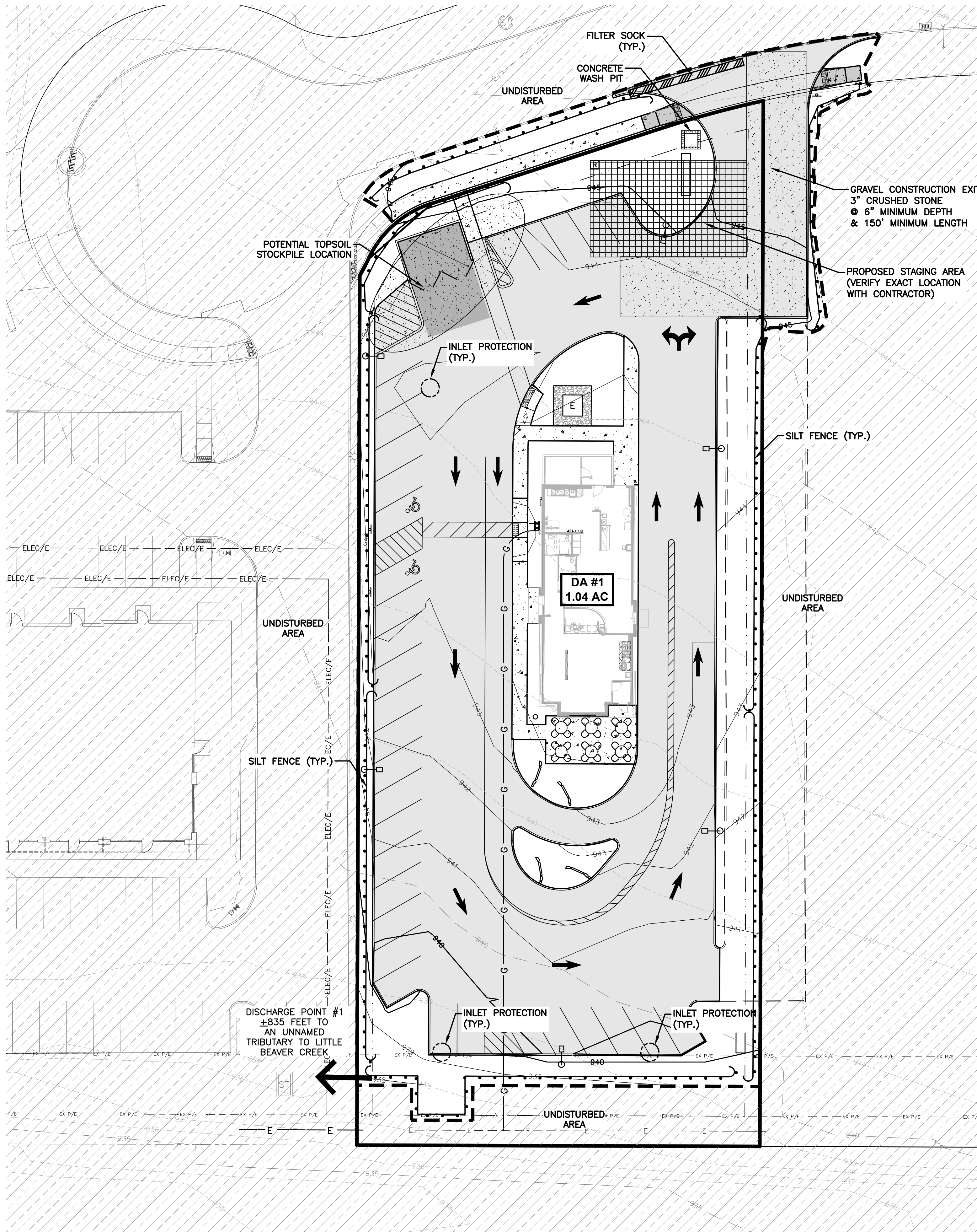


CDA
CIVIL DESIGN ADVANTAGE

GRIMES, IOWA

ARBY'S GRADING PLAN

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EROSION CONTROL NOTES

1. THE PROJECT REQUIRES AN IOWA NPDES PERMIT #2. CIVIL DESIGN ADVANTAGE WILL PROVIDE THE PERMIT AND THE INITIAL STORM WATER POLLUTION PREVENTION PLAN (SWPPP) FOR THE CONTRACTORS USE DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MEETING ALL REQUIREMENTS OF THE SWPPP AND LOCAL, STATE AND FEDERAL REQUIREMENTS. THE OWNER SHALL EMPLOY A SEPARATE FIRM TO PROVIDE SWPPP MONITORING AND UPDATES. THE CONTRACTOR WILL BE RESPONSIBLE FOR COORDINATING WITH THE SELECTED FIRM.
2. ALL EROSION CONTROL DEVICES SHALL BE INSTALLED ACCORDING TO SUDAS CHAPTER 7 EROSION AND SEDIMENT CONTROL.

SWPPP LEGEND

DRAINAGE ARROW	X.XX %	AREA TO BE SEEDED	
GRADING LIMITS		STRAW MAT	
FILTER SOCK		UNDISTURBED AREA	
SILT FENCE		RIP-RAP	
INLET PROTECTION		GRAVEL ENTRANCE	
PORTABLE RESTROOM	R	STAGING AREA	
CONCRETE WASHOUT PIT			

STABILIZATION QUANTITIES

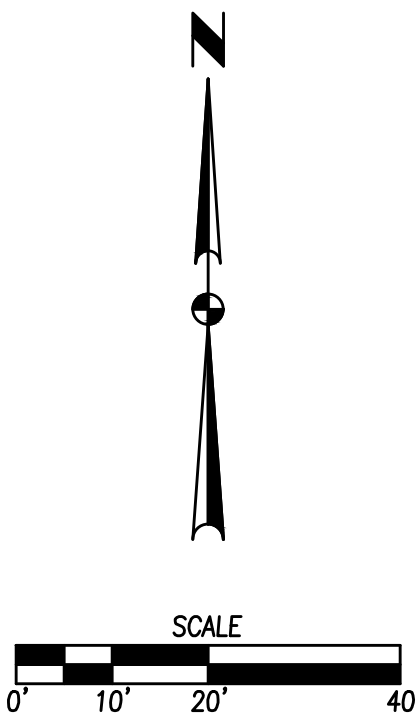
ITEM NO.	ITEM	UNIT	TOTAL
1	SILT FENCE	LF	960
2	FILTER SOCK	LF	40
3	SEEDING, FERTILIZING, AND MULCHING	AC	0.3
4	INLET PROTECTION DEVICES	EA	3
5	CONCRETE WASHOUT PIT	EA	1

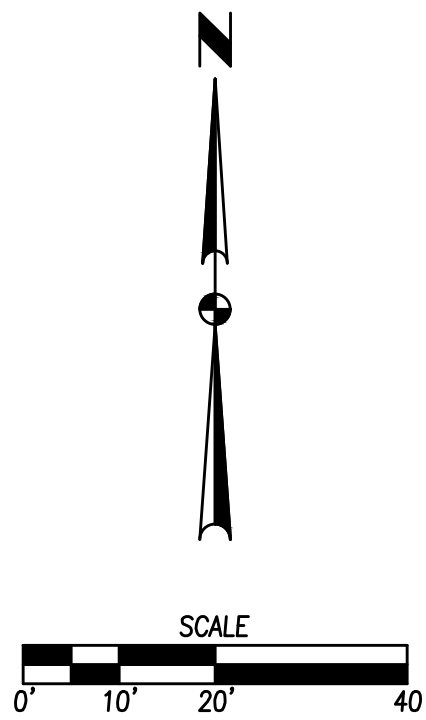
DISCHARGE POINT SUMMARY

DISCHARGE POINT #1 TO AN UNNAMED TRIBUTARY TO LITTLE BEAVER CREEK ±835 FT	
TOTAL AREA DISTURBED TO DISCHARGE POINT	1.04 ACRES
STORAGE VOLUME REQUIRED (# OF ACRES*3600 CU FT)	3,744 CU FT
VOLUME PROVIDED IN FILTER SOCK (40 LF @ 2.0 CU FT/LF OF SOCK)	80 CU FT
VOLUME PROVIDED IN SILT FENCE (960 LF @ 4.5 CU FT/LF OF FENCE)	4,320 CU FT
TOTAL VOLUME PROVIDED	4,400 CU FT

NOTES:

1. IF DEWATERING IS NEEDED FOR ANY REASON, DISCHARGE OF WATER OFFSITE IS TO CONFORM WITH THE GENERAL PERMIT #2 REQUIREMENTS.
2. DISTURBED AREAS SHALL BE TEMPORARILY SEEDED OR MULCHED PRIOR TO THE SITE SHUTTING DOWN FOR WINTER CONDITIONS.
3. WASTE FROM CONCRETE WASHOUT ACTIVITIES AND FROM WET SAWING OF CONCRETE IS NOT ALLOWED TO BE DISCHARGED TO SURFACE WATERS AND IS NOT ALLOWED TO ADVERSELY AFFECT A WATER OF THE STATE.

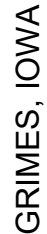




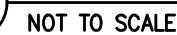
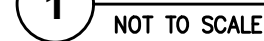
1. REFER TO MECHANICAL, ELECTRICAL AND PLUMBING PLANS FOR UTILITY SERVICE SIZES AND EXACT LOCATIONS. REFER TO ELECTRICAL PLANS FOR ELECTRIC AND TELEPHONE SERVICE CONSTRUCTION DETAILS. REFER TO MECHANICAL PLANS FOR GAS SERVICE CONSTRUCTION DETAILS.
2. FIELD VERIFY ELEVATIONS AND LOCATIONS OF ALL CONNECTIONS TO EXISTING UTILITIES PRIOR TO COMMENCING CONSTRUCTION.
3. PROVIDE TEMPORARY SUPPORT FOR EXISTING UTILITY LINES THAT ARE ENCOUNTERED DURING CONSTRUCTION UNTIL BACKFILLING IS COMPLETE.
4. ALL UTILITY TRENCHES ACCORDING TO THE 2020 EDITION OF THE SUDAS STANDARD SPECIFICATIONS AND ALL CITY OF GRIMES SUPPLEMENTALS. MAINTAIN A MINIMUM OF 5.5' COVER OVER ALL WATERMANS.
5. ALL UTILITIES SHALL BE STUBBED TO 5 FEET FROM BUILDINGS. REFER TO MEP PLANS FOR DESIGN FROM 5' OUTSIDE OF BUILDING FACE.
6. ADJUST ALL MANHOLES AND INTAKES TO FINISHED GRADES.
7. ALL SANITARY SEWER AND WATER SERVICES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY'S PLUMBING CODE.
8. 18" MINIMUM VERTICAL CLEARANCE BETWEEN STORM SEWER AND SANITARY SEWER PIPES. 18" MINIMUM VERTICAL CLEARANCE BETWEEN SANITARY SEWER AND WATER MAIN.
9. MAINTAIN A MINIMUM OF 10' HORIZONTAL SEPARATION BETWEEN SANITARY SEWER LINES AND WATER MAINS.
10. WHERE UTILITY FIXTURES ARE ENCOUNTERED ON THE PLANS OR ARE ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES, UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN RECORDED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND THEREFORE, WHEN LOCATIONS ARE ORDERED APPROXIMATE ONLY, IT IS POSSIBLE THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTORS RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATIONS AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY DAMAGE TO EXISTING UTILITIES. THE CONTRACTOR SHALL BE REQUIRED TO CONTINUE TO UTILIZE A ONE-CALL SERVICE AT 800-292-8989 AT LEAST 48 HOURS PRIOR TO EXCAVATING ANYWHERE ON THE PROJECT.
11. ALL WATERMAIN WORK, PUBLIC OR PRIVATE SHALL BE DONE IN ACCORDANCE WITH THE 2020 EDITION OF THE SUDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS.
12. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF WORK OF ALL SUBCONTRACTOR(S) INVOLVED IN THE PROJECT.
13. OWNER IS RESPONSIBLE FOR MAINTENANCE OF PRIVATE RETENTION FACILITIES AND PRIVATE UTILITIES. PERIODIC MAINTENANCE AND CLEANING OF STORM AND SANITARY SEWER MAY BE NECESSARY.
14. CONTRACTOR SHALL PREVENT ENTRY OF MUD, DIRT, DEBRIS AND OTHER MATERIAL INTO NEW AND EXISTING SEWER AND DRAINAGE SYSTEMS DURING CONSTRUCTION. THE CONTRACTOR SHALL CLEAN AT NO COST TO THE OWNER, INSTALL SILT FENCE AT ALL PERMANENT STORM SEWER INLETS.

