

1. Agenda

Documents:

[112619 CC AGENDA2.PDF](#)

2. Meeting Materials

Documents:

[112619 CC PACKET.PDF](#)

Grimes City Council Agenda

Grimes City Hall
101 NE Harvey Street
Grimes, Iowa 50111
Phone | 515.986.3036
www.grimesiowa.gov

Mayor | Scott Mikkelsen
City Council | Jill Altringer, Eric Johansen,
Jeremy Hamp, David Gisch, Ryan Burger

Mission Statement

The mission of Grimes City Government is to provide excellent/exceptional city services and facilities in a financially responsible and community-friendly manner through a high performing city team that result in adding value to resident's lives.

AGENDA ITEMS FOR NOVEMBER 26, 2019 AT 5:30 PM AT GRIMES CITY HALL

1. Call to Order
Pledge of Allegiance
2. Roll Call
3. Approval of the Agenda
4. Approval of the Consent Agenda (**Discussion is not allowed unless the Mayor or a City Council Member ask for an item to be removed and placed under Council actions for consideration**)
 - A. Minutes from previous meeting
 - B. Approval of Tax Increment Financing (TIF) Indebtedness Certification to County Auditor
 - C. October 2019 Financial Report
 - D. Martens & Company, CPA, LLP – audit \$18,000.00
 - E. Pay Requests:
 1. Pay Request #5 to CB&I for the New 1.5 MG Elevated Water Storage Tank \$288,108.40
 2. Pay Request #14 to Concrete Technologies Inc SE 37th Street at Highway 141 \$325,758.71
 - F. Tax Increment Financing Rebates
 1. Hubbell 2015 Building #4 \$24,768.00
 2. Hubbell 2014 Building #3 \$54,554.00
 3. Hubbell 2012 Building # 2 \$ 21,786.17
 4. TNC 2014 \$225.00
 5. Shade Tree Auto \$16,584.00
 6. Premiere Concrete \$10,803.00
 7. Total Family Eye Care \$15,343.50
 8. Heritage at Grimes, LLC \$244,828.50
 9. HyVee #1 \$35,889.00
 10. Prairie Business Park 1 \$175,484.50
 11. Daimler Truck North America \$76,035.00
 - G. Office of Auditor of State – filing of certified state audit report
 - H. Resolution 11-1119 Approving Personnel Transactions
 - I. Professional Services – Whitfield and Eddy \$17,080.52
 - J. Quick Supply Company \$11,209.00 for Little Beaver and Prairie Creek Project
 - K. Municipal Supply \$7,991.06
 - L. Melvin Marsh \$43,500 – lime removal
 - M. Melvin Marsh \$35,200.00 – haul reed bed
 - N. RDG Professional Services for Lions Park and South Sports Complex \$8,366.26
 - O. Mid-American Energy for additional streetlights at 2150 NE 18th Street \$5,506.83
 - P. Stivers Ford Lincoln F-250 for Public Works \$29,997.00
 - Q. RD McKinney Plumbing and Excavating \$9,337.50

- R. Grimes Chamber and Economic Development Request for Reimbursement \$22,621.71
- S. Professional Services Fox Engineering \$73,965.23
- T. Refund Of Bond to Landmark \$2,500
- U. Claims Report

5. Metro Waste Authority Annual Report

6. Audit Presentation – Martin and Company – Marvin Berger

PUBLIC FORUM

“People wishing to address the Council need to sign up on the sheet which has been provided on the table near the door. Each person will be allowed three minutes from the podium and may address no more than two issues per Grimes Rules of Procedure for Conduct of City Business – May 2005.”

PUBLIC AND COUNCIL AGENDA ITEMS

Council may consider and potentially act on the following Public Agenda items

- A. Golden Rule Site Plan
- B. Resolution 11-1019 to Fix a Date for a Public Hearing on Proposal to Enter Into a Water Revenue Loan and Disbursement Agreement and to Borrow Money Thereunder in a Principal Amount Not to Exceed \$22,000,000 for December 9, 2019.
- C. Professional Services Agreement with Snyder & Associates for the IA 141 SB Ramp & IA 44 Traffic Signal Warrant Review
- D. Professional Services Agreement with Nilles Associates, Inc. for Storm Water Management Plans and Storm Water Pollution Prevention Plans
- E. Public Hearing to Consider the Vacation of Certain Easements in Bridge Creek Plat 1
 - a. Resolution 11-1219 Vacating Certain Easements in Bridge Creek Plat 1 in the City of Grimes, Polk County, Iowa
- F. Resolution 11-1319 Authorizing the Fire Chief to Enter into Contract with Houston-Galveston Area Council Interlocal for Cooperative Purchasing

COUNCIL DISCUSSIONS

- 1. Mayor’s Report
- 2. City Staff’s Report
- 3. Council Reports
- 4. Recess Open Session
- 5. Reconvene Open Session
- 6. Resolution 11-0819 providing for Closed Session ref 21.5 1 (i). To evaluate the professional competency of an individual whose appointment, hiring, performance, or discharge is being considered when necessary to prevent needless and irreparable injury to that individual’s reputation and that individual requests a closed session and closed Session ref 21.5 1 (c) To discuss strategy with counsel in matters that are presently in litigation or where litigation is imminent where its disclosure would be likely to prejudice or disadvantage the position of the governmental body in that litigation.
- 7. Rise from Closed Session
- 8. Reconvene Open Session
- 9. Open Session - cont.

ADJOURNMENT

CITY COUNCIL MEETING

Tuesday, November 12, 2019

Grimes City Hall 5:30 P.M.

The regular meeting of the Grimes City Council was called to order on Tuesday, November 12, 2019 at 5:30 P.M. at the Grimes City Hall. The Pledge of Allegiance was led by Mayor Mikkelsen

Roll Call: Present: Gisch, Altringer, Hamp, Johansen Burger

AGENDA ITEMS

Approval of the Agenda

Mayor Mikkelsen asked for approval of the agenda.

Moved by Gisch, Seconded by Johansen, to approve the agenda.

Roll Call: Ayes: All. Nays: None. Motion passes: 5 to 0.

