



Planning and Zoning Commission

April 6, 2021

Agenda

Meeting Held Electronically due to COVID-19

5:30 P.M.

Electronic Meeting as Provided Under Iowa Code, Chapter 21*

***Please note that this Grimes Planning and Zoning Meeting will be an electronic meeting pursuant to Iowa Code Section 21.8 due to the national health emergency that makes it impossible or impractical for an in-person meeting.**

The public is welcome and encouraged to attend and participate in this meeting by either internet or phone as follows:

- 1. Internet- Meeting attendance may be obtained by “Join Zoom Meeting”. Simply enter the following internet address and ID:**

Join Zoom Meeting

<https://zoom.us/j/92486470457?pwd=dUo2bS90NEM1dWNOMnJZTWJjVGd2dz09>

Meeting ID: 924 8647 0457

Passcode: 1234

- 2. By Phone: 877 853 5257 US Toll-free.**

Hearing Assistance: If you are hearing impaired, Grimes will provide a sign language communicator on the internet Zoom meeting video presentation upon request. Please contact the Grimes City Clerk Rochelle Williams by email at rwilliams@grimesiowa.gov to request this service.

For any additional assistance or questions in attending the meeting, please call 515-986-3036 from 8 a.m. to 5 p.m., or contact the Grimes City Clerk Rochelle Williams by email at rwilliams@grimesiowa.gov.

For any additional assistance or questions in attending the meeting, please call 515-986-3036 from 8 a.m. to 5 p.m. Monday-Friday.

Meetings will be recorded

AGENDA

A GENERAL AGENDA ITEMS

1. Call to Order
2. Roll Call: Amy Montford, Craig Patterson, Scott Almeida, Danielle Smid, Courtney Strutt Todd
Council Liaison Andrew Borcharding
3. Approval of the Agenda
4. Approval of Previous Minutes

B. PUBLIC AGENDA ITEMS

1. Project # 21-1008: Princeton Subdivision Plat 1 Lot 7 – Site Plan Amendment

D. REPORTS

1. Department Update
2. Council Liaison Update
3. Old Business
4. New Business

E. ADJOURNMENT



101 NE Harvey Street, Grimes, Iowa 50111 | P: 515.986.3036

This meeting of the Grimes Planning and Zoning Commission was called to order Tuesday, March 2, 2021 at 5:30 P.M. and was held electronically due to the global health pandemic.

Roll Call: Present: Scott Almeida, Craig Patterson, Courtney Strutt-Todd, Amy Montford, Council Liaison: Andrew Borcharding

Staff: Alex Pfaltzgraff, Evann Martin, Rachel Greving

Absent: Danielle Smid

A. GENERAL AGENDA ITEMS

1. APPROVAL OF THE AGENDA

Motion by Strutt-Todd, Second by Montford, to approve the agenda

Roll Call: Ayes-All; Nays-0 Motion passes: 4-0

2. APPROVAL OF THE MINUTES

Motion by Patterson, Second by Strutt-Todd, to approve the minutes from the February 2, 2021 meeting

Roll call: Ayes-All: Nays-0 Motion passes: 4-0

B. PUBLIC AGENDA ITEMS

Project #21-1001: South James Plat 1 – Preliminary Plat

Staff member Martin presented the details of the project.

The commission asked questions about the project. A round-about is not ideal for this location, and an addition of a turn lane is being considered.

Motion by Montford, Second by Patterson to approve South James Plat 1 – Preliminary Plat

Roll Call: Aye-All Nay-0 **Motion Passes 4-0**

Project #21-1002: South James Plat 1 – Final Plat

Staff member Martin presented the details of the project.

Motion by Montford, Second by Patterson to approve South James Plat 1 – Final Plat

Roll Call: Aye-All Nay-0 **Motion Passes 4-0**

Project # 21-1003: Destination Market Plat 6 – Preliminary Plat

Staff member Martin presents the details of the project.

The commission asked questions of the project. There is no signal constructed and a signal is not planned. Northeast Platinum Drive is already constructed.

Motion by Montford, Second by Strutt-Todd to approve Destination Market Plat 6 – Preliminary Plat

Roll Call: Aye-All Nay-0 **Motion Passes 4-0**

Project #21-1004: Destination Market Plat 6 – Final Plat

Staff member Martin presented the details of the project.

Motion by Montford, Second by Strutt-Todd to approve Destination Market Plat 6 – Final Plat

Roll Call: Aye-All Nay-0 **Motion Passes 4-0**

Project #21-1005: Christian Brothers Automotive – Site Plan

Staff member Martin presented the details of the project.

Motion by Montford, Second by Patterson to approve Christian Brothers Automotive – Site Plan

Roll Call: Aye-All Nay-0 **Motion Passes 4-0**

C. PUBLIC FORUM – None

D. REPORTS

- 1. Department Update – Staff provided an update on development and capital projects around the City.**
- 2. Council Liaison Update – N/A**
- 3. Old Business – N/A**
- 4. New Business – N/A**
- 5. Next meeting April 6, 2021**

Meeting is adjourned at 6:00 p.m.

Signature

Planning & Zoning Staff Report



TO: Planning and Zoning Commission
FROM: Evann Martin, Assistant Planner
DATE: April 6, 2021
RE: Princeton Subdivision Plat 1 Lot 7 – Site Plan Amendment

GENERAL INFORMATION:

Applicant:	JM Commercial Holdings LLC
Requested Action	Site Plan Amendment
Location	1884 SE Destination Drive

SUPPORTING INFORMATION:



Location Map



Zoning Map

LAND USES & ZONING:

Location	Existing Land Use	Land Use Plan Designation	Current Zoning
Subject Site	Commercial	Light Industrial	M-1A
North	Industrial	Light Industrial	M-1A
South	Vacant	Mixed Use 2	M-1A
East	Industrial	Light Industrial	M-1A
West	Vacant	Light Industrial	M-1A

BACKGROUND:

The north side of the site is currently developed with a 12,000 square foot retail building. The applicant has requested approval of a site plan amendment to construct the second phase of the project to include a 6,000 square foot building and parking located on the south portion of the lot.

This site is zoned M-1A and is located within Zone 2 of the HWY 141 Corridor Overlay.

ANALYSIS:*Building/Elevations:*

The building is to be constructed out of Nichiha architectural concrete panels, stone, and metal coping. The building material colors are proposed to be similar to the existing building to provide some cohesion between the two buildings. Wall accent lighting is proposed on the south and east facades that face the public streets. The dumpster enclosure is proposed to be constructed of concrete block with metal gate to match the existing dumpster enclosure on the north side of the site. The proposed elevations demonstrate five of the required architectural elements and appear to meet the Highway 141 Corridor regulations.

Site Layout:

The site has full access off of SE Destination Drive. No access is shown out to SE 19th Street, however a future connection to the parcel to the west is planned.

Pedestrian connectivity will be provided from the sidewalk along SE 19th Street to the building. Public sidewalk along SE Destination is shown as future. An additional future sidewalk connection is proposed to connect the north side of the building to the future sidewalk along SE Destination.

Parking:

Based upon the proposed use and square footage of both buildings, 72 spaces are required. The site is shown to provide 73 parking spaces. The requisite number of accessible parking spaces and the associated signage is also provided.

Landscaping/Streetscape:

The property is required to provide 15% open space. As presented, 23% open space is shown over the entire site. The site provides the required landscaping along the public right-of-way, along the building faces, and to shield the transformer from the right-of-way.

Utilities:

The site's storm water management responsibility is being managed within the existing underground detention facility. There are a number of intakes and overland collection points provided on the site. In the case of an extreme rain event, there is an emergency overtop flow route provided.

Water service for the new building will be provided off of the existing 6" water service on site. The 6,000 square foot building is proposed to be outfitted with a fire suppression system, as such an appropriately located FDC and fire service line are shown on the site. The FDC has been requested to be moved to the northwest corner of the building to be located within 100' of a hydrant and unobstructed by parking and landscaping.

Sanitary sewer will be accessed via the existing sanitary sewer service on the west side of the building.

STAFF RECOMMENDATION:

Based upon staff's review of the project, we would recommend approval of the proposed site plan amendment for Princeton Subdivision Plat 1 Lot 7, subject to any remaining staff comments.

CITY OF GRIMES

Evann Martin
Assistant Planner



Development Services

410 SE Main St, Suite 102

Grimes, IA 50111

(515)986-4050

www.grimesiowa.gov

~~March 2, 2021~~

~~March 15, 2021~~

March 30, 2021

Civil Design Advantage

Attn: Erin Ollendike

3405 SE Crossroads Drive, Suite G

Grimes, IA 50111

RE: 1884 SE Destination Drive Site Plan Amendment (Princeton Subdivision Lot 7)

Dear Ms. Ollendike:

The Development Services Department is in receipt of a proposed Site Plan Amendment for the 1884 SE Destination Drive. Based on the review of the provided submittal materials, staff have the following comments:

General Comments:

1. ~~Add maximum building height to development summary.~~
2. Required open space should be 15%. Please revise. **Please revise square footage. Should be 11,597 sf.**

Sheet 2.0 Dimension Plan

1. ~~Under General Note #5 change construction division to Engineering Dept.~~
2. ~~Please move the ADA spaces to the north side of the building where they will have the shortest accessible route.~~

Sheet 4.0 Utility Plan

3. Add City of Grimes standard notes for site plans. **Update with current notes. Attached.**
4. ~~The revised utility drawing for Building #1 (Revised Final Submittal date of 11/21/19) shows water services coming from the south to the SE building corner and from east to the NE building corner. Confirm water services to the SE bldg. corner~~

~~are not in use or provide a tapping sleeve and valve at proposed water service connection.~~

~~5. Label size of existing utility lines.~~

~~6. Revise sheet title to Utility Plan.~~

7. Provide roof drain connections.

8. Please move the FDC to within 100' of the hydrant. Preferably on the same corner of the building as the hydrant.

Sheet 5.0 Landscape Plan

~~1. Please add additional shrubs to screen the transformer from the ROW.~~

~~2. Revise Note 5. Ground cover is required to be sod.~~

~~3. Update required open space to 15%.~~

~~4. Provide 1 shrub per 4 linear feet of frontage.~~

~~5. Demonstrate that the plans meet the minimum planting requirements per 165A.16.9~~

~~6. Provide plantings along the building faces along ROW.~~

Elevations:

1. Provide lighting cut sheets and photometric plan. Up lighting is required on building faces along ROW. Please provide up lighting on the building. Different light fixtures could be provided or lights could be added to shine from the ground.