3405 S.E. CROSSROADS DRIVE, SUITE G
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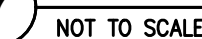
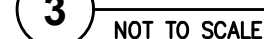
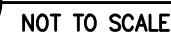
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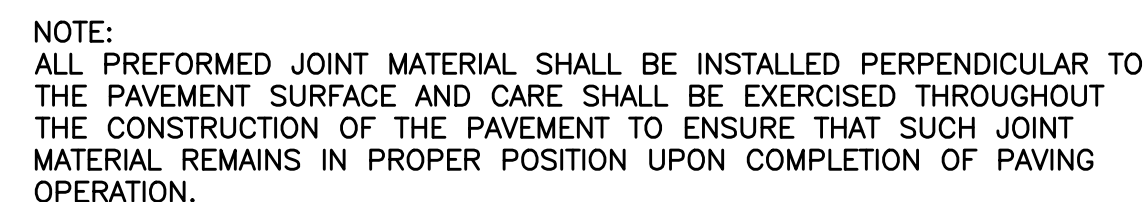
NOTE: SEE ARCHITECTURAL PLANS FOR BOLLARD LOCATIONS AND SIZES



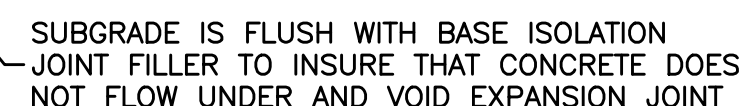
- ① DRIVEWAY RADIUS (R).
- ② PAVEMENT THICKNESS.
RESIDENTIAL: 6 INCHES MINIMUM.
COMMERCIAL AND INDUSTRIAL: 7 INCHES MINIMUM.
- ③ SIDEWALK THICKNESS THROUGH DRIVEWAY TO MATCH THICKNESS OF DRIVEWAY.
- ④ CENTER REINFORCING BAR VERTICALLY IN THE PAVEMENT.
- ⑤ MATCH THICKNESS OF ADJACENT ROADWAY, 8 INCHES MINIMUM.
- ⑥ PROVIDE 'E' JOINT AT BACK OF CURB UNLESS 'B' JOINT IS SPECIFIED.
- ⑦ FOR ALLEYS, INVERT THE PAVEMENT CROWN 2% TOWARD CENTER OF ALLEY.
- ⑧ TARGET CROSS SLOPE OF 1.5% WITH A MAXIMUM CROSS SLOPE OF 2.0%. IF SPECIFIED IN THE CONTRACT DOCUMENTS, CONSTRUCT THE SIDEWALK THROUGH THE DRIVEWAY 5 FEET WIDE TO SERVE AS A PASSING SPACE.
- ⑨ IF CROSS SLOPE OF ADJACENT SIDEWALK PANEL EXCEEDS 2.0%, REMOVE AND REPLACE TO TRANSITION FROM EXISTING SIDEWALK TO SIDEWALK THROUGH DRIVEWAY. IF ELEVATION CHANGE REQUIRES A CURB RAMP, COMPLY WITH FIGURE 7030.205; VERIFY NEED FOR DETECTABLE WARNING PANEL WITH ENGINEER.

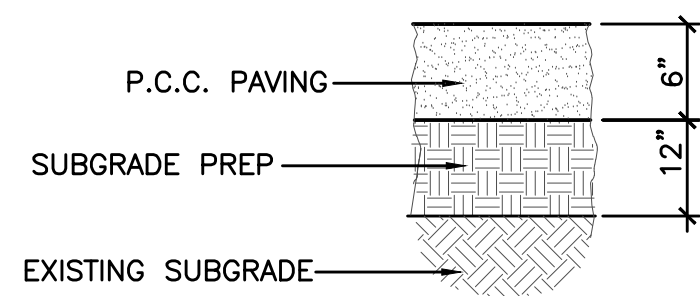


- ① Provide a minimum 2 foot width of detectable warning surfaces in the direction of pedestrian travel across the full width of the curb ramp or turning space, exclusive of curbs or flares.
- ② Provide a minimum of 6 inches of concrete below the detectable warning panel.
- ③ Target slope of 1.5% with maximum slope perpendicular to the travel directions of 2.0%.



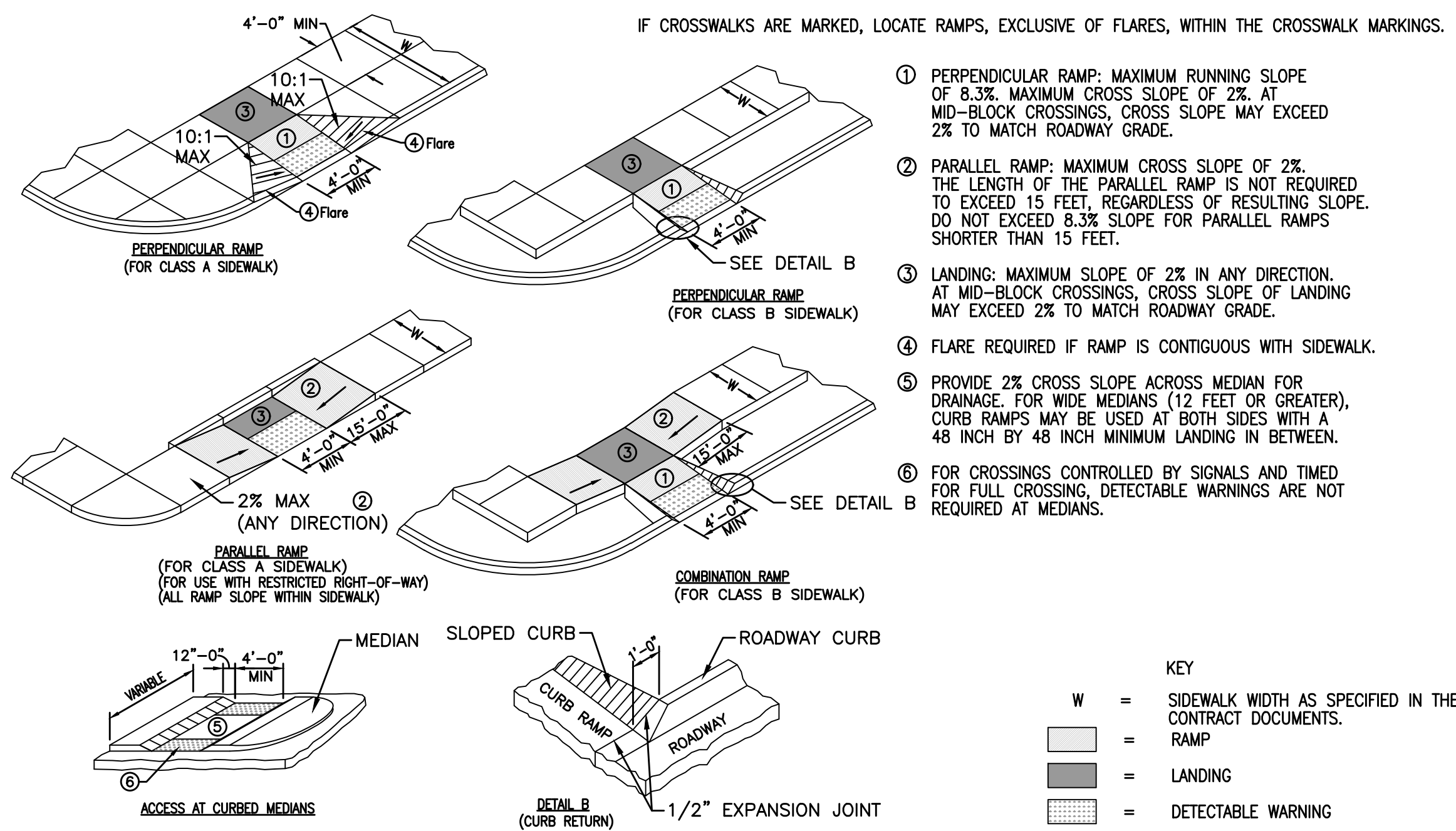
- NOT TO SCALE





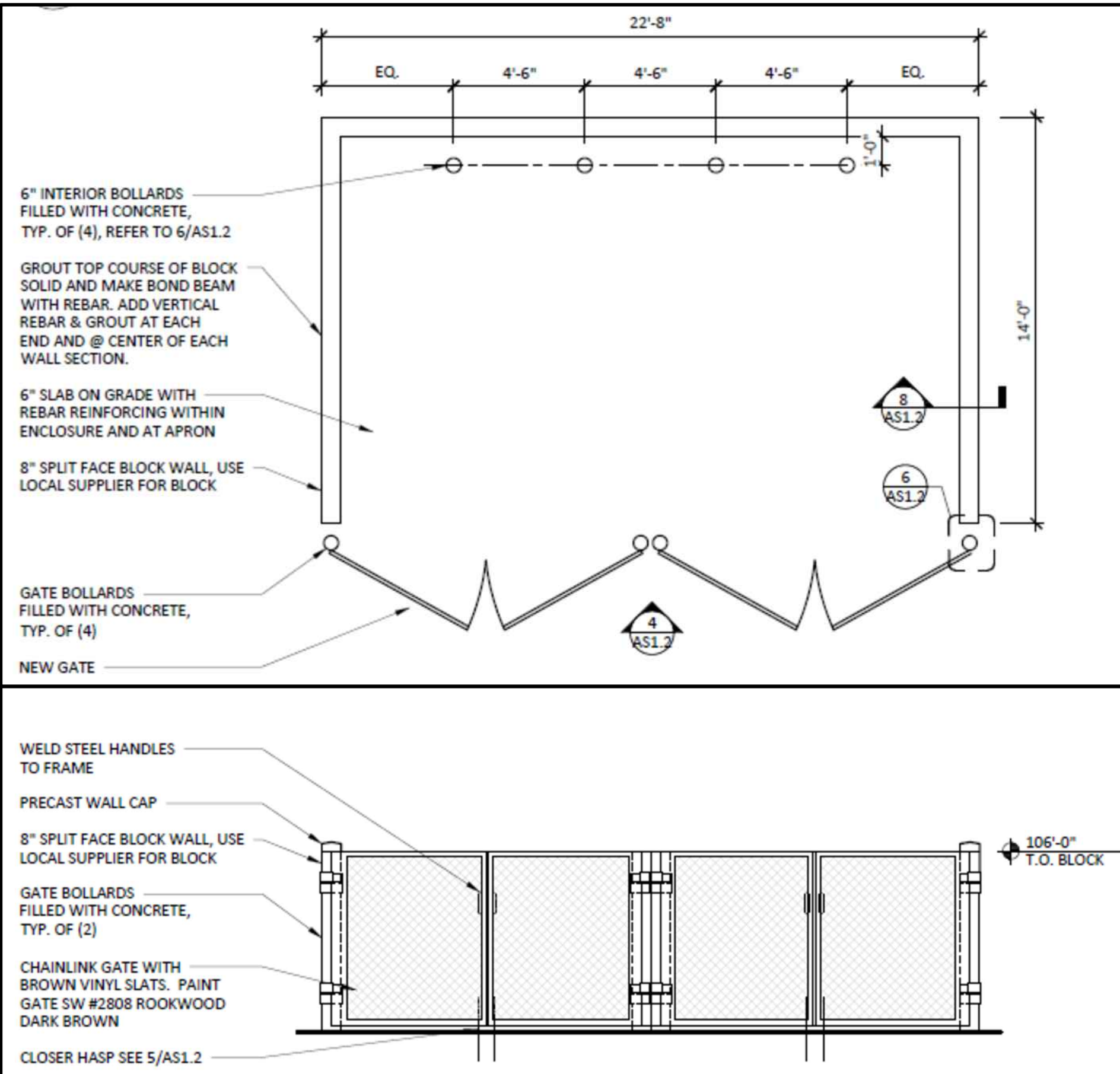
NOTE:
1. SUBGRADE PREPARATION SHALL
EXTEND 24" BEYOND EDGE OF
PAVING OR BACK OF CURB.