CONCENT AGENDA

A. Minutes from previous meeting B. New Alcohol License for Kwik Star #1055 Class C Beer Permit with Sunday Sales C. Renewal of Alcohol License for Kwik Star #1024 Class C Beer Permit with Sunday Sales D. 5 Day Alcohol License for Ignite Sports Class B Beer Permit E. Renewal of Alcohol License for Rehab Bar & Grill Class C Liquor Permit with Sunday Sales F. Renewal of Alcohol License for Stevie C's for Class C Liquor License with Outdoor Service and Sunday Sales G. Renewal of Alcohol License for Casey's General Store #3746 for Class E Liquor License with Sunday Sales H. Dorsey & Whitney LLP Professional Fees \$44,754.33 I. Whitfield & Eddy Law Professional Fees \$16,611.45 J. Pay Requests: 1. Concrete Technologies Pay Request #13 for the Hwy 141 at SE 37th Street Improvements \$110,473.48 2. Grosch Irrigation Co. Pay Request # 8 for the New Jordan Well \$283,784. 3. Concrete Technologies Change Order #2 for the Hwy 141 at SE 37th Street Improvement increasing the contract \$6,000 (adding traffic control with detour sign set up) 4. Pay Request #1 to McAninch Corporation for the Hope Commercial Plat 1 \$71,458.39 5. Pay Request #1 to Concrete Technologies Inc for SW County Line Road Improvements \$22,999.02 6. Lee Chamberlin Consultant Engineers – Professional Services: 1. Preliminary Design of Storm Sewer Extension at 2400 & 2401 NE 17th Court \$1,008.00 2. 2019 City of Grimes North Main Street and Beaverbrooke Blvd Pedestrian Crossing \$2,293.50 3. GIS Program –lighting inventory, attribute, editing and utility asset inventory \$8,005.00 4. 2020 City of Grimes Drainage Improvements Trailridge and Little Beaver Preliminary Survey and Preparation of Drainage Study \$9,155.00 5. SW County Line Road and SW 19th Street HMA Construction Administration \$47,520.50 7. Pay Request #1 HR Green, Inc for Professional Services on the SE 37th at Hwy 141 Reconstruction \$70,738.15 K. Resolution 11-0419 Adopting Open Records Policy L. Master Service Agreement between the City of Grimes and OPG-3, Inc (document management software) M. Annual Urban Renewal Report for Fiscal Year 2018-2019 N. State of Iowa 2019 Financial Report Fiscal Year Ended June 30, 2019 City of Grimes, Iowa O. Grimes Chamber & Economic Development Contribution for October and November 2019 \$12,254.50 P. Resolution 11-0519 EMT Medical Technician Position Q. Stivers Ford Lincoln \$29,997.00 (Public Works 2019 Ford F-250 Truck) R. Utility Refunds \$1,652.77 S. Asbestos Removal in GCC Rooms 106 and 107 T. Royal Flooring \$13,394.28 (replacement flooring at GCC) U. Koch Office Group – Lanier Copier \$5,601.51 (Public Works) V. Proposal for Professional Consultant Services for Lion Park Topographic and Boundary Survey – Lee Chamberlin Consultant Engineers in an amount not to exceed \$38,780 W. Proposal for Professional Consultant Services Agreement for an Amended GIS Mapping – Mobile 311

Service Agreement – Phase 2 X. Resolution 11-0819 Approving Personnel Transactions Y. Claim Report.

Moved by Altringer, Second by Hamp, to approve the Consent Agenda.

Roll Call: Ayes: All, Nays: None. Motion passes: 5 to 0

5. Proclamation – Small Business Saturday

Mayor Scott Mikkelsen read the Proclamation in recognition and appreciation of small local businesses and their contribution to a healthy economic environment in Grimes, declaring Saturday November 30th, 2019 as Small Business Saturday.

PUBLIC FORUM - None

PUBLIC AND COUNCIL AGENDA ITEMS

Council may consider and potentially act on the following Public Agenda items

A. Reverse Osmosis Water Treatment Plant – Phase 1 – Engineering Dept.

1. Public Hearing for the Reverse Osmosis Water Treatment Plant – Phase 1

City Engineer, Matt Ahrens addressed the Council regarding the project. He stated that Bids were received for the project on October 30, 2019. Ahrens stated there were seven bidders and while the bids were slightly higher than the estimate, they were all very close. He added that they performed due diligence on the firm with the apparent winning bid. Ahrens state that McClure Engineering will be the project engineer for this project. He added that McClure Engineering found the company had performed a number of projects in the area and had positive feedback from those projects. Mayor Mikkelsen opened the Public Hearing at 5: 39 pm asking if there had been any written or oral comments on the project. City Clerk Williams stated there were not. The Public Hearing was closed at 5:39 pm. General discussion on pending paperwork and projected start times for the project were discussed. Ahrens said, with weather permitting, it would be possible to begin the project yet this fall, otherwise, a spring start date would be anticipated.

2. Resolution 11-0119 Adopting Plans, Specifications, Form of Contract and Estimate of Cost for the Reverse Osmosis Water Treatment Plant Phase 1

Motion by Hamp, Second by Gisch, to approve Resolution 11-0119 Adopting Plans, Specifications, Form of Contract and Estimate of Cost of the Reverse Osmosis Water Treatment Plant Phase 1.

Roll Call: Ayes: All, Nays- 0. Motion Passes 5-0

3. Resolution 11-0219 Award of Contract for the Reverse Osmosis Water Treatment Plant Phase 1

Motion by Hamp, Second by Gisch, to approve Resolution 11-0219 Awarding Contract for the Reverse Osmosis Water Treatment Plant Phase 1. Project Awarded to Shank Constructors, Inc. \$17,951,200.00

Roll Call: Ayes: All, Nays- 0. Motion Passes 5-0

B. Beaverbrooke Pointe Plat 3 – Final Plat

Development Services Director Alex Pfaltzgraff addressed the Council stating that this Plat is an 81 lot single family subdivision in Heritage Development located just south of NE Beaverbrooke Boulevard and west of the extended NE Heritage Drive. Pfaltzgraff stated that lots 1-60 will be used for the Smart Home series product and the remaining lots will be standard single family. Pfaltzgraff wanted the

Council to note that this project initially intended to convey about four tenths of an acre to the City as parkland. He stated that due to the location and size of the area, it was decided it would be a better use to leave the ground as outlots to the adjoining single family lots. Pfaltzgraff also informed the Council that in this instance, a dedication of park land was not a requirement. Council Member Johansen led discussion with the Developer regarding potential visual improvements to the back of homes facing Beaverbrooke Drive in this next phase of the development. General discussion and on how additional textures or architecture along NW Beaverbrooke would be an asset to the project were discussed. Motion by Johansen, Second by Hamp, to approve the Beaverbrook Pointe Plat 3 Final Plat subject to working with Staff to improve the aesthetics along NW Beaverbooke for the remaining build outs. Roll Call: Ayes: All, Nays- 0. Motion passes 5 - 0