2. Show wall lighting locations on the elevation drawings. Are there any other light fixtures proposed? Any LED light strips or colored lighting? All lighting will need to be detailed on the elevations. If the lighting design is changed after the elevations are approved by P&Z and Council, the elevations will need to go back for approval.

~~3. Any roof mounted equipment that can't be screened by the parapet is required to be screened.~~

~~4. On the east elevation, it does not show the entrance to what appears to be the sprinkler riser room on the site plan submittal. Please show this on the elevation.~~

- ~~5. Staff is concerned that the building is quite different from the existing building. Staff suggests using the same color scheme (dark gray, white, black) as the existing building. Staff suggests switching the brown wood textured Nichiha to dark gray panels similar to the existing building.~~

SWPPP

1. **Provide SWPPP.**

Stormwater Management Plan (SWMP)

- ~~1. Please provide final, signed copy.~~

Site Plan

- ~~1. Sheet 4.0: Existing storm sewer shows 15", but note calls out to connect to existing 12" HDPE pipe. Please verify.~~

Please provide a letter addressing all comments on this comment letter and/or state what was modified on the site plan to address said comments.

SITE PLAN SUBMITTAL SCHEDULE:

SUBMITTAL DATE:	March 8, 2021 (1 PDF of Site plan with Elevation Plan included)
PLANNING & ZONING:	April 6, 2021 at 5:30 at the Grimes City Hall
COUNCIL MEETING:	April 27, 2021 at 5:30 at the Grimes City Hall

Please feel free to contact me at emartin@grimesiowa.gov or at (515) 986-4050 if you have any questions or need additional information.

Sincerely,

Evann Martin
Assistant Planner

SITE PLAN FOR:

LOT 7, PRINCETON SUBDIVISION, PLAT 1 - PHASE 2

GRIMES, IOWA

INDEX OF SHEETS

NO.	DESCRIPTION
C1.0	COVER SHEET
C2.0	DIMENSION PLAN
C3.0	GRADING PLAN
C4.0	UTILITY PLAN
C5.0	LANDSCAPE PLAN (PHASE 1 & 2)
C6.0	DETAILS
A1	BUILDING ELEVATIONS (DESIGN ALLIANCE, INC.)

GENERAL LEGEND

PROPOSED

PROJECT BOUNDARY	_____
LOT LINE	_____
SECTION LINE	_____
CENTER LINE	_____
RIGHT OF WAY	--- R/W ---
PERMANENT EASEMENT	--- P/E ---
TEMPORARY EASEMENT	--- T/E ---
TYPE SW-501 STORM INTAKE	
TYPE SW-503 STORM INTAKE	
TYPE SW-505 STORM INTAKE	
TYPE SW-506 STORM INTAKE	
TYPE SW-513 STORM INTAKE	
TYPE SW-401 STORM MANHOLE	
TYPE SW-402 STORM MANHOLE	
TYPE SW-301 SANITARY MANHOLE	
STORM/SANITARY CLEANOUT	
WATER VALVE	
FIRE HYDRANT ASSEMBLY	
SIGN	
DETECTABLE WARNING PANEL	
STORM SEWER STRUCTURE NO.	
STORM SEWER PIPE NO.	
SANITARY SEWER STRUCTURE NO.	
SANITARY SEWER PIPE NO.	
SANITARY SEWER WITH SIZE	8"S
SANITARY SERVICE	S S S
STORM SEWER	ST ST
STORM SERVICE	ST ST
WATERMAIN WITH SIZE	8"W
WATER SERVICE	W W
SAWCUT (FULL DEPTH)	
SILT FENCE	
USE AS CONSTRUCTED	UAC

EXISTING

SANITARY MANHOLE	
WATER VALVE BOX	
FIRE HYDRANT	
WATER CURB STOP	
WELL	
STORM SEWER MANHOLE	
STORM SEWER SINGLE INTAKE	
STORM SEWER DOUBLE INTAKE	
FLARED END SECTION	
ROOF DRAIN/ DOWNSPOUT	
DECIDUOUS TREE	
CONIFEROUS TREE	
DECIDUOUS SHRUB	
CONIFEROUS SHRUB	
ELECTRIC POWER POLE	
GUY ANCHOR	
STREET LIGHT	
POWER POLE W/ TRANSFORMER	
UTILITY POLE W/ LIGHT	
ELECTRIC BOX	
ELECTRIC TRANSFORMER	
ELECTRIC MANHOLE OR VAULT	
TRAFFIC SIGN	
TELEPHONE JUNCTION BOX	
TELEPHONE MANHOLE/VAULT	
TELEPHONE POLE	
GAS VALVE BOX	
CABLE TV JUNCTION BOX	
CABLE TV MANHOLE/VAULT	
MAIL BOX	
BENCHMARK	
SOIL BORING	
UNDERGROUND TV CABLE	TV
GAS MAIN	G
FIBER OPTIC	FO
UNDERGROUND TELEPHONE	T
OVERHEAD ELECTRIC	OE
UNDERGROUND ELECTRIC	E
FIELD TILE	TILE
SANITARY SEWER W/ SIZE	8"S
STORM SEWER W/ SIZE	15" RCP
WATER MAIN W/ SIZE	8"W

VICINITY MAP

NOT TO SCALE



OWNER

JM COMMERCIAL HOLDINGS, LLC
CONTACT: MATTHEW GUSTAFSON
2159 GRAND AVENUE
WEST DES MOINES, IOWA 50265

APPLICANT

JM COMMERCIAL HOLDINGS, LLC
CONTACT: MATTHEW GUSTAFSON
2159 GRAND AVENUE
WEST DES MOINES, IOWA 50265

ENGINEER

CIVIL DESIGN ADVANTAGE, LLC
CONTACT: ERIN OLLENDIKE
3405 SE CROSSROADS DRIVE, SUITE G
GRIMES, IOWA 50111
PH. (515) 369-4400
FX. (515) 369-4410

SURVEYOR

CIVIL DESIGN ADVANTAGE, LLC
CONTACT: MIKE BROONER
3405 SE CROSSROADS DRIVE, SUITE G
GRIMES, IOWA 50111
PH. (515) 369-4400
FX. (515) 369-4410

ARCHITECT

DESIGN ALLIANCE INC.
14225 UNIVERSITY AVE., SUITE 110
WAUKEE, IOWA 50263
PH. (515) 225-3469
FX. (515) 225-9649

LEGAL DESCRIPTION

LOT 7, PRINCETON SUBDIVISION PLAT 1, AN OFFICIAL PLAT,
CITY OF GRIMES, POLK COUNTY, IOWA.
CONTAINING 1.77 ACRES

ADDRESS

1884 SE DESTINATION DRIVE

PROPOSED USE

MIXED USE DEVELOPMENT

ZONING

M1-A COMMERCIAL LIMITED LIGHT INDUSTRIAL
DISTRICT: TRANSPORTATION OVERLAY

PROPERTY IS ALSO WITHIN ZONE 2 OF THE HIGHWAY 141
MIXED USE DEVELOPMENT CORRIDOR DISTRICT

DEVELOPMENT SUMMARY

SITE AREA: 1.77 ACRES (77,314 SF)

SETBACKS:

FRONT: 25'
SIDE: 0'
REAR: 25'

MAX BUILDING HEIGHT: 45'

OPEN SPACE REQUIRED: 15,597 SF (15%)

OPEN SPACE PROVIDED: 17,541 SF (23%)

IMPERVIOUS AREAS

BUILDING: 18,000 SF
PARKING LOT: 37,623 SF
SIDEWALKS: 4,150 SF
TOTAL: 59,773 SF (77%)

PARKING:

FLEX COMMERCIAL/RETAIL
1 SPACE PER 250 SF OF GROSS FLOOR AREA

BUILDING #1: 12,000 SF
REQUIRED: 48

BUILDING #2: 6,000 SF
REQUIRED: 24

TOTAL REQUIRED: 72
TOTAL PROVIDED: 73 (48 EXISTING, 25 PROPOSED)

ACCESSIBLE SPACES REQUIRED = 3 SPACES
ACCESSIBLE SPACES PROVIDED = 4 SPACES

DATE OF SURVEY

JULY 26, 2019

BENCHMARKS

ARROW ON HYDRANT @ NW CORNER OF SE
DESTINATION DR AND NW 62ND AVE.
ELEVATION=963.76

PK NAIL IN CURB WEST SIDE OF KUM & GO 10'
+/- SOUTHWEST OF TRASH ENCLOSURE.
PRINCETON AND NW 62ND AVE.
ELEVATION=956.63

PROJECT SCHEDULE

GRADING: MAY 2021
UTILITIES: MAY 2021
PAVING: AUGUST 2021
BUILDING CONSTRUCTION: MAY 2021-OCTOBER 2021

SUBMITTAL DATES

-SITE PLAN SUBMITTAL TO CITY #1: 02/22/2021
-SITE PLAN SUBMITTAL TO CITY #2: 03/08/2021



UTILITY WARNING

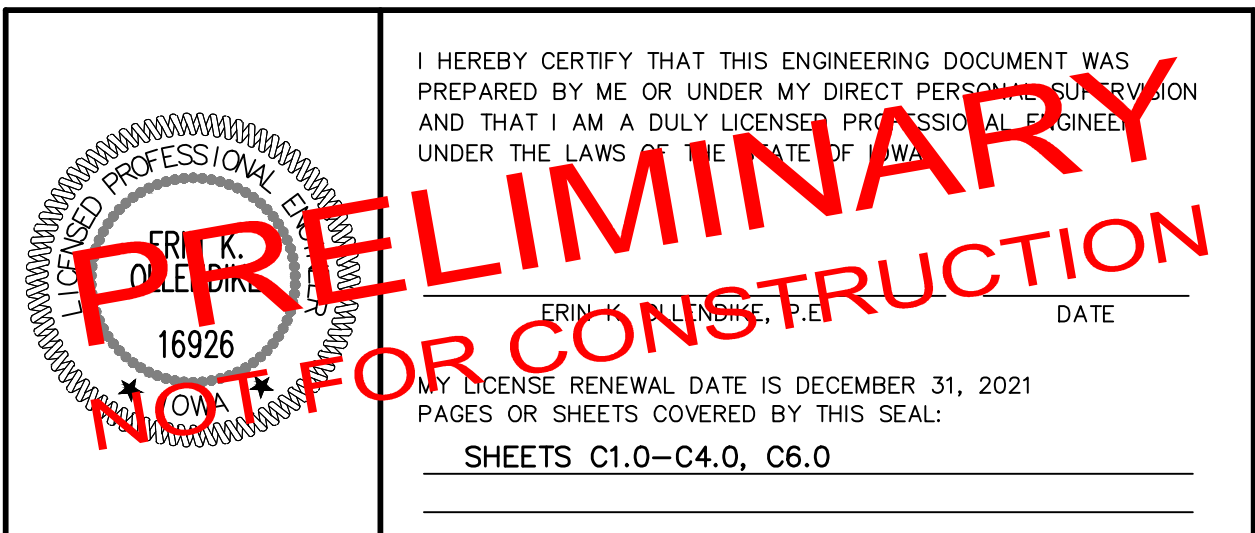
ANY UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD
SURVEY AND RECORDS OBTAINED BY THIS SURVEYOR. THE
SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES
SHOWN COMPRISE ALL THE UTILITIES IN THE AREA, EITHER
IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER
DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN
THE EXACT LOCATION SHOWN.