9 P.C.C. PAVING
NOT TO SCALE

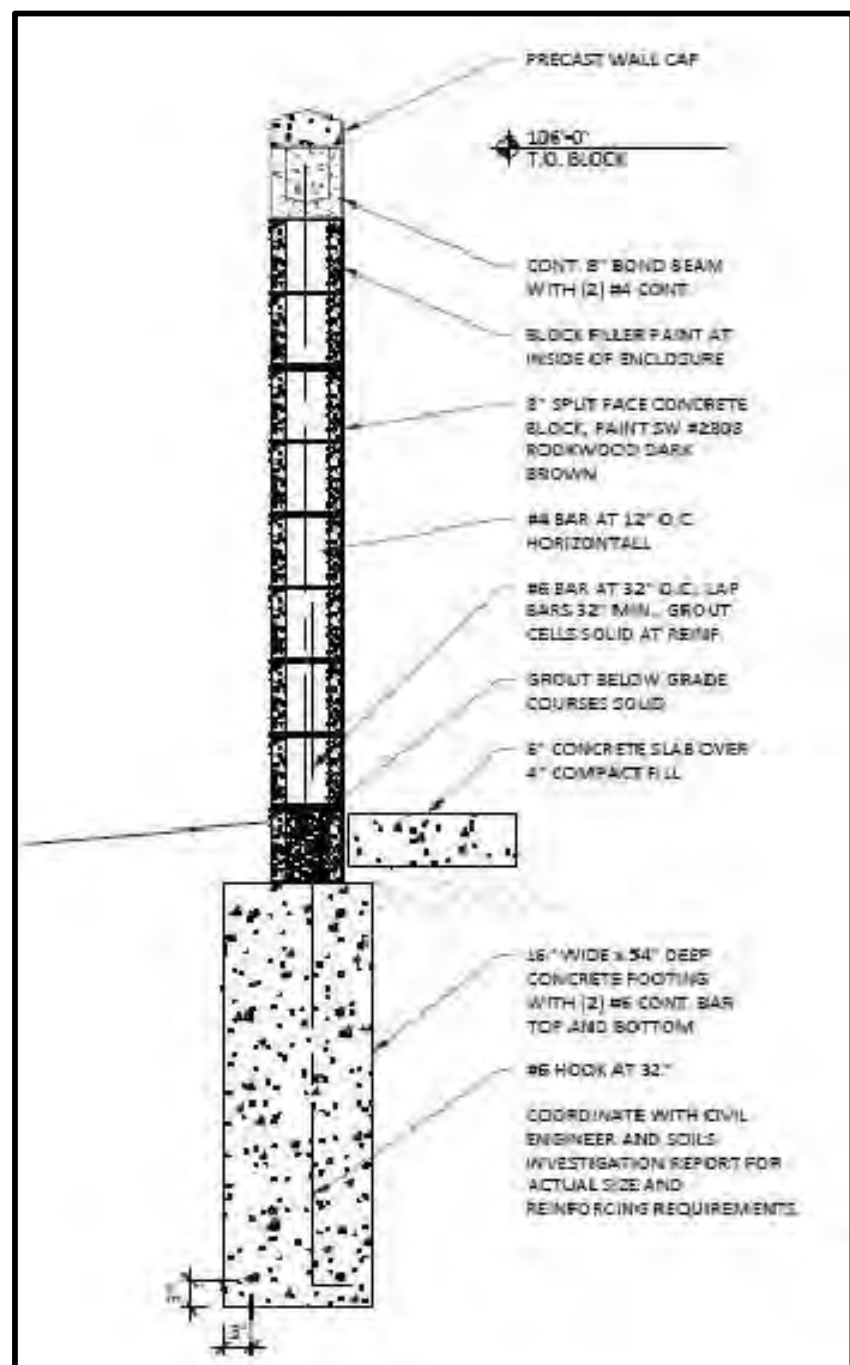


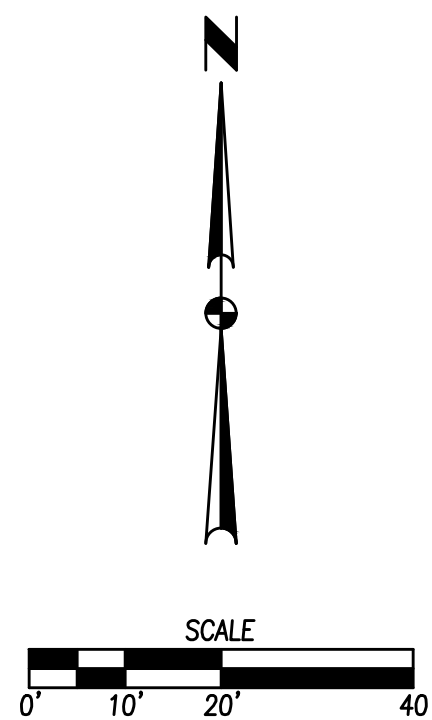
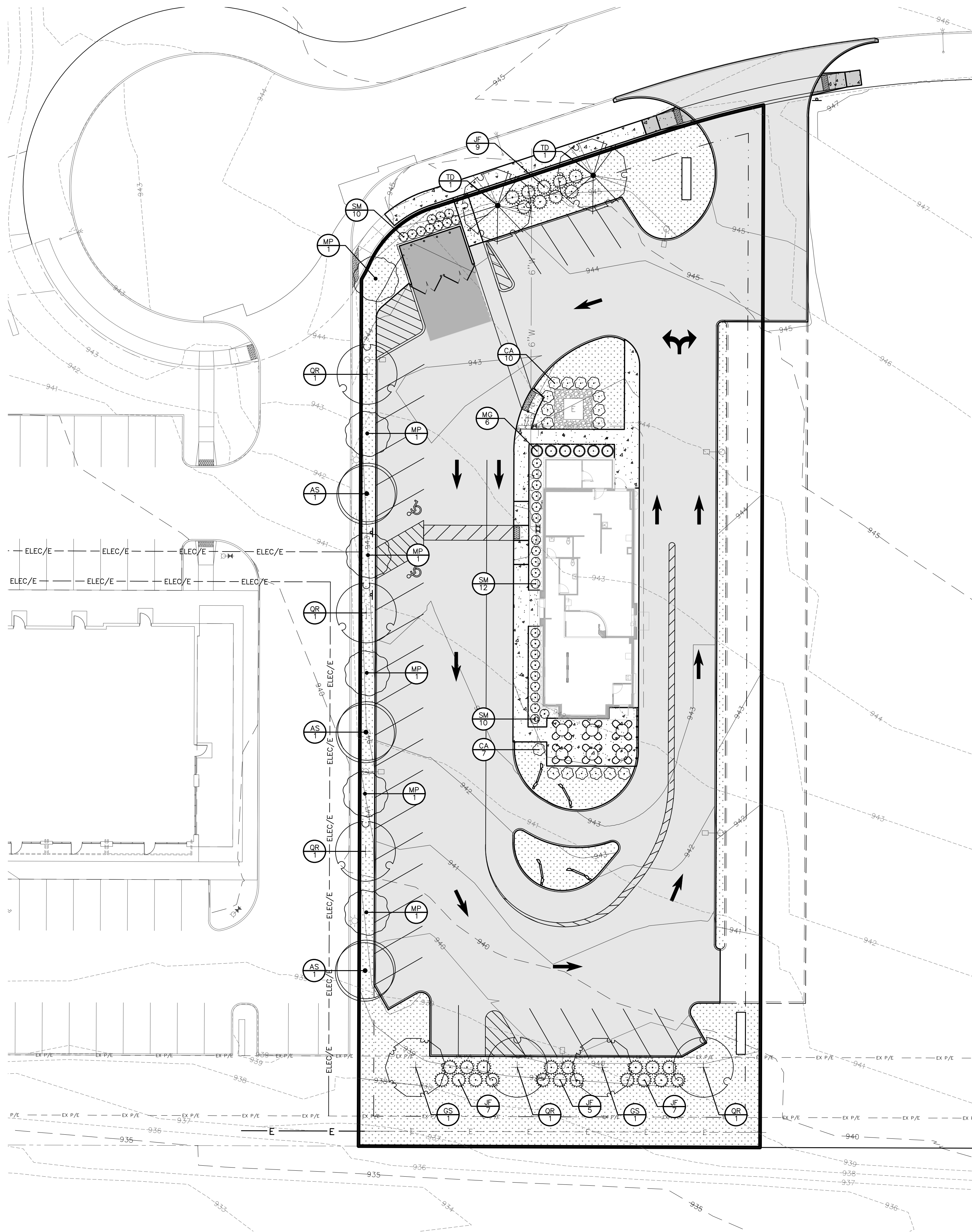
CURB RAMPS OUTSIDE OF INTERSECTION RADIUS