C. Dallas Center Grimes Middle School - Final Plat

Development Services Director Alex Pfaltzgraff addressed the Council stating this is the final step in the process for the Final Plat for the Middle School on NW County Line Road. Pfaltzgraff said the Final Plat is comprised of one development parcel, and an outlot along the future SW 11th Street right of way. He added that the appropriate easements for ingress / egress, storm water management, and utilities are shown on the plat. At this time the outlot is reserved for future development. Pfaltzgraff said with the approval of the Final Plat, the applicant will deed over the necessary ROW, which will facilitate the improvements to SW County Line Road and that Staff and the Planning and Zoning Board recommend approval.

Motion by Burger, Second by Johansen, to approve the Dallas Center Grimes Middle School Final Plat subject to the FOX Engineering letter dated July 8th, 2019.

Roll Call: Ayes: All, Nays-0. Motion passes 5-0

D. Central Iowa Regional Public Safety Communication System Subscriber Agreement (With Law Enforcement Service)

City Administrator Jake Anderson reported that Polk County has extended its agreement with RACOM to provide radio services as well as radio's for the next 10 years for no additional cost. Council Member Johansen asked if the two different dispatch systems in the metro were working on a resolution on communication issues between them. Chief Schneider from Polk County Sheriff's office addressed the Council stating that they had a very good working relationship with RACOM and communication issues that had come up with the CAD system were being worked on. Council Member Hamp asked when the contract was coming up for negotiations and if there was any concern regarding the time lines of the Polk County agreement and the Communications agreement. Anderson replied that would be at the end of the current fiscal year which is June 30th, 2020. Mayor Mikkelsen added that there was a great working relationship with Polk County and the communications contract would be something that would still be relevant and effective regardless of any potential changes with the agreement with the Sheriff's office.

Motion by Hamp, Second by Altringer, to approve the Central Iowa Regional Public Safety Communication System Subscriber Agreement (With Law Enforcement Service)

Roll Call: Ayes: All, Nays- 0; Motion passes 5-0

E. 28E Agreement for Mutual Assistance for Dallas County Area Fire/Rescue Services

Chief Clark addressed the Council stating that while there were agreements in place with Dallas Center in Dallas County, it had been determined that there was not a current mutual aid agreement formally in place with the whole of Dallas County. Clark stated that the agreement being considered with Dallas

County mirrors the Polk County agreement pretty closely. He added the agreement had been reviewed by legal counsel and the effective date would not be until January 2021. City Administrator Anderson clarified this would not effectively change any practices in place, but it would formalize and clarify procedures, liability, and billing practices between the City and Agencies.

Motion by Johansen, Second by Hamp to approve the 28E Agreement for Mutual Assistance for Dallas County Area Fire/Rescue Services.

Roll Call: Ayes- All, Nays-0. Motion passes 5-0

F. Grimes 16 Inch RAW Water Main Project

Alex Pfaltzgraff, Development Services Director, addressed the Council with an overview on several items related to the Water Main Project. Pfaltzgraff revisited the issue with the solid rock that was discovered in the initial boring of the project which would have required a change in the plan in order to continue with the directional boring at a significantly higher price; or to obtain additional easements to continue along a slightly different route. Pfaltzgraff said they were able to obtain the additional easements so that reduced the expected increase from over an estimated \$110,000 to just over \$95,000. He added they were also requesting approval of a pay request for \$22,040 to Progressive Structures for their work, and a resolution accepting the additional easements for the project.

a. Change Order # 2 to Progressive Structures for \$95,355.95 (raw water main alignment, profile and construction methods modified due to discovery of rock.

Motion by Johansen, Second by Gisch, to approve Change Order #2 to Progressive Structures for \$95,355.95 (Raw water main alignment, profile and construction methods modified due to discovery of rock.

Roll Call: Ayes- All; Nays-0. Motion passes 5-0

b. Pay Request #4 to Progressive Structures for \$22,040.00

Motion by Johansen, Second by Gisch, to approve Pay Request #4 to Progressive Structures for \$22,040.00

Roll Call: Ayes- All; Nays-0. Motion passes 5-0

c. Resolution 11-0619 Accepting Certain Permanent and Temporary Easements Associated With the City of Grimes 16-inch RAW Water Main Project for Certain Property Generally Located West of NE Park Avenue.

Motion by Johansen, Second by Gisch, to approve Resolution 11-0619 Accepting Certain Permanent and Temporary Easements Associated With the City of Grimes 16-inch RAW Water Main Project for Certain Property Generally Located West of NE Park Avenue.

Roll Call: Ayes- All; Nays-0. Motion passes 5-0

G. Resolution 11-0719 Setting a Public Hearing to Consider the Vacation of Certain Easements in Bridge Creek Plat 1 for November 26, 2019 at 5:30 PM

Pfaltzgraff stated that due to the new easements for the Raw Water Main, he recommended vacating the previously acquired easements that would no longer be needed.

Motion by Hamp, Second by Altringer to Resolution 11-0719 Setting a Public Hearing to Consider the Vacation of Certain Easements in Bridge Creek Plat 1 for November 26, 2019 at 5:30 PM

Roll Call: Ayes- All; Nays-0. Motion passes 5-0

H. All Terrain Seeding Inc. for the Little Beaver and Prairie Creek Channel Improvements

Public Works Director Weston Wunder addressed the Council with background information on this project. Wunder stated that this project was originally budgeted by a previous engineer to come in at 1.4 million dollars, and awarded to All Terrain at 1.2 million. Wunder said that with some of the changes that were made after it was awarded he is confident that the project will actually be completed at fewer than one million dollars. Council Member Altringer asked since trail specifications had changed from 8 to 10 foot would it be worth revisiting what the costs would be if the trail was re-graded and brought up to current standards rather than just repairing the current 8 foot trail. Staff will report back with those additional numbers.

1. Change Order #4 to All Terrain Seeding Inc. for the Little Beaver and Prairie Creek Channel Improvements in the amount of \$110,400.00

Motion by Hamp, Second by Altringer to table the Change Order #4 until the November 26th Council meeting.