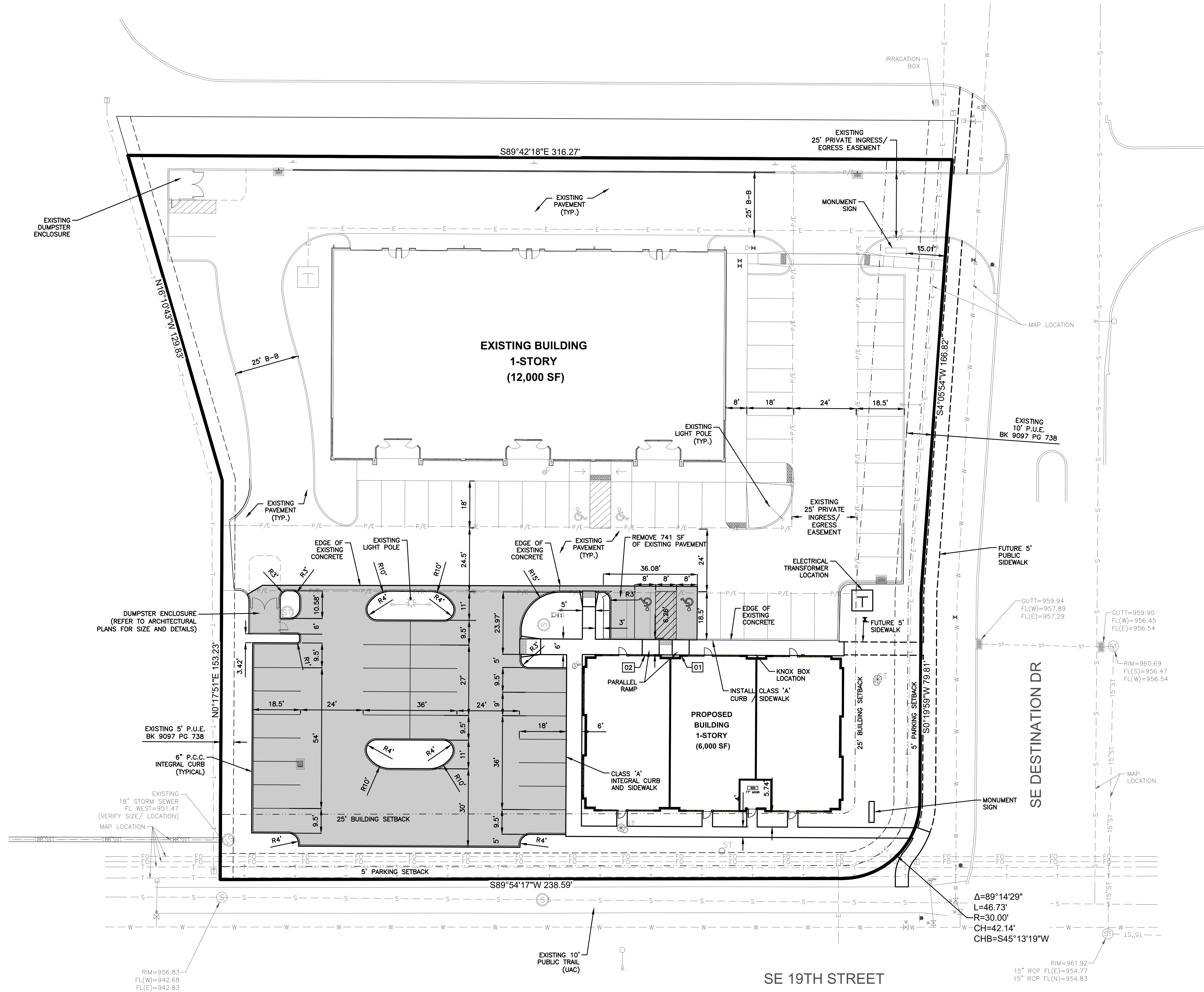


THE PROJECT REQUIRES AN IOWA NPDES PERMIT #2 AND CITY OF GRIMES
GRADING PERMIT. CIVIL DESIGN ADVANTAGE WILL PROVIDE THE PERMITS AND THE
INITIAL STORM WATER POLLUTION PREVENTION PLAN (SWPPP) FOR THE
CONTRACTORS USE DURING CONSTRUCTION. THE CONTRACTOR SHALL BE
RESPONSIBLE FOR UPDATING THE SWPPP THROUGHOUT CONSTRUCTION AND
MEETING LOCAL, STATE AND FEDERAL REQUIREMENTS.

ALL CONSTRUCTION MATERIALS, DUMPSTERS, DETACHED TRAILERS OR SIMILAR
ITEMS ARE PROHIBITED ON PUBLIC STREETS OR WITHIN THE PUBLIC R.O.W.

THE MOST RECENT EDITION OF THE SUDAS STANDARD SPECIFICATIONS, THE
PUBLIC RIGHTS-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG) AND ALL CITY
SUPPLEMENTALS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT
UNLESS OTHERWISE NOTED.





GENERAL NOTES

1. THE MOST RECENT EDITION OF THE SUDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.
2. ALL WORK SHALL COMPLY WITH ADA ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES.
3. ALL WORK SHALL BE IN ACCORDANCE WITH OSHA CODES AND STANDARDS. NOTHING INDICATED ON THE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.
4. PRIOR TO ANY WORK AT THE SITE, CONTRACTOR SHALL EXAMINE ANY APPLICABLE DRAWINGS AVAILABLE FROM THE OWNER, ENGINEER, AND/OR ARCHITECT, AND CONSULT WITH OWNER'S PERSONNEL AND UTILITY COMPANY REPRESENTATIVES. NO COMPENSATION WILL BE ALLOWED FOR DAMAGE FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.
5. ONE WEEK PRIOR TO CONSTRUCTION WITHIN CITY R.O.W. OR ANY CONNECTION TO PUBLIC SEWERS CONTRACTOR SHALL NOTIFY THE CITY'S ENGINEERING DEPARTMENT.
6. ALL CONSTRUCTION WITHIN PUBLIC R.O.W./ EASEMENTS, AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, SHALL COMPLY WITH THE CITY'S STANDARDS.
7. ALL DIMENSIONS ARE TO BACK OF CURB, BUILDING FACE OR PROPERTY LINE UNLESS OTHERWISE NOTED.
8. CONTRACTOR TO VERIFY BUILDING DIMENSIONS WITH ARCHITECTURAL PLANS.
9. PLACE 3/4 INCH EXPANSION JOINT BETWEEN ALL P.C.C. PAVEMENT/SIDEWALKS AND BUILDING. PLACE 1/2 INCH EXPANSION JOINT BETWEEN SIDEWALKS AND P.C.C. PAVEMENT.
10. REMOVE ALL DEBRIS SPILLED INTO R.O.W. AT THE END OF EACH WORK DAY.
11. ALL PROPERTY PINS SHALL BE PROTECTED FROM GRADING OR OTHER OPERATIONS. ANY PINS DISTURBED SHALL BE RESET AT THE CONTRACTOR'S EXPENSE.
12. DO NOT STORE CONSTRUCTION MATERIALS AND EQUIPMENT IN THE RIGHT OF WAY.
13. THE CONTRACTOR SHALL NOT DISTURB DESIRABLE GRASS AREAS AND DESIRABLE TREES OUTSIDE THE CONSTRUCTION LIMITS. THE CONTRACTOR WILL NOT BE PERMITTED TO PARK OR SERVICE VEHICLES AND EQUIPMENT OR USE THESE AREAS FOR STORAGE OF MATERIALS. STORAGE, PARKING AND SERVICE AREAS WILL BE SUBJECT TO THE APPROVAL OF THE OWNER.
14. THE CONTRACTOR IS RESPONSIBLE FOR REPLACING ANY AREAS OF PAVEMENT OR SIDEWALK NOT TO BE REMOVED THAT IS DAMAGED DUE TO OPERATING EQUIPMENT ON THE PAVEMENT OR SIDEWALK.
15. THE CONTRACTOR MAY BE REQUIRED TO PLACE TEMPORARY WARNING DEVICES AND SAFETY FENCE AT CERTAIN LOCATIONS WHERE REPLACEMENT FEATURES ARE NOT INSTALLED THE SAME DAY, AS DIRECTED BY THE ENGINEER OR THE CITY.
16. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF WORK BETWEEN SUPPLIERS AND SUBCONTRACTORS INVOLVED IN THE PROJECT, INCLUDING STAGING OF CONSTRUCTION DETAILS.
17. CONCRETE REMOVAL FOR DRIVEWAY APPROACHES SHALL BE REMOVED TO THE NEAREST TRANSVERSE JOINT. CONTRACTOR SHALL VERIFY REMOVAL LIMITS WITH CITY'S CONSTRUCTION INSPECTOR PRIOR TO ANY CONCRETE REMOVAL.
18. ALL SCOUR STOP SHALL BE INSTALLED BY A CERTIFIED CONTRACTOR ACCORDING TO SCOUR STOP PRODUCT SPECIFICATIONS.
19. ALL PERMITS AND ADDITIONAL FEES REQUIRED TO COMPLETE THE WORK SHALL BE INCLUDED IN THE CONTRACTOR BID.
20. MONUMENT SIGNAGE WILL REQUIRE A SEPARATE PERMIT AND APPROVAL PROCESS.
21. THE SIDEWALK ALONG SE DESTINATION DRIVE SHALL BE INSTALLED AT A LATER DATE OR UPON NOTICE GIVEN BY THE CITY OF GRIMES. ONCE NOTICE IS GIVEN THE OWNER OF THE PROPERTY WILL HAVE 30 DAYS TO INSTALL THE SIDEWALK. SHOULD NOTICE BE GIVEN DURING THE WINTER SEASON THE OWNER AND CITY SHALL DETERMINE A SUITABLE DEADLINE DURING THE TYPICAL CONSTRUCTION SEASON.
22. A KNOX BOX WILL BE REQUIRED AND SHALL BE PURCHASED FROM THE KNOX COMPANY.