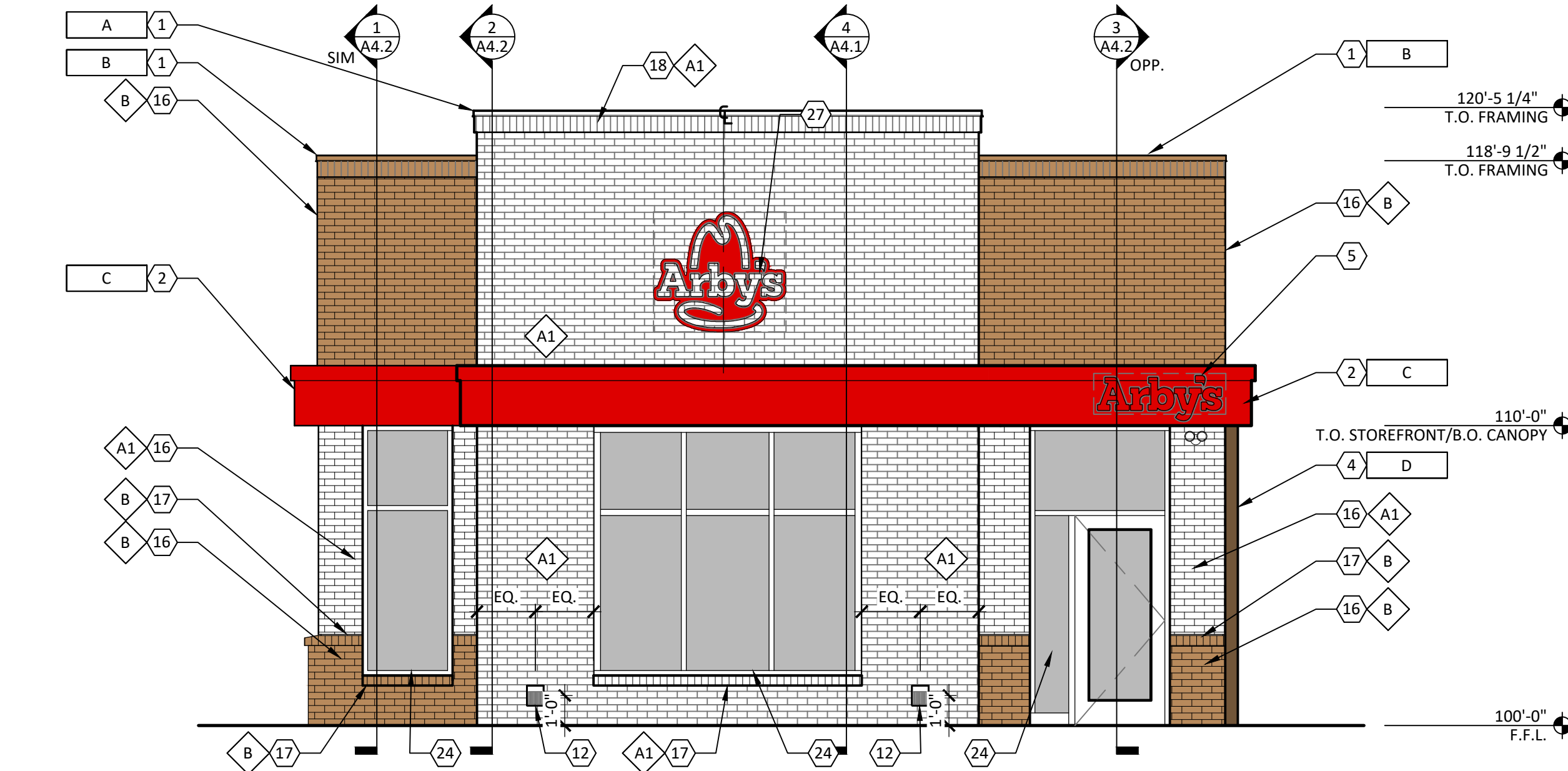
10 CURB RAMPS OUTSIDE OF INTERSECTION
NOT TO SCALE



11 TRASH ENCLOSURE DETAIL
FOR INFORMATIONAL PURPOSES ONLY (REFER TO ARCHITECTURAL PLANS FOR CONSTRUCTION DETAILS)







** SOUTH ELEVATION GLAZING REQUIREMENTS:
MIN. 40% WALL LENGTH TO BE CLEAR GLASS AT
EYE LEVEL
WALL LENGTH: 30' OR 360"
GLAZING: 186"
186" OF 360" = 51.67% GLAZING (> 40% REQUIRED)

CODED NOTES

(ALL CODED NOTES MAY NOT BE USED)

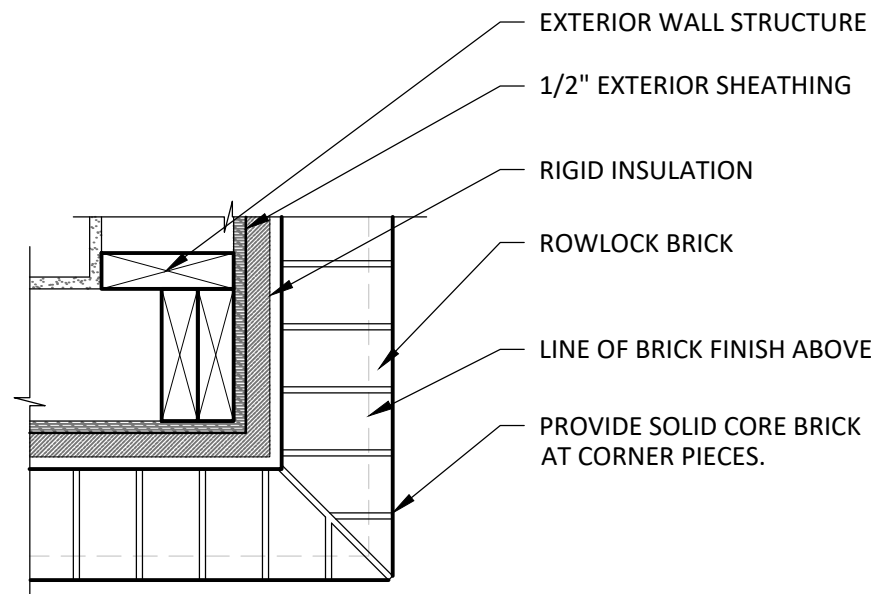
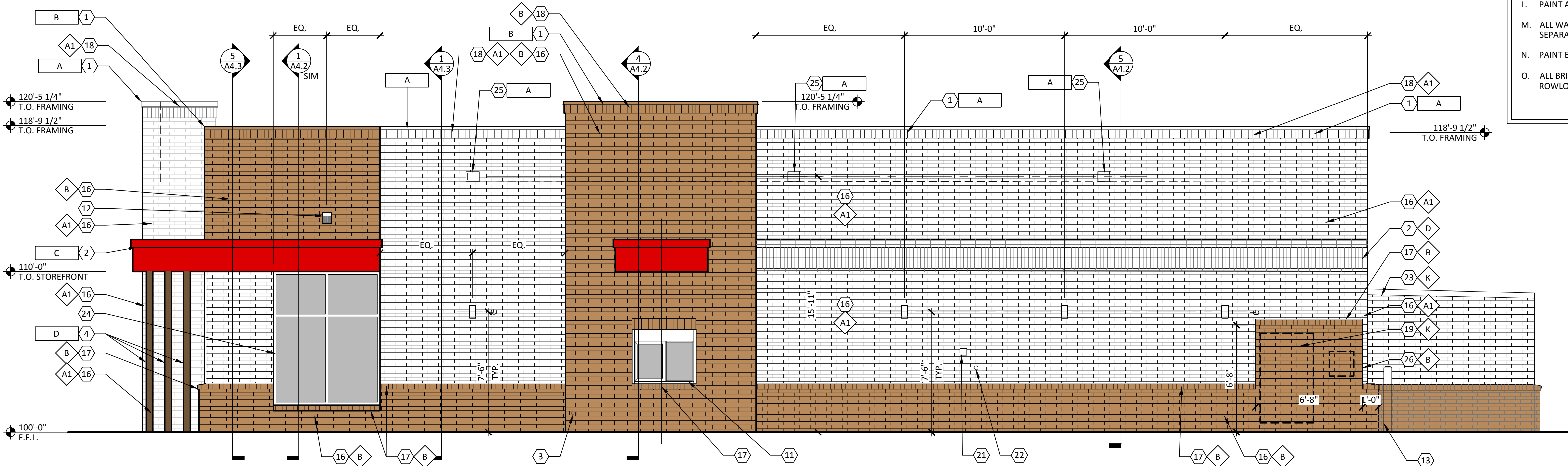
1. PRE-FINISHED METAL COPING.
2. PRE-FABRICATED METAL CANOPY/ACCENT BAND.
3. HOSE BIBB, REFER TO PLUMBING DRAWINGS.
4. PRE-FABRICATED METAL POST FOR CANOPY.
5. ARBY'S SIGNAGE, MOUNT ON CANOPY/ACCENT BAND. REFER TO SIGNAGE VENDOR DRAWINGS.
6. PAINT DOOR AND FRAME.
7. INSTALL KNOX BOX IN ACCESSIBLE LOCATION PER FIRE CODE SECTION 506.
8. NOT USED
9. NOT USED
10. BRICK ACCENT BAND.
11. DRIVE THRU WINDOW. PROVIDE STAINLESS STEEL SILL.
12. WALL MOUNTED LIGHT FIXTURE.
13. 6" CONC. FILLED STEEL PIPE BOLLARD, PAINT YELLOW.
14. CENTER LIGHT FIXTURE ON STOREFRONT BELOW.
15. PAINT ROOF LADDER
16. BRICK VENEER. RUNNING BOND.
17. BRICK ROWLOCK SILL.
18. BRICK CORNICE, SOLDIER COURSE.
19. ELECTRICAL EQUIPMENT.
20. GAS METER. REFER TO MEP DRAWINGS FOR EXACT LOCATION. PAINT TO MATCH BRICK.
21. GREASE OUTLET.
22. Co2 HOOKUP.
23. COOLER/FREEZER, BRICK TO MATCH BUILDING.
24. ALUMINUM STOREFRONT.
25. PREFABRICATED SCUPPER BOX. MATH COLOR TO ADJACENT WALL COLOR. REFER TO DETAIL 6/A1.2
26. CONTINUE BRICK VENEER BEHIND ELECTRIC EQUIPMENT. COORDINATE SIZE WITH ELECTRICIAN. DO NOT INSTALL ROWLOCK BEHIND ELECTRICAL EQUIPMENT.
27. ARBY'S HAT SIGNAGE MOUNT ON BRICK WALL REFER TO SIGNAGE VENDORS DRAWINGS.

FINISH SCHEDULE

MARK	MANUFACTURER	DESCRIPTION	NOTES
FINISHES			
A1	BELDEN BRICK	ALASKA WHITE	TEXTURE: VELOUR GROUT: CEMEX GRAY TYPE N 1000
A2	---	---	---
B	BELDEN BRICK	8601 DARK	TEXTURE: SMOOTH GROUT: CEMEX 36-A MOCHA, TYPE N
C	DRYVIT	EIFS WALL SYSTEM WITH V-GROOVE REVEALS	COLOR: ARBY131030 TEXTURE: STANDARD
D	SHERWIN WILLIAMS	SW #6869 STOP	SATIN FINISH
E	NOT USED	---	---
F	NOT USED	---	---
G	SHERWIN WILLIAMS	SW #2808 ROOKWOOD DARK BROWN	SATIN FINISH
H	NOT USED	---	---
J	NOT USED	---	---
K	SHERWIN WILLIAMS	SW #7005 PURE WHITE	SATIN FINISH

METALS			
A	EXCEPTIONAL METALS/ DURO-LAST	TWO-PIECE SNAP-ON METAL COPING REGAL WHITE/ DURO-LAST #SR.70/TE.87	FOR USE WITH DURO-LAST ROOFING SYSTEM DETAIL FA3110
B	EXCEPTIONAL METALS/ DURO-LAST	TWO-PIECE SNAP-ON METAL COPING DARK BRONZE/ DURO-LAST #SR.26/TE.87	FOR USE WITH DURO-LAST ROOFING SYSTEM DETAIL FA3110
C	PRE-FABRIACTED CANOPY/BAND	PRODUCT CODE: 9940-30198R PRODUCT NAME: FC SD RAL 3000 FLAME RED	---
D	PRE-FABRICATED POST	PRODUCT CODE: 9840-80957R PRODUCT NAME: FC SD RAL 8017 CHOC. BROWN	---