Roll Call: Ayes- 5; Nays-0. Motion to table passes 5-0

2. Pay Request #8 to All Terrain Seeding for the Little Beaver & Prairie Creek Channel Improvements \$64,685.81

Motion by Johansen, Second by Hamp to approve Pay Request #8 to All Terrain Seeding for the Little Beaver & Prairie Creek Channel Improvements \$64,685.81

Roll Call: Ayes- 5; Nays-0. Motion passes 5-0

I. Professional Consultant Agreement with Lee Chamberlin Consultant Engineers for the 2020 City of Grimes Intersection Improvements (South James Street and SE 6th Street Pedestrian Crossing and North James Street and NE 7-8th Street Pedestrian Crossing

Public Work Director Weston Wunder stated that there are two intersections that need to be revised to improve pedestrian traffic and improve safety. These projects would include centralizing the pedestrian crossing to one area rather than the multiple areas that exist now. A beacon pedestal crossing sign would be installed to allow for safe crossing and to warn oncoming vehicles of pedestrians in the area. Wunder said the project could be split between the public works staff and the contractor. General discussion continued on the future Capital Improvement Project (CIP) intended for that area and if this project would overlap those plans or, if acted upon, would need to be revised in the very near future.

Mark Lee, of Lee Chamberlin and Associates, addressed the Council with more details on this proposal. Lee indicated that the agreement is only for the lighting for those locations and a design proposal to ensure best traffic flow. Lee stated the actual trail and culvert work would need to be studied further.

Motion by Hamp, Second by Johansen, to table the decision to the next meeting on November 26th 2019.

Roll Call: Ayes- 5; Nays-0. Motion to table passes 5-0

COUNCIL DISCUSSIONS

1. Mayor's Report

Mayor Mikkelsen stated that he had received a lot of positive feedback on the Public Works projects recently and wanted to recognize that groups efforts at North Ridge and Water Works Park. Mikkelsen said there was a lot of interaction with the residents involved and was glad to hear how well the projects turned out and that the areas are quite improved. Mikkelsen also noted how quickly the NW

Beaverbrooke project has been started. City Engineer Ahrens indicated that the project has been slowed down by the weather and hoped they could have it completed in the next couple of weeks.

2.City Staff's Report

City Administrator Jake Anderson stated that an anticipated workshop for the City Handbook had been postponed until the next Council meeting on November 26th. Anderson indicated staff is working on the next budget and that he was looking forward to additional discussion on public transportation as well as branding in future workshops. City Attorney Henderson indicated that he had received a Lien Waiver on the SE 37th and South James Street Project. Weston Wunder stated that he had a mowing map updated that shows the public grounds in the City as well as who is responsible for the mowing. Wunder indicated that Public Works is currently managing 272 acres out of 336 acres. He also advised The Public Works Department had built a structure at the North Complex.

3.Council Reports

Mayor Mikkelsen congratulated Council Member Eric Johansen on his reelection to the Council and to Andy Borcharding who was just elected.

Development Services Director Alex Pfaltzgraff advised the Council he would be presenting a modification to the fence ordinance at a future meeting.

ADJOURNMENT

Motion by Altringer, Second by Hamp to Adjourn at 6:57 pm
Roll Call: Ayes- 5; Nays-0.

ATTEST:

Rochelle Williams, City Clerk

Scott Mikkelsen, Mayor

MARTENS & COMPANY, CPA, LLP
4949 PLEASANT ST.
SUITE 104
WEST DES MOINES, IA 50266
515-223-4841

CITY OF GRIMES

101 NE HARVEY ST
GRIMES, IA 50111

Invoice Date: November 14, 2019
Invoice Number: 00135543
Client Number: GRI04 001

STATEMENT RENDERED FOR SERVICES IN CONNECTION WITH THE FOLLOWING:

Services rendered and expenses incurred during the audit of the City for the year ended June 30, 2019.	\$17,000.00
Additional services resulting from problems with the the mid-year conversion of records.	1,000.00
Total Due	<u><u>\$18,000.00</u></u>

**** PLEASE RETURN ONE COPY OF STATEMENT WITH REMITTANCE ****

Amount due is payable upon receipt of bill. Past due accounts will be charged a finance charge of 1.50% per month. Thank you for keeping your account current.

**CODE OF IOWA SECTION 403.19 TAX INCREMENT FINANCING (TIF) INDEBTEDNESS
CERTIFICATION TO COUNTY AUDITOR**

**Due To County Auditor By December 1 Prior To The Fiscal Year TIF Increment Tax Is Requested
Use One Certification Per Urban Renewal TIF Area**

City: Grimes County: POLK

Urban Renewal Area Name: Grimes Urban Renewal

Urban Renewal Area Number: 77044 (Use State five-digit Area Number)

I hereby certify to the County Auditor that for the Urban Renewal Area within the City and County named above the City has outstanding loans, advances, indebtedness, or bonds, none of which have been previously certified, in the collective amount shown below, all of which qualify for repayment from the special fund referred to in paragraph 2 of Section 403.19 of the Code of Iowa.

Urban Renewal Area Indebtedness Not Previously Certified*: \$ **5,112,337.00**

*There must be attached a '**CITY TIF FORM 1.1**' showing an itemized listing of the dates that individual loans, advances, indebtedness, or bonds were initially approved by the governing body.

The County Auditor shall provide the available TIF increment tax in subsequent fiscal years without further certification until the above-stated amount of indebtedness is paid to the City. However, for any fiscal year a City may elect to receive less than the available TIF increment tax by certifying the requested amount to the County Auditor on or before the preceding December 1. File '**CITY TIF FORM 2**' with the County Auditor by the preceding December 1 for any fiscal year where all of the TIF increment tax is not requested.

A City reducing certified TIF indebtedness by any reason other than application of TIF increment revenue received from the County Treasurer shall certify such reduced amounts to the County Auditor no later than December 1 of the year of occurrence. File '**CITY TIF FORM 3**' with the County Auditor when TIF indebtedness has been reduced by any reason other than application of TIF increment tax revenue received from the County Treasurer.