PAVEMENT THICKNESS

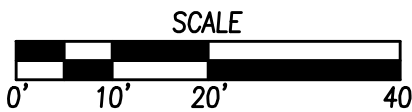
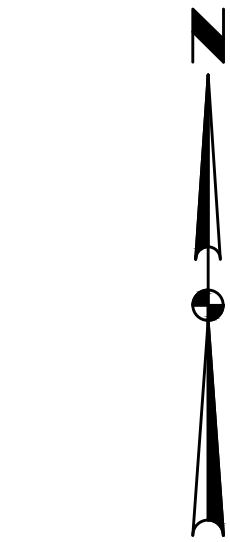
- | | |
|---|-----------|
| 1. SIDEWALKS | 4" P.C.C. |
| 2. PRIVATE ACCESS DRIVES | 6" P.C.C. |
| 3. APPROACH WITHIN ROW | 7" P.C.C. |
| 4. PARKING SPACES | 6" P.C.C. |
| 5. DUMPSTER ENCLOSURE | 8" P.C.C. |
| 6. MINIMUM PAVEMENT DEPTH OF SIDEWALK THROUGH ENTRANCE APPROACH | 7" P.C.C. |

SIGN LEGEND



R7-8a
[01]

R7-8a
[02]



LOT 7, PRINCETON SUBDIVISION, PLAT 1 PHASE 2 DIMENSION PLAN





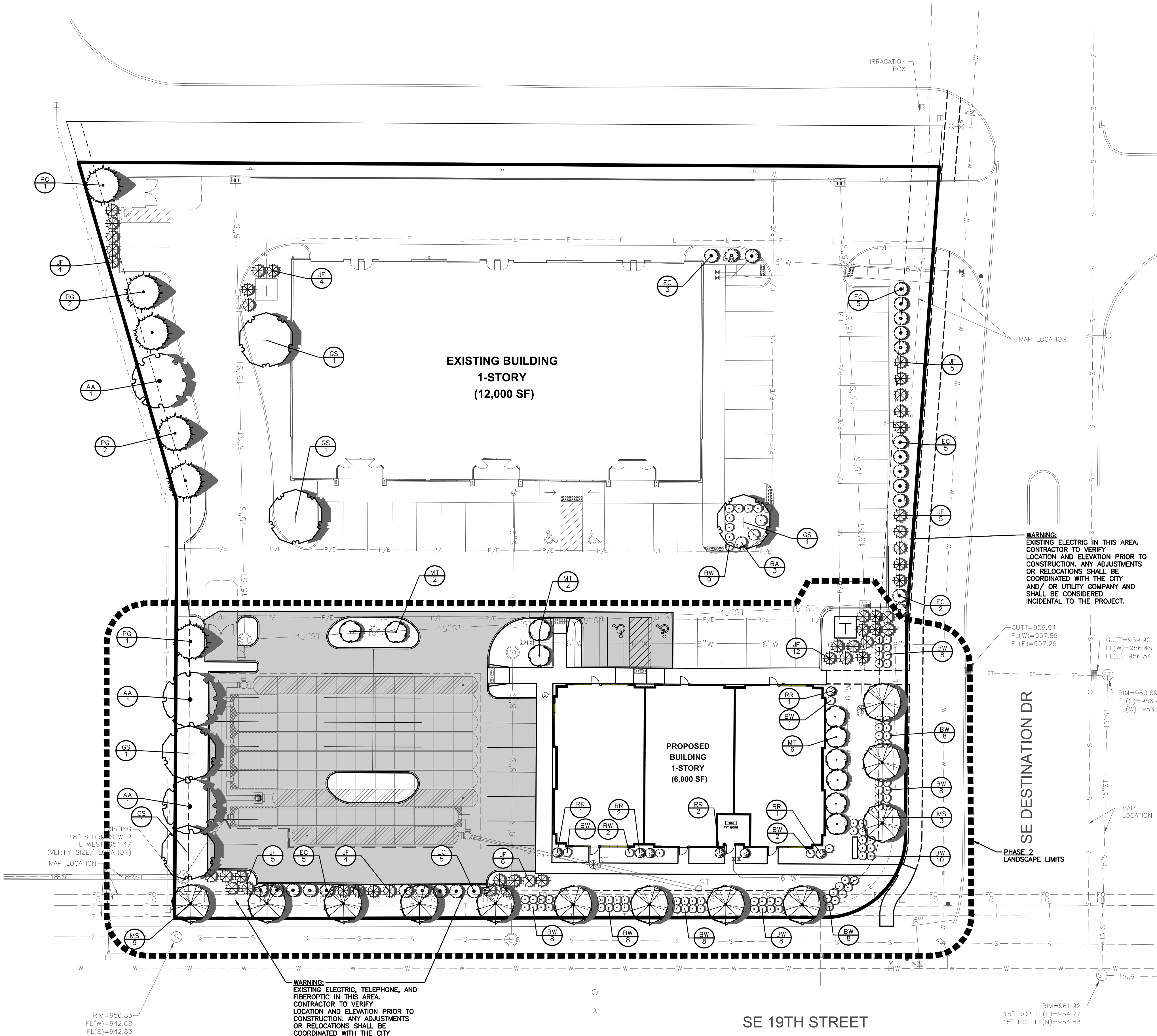


2101001

4.0

LOT 7, PRINCETON SUBDIVISION, PLAT 1
PHASE 2
UTILITY PLAN

GRIMES, IOWA



LANDSCAPING NOTES

1. LOCATE ALL UTILITIES BEFORE ANY PLANTING BEGINS.
2. THE MOST RECENT EDITION OF THE SUDAS STANDARD SPECIFICATIONS, AND ALL CITY SUPPLEMENTALS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.
3. TYPE, SIZE, AND QUALITY OF PLANT MATERIAL SHALL CONFORM TO THE MOST CURRENT EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1
4. ALL PLANT MATERIAL SHALL BE HEALTHY SPECIMENS WITHOUT DEFORMITIES, VOIDS AND OPEN SPACES, WITH WELL DEVELOPED BRANCH AND ROOT SYSTEMS; TRUE TO HEIGHT, SHAPE AND CHARACTER OF GROWTH OF THE SPECIES OR VARIETY.
5. SOD ALL DISTURBED AREAS.
6. BACKFILL TO TOP OF CURB, (MINUS 1 1/2" FOR SOD, IF REQ.)
7. WEED PREVENTER (PRE-EMERGENT) SHALL BE SPREAD OVER SOIL AFTER PLANTING AND BEFORE MULCHING IN ALL PLANTING BEDS PER MANUFACTURER'S RECOMMENDATIONS.
8. SHREDDED HARDWOOD MULCH SHALL BE PLACED AROUND ALL TREES, SHRUBS AND IN ALL PLANTING BEDS TO A (MIN) DEPTH OF 3".
9. ALL EDGING SHALL BE SPADE CUT EDGE.
10. PLANT QUANTITIES ARE SHOWN FOR INFORMATION ONLY. THE DRAWING SHALL PREVAIL IF ANY CONFLICTS ARISE.
11. ALL DEBRIS SPILLED IN THE PUBLIC R.O.W. SHALL BE PICKED UP BY THE CONTRACTOR AT THE END OF EACH WORK DAY.
12. CONTRACTOR SHALL WARRANTY ALL PLANT MATERIALS FOR A PERIOD OF ONE YEAR FROM DATE OF INSTALLATION.
13. CONTRACTOR SHALL PROVIDE IRRIGATION DESIGN TO OWNER, IF REQUESTED, FOR APPROVAL.

LANDSCAPE VEGETAION STANDARDS

REQUIRED
2 TREES PER 1,000 SF OF REQUIRED OPEN SPACE
1 SHRUB PER 500 SF OF REQUIRED OPEN SPACE

OPEN SPACE REQUIRED
SITE AREA = 77,314 SF
REQUIRED = 11,597 SF (15%)

TREES REQUIRED = 24
SHRUBS REQUIRED = 24

TREES PROVIDED = 24
SHRUBS PROVIDED = 37

PERIMTER OF LOT ADJACENT TO PUBLIC R.O.W.

REQUIRED
A HEDGE, WALL, EARTH BERM, OR OTHER DURABLE LANDSCAPE BARRIER A MINIMUM OF THREE (3) FEET IN HEIGHT.