- A. PAINT ALL EXPOSED METERS, SERVICE ENTRANCES, GAS PIPE, ROOF ACCESS LADDER, ETC. TO MATCH ADJACENT EXTERIOR WALL SURFACE.
- B. PROVIDE TEMPORARY MASKING OF EXPOSED STAINLESS STEEL DURING ACID WASHING OF MASONRY.
- C. PROVIDE SOLID MASONRY UNITS AT THE ENDS OF JAMBS, SILLS, ETC.
- D. TO HELP PREVENT EFFLORESCENCE ALL MASONRY UNITS ARE TO BE MANUFACTURED WITH INTEGRAL WATER REPELLANT. WATER REPELLANT ADMIXTURE IS TO BE MIXED IN AND PRE-WASHED SAND IS TO BE USED IN ALL MORTAR MIXES.
- E. MAKE SURE THAT WALL WEEPS AND FLASHING ARE INSTALLED CORRECTLY. DO NOT BLOCK WEEPS.
- F. REFER TO SHEET A8.2 FOR TEMPERED GLASS LOCATIONS.
- G. ALUMINUM STOREFRONT TO BE DARK BRONZE.
- H. ALL GLAZING TO BE 1" INSULATED GLAZING.
- I. BASIS OF DESIGN FOR THE EIFS WALL SYSTEM IS DRYVIT OUTSULATION PLUS MD. EIFS WALL SYSTEM IS 2" THICK UNLESS NOTED OTHERWISE. INSTALL EIFS PRODUCT IN STRICT ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND DETAILS. INSTALL EIFS WALL SYSTEM OVER FLUID APPLIED MEMBRANE.
- J. SIGNAGE IS SHOWN FOR REFERENCE ONLY. FINAL SIZE, LOCATION AND QUANTITY TO BE DETERMINED BY SIGNAGE VENDOR. SIGNAGE VENDER SHALL PERMIT ALL SIGNS UNDER SEPARATE COVER.
- K. REFER TO ELECTRICAL DRAWINGS FOR EXTERIOR LIGHTING SPECIFICATIONS.
- L. PAINT ALL EXPOSED BRICK LINTELS TO MATCH STOREFRONT.
- M. ALL WALL MOUTED LIGHT FIXTURES TO BE SET IN CONTINUOUS BEAD OF CAULK AND THEN SHALL BE SEALED TO WALL WITH SEPARATE BEAD OF CAULK. CAULK TO MATCH ADJACENT SURFACE.
- N. PAINT EIFS WALL BEHIND ACCENT BAND RED. EXPOSED EIFS EDGE BELOW ACCENT BAND TO MATCH METAL ACCENT BAND.
- O. ALL BRICK VENEER SHALL BE A RUNNING BOND, U.N.O. ALL BRICK SHALL BE INSTALLED FLUSH. U.N.O. (EXCEPTIONS INCLUDE: ROWLOCK SILL, SOLDIER COURSE HEADER AT DRIVE THRU WINDOW AND BRICK CORNICE)



FRONT ELEVATION

1/4" = 1'-0"

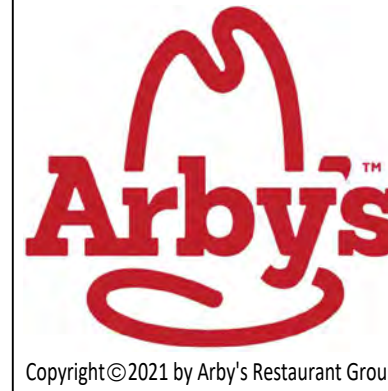
SIDE ELEVATION

1/4" = 1'-0"

DETAIL @ BRICK CORNER

1 1/2" = 1'-0"

PROPRIETARY INFORMATION NOTICE:
THESE PROTOTYPICAL DOCUMENTS MAY REQUIRE REVISIONS TO CONFORM TO LOCAL, STATE, AND FEDERAL CODES, ORDINANCES OR OTHER CONDITIONS. THE DESIGN CONCEPTS EMBODIED IN THESE DOCUMENTS ARE SPECIFICALLY FOR THIS PROJECT. INFORMATION CONTAINED HEREIN REMAINS THE SOLE PROPERTY OF ARBY'S RESTAURANT GROUP, IS CONFIDENTIAL AND PROPRIETARY AND IS NOT TO BE COPIED, REPRODUCED, DISCLOSED OR OTHERWISE TRANSFERRED TO OTHER PARTIES IN ANY FORM WHATSOEVER WITHOUT THE EXPRESS WRITTEN CONSENT OF ARBY'S RESTAURANT GROUP.



ARBY'S RESTAURANT GROUP
INSPIRE DUAL NARROW REVERSE
1201 E 1ST STREET
GRIMES, IA 50111
FOR: DRM, INC.
5324 NORTH 134TH AVENUE, OMAHA, NE 68164

PROJECT NUMBER:	ARF199
ISSUE	DATE
OWNER REVIEW	MAR. 19, 2021
PERMIT	MAR. 31, 2021
REVISION 1	APRIL 30, 2021

EXTERIOR ELEVATIONS

SHEET:

A2.1

Planning & Zoning Staff Report



TO: Planning and Zoning Commission
FROM: Evann Martin, Assistant Planner
DATE: May 4, 2021
RE: Destination Market Plat 5 – Final Plat

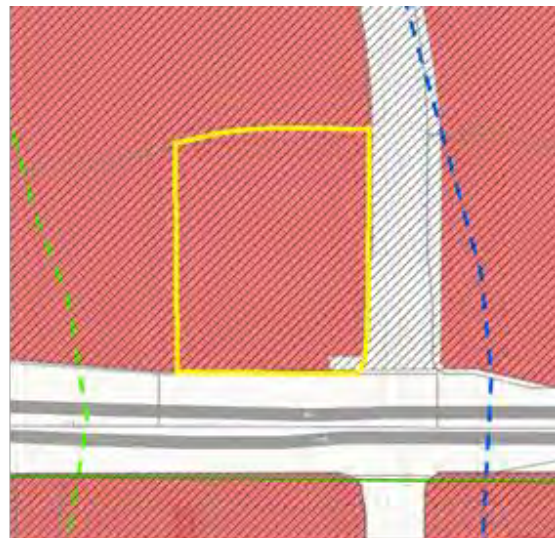
GENERAL INFORMATION:

Applicant:	Mark Hanrahan
Requested Action	Final Plat
Location	2255 E 1 st Street

SUPPORTING INFORMATION:



Location Map



Zoning Map

LAND USES & ZONING:

Location	Existing Land Use	Land Use Plan Designation	Current Zoning
Subject Site	Vacant/Starbucks	General Commercial	C-2
North	Vacant/Menard's	General Commercial	C-2
South	Commercial/Retail	General Commercial	C-2
East	Kwik Star	General Commercial	C-2
West	Vacant	General Commercial	C-2

BACKGROUND:

The applicant is requesting approval of a final plat, which will allow for the subdivision of the property. The proposed final plat will provide for two development lots, one of which is the Starbucks that is currently under construction.

ANALYSIS:

The final plat is consistent with the approved preliminary plat and shows the appropriate easements. The plat can be accessed from three driveways. Access off of NE Destination Drive and E 1st Street will be right in/right out only. The driveway off of NE Telkay Lane will be full access. Pedestrian access will be provided along E 1st Street, NE Destination Drive, and Telkay Lane. Sanitary and water service will connect to the existing lines that run along NE Telkay Lane.

STAFF RECOMMENDATION:

Staff would recommend approval of the final plat for Destination Market Plat 5, subject to any remaining staff comments.

CITY OF GRIMES

Evann Martin
Assistant Planner



Development Services

410 SE Main St, Suite 102

Grimes, IA 50111

(515)986-4050

www.grimesiowa.gov

April 5, 2021

Civil Design Advantage

Attn: Doug Mandernach

3405 SE Crossroads Drive, Suite G

Grimes, IA 50111

RE: Destination Market Plat 5 Final Plat

Dear Mr. Mandernach:

The Development Services Department is in receipt of a proposed Final Plat for the Destination Market Plat 5. Based on the review of the provided submittal materials, staff have the following comments:

General Comments:

- ~~1. Update addresses.~~
 - ~~a. Lot 1 2255 E 1st Street or 152 NE Destination Drive~~
 - ~~b. Lot 2 2227 E 1st Street~~
- ~~2. Add Highway 141 Mixed Use Development Corridor District Zone 2 to zoning.~~
- ~~3. NE Destination Drive is a public street. Please revise label.~~

Legal Comments:

- ~~1. Title opinion~~
- ~~2. Consent(s) to Plat~~
 - ~~a. Owner consent~~
 - ~~b. Mortgagee consent (if applicable)~~
- ~~3. Treasurer's Certificate~~
- ~~4. County Subdivision Name Approval~~
- ~~5. Legal description in Word format~~

6. Easement documents and legal descriptions

a. Electric easement

7. Declaration and Covenants, Restrictions and Easements

8. Agreement to Complete with performance bond (if applicable)

9. 4-year maintenance bond

10. Letter from the surveyor confirming that monuments are in place. Confirmation is required prior to issuing a Certificate of Occupancy.

Please provide a letter addressing all comments on this comment letter and/or state what was modified on the site plan to address said comments.

SITE PLAN SUBMITTAL SCHEDULE:

SUBMITTAL DATE: April 12, 2021
(1 PDF of Final Plat and Legals)

PLANNING & ZONING: May 4, 2021 at 5:30 at the Grimes City Hall

COUNCIL MEETING: May 26, 2021 at 5:30 at the Grimes City Hall

Please feel free to contact me at emartin@grimesiowa.gov or at (515) 986-4050 if you have any questions or need additional information.

Sincerely,

Evann Martin
Assistant Planner

FINAL PLAT
GRIMES, POLK COUNTY, IOWA

PREPARED BY
& RETURN TO: CIVIL DESIGN ADVANTAGE
3405 SE CROSSROADS DRIVE, SUITE G
GRIMES, IOWA 50111
PH: 515-369-4400





2002.073

1 / 1

DESTINATION MARKET PLAT 5

FINAL PLAT

GRIMES, IOWA

Planning & Zoning Staff Report



TO: Planning and Zoning Commission
FROM: Evann Martin, Assistant Planner
DATE: May 4, 2021
RE: Hy-Vee Fast & Fresh Canopy

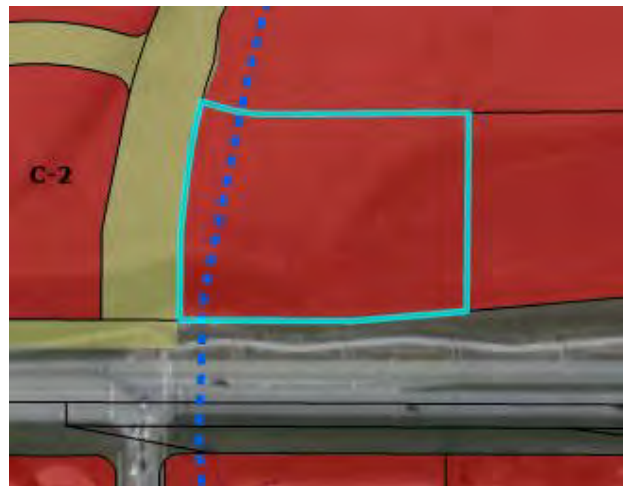
GENERAL INFORMATION:

Applicant:	Hy-Vee Inc.
Requested Action	Site Plan
Location	1401 E 1 st Street

SUPPORTING INFORMATION:



Location Map



Zoning Map

LAND USES & ZONING:

Location	Existing Land Use	Land Use Plan Designation	Current Zoning
Subject Site	Vacant	General Commercial	C-2
North	Vacant	Mixed Use 1	C-2
South	Commercial	General Commercial	C-2
East	Vacant	General Commercial	C-2
West	Vacant	Mixed Use 1	C-2

BACKGROUND:

The site plan for the 4,095 square foot Hy-Vee Fast & Fresh store and gas station located at 1401 E. 1st Street was approved by P&Z and Council in September 2020. The applicant is now requesting approval to modify the gas canopy to install solar panels.

The property is located within the C-2 zoning district and is within Zone 2 of the Highway 141 Mixed Use Development Corridor District.

ANALYSIS:

The design of the canopy will be similar to what was previously approved. The top edges of the canopy will remain pre-finished aluminum panels. The canopy supports are now proposed to be brick rather than metal as previously proposed. The most notable changes proposed are in the angle of the canopy, which will be tilted south at a 5-degree angle toward E 1st Street, and the design of the underside of the canopy, which is proposed to have exposed structural components. The solar panels will interconnect to still provide protection from rain and snow.