Dated this 26th day of November, 2019

Marcia Woodke
Signature of Authorized Official

515-986-3036
Telephone

TIF INDEBTEDNESS NOT PREVIOUSLY CERTIFIED ELIGIBLE FOR TAX COLLECTIONS NEXT FISCAL YEARCity: Grimes County: POLKUrban Renewal Area Name: Grimes Urban RenewalUrban Renewal Area Number: 77044 (Five-digit State Area Number)

Individual TIF Indebtedness Type/Description:		(Format: XX/XX/20XX) Date Approved*:	Total Amount:
1	2019A GO Bonds-TIF portion	6/26/2019	2,322,500.00
2	Hy-Vee rebate agreement #1-subject to annual appropriation FY21 payment	1/10/2017	57,422.00
3	Hubbell Realty 2014 rebate agreement-subject to annual appropriation- FY21	1/28/2014	94,328.00
4	TNC LLC rebate agreement-subject to annual appropriation FY21 payment	12/1/2016	551.00
5	Hubbell Realty 2015 rebate(amended)-subject to annual appropriation-FY21	10/22/2019	73,608.00
6	Shade Tree Auto rebate agreement-subject to annual appropriation-FY21	11/10/2015	25,659.00
7	Total Family EyeCare rebate agreement-subject to annual appropriation-FY21	11/10/2015	24,614.00
8	Prairie Business Park (R&R) rebate agree #1-subject to annual approp-FY21	5/26/2015	292,955.00
9	Iowa Stone Supply rebate agreement-subject to annual appropriation-FY21	11/27/2018	37,878.00
10	Daimler Trucks rebate agreement-subject to annual appropriation-FY20	6/13/2017	152,070.00
11	Daimler Trucks rebate agreement-subject to annual appropriation-FY21	6/13/2017	225,298.00
12	Heritage @ Grimes rebate agreement-subject to annual appropriation-FY20	4/26/2016	489,657.00
13	Heritage @ Grimes rebate agreement-subject to annual appropriation-FY21	4/26/2016	1,315,797.00
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Total TIF Indebtedness NOT Previously Certified:			5,112,337.00

* "Date Approved" is the date that the local governing body initially approved the TIF indebtedness.

Signature of Authorized Official Maurice L. Zedlke 515-986-3036
Telephone

**TIF INDEBTEDNESS HAS BEEN REDUCED BY REASON OTHER THAN APPLICATION OF
TIF INCREMENT TAX REVENUE RECEIVED FROM THE COUNTY TREASURER
CERTIFICATION TO COUNTY AUDITOR
Use One Certification Per Urban Renewal Area**

City: Grimes County: POLK

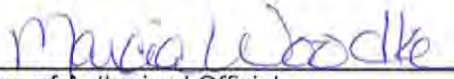
Urban Renewal Area Name: Grimes Urban Renewal

Urban Renewal Area Number: 77044 (Five-digit State Area Number)

I hereby certify to the County Auditor that for the Urban Renewal Area within the City and County named above, the City has reduced previously certified indebtedness, by reason other than application of TIF increment tax revenue received from the County Treasurer, by the total amount as shown below.

(Format: XX/XX/20XX)		
Individual TIF Indebtedness Type/Description/Details:	Date Indebtedness Reduced:	Amount Reduced:
1 Hy-Vee Agree #1 FY20 TIF rebate payment- less than certified-lower taxes	12/1/2019	5,063.00
2 GD Development FY20 TIF rebate-less than certified	12/1/2019	2,825.00
3 Premier Concrete FY20 TIF rebate-less than certified-lower taxes	12/1/2019	1,524.00
4 Hubbell Realty 2014 FY20 TIF rebate payment-less than cert-lower taxes	12/1/2019	32,180.00
5 TNC LLC FY20 TIF rebate payment-less than certified-lower taxes	12/1/2019	31.00
6 Hubbell Realty 2015 FY20 TIF rebate-less than certified-lower taxes	12/1/2019	3,494.00
7 Shade Tree Auto FY20 TIF rebate-less than certified-lower taxes	12/1/2019	2,340.00
8 Total Family Eyecare FY20 TIF rebate-less than certified-lower taxes	12/1/2019	1,491.00
9 Prairie Business Park (R&R) FY20 TIF rebate-less than certified-lower taxes	12/1/2019	24,759.00
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Total Indebtedness Reduction For This Urban Renewal Area:		73,707.00