1 TREE PER 50 LINEAR
1 SHRUB PER 4 LINEAR FEET

SE 19TH STREET: 262 LF
REQUIRED: 6 TREES
66 SHRUBS

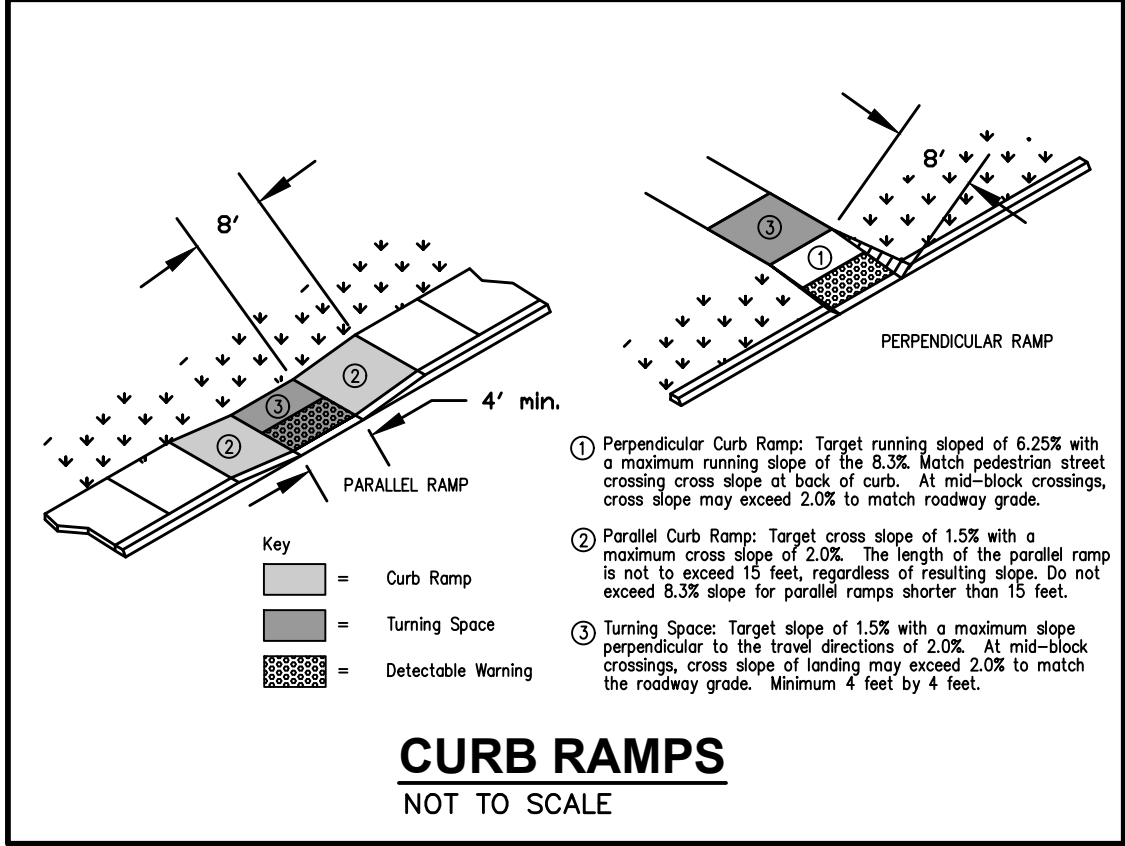
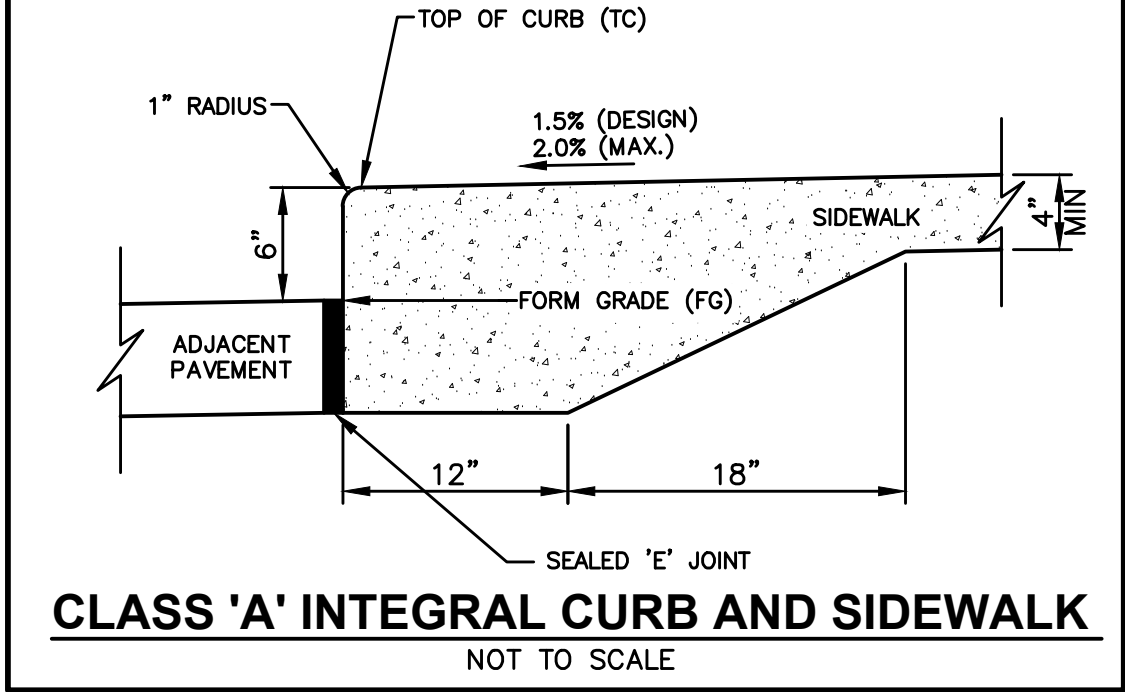