Staff has received a glare analysis of the solar panel system that has identified some areas that are likely to project some glare. The analysis recommends that additional landscaping be installed to help mitigate the glare in those areas. Staff will work with the applicant to revise the existing landscape plan for the site to help mitigate the glare.

STAFF RECOMMENDATION:

Staff would recommend approval of the amendment to the Hy-Vee Fast & Fresh gas canopy subject to revision of the landscape plan to mitigate glare.

CITY OF GRIMES

Evann Martin
Assistant Planner



Development Services

410 SE Main St, Suite 102

Grimes, IA 50111

(515)986-4050

www.grimesiowa.gov

April 30, 2021

RE: Hy-Vee Fast & Fresh Canopy

The Development Services Department is in receipt of a proposed change to the Hy-Vee Fast & Fresh Canopy. Based on the review of the provided submittal materials, staff have the following comments:

General Comments:

1. Additional landscaping will be required to mitigate the glare in the areas identified in the glare analysis.
2. Landscaping on the property to the east will need to be installed with the construction of the Fast & Fresh. An landscape maintenance easement will likely be required on the property to the east to ensure the trees are not removed by a future property owner.

Please provide a letter addressing all comments on this comment letter and/or state what was modified on the site plan to address said comments.

SITE PLAN SUBMITTAL SCHEDULE:

PLANNING & ZONING: May 4, 2021 at 5:30 at the Grimes City Hall

COUNCIL MEETING: May 11, 2021 at 5:30 at the Grimes City Hall

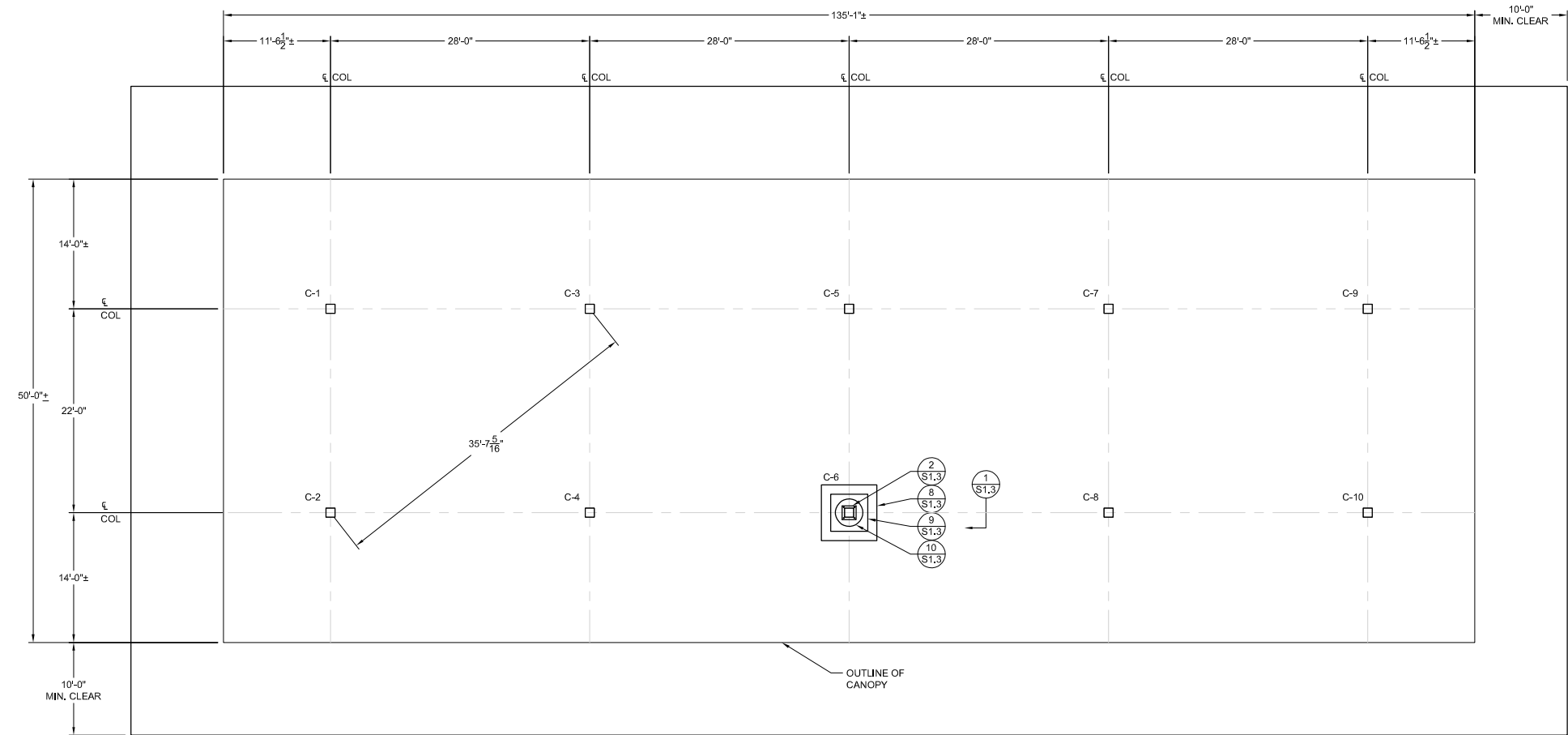
Please feel free to contact me at emartin@grimesiowa.gov or at (515) 986-4050 if you have any questions or need additional information.

Sincerely,

Evann Martin
Assistant Planner



**NOT FOR
CONSTRUCTION**



2 CANOPY FOUNDATION PLAN

OWNER OR GC TO PROVIDE CONCRETE OR ASPHALT UNDER CANOPY INCLUDING NO LESS THAN 10'-0" OF CONCRETE AROUND PERIMETER OF THIS STRUCTURE. (AS REQUIRED BY OSHA REGULATION 29 CFR 1926.451)

LEGEND				DATE	BY				
PART #	SIZE	QUANTITY	DESCRIPTION						
C-1	10" x 10" x 1/2"	1							
C-2	10" x 10" x 1/2"	1							
C-3	10" x 10" x 1/2"	1							
C-4	10" x 10" x 1/2"	1							
C-5	10" x 10" x 1/2"	1							
C-6	10" x 10" x 1/2"	1							
C-7	10" x 10" x 1/2"	1							
C-8	10" x 10" x 1/2"	1							
C-9	10" x 10" x 1/2"	1							
C-10	10" x 10" x 1/2"	1							
CBU-1	W21X50#	5							
CBU-1	12"X3"X10GA	6							
CBU-2	8"X1-5/8"X18GA	24 PER 1 CBU-1							
P-1	W6x18#	4							
P-2	W6x18#	4							
P-3	W6x18#	24							
SB-1	2"x3"x3"x16"	10							

This is the seal of the engineer of Arnting Industries who is not the engineer of record. This drawing has been drawn under the guidance of SE Consultants, Inc. and has been reviewed for compliance with the structural correctness of The scope of SE Consultants, Inc.'s work does not exceed that of the accompanying calculations.

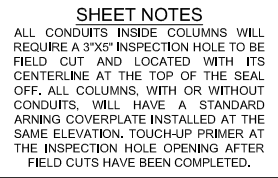


CUSTOMER
HY-VEE
5820 WESTOWN PARKWAY
WEST DES MOINES, IA
50265

CANOPY LOCATION
HY-VEE SOLAR EAST 1ST. ST. GRIMES, IA. 50111

FRAMING &
FOUNDATION PLAN

16924	S1.1
-------	------



4 EAST ELEVATION
SCALE: 1/8" = 1'-0"

CANOPY ELEVATIONS		50'-0" X 136'-0" (10') COLUMN CANOPY		CUSTOMER HY-VEE 5820 WESTOWN PARKWAY WEST DES MOINES, IA 50265	 ARNING COMPANIES P.O. BOX 1000, DES MOINES, IOWA 50306 515.282.7531 • FAX 515.242.5081   ARNING COMPANIES AFFILIATE COMPANY	This is the end of the information provided by the engineer who prepared the drawings and the engineer of record. This information is to be used under the guidance of AISC and the engineer who has been reviewed for the compliance with the AISC CODES. This work is not intended to be used for any other work and does not exceed that of the original engineering calculation.				SCALE	AS NOTED	REV	DESCRIPTION	DATE	BY
16924	S1.2	CANOPY LOCATION HY-VEE SOLAR EAST 1ST. ST. GRIMES, IA. 50111						DRAWN BY JRUARK	CHECKED BY F.J / S.C.					3/2/2021	
										ARNING #	18924				

MASONRY UNITS:

1. INSTALLATION SYSTEM: GLEN-GERY THIN TECH BRICK, KANSAS BRICK # TILE
COLOR: 500 MAHOGANY
SIZE: MODULAR
BOND: RUNNING
MORTAR: MATCH SOLOMON 20H "DARK BUFF"
2. INSTALLATION SYSTEM: GLEN-GERY THIN TECH BRICK, KANSAS BRICK # TILE
COLOR: 500 MAHOGANY
SIZE: MODULAR
BOND: SOLDIER
MORTAR: MATCH SOLOMON 20H "DARK BUFF"

3. PRECAST CONCRETE: STONEWORKS
COLOR: BUFFSTONE

GLASS & GLAZING:

BASIS OF DESIGN: SOLAR BAN 60 SOLAR CONTROL LOW-E GLASS WITH ARGON GAS

1. VISION GLASS: 1" CLEAR ANNEALED INSULATING GLAZING UNIT, LOW-E #2 SURFACE
2. VISION GLASS: 1" CLEAR TEMPERED INSULATING GLAZING UNIT, LOW-E #2 SURFACE
3. VISION GLASS: 5/8" CLEAR TEMPERED INSULATING GLAZING UNIT, LOW-E #2 SURFACE
4. SPANDREL GLASS: 1" CLEAR TEMPERED INSULATING GLAZING UNIT, SPANDREL COATING #4 SURFACE

CLADDING & CANOPIES:

1. ALUMINUM CANOPY STRUCTURE BY DIVISION 8 PRODUCTS OR EQUAL
COLOR: MATCH FIRESTONE UVA-CLAD "CHARCOAL GRAY"
2. HORIZONTAL CLADDING: STONEWOOD ARCHITECTURAL PANELS 24"x36"
COLOR: TELEGREY 1 7045-CD
3. HORIZONTAL CLADDING: STONEWOOD ARCHITECTURAL PANELS 24"x36"
COLOR: BLUE-GRAY

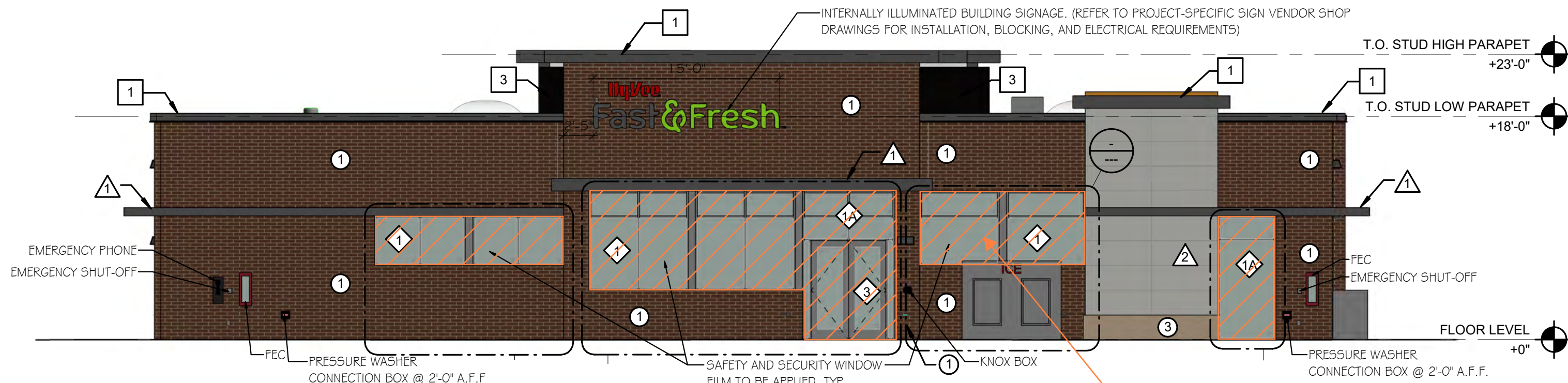
METAL TRIM COLORS:

1. PREFINISHED METAL WALL CAP
COLOR: MATCH FIRESTONE UVA-CLAD "CHARCOAL GRAY"
2. PREFINISHED 0.40 ALUMINUM PANELS
COLOR: MATCH STONEWOOD TELEGRAY
3. PREFINISHED CORRUGATED STEEL PANELS
FIRESTONE UVA-CLAD OMEGA-VR
COLOR: "CITYSCAPE SR"

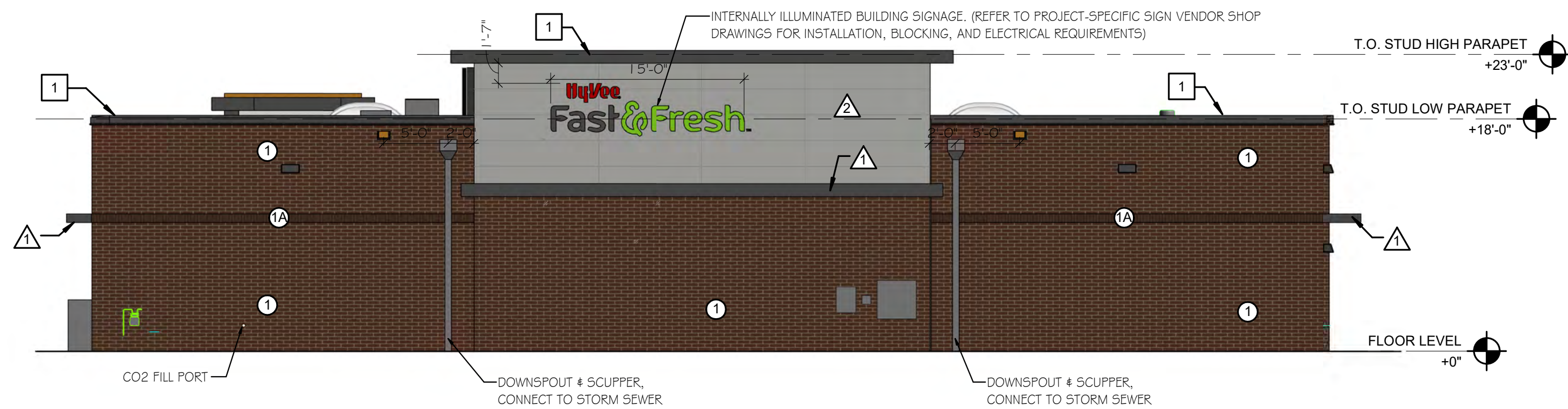
EXTERIOR ELEVATION NOTES

1. REFER TO ADDITIONAL NOTES AND REQUIREMENTS ON ALL OTHER DOCUMENTS AND OTHER DISCIPLINES DOCUMENTS.
2. ALL HORIZONTAL TRANSITIONS BETWEEN DIFFERENT MATERIALS SHALL BE FLASHED CONTINUOUS FROM UP BEHIND TO UNDER UPPER MATERIAL AND EXTEND OVER TO EXTERIOR FACE OF LOWER MATERIAL.
3. ANY RETURNING OR BLIND ELEVATIONS NOT SHOWN SHALL BE SIMILAR IN MATERIAL AND MAKEUP TO ADJACENT CONDITIONS OR OTHER SIMILAR CONDITIONS.
4. MATERIALS ABOVE CANOPIES & AWNINGS TO BE CONTINUED DOWN BEHIND THEM U.O.N., TYP.
5. NO EXPOSED MASONRY/MATERIAL CORES.
6. INSTALL VERTICAL EXPANSION JOINTS PER STRUCTURAL OR MINIMAL AT COLLIMATED LINES AND AT THE HEAD OF DOOR JAMB/SOPENINGS OR AS OTHERWISE NOTED OR WHERE REQUIRED PER STANDARD MATERIAL PRACTICE TO REDUCE STRESS CRACKING. NO CONTROL JOINT/EXPANSION JOINT AT MAIN STRUCTURAL BEARING, KEEP AWAY 2'-0" MIN.
7. CAULK & SEAL ALL TRANSITION-CONTROL-EXPANSION AT ALL EXTERIOR MATERIALS.
8. INSULATE AND SEAL TO ENSURE ADEQUATE AIR INFILTRATION BARRIER AROUND ALL EXTERIOR PENETRATIONS TO PREVENT WATER AND SPRINKLER PIPE FREEZING.
9. WHERE EXTERIOR PAVING ADJACENT TO BUILDING, TOP OF PAVING TO BE 1/4" LOWER THAN INTERIOR FINISH FLOOR, SLOPING CONTINUOUSLY AWAY FROM BUILDING A MINIMUM OF 5'. WHERE DOOR STOOP: 48" OUT FROM DOOR 1:48(2%) MAX. SLOPE, AFTER 48" AWAY FROM DOOR 1:20(5%) MAXIMUM SLOPE TO PUBLIC WAY. (REFER TO CIVIL)
10. WHERE NO EXTERIOR PAVING ADJACENT TO BUILDING, TOP OF FINISHED LANDSCAPE A MINIMUM OF 4" BELOW INTERIOR FINISH FLOOR AND 4" BELOW EXTERIOR WALL FLASHING/WEEPS, SLOPING CONTINUOUSLY AWAY FROM BUILDING A MINIMUM OF 5'. (REFER TO CIVIL)
11. ADDRESS SHALL BE PROVIDED ON STREET SIDE OF BUILDING AND ON MOVEMENT SIGN. NUMBERS A MINIMUM 5 INCH CONTRASTING COLOR NUMBERS WITH MINIMUM 1/2" STROKE.
12. IF ANY SIGNAGE OR SIGN BASE IS SHOWN IT IS FOR REFERENCE ONLY. FINAL DESIGNS AND/OR ALLOWANCES SHALL BE DETERMINED WITH APPROVED SIGNAGE PERMITS(S).

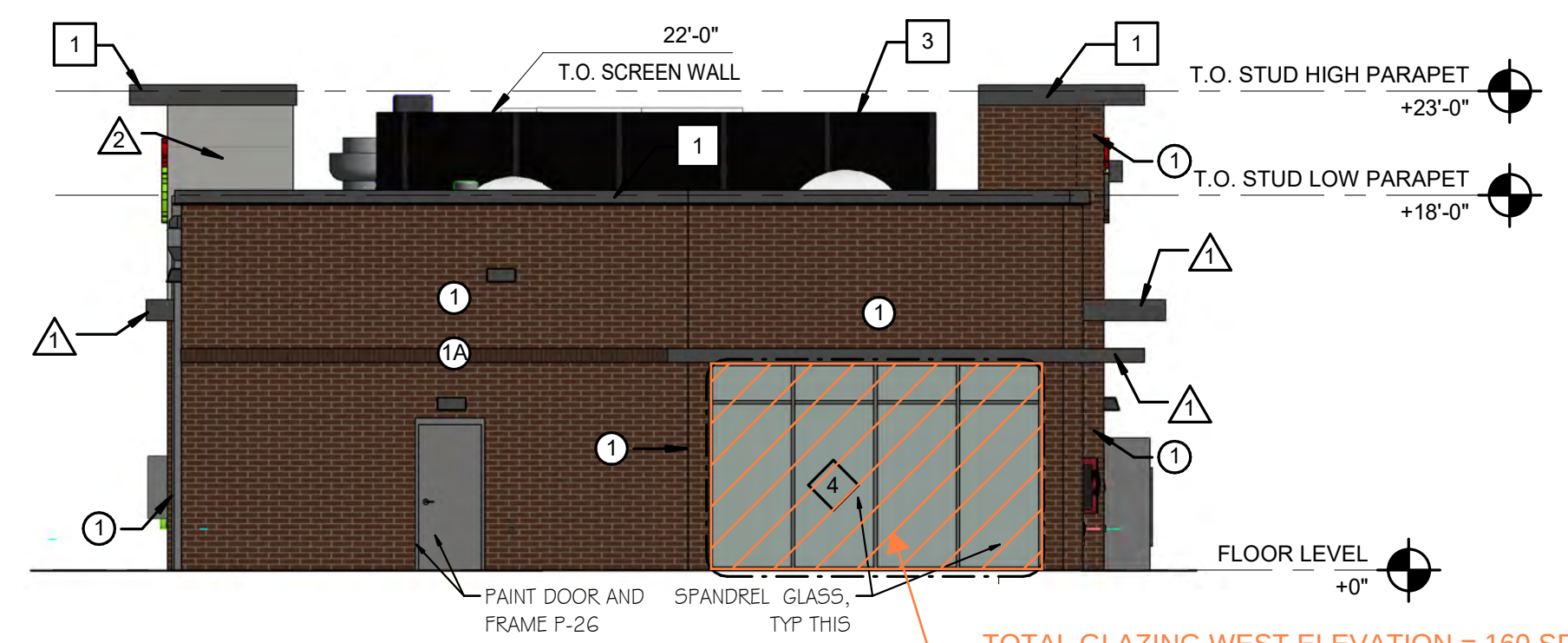
ACTUAL DETAILS & DIMENSIONS MAY VARY AND ARE SUBJECT TO CHANGE. ALL DRAWINGS ARE SUBJECT TO CITY APPROVAL. SIGNAGE SHOWN DOES NOT REPRESENT ALLOWABLE SIGNAGE PERMITTING/APPROVAL OF ALL SIGNAGE PER CURRENT CITY ORDINANCE BY OTHERS.