Dated this 26th day of November, 2019


Signature of Authorized Official

515-986-3036
Telephone

TREASURER'S REPORT
CALENDAR 10/2019, FISCAL 4/2020

FUND#	TITLE	LAST MONTH CASH BALANCE	REVENUES	EXPENSES	BALANCE	THIS MONTH CASH BALANCE
001	GENERAL	6,819,374.33	2,232,454.41	667,608.69	.00	8,384,220.05
005	FIRE/RESCUE AUXILIARY	.00	.00	.00	.00	.00
110	ROAD USE TAX	1,729,607.60	141,987.15	93,013.90	.00	1,778,580.85
112	EMPLOYEE BENEFITS	468,579.33	671,043.85	112,616.61	.00	1,027,006.57
119	EMERGENCY FUND	13,157.17	89,917.73	.00	.00	103,074.90
121	LOCAL OPTION SALES TAX	1,912.63	178.07	.00	.00	2,090.70
125	TAX INCREMENT FINANCING	2,021,308.35	738,108.27	.00	.00	2,759,416.62
160	ECONONOMIC DEVELOPMENT	164,988.95	.00	.00	.00	164,988.95
161	ECO DEVELOPMENT REVOLVING	133,044.96	1,069.70	.00	.00	134,114.66
167	RESTRICTED GIFTS	94,645.45	326.39	1,440.81	.00	93,531.03
170	FEMA - FIRE DEPT	34,239.98	.00	.00	.00	34,239.98
200	DEBT SERVICE	1,130,636.72	810,729.18	.00	.00	1,941,365.90
301	CAPITAL PROJECT FUND	448,854.89-	.00	113,455.06-	.00	335,399.83-
302	CP - ROAD DEVELOPMENT	3,981,667.43	.00	33,202.95	.00	3,948,464.48
303	CP - WALLACE	12,825.96-	.00	19.47	.00	12,845.43-
304	CP - IA 44	318.53	.00	.00	.00	318.53
305	CP - MAIN STREET	3,295.00-	.00	.00	.00	3,295.00-
306	CP - PRAIRIE/LITTLE BEAVE	101,081.87-	.00	37,240.25	.00	138,322.12-
307	CP - STORM WATER	.00	.00	.00	.00	.00
308	CP-SW COUNTY LINE ROAD	1,515,530.57	3,130,000.00	311,517.21	.00	4,334,013.36
309	CP - PARKS	9,371.49	.00	.00	.00	9,371.49
310	CP - FIRE	43,584.89-	.00	.00	.00	43,584.89-
311	CP - DOWNTOWN	.00	.00	.00	.00	.00
312	CP - S JAMES/SE 37TH ST	655,666.83-	989,617.94	10,699.35	.00	323,251.76
313	CP - GRIMES COMMUNITY COM	118,139.75	.00	.00	.00	118,139.75
314	CP-NE GATEWAY/HOPE COMM	.00	.00	33,438.35	.00	33,438.35-
315	CP - SEWER CAP IMPROVEMNT	1,562,536.35	.00	.00	.00	1,562,536.35
316	CP - WATER CAP IMPROVEMNT	135,394.61-	.00	.00	.00	135,394.61-
317	CP - COMP PLAN	11,721.80	.00	.00	.00	11,721.80
318	CP - CITY HALL	18,114.01	.00	.00	.00	18,114.01
319	CP -BEAVER CK WATERSHED	472,044.15	.00	340.00	.00	471,704.15
320	CP-New Jordan Well 2019	17,200.15-	221,434.47	219,535.00	.00	15,300.68-
321	CP- ASR 2019	21,902.70	.00	.00	.00	21,902.70
322	CP-16" Water Main	25,945.07-	.00	11,036.25	.00	36,981.32-
323	CP-Water Tower 2019	38,726.10-	125,251.10	108,039.90	.00	21,514.90-
324	CP-Water Plant Exp 2019	84,356.15-	77,139.85	45,768.05	.00	52,984.35-
325	SE 37TH HWY 141 PROJECT	1,132,816.40	.00	717,159.62	.00	415,656.78
326	2019 OVERLAY PROJECT	64,652.55	.00	795.00	.00	63,857.55
327	SE 19TH & SW CO OVERLAY	1,816,810.62	.00	358,068.21	.00	1,458,742.41
328	WRA SANI SEWER CONNECTION	2,074.31-	.00	877.32	.00	2,951.63-
329	WRA YARD PIPING & PAVING	.00	.00	.00	.00	.00
330	RAW PUMP STATION IMP 2020	.00	.00	.00	.00	.00
331	GRIMES CROSS SANI SWR IMP	.00	.00	.00	.00	.00
332	WWTP DEMO PROJECT	.00	.00	.00	.00	.00
333	WRA CAPITAL COSTS	.00	.00	.00	.00	.00
334	HWY44 & COUNTY LN RD 2020	85,500.00-	.00	2,700.00	.00	88,200.00-
335	N JAMES WATER ISOLATION	.00	.00	.00	.00	.00
336	SE 11th ST RR/James 2019	173,899.13	.00	33,202.95-	.00	207,102.08
337	CP-N MAIN & BEAVERBK SIG	23,705.68-	.00	.00	.00	23,705.68-
338	FY20 Drain prj 2nd/beaver	24,195.00-	.00	.00	.00	24,195.00-
350	GRIMES LIBRARY BLDG FUND	.00	.00	.00	.00	.00
600	WATER	4,262,930.06	807,399.00	161,909.34	.00	4,908,419.72
601	WATER DEPOSITS	120,583.47	2,487.69	1,204.84	.00	121,866.32

TREASURER'S REPORT
CALENDAR 10/2019, FISCAL 4/2020

FUND#	TITLE	LAST MONTH CASH BALANCE	REVENUES	EXPENSES	BALANCE	THIS MONTH CASH BALANCE
602	WATER SINKING	33,417.93	.00	.00	.00	33,417.93
603	WATER REC BOND	183,629.96	.00	.00	.00	183,629.96
610	SEWER	3,942,128.51	768,206.34	72,003.45	.00	4,638,331.40
611	SEWER SINKING	162,148.49	.00	.00	.00	162,148.49
670	LANDFILL/GARBAGE	86,780.37	41,926.35	51,513.05	.00	77,193.67
740	STORM WATER	1,914,254.83	58,190.84	14,852.71	.00	1,957,592.96
	Report Total	32,514,488.06	10,907,468.33	2,919,942.32	.00	40,502,014.07