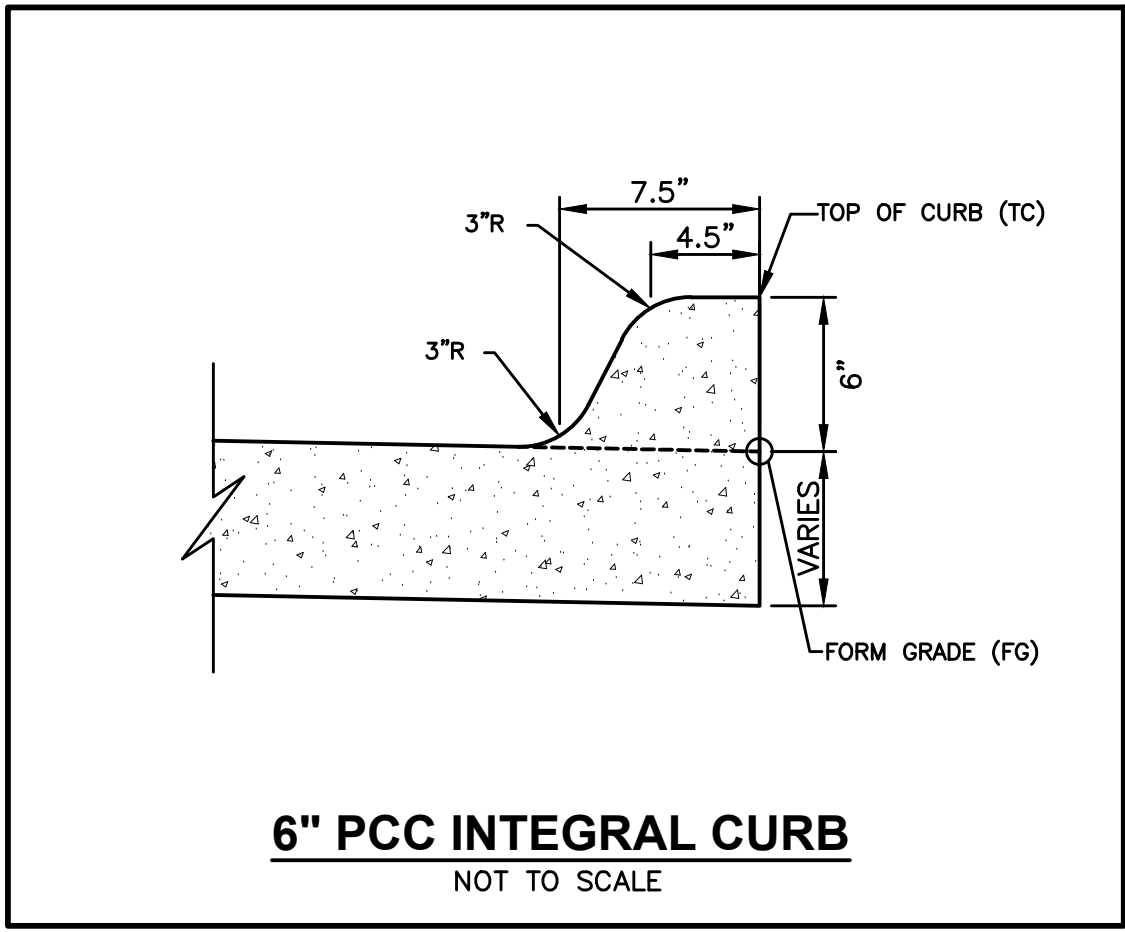
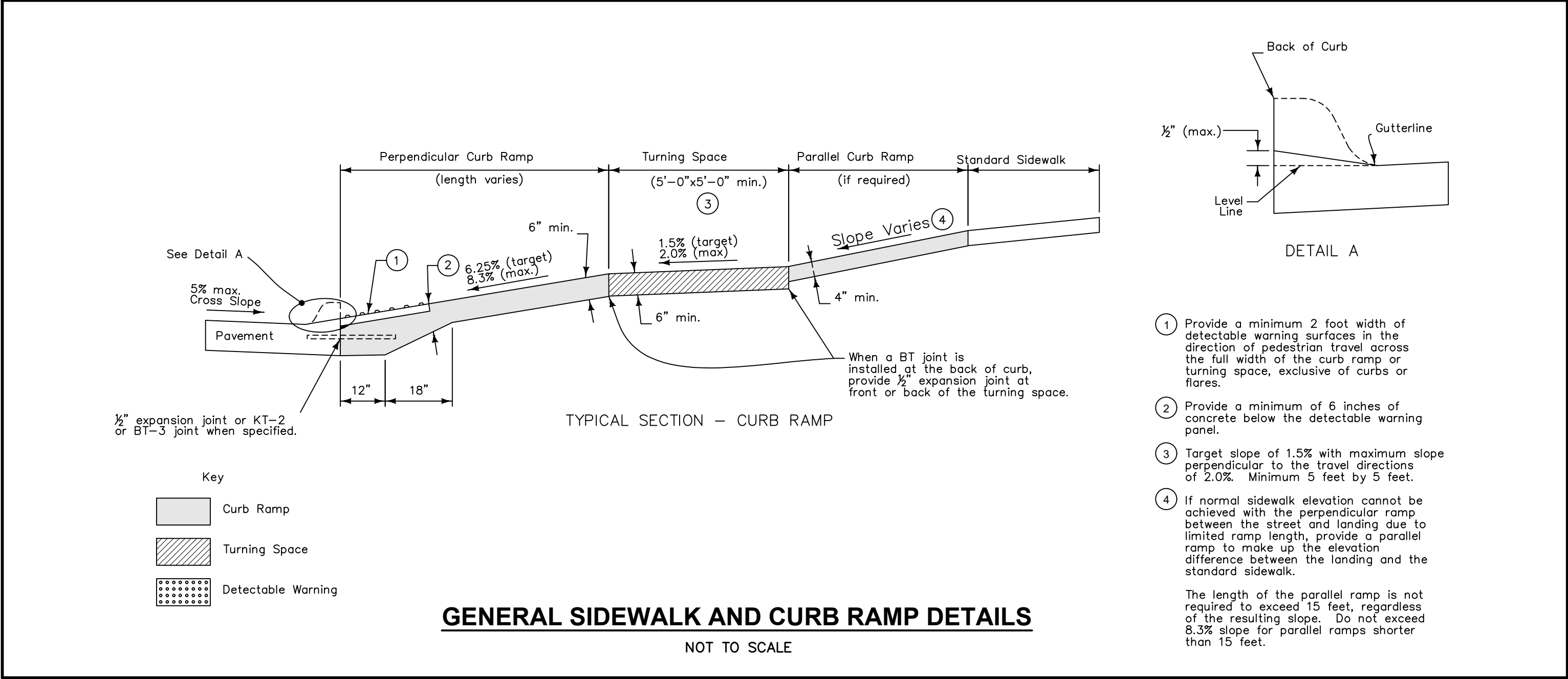
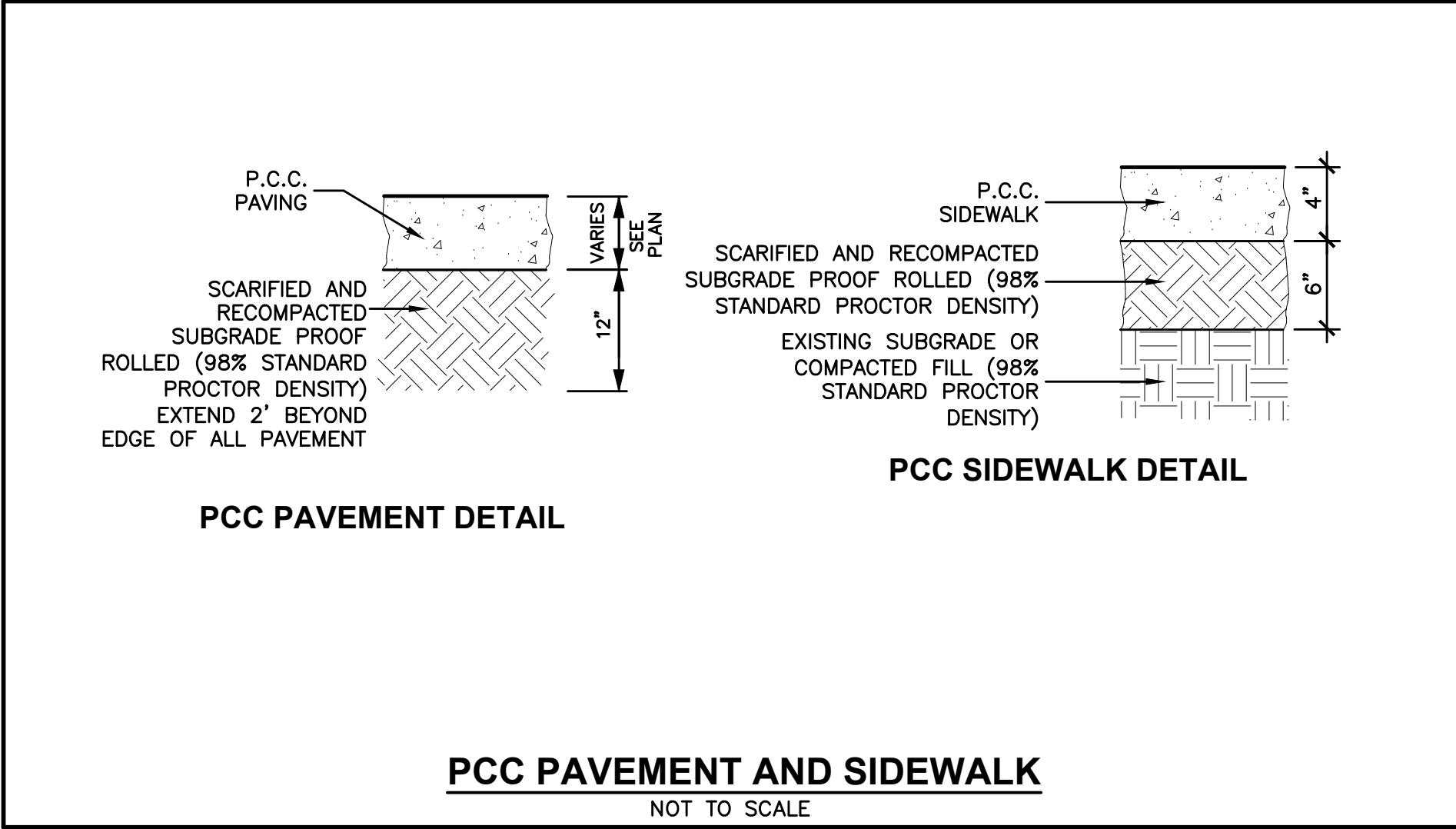
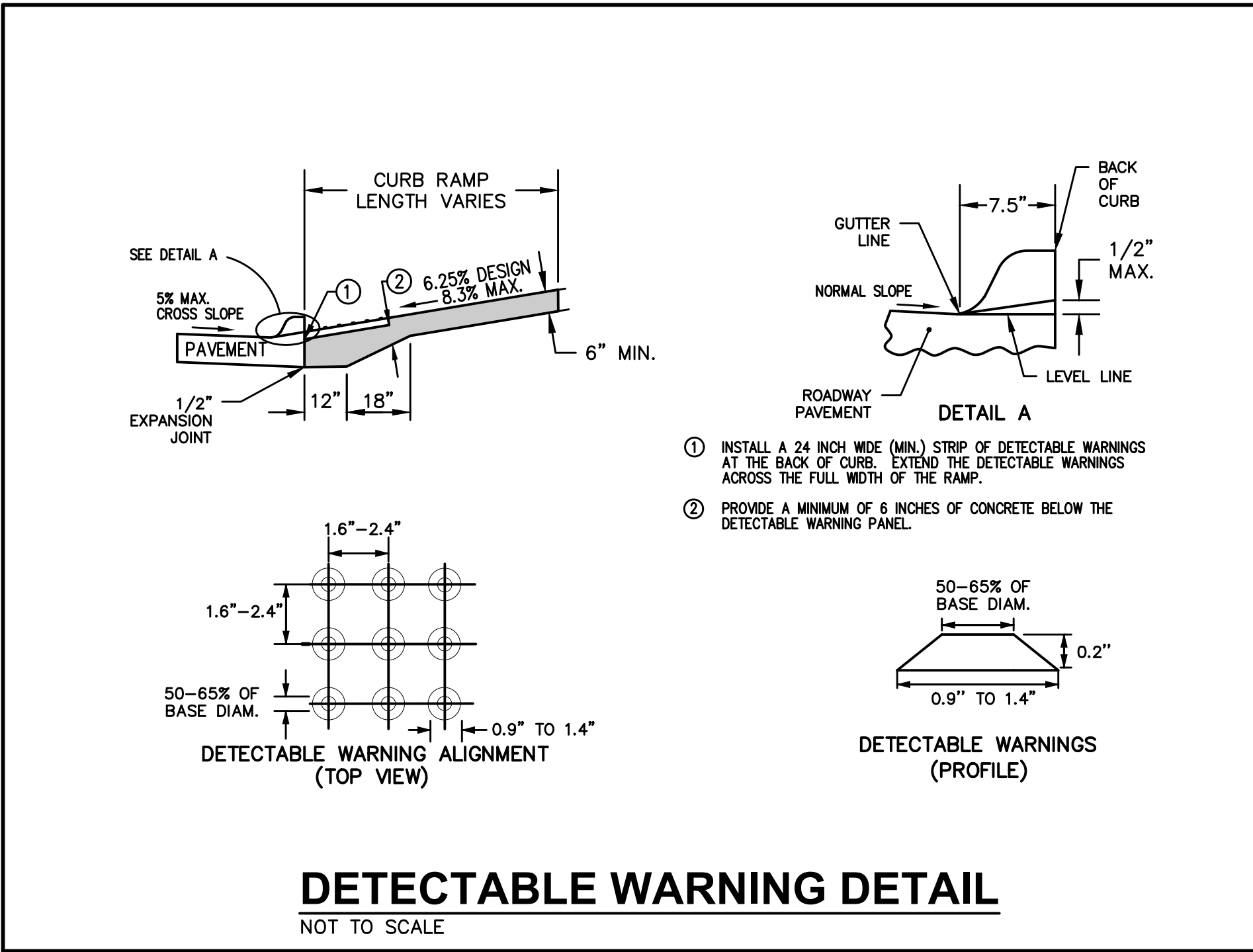