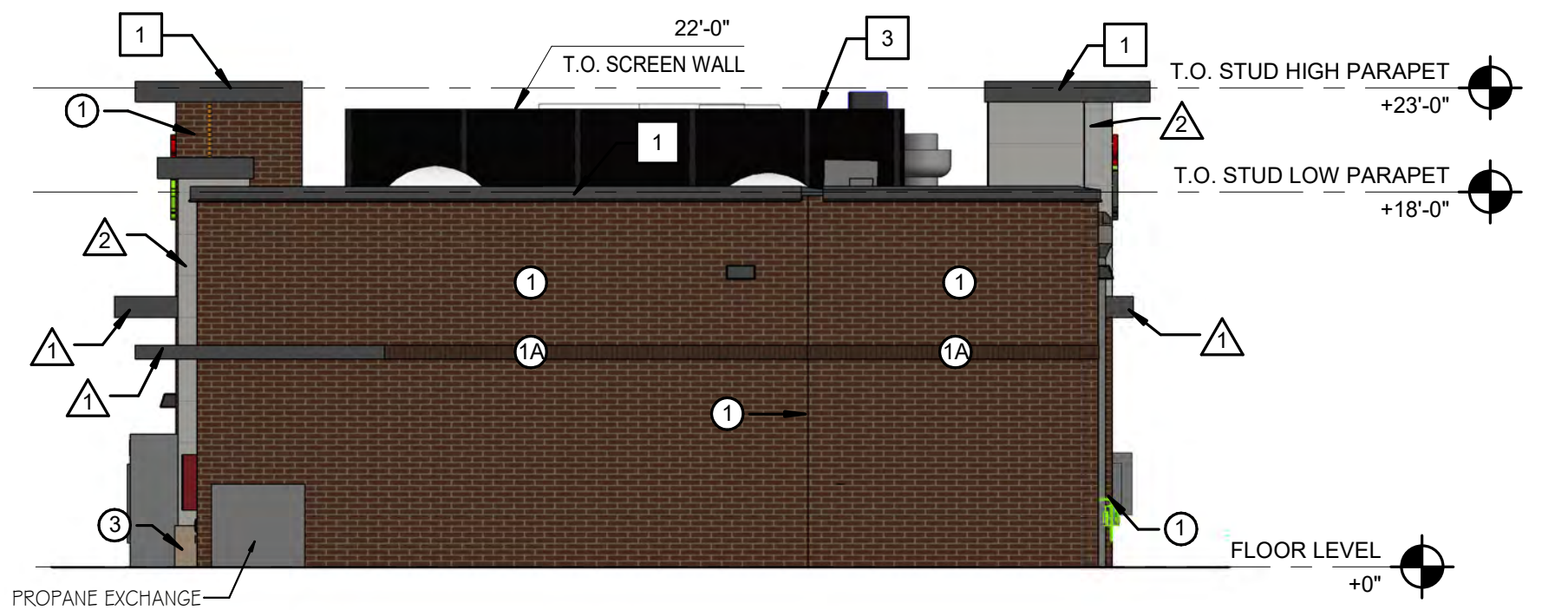
2 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



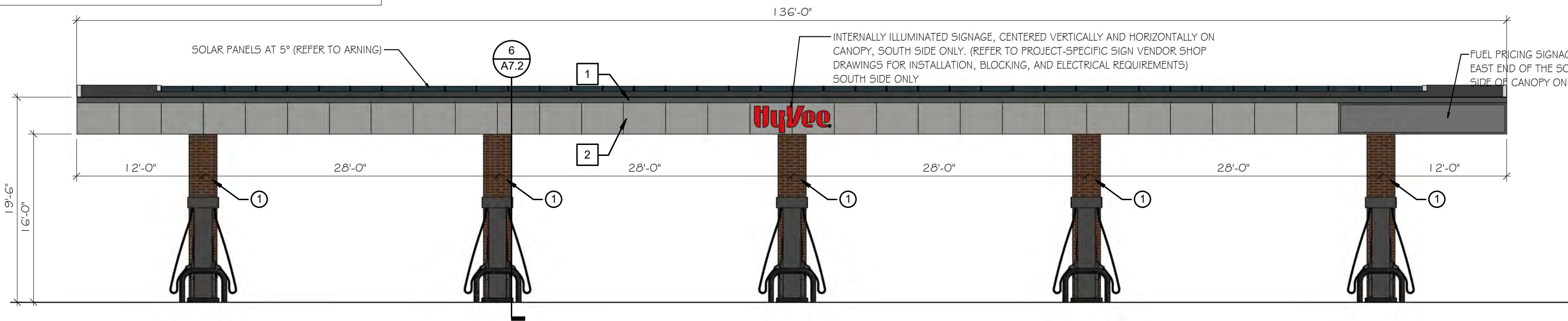
4 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



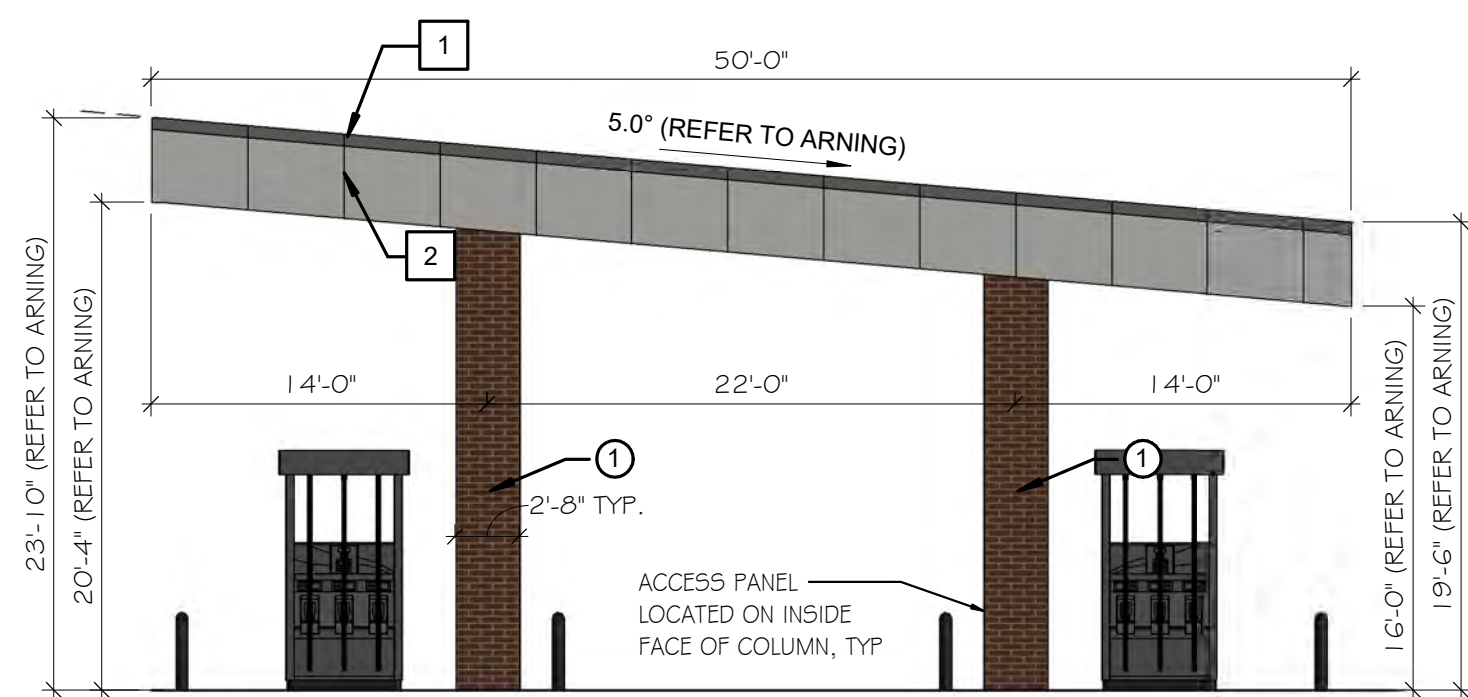
3 WEST ELEVATION
SCALE: 1/8" = 1'-0"



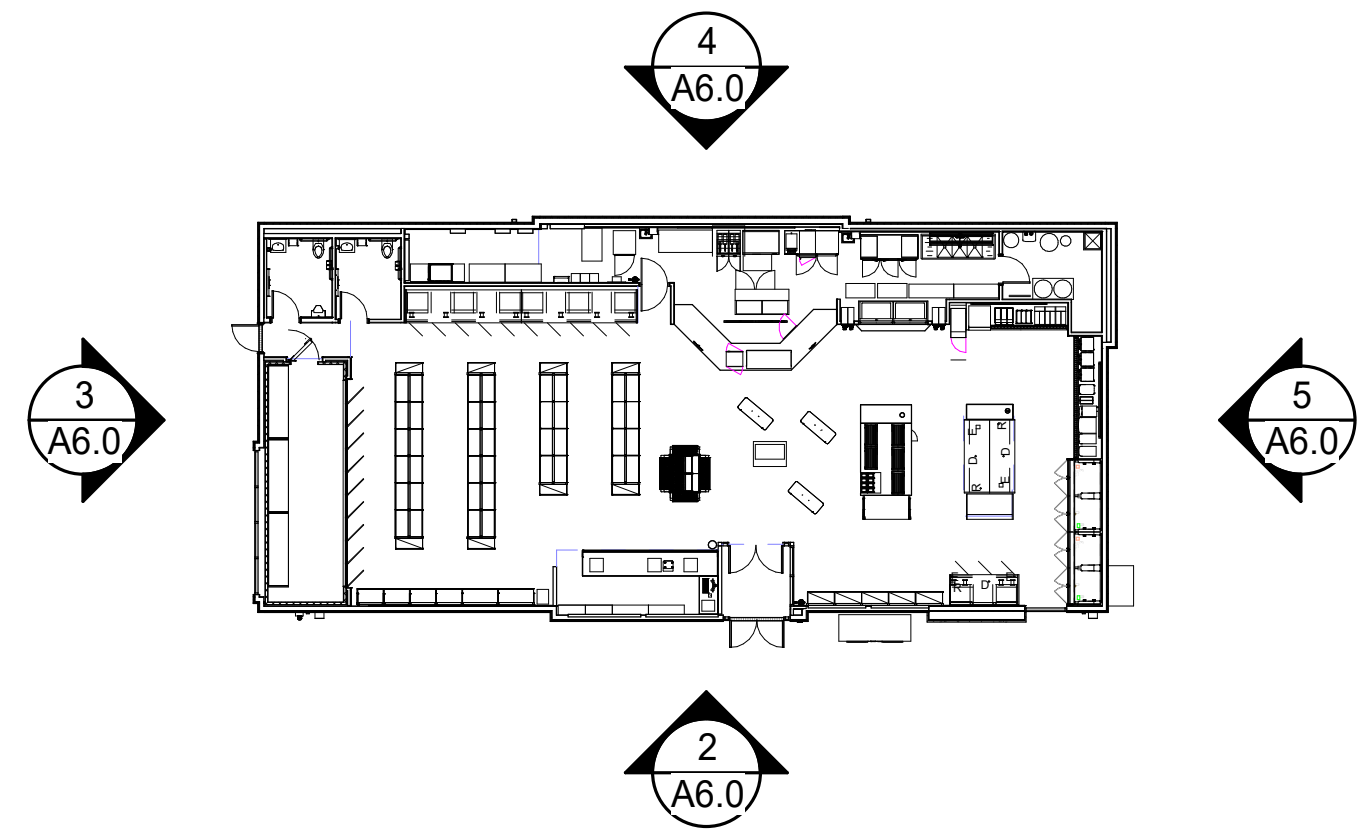
5 EAST ELEVATION
SCALE: 1/8" = 1'-0"



6 GAS CANOPY SOUTH ELEVATION (NORTH SIMILAR)
SCALE: 1/8" = 1'-0"



7 GAS CANOPY WEST ELEVATION (EAST ELEVATION)
SCALE: 1/8" = 1'-0"



KEY PLAN
SCALE: N.T.S.

Grimes Masonry vs Glazing Calcs			
North			
Masonry/Other	1853.7	100%	
Glazing	0		
Total	1853.7	100%	
East			
Masonry/Other	808.26	100%	
Glazing	0		
Total	808.26	100%	
South			
Masonry/Other	1418.99	77.38%	
Glazing	414.75	22.62%	
Total	1833.74	100.00%	
West			
Masonry/Other	622.32	79.55%	
Glazing	160	20.45%	
Total	782.32	100.00%	
Total			
Masonry/Other	4703.27	89.11%	
Glazing	574.75	10.89%	
Total	5278.02	100.00%	

REVISION	DATE BY
----------	---------

simonson
simonson & associates architects llc

LOCATION:
Grimes, IA Fast & Fresh
1401 E. 1st Street, Grimes, IA 50111
HY-VEE, INC.
5820 WESTTOWN PARKWAY
WEST DES MOINES, IOWA 50266
TELEPHONE: (515) 267-2600
FAX: (515) 267-2535
Hy-Vee
EMPLOYEE OWNED

EXTERIOR
ELEVATIONS

DRAWN: CH	DATE: MAR 2021
SCALE: As indicated	JOB NUMBER: 21010

SHEET:

A6.0