BALANCE SHEET
CALENDAR 10/2019, FISCAL 4/2020

ACCOUNT NUMBER	ACCOUNT TITLE	PTD BALANCE	YTD BALANCE
001-000-1110	CASH - GENERAL	1,564,762.75	3,895,319.85
110-000-1110	CASH - ROAD USE	48,973.25	1,778,580.85
112-000-1110	CASH - EMPLOYEE BENEFITS	558,427.24	1,027,006.57
119-000-1110	CASH - EMERGENCY	89,917.73	103,074.90
121-000-1110	CASH - LOCAL OPTION SALES TAX	178.07	2,090.70
125-000-1110	CASH - TIF	738,108.27	2,759,416.62
160-000-1110	CASH - ECONOMIC DEVELOPMENT		164,988.95
161-000-1110	CASH - ECO DEVELOP REVOLVING L	1,069.70	134,114.66
167-000-1110	CASH - LIBRARY RESTRICTED GIFT	1,114.42-	91,698.20
167-000-1111	CASH - PARKS RESTRICTED GIFTS		1,832.83
170-000-1110	CASH - FEMA/FIRE DEPT		34,239.98
200-000-1110	CASH - DEBT SERVICE	810,724.35	1,937,988.65
301-000-1110	CASH - CAPITAL PROJECTS	113,455.06	335,399.83-
302-000-1110	CASH - CP - ROAD DEVELOPMENT	33,202.95-	3,948,464.48
303-000-1110	CASH - CP - WALLACE	19.47-	12,845.43-
304-000-1110	CASH - CP - IA 44		318.53
305-000-1110	CASH - CP - MAIN STREET		3,295.00-
306-000-1110	CASH - CP - PRAIRIE/LITTLE BEA	37,240.25-	138,322.12-
308-000-1110	CASH-CP SW COUNTY LINE ROAD	2,818,482.79	4,334,013.36
309-000-1110	CASH - CP - PARKS		9,371.49
310-000-1110	CASH - CP-FIRE		43,584.89-
312-000-1110	CASH - CP - S JAMES/SE 37TH ST	978,918.59	323,251.76
313-000-1110	CASH - CP - GRIMES COMM COMPLE		118,139.75
314-000-1110	CASH-NE GATEWAY/HOPE COMM	33,438.35-	33,438.35-
315-000-1110	CASH - SEWER CAP IMPROVEMNT		1,562,536.35
316-000-1110	CASH - WATER CAP IMPROVEMENT		135,394.61-
317-000-1110	CASH - COMP PLAN		11,721.80
318-000-1110	CASH - CITY HALL PROJECT		18,114.01
319-000-1110	CASH-BEAVER CK WATERSHED PROJ	340.00-	471,704.15
320-000-1110	CASH-NEW JORDAN WELL 2019	1,899.47	15,300.68-
321-000-1110	CASH-ASR 2019		21,902.70
322-000-1110	CASH-16" WATER MAIN	11,036.25-	36,981.32-
323-000-1110	CASH-WATER TOWER 2019	17,211.20	21,514.90-
324-000-1110	CASH- WATER PLANT EXP 2019	31,371.80	52,984.35-
325-000-1110	CASH-SE 37TH /HWY 141 PROJ	717,159.62-	415,656.78
326-000-1110	CASH-2019 OVERLAY PROJECT	795.00-	63,857.55
327-000-1110	CASH-SW 19TH & SW CO OVERLAY	358,068.21-	1,458,742.41
328-000-1110	CASH-WRA SANI SEWER CONNECT	877.32-	2,951.63-
334-000-1110	CASH-HWY 44 & CO LINE RD 2020	2,700.00-	88,200.00-
336-000-1110	CASH-SE 11TH RR/JAMES 2019	33,202.95	207,102.08
337-000-1110	CASH N MAIN & BEAVERBK SIGNAL		23,705.68-
338-000-1110	FY20 Drain Prj 2nd/Beaver CASH		24,195.00-
600-000-1110	CASH - WATER	643,164.40	2,275,441.56
601-000-1110	CASH - WATER DEPOSITS	1,245.56	119,483.52
602-000-1110	CASH - WATER SINKING		33,417.93
603-000-1110	CASH - WATER REC BOND		183,629.96
610-000-1110	CASH - SEWER	692,339.93	1,501,175.62
611-000-1110	CASH - SEWER SINKING		162,148.49
670-000-1110	CASH - SOLID WASTE	9,586.70-	77,193.67
740-000-1110	CASH - STORM WATER	43,273.36	1,911,824.77

BALANCE SHEET
CALENDAR 10/2019, FISCAL 4/2020

ACCOUNT NUMBER	ACCOUNT TITLE	PTD BALANCE	YTD BALANCE
	CASH TOTAL	7,981,147.93	30,191,451.69
001-000-1112	CASH - FD AUXILLARY		26,501.81
	CASH - FD AUXILLARY TOTAL	.00	26,501.81
001-000-1130	RESERVES - PARK CAP IMPROVE		234,812.58
600-000-1130	RESERVES - WATER TAPPING		605,712.67
610-000-1130	RESERVES - SEWER TAPPING		91,535.73
	RESERVES TOTAL	.00	932,060.98
001-000-1131	RESERVES - FIRE CAP IMPROVE		78,304.09
600-000-1131	RESERVES - WATER		35,000.00
	RESERVES TOTAL	.00	113,304.09
001-000-1132	RESERVES - RESCUE CAP IMPROVE		16,218.47
	RESERVES TOTAL	.00	16,218.47
001-000-1133	RESERVES - PARK & REC GOAL		6,365.17
	RESERVES TOTAL	.00	6,365.17
001-000-1150	CASH - IPAIT	82.97	58,054.81
200-000-1150	CASH - IPAIT	4.83	3,377.25
	CASH - IPAIT TOTAL	87.80	61,432.06
600-000-1160	SAVINGS - WATER TAPPING	1,036.28	979,818.98
610-000-1160	SAVINGS - SEWER TAPPING	2,137.33	2,027,998.74
740-000-1160	SAVINGS - STORM WATER	64.77	45,768.19
	SAVINGS TOTAL	3,238.38	3,053,585.91
610-000-1161	SAVINGS - SEWER TAPPING	1,725.63	1,017,621.31
	SAVINGS - RACCOON TOTAL	1,725.63	1,017,621.31
600-000-1162	SAVINGS - VISION	1,288.98	1,012,446.51

BALANCE SHEET
CALENDAR 10/2019, FISCAL 4/2020

ACCOUNT NUMBER	ACCOUNT TITLE	PTD BALANCE	YTD BALANCE
	SAVINGS - VISION TOTAL	1,288.98	1,012,446.51
601-000-1170	WATER DEPOSIT CD 25712	37.29	2,382.80
	CD'S - CITY STATE TOTAL	37.29	2,382.80
001-000-1171	CEMETERY CD 1 304927		29,777.43
001-000-1172	CEMETERY CD 3 222910		19,167.89
001-000-1173	CEMETERY CD 12014736		19,697.95
	CD'S BANKERS TRUST TOTAL	.00	68,643.27
001-000-1174	CD# 12510837 - GENERAL		2,000,000.00
	CD# 12510837 - GENERAL TOTAL	.00	2,000,000.00
001-000-1175	CD# 12396252 - GENERAL		2,000,000.00
	CD# 12396252 - GENERAL TOTAL	.00	2,000,000.00
	TOTAL CASH	7,987,526.01	40,502,014.07