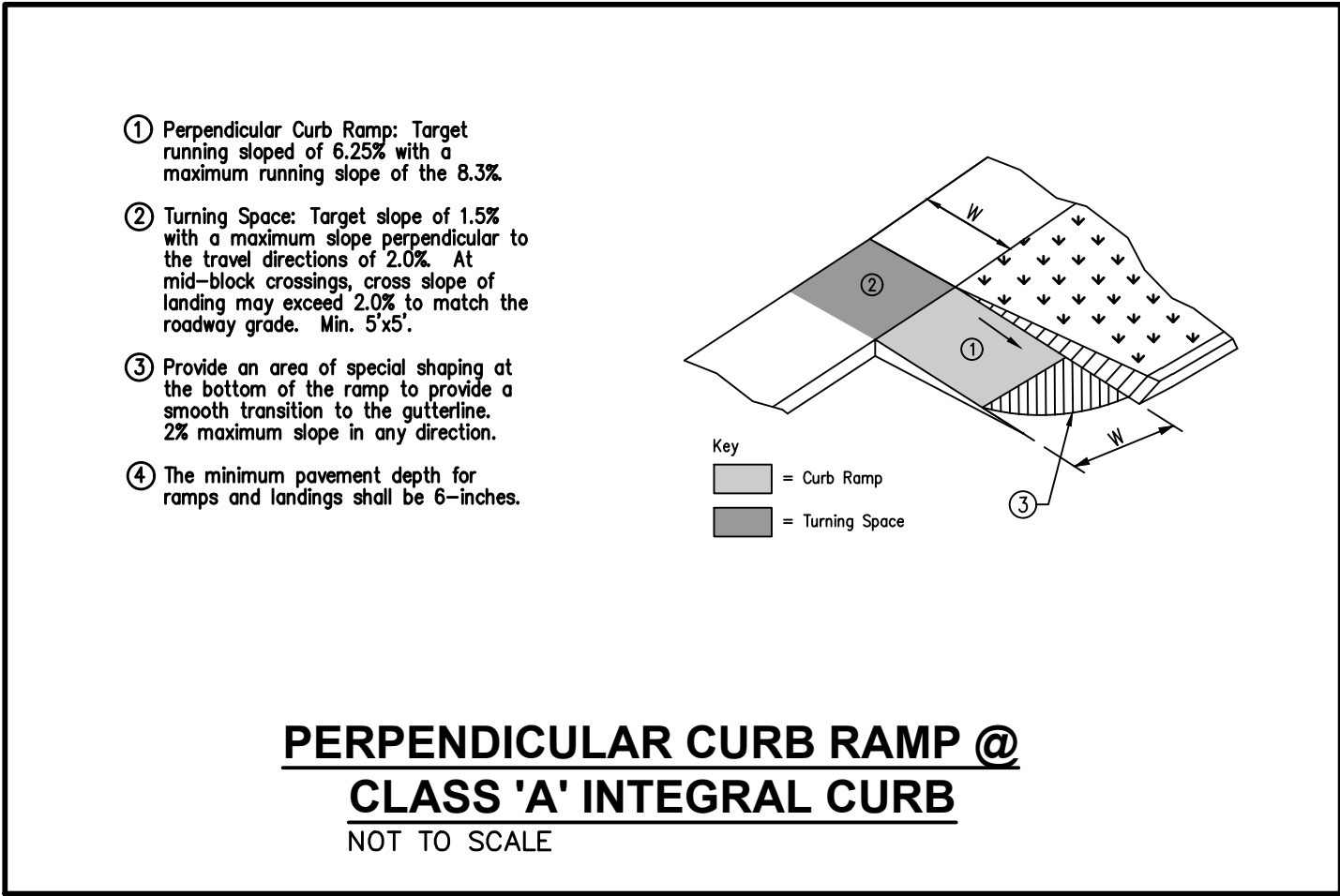
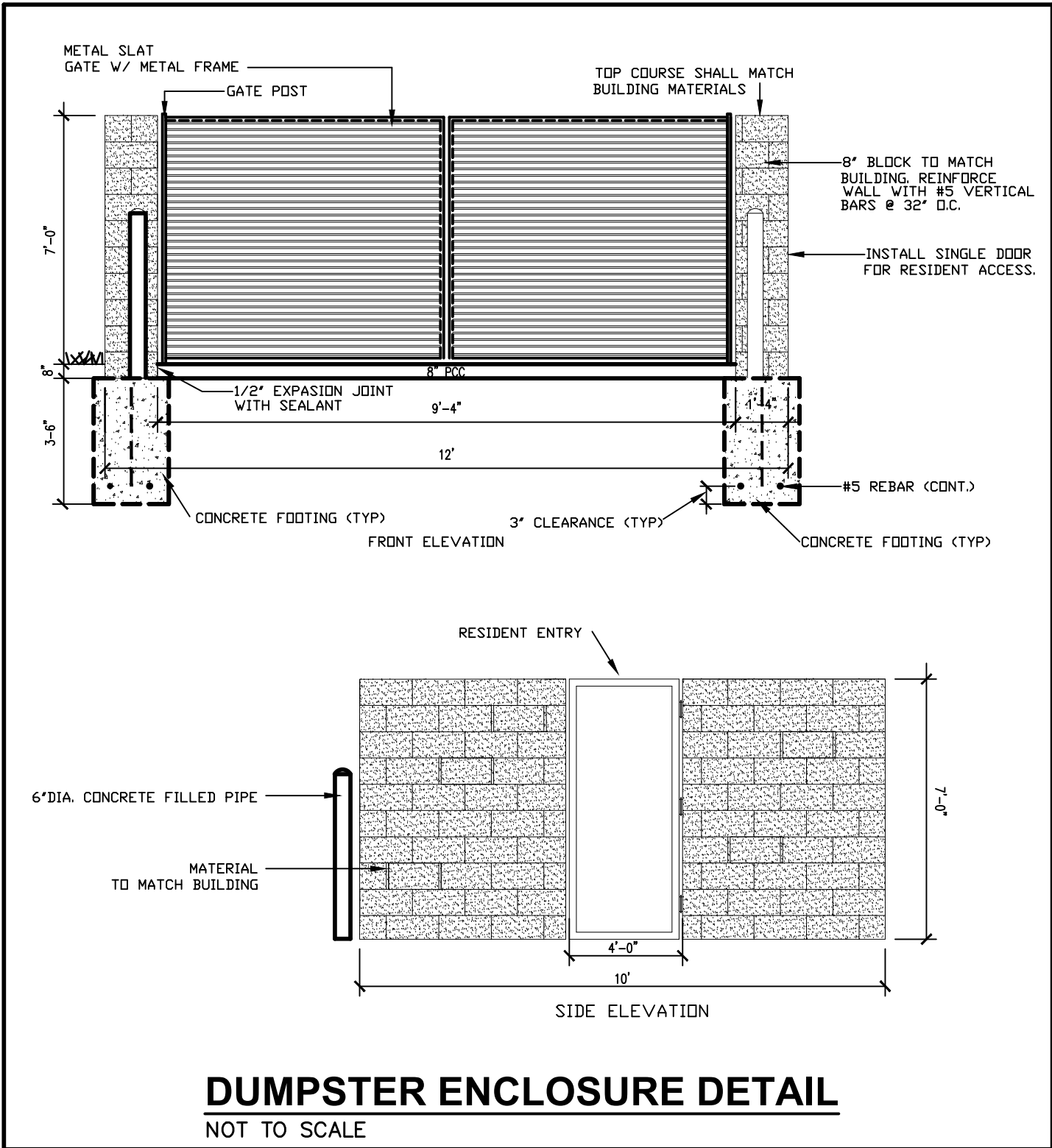
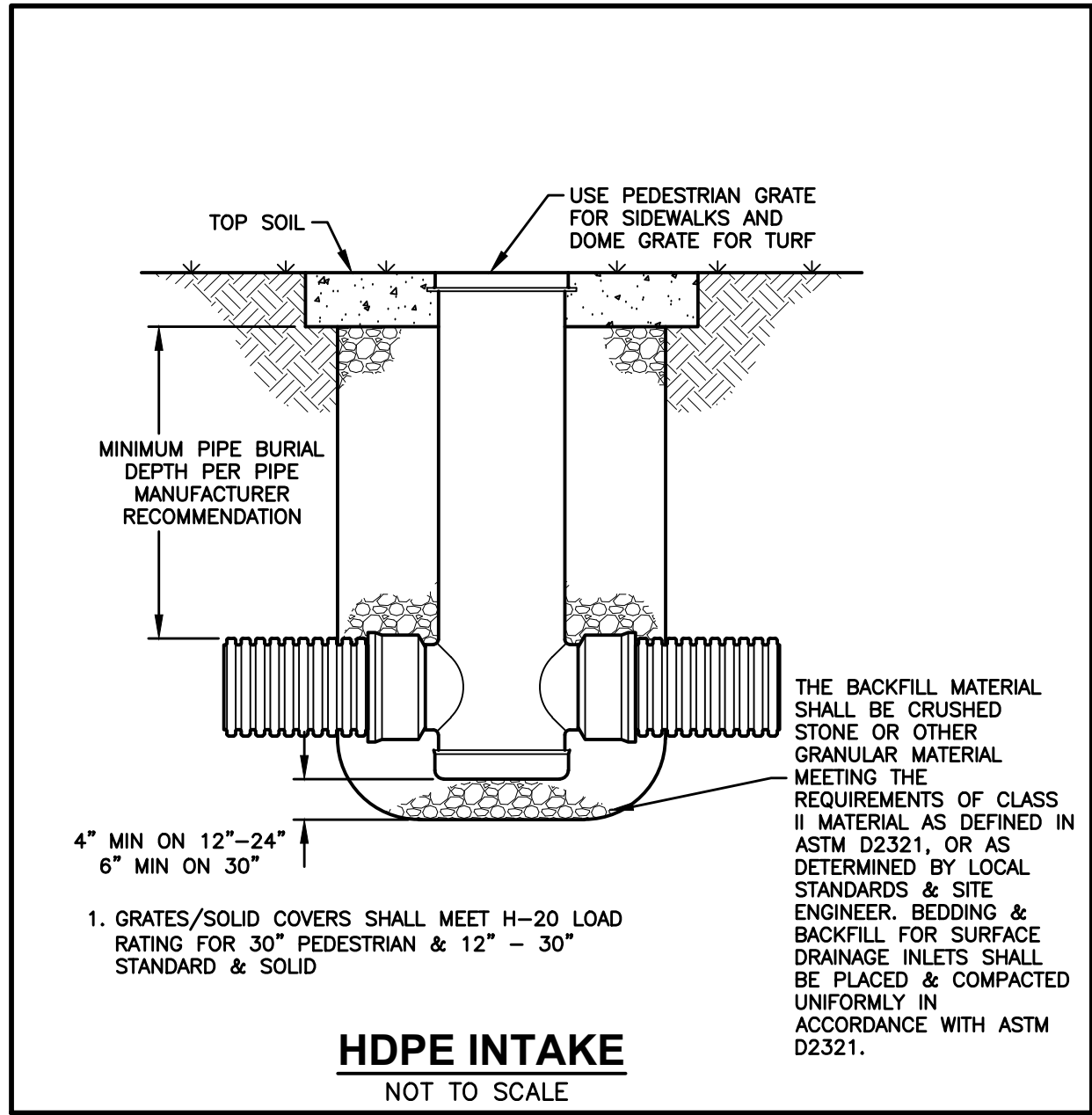
SE DESTINATION DRIVE: 270 LF
REQUIRED: 6 TREES
68 SHRUBS

TOTAL TREES REQUIRED 12
TOTAL TREES PROVIDED 14

TOTAL SHRUBS REQUIRED 134
TOTAL SHRUBS PROVIDED 134

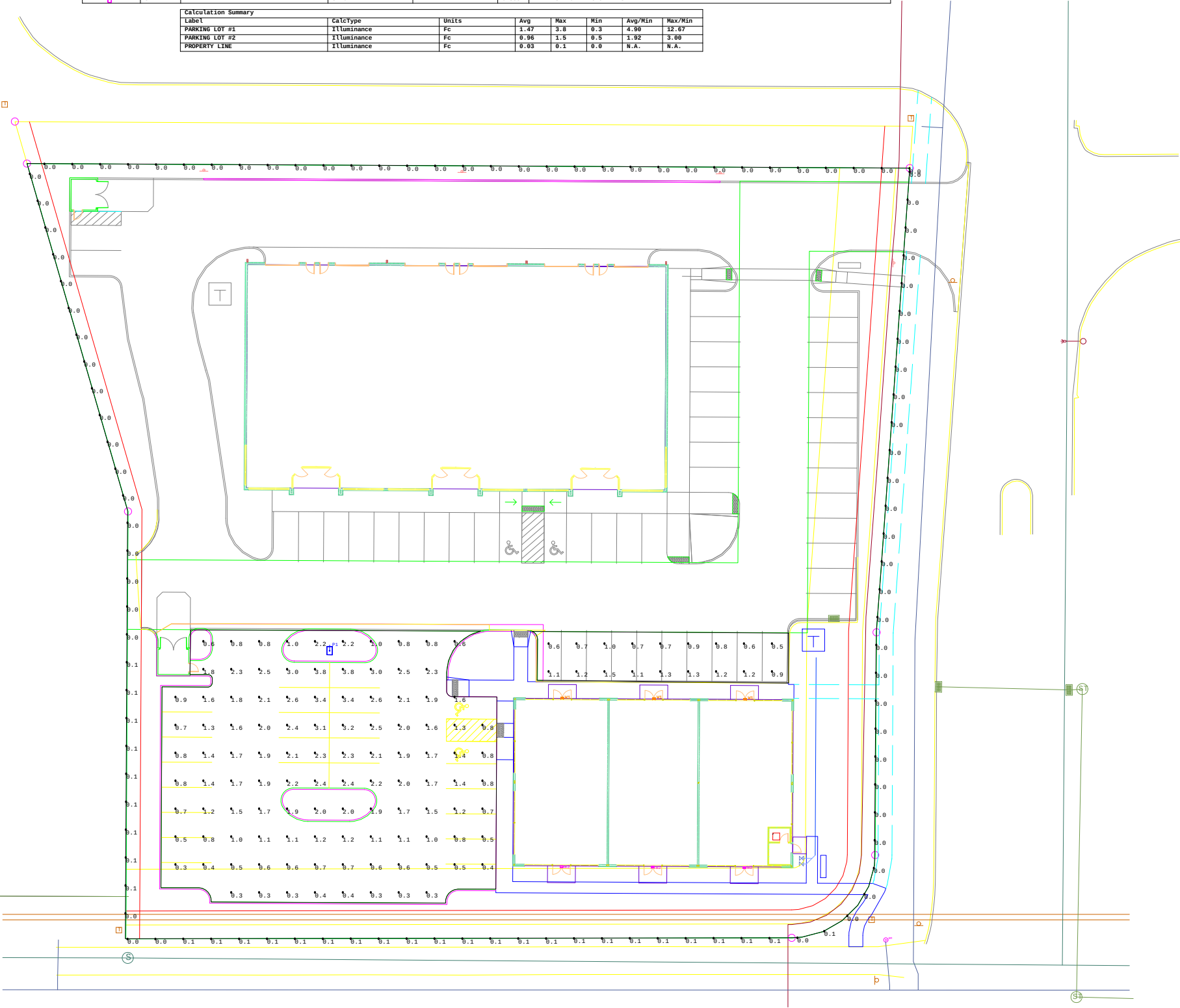
PLANT SCHEDULE OPEN SPACE				
TREES	QTY	COMMON NAME	BOTANICAL NAME	CONDITION AND SIZE
AA	3	Autumn Blaze Red Maple	Acer rubrum 'Autumn Blaze'	B&B, 2" CALIPER
GS	5	Skyline Honey Locust	Gleditsia triacanthos 'Skyline'	B&B, 2" CALIPER
MT	10	Tina Crabapple	Malus x 'Tina'	B&B, 1.5" CALIPER
PG	6	Colorado Blue Spruce	Picea pungens 'Glauca'	B&B, 6' HEIGHT
SHRUBS	QTY	COMMON NAME	BOTANICAL NAME	CONDITION AND SIZE
BA	3	Japanese Barberry	Berberis thunbergii 'Aurea'	24" HT.
BW	15	Wintergreen Boxwood	Buxus microphylla 'Wintergreen'	15" HT
EC	3	Compact Burning Bush	Euonymus alatus 'Compactus'	24" HT.
JF	9	Sea Green Juniper	Juniperus chinensis 'Sea Green'	24" HT.
RR	7	Fine Line Buckthorn	Rhamnus frangula 'Fine Line'	36" HT.

PLANT SCHEDULE ADJACENT TO PUBLIC R.O.W.			
TREES	QTY	COMMON NAME	BOTANICAL NAME
MS	12	Spring Snow Crab Apple	Malus x 'Spring Snow'
SHRUBS	QTY	COMMON NAME	BOTANICAL NAME
BW	75	Wintergreen Boxwood	Buxus microphylla 'Wintergreen'
EC	22	Compact Burning Bush	Euonymus alatus 'Compactus'
JF	37	Sea Green Juniper	Juniperus chinensis 'Sea Green'



Luminaire Schedule						
Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description
	1	P1	SINGLE	N.A.	0.855	VPL-80L-180-4K7-4-UNV-A-FINISH SSS-B-25-40-A-1-B3-FINISH (2.5' CONCRETE BASE)
	3	W1	SINGLE	N.A.	0.855	RWL1-48L-10-4K7-4W-U-FINISH
	3	W2	SINGLE	N.A.	0.855	RWL1-48L-10-4K7-3-U-FINISH

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
PARKING LOT #1	Illuminance	Fc	1.47	3.8	0.3	4.90	12.67
PARKING LOT #2	Illuminance	Fc	0.96	1.5	0.5	1.92	3.00
PROPERTY LINE	Illuminance	Fc	0.63	0.1	0.0	N.A.	N.A.



DRAWN BY: TRB

ORIGINAL
CONSTRUCTION DOCUMENT
02/18/2021

REVISIONS

03/08/2021 COLOR ELEV.

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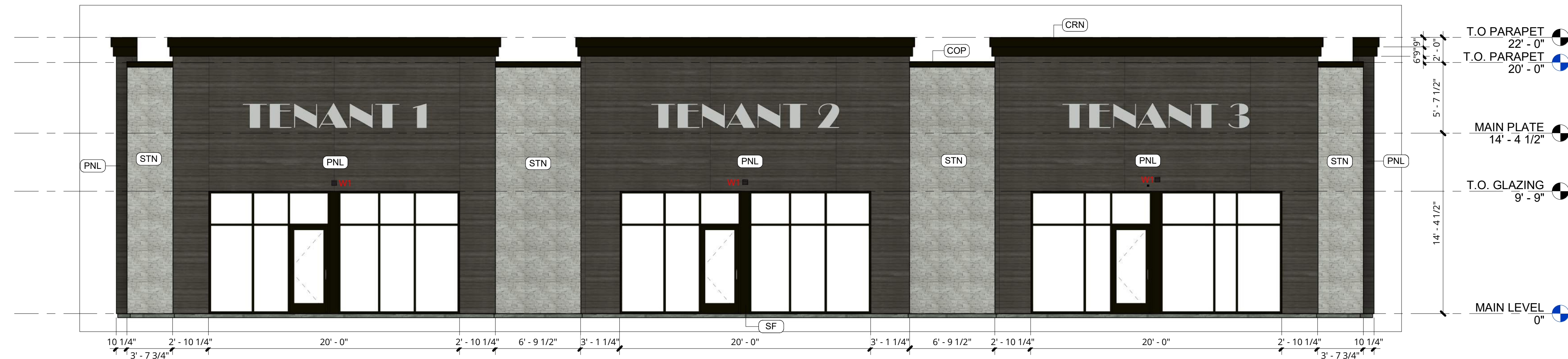
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PLAN NO. =

DWG. LIST
COLOR EXTERIOR
ELEVATIONS

SHEET NO.

A-202



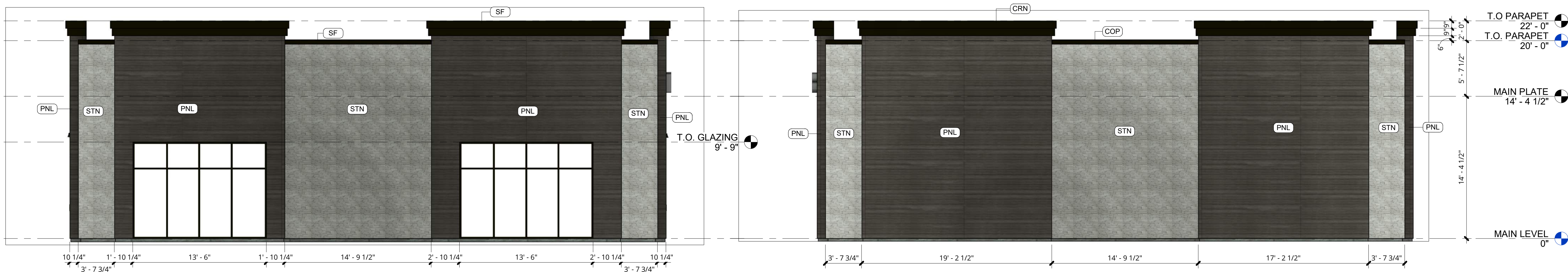
COLOR - NORTH ELEVATION

SCALE: 3/16" = 1'-0"



COLOR - SOUTH ELEVATION

SCALE: 3/16" = 1'-0"



COLOR - EAST ELEVATION

SCALE: 3/16" = 1'-0"

COLOR - WEST ELEVATION

SCALE: 3/16" = 1'-0"

MATERIAL LEGEND

MARK	MATERIAL DESCRIPTION
COP	COPING: PRE-FINISHED METAL COPING; COLOR: DARK BRONZE
CRN	CORNIS: PRE-FINISHED BRASS METAL; COLOR: DARK BRONZE
PNL	ARCHITECTURAL CONC. PANEL: NICHICHA; ROUGH SAWN; BARK
SF	STOREFRONT: PRE-FINISHED STOREFRONT; DARK BRONZE; GLAZING: NON-REFLECTIVE
STN	STONE: GLEN-GERY; LANDMARK; LANDMARK COLLECTION; COLOR: CASHMERE STACKED STONE

EXTERIOR MATERIAL SCHEDULE

ELEVATION	MATERIAL	NATURAL	ARCH. WALL	TRIM SF	GLAZING	GLAZING
	AREA TOTAL SF.	STONE SF	PANEL		SF.	PERCENT
NORTH ELEVATION	2170	418	1033	134	585	24%
SOUTH ELEVATION	2170	418	1033	341	585	24%
EAST ELEVATION	1287	433	519	72	263	20%
WEST ELEVATION	1287	433	762	72	0	0%

ARCHITECTURE TREATMENTS

- POP-OUTS
- VERTICAL TREATMENTS MINIMUM OF 12 INCHES IN WIDTH
- COLOR, TEXTURE OR MATERIAL CHANGE
- CORNICE TREATMENT
- VARIATION IN ROOF HEIGHT