BUDGET REPORT
CALENDAR 10/2019, FISCAL 4/2020

PCT OF FISCAL YTD 33.3%

ACCOUNT NUMBER	ACCOUNT TITLE	TOTAL BUDGET	PTD BALANCE	YTD BALANCE	PERCENT EXPENDED	UNEXPENDED
	POLICE TOTAL	1,382,971.00	114,507.92	452,960.88	32.75	930,010.12
	FIRE TOTAL	1,024,751.00	78,064.66	375,908.84	36.68	648,842.16
	AMBULANCE TOTAL	1,053,751.00	97,853.32	377,930.25	35.87	675,820.75
	BUILDING INSPECTIONS TOTAL	1,695,409.00	98,533.28	511,472.38	30.17	1,183,936.62
	ANIMAL CONTROL TOTAL	20,000.00	3,460.10	6,890.24	34.45	13,109.76
	PUBLIC SAFETY TOTAL	5,176,882.00	392,419.28	1,725,162.59	33.32	3,451,719.41
	ROADS, BRIDGES, SIDEWALKS TOTAL	2,592,663.00	163,532.49	718,570.97	27.72	1,874,092.03
	STREET LIGHTING TOTAL	194,407.00	15,867.57	71,110.08	36.58	123,296.92
	TRAFFIC CONTROL & SAFETY TOTAL	15,000.00	592.92	3,777.40	25.18	11,222.60
	SNOW REMOVAL TOTAL	109,000.00	27,715.54	30,709.92	28.17	78,290.08
	PUBLIC WORKS TOTAL	2,911,070.00	207,708.52	824,168.37	28.31	2,086,901.63
	WATER,AIR,MOSQUITO CONTROL TOTAL	50,000.00	2,800.00	15,400.00	30.80	34,600.00
	HEALTH & SOCIAL SERVICES TOTAL	50,000.00	2,800.00	15,400.00	30.80	34,600.00
	LIBRARY TOTAL	690,806.00	59,123.00	241,435.25	34.95	449,370.75
	PARKS TOTAL	905,116.00	57,500.14	252,064.64	27.85	653,051.36
	NORTH COMPLEX TOTAL	25,000.00	792.00	6,616.36	26.47	18,383.64
	SOUTH COMPLEX TOTAL	25,000.00	759.00	5,170.52	20.68	19,829.48
	RECREATION TOTAL	301,300.00	17,835.87	70,828.28	23.51	230,471.72
	REC - YOUTH PROGRAMS TOTAL	21,500.00	25.00	13,592.85	63.22	7,907.15
	REC - YOUTH SPORTS TOTAL	21,500.00	2,084.89	10,674.91	49.65	10,825.09
	REC - ADULT PROGRAMS TOTAL	2,000.00	475.54	545.54	27.28	1,454.46
	REC - ADULT SPORTS TOTAL	2,000.00	50.00	275.00	13.75	1,725.00
	CEMETERY TOTAL	36,000.00	4,686.06	14,128.30	39.25	21,871.70
	GCC-GRIMES COMM COMPLEX TOTAL	142,955.00	10,063.02	45,814.88	32.05	97,140.12
	CULTURE & RECREATION TOTAL	2,173,177.00	153,394.52	661,146.53	30.42	1,512,030.47
	ECONOMIC DEVELOPMENT TOTAL	1,935,992.00	18,381.75	56,817.15	2.93	1,879,174.85
	COMMUNITY & ECONOMIC DEV TOTAL	1,935,992.00	18,381.75	56,817.15	2.93	1,879,174.85
	MAYOR/COUNCIL/CITY MGR TOTAL	279,360.00	18,256.54	85,107.42	30.47	194,252.58
	CLERK/TREASURER/ADM TOTAL	483,300.00	38,447.42	169,263.72	35.02	314,036.28
	ELECTIONS TOTAL	28,500.00	.00	6,677.22	23.43	21,822.78
	LEGAL SERVICES/ATTORNEY TOTAL	244,500.00	978.85	32,507.35	13.30	211,992.65
	CITY HALL/GENERAL BLDGS TOTAL	312,100.00	33,173.35	73,103.92	23.42	238,996.08
	TORT LIABILITY TOTAL	27,500.00	.00	.00	.00	27,500.00
	OTHER GENERAL GOVERNMENT TOTAL	180,000.00	9,119.78	38,137.91	21.19	141,862.09
	GENERAL GOVERNMENT TOTAL	1,555,260.00	99,975.94	404,797.54	26.03	1,150,462.46

BUDGET REPORT
CALENDAR 10/2019, FISCAL 4/2020

PCT OF FISCAL YTD 33.3%

ACCOUNT NUMBER	ACCOUNT TITLE	TOTAL BUDGET	PTD BALANCE	YTD BALANCE	PERCENT EXPENDED	UNEXPENDED
	FIRE TOTAL	142,800.00	.00	144,209.30	100.99	1,409.30-
	ROADS, BRIDGES, SIDEWALKS TOTA	335,663.00	.00	.00	.00	335,663.00
	2007 BOND TOTAL	731,031.00	.00	.00	.00	731,031.00
	2009 BOND TOTAL	.00	.00	.00	.00	.00
	2012 BOND TOTAL	394,431.00	.00	.00	.00	394,431.00
	2015 BOND TOTAL	855,813.00	.00	.00	.00	855,813.00
	2017A BOND TOTAL	553,631.00	.00	.00	.00	553,631.00
	2017 REFINANCING BOND TOTAL	577,475.00	.00	.00	.00	577,475.00
	2018A BOND TOTAL	.00	.00	.00	.00	.00
	ECONOMIC DEVELOPMENT TOTAL	.00	.00	.00	.00	.00
	DEBT SERVICES TOTAL	.00	.00	.00	.00	.00
	DEBT SERVICE TOTAL	3,590,844.00	.00	144,209.30	4.02	3,446,634.70
	FIRE TOTAL	.00	.00	.00	.00	.00
	AMBULANCE TOTAL	.00	.00	.00	.00	.00
	ROADS, BRIDGES, SIDEWALKS TOTA	17,570,000.00	1,358,182.40	4,001,357.47	22.77	13,568,642.53
	LIBRARY TOTAL	.00	.00	.00	.00	.00
	PARKS TOTAL	750,000.00	.00	2,820.99	.38	747,179.01
	GCC-GRIMES COMM COMPLEX TOTAL	50,000.00	.00	8,372.62	16.75	41,627.38
	ECONOMIC DEVELOPMENT TOTAL	.00	.00	.00	.00	.00
	OTHER COMM & ECO DEV TOTAL	.00	.00	.00	.00	.00
	WATER TOTAL	9,310,000.00	384,379.20	3,383,313.81	36.34	5,926,686.19
	SEWER/SEWAGE DISPOSAL TOTAL	3,655,000.00	877.32	7,708.92	.21	3,647,291.08
	STORM WATER TOTAL	.00	340.00	28,025.61	.00	28,025.61-
	CAPITAL PROJECTS TOTAL	31,335,000.00	1,743,778.92	7,431,599.42	23.72	23,903,400.58
	WATER TOTAL	3,291,151.00	163,114.18	625,960.90	19.02	2,665,190.10
	SEWER/SEWAGE DISPOSAL TOTAL	1,764,744.00	72,003.45	364,656.18	20.66	1,400,087.82
	LANDFILL/GARBAGE TOTAL	629,150.00	51,513.05	202,216.60	32.14	426,933.40
	STORM WATER TOTAL	538,350.00	14,852.71	113,664.65	21.11	424,685.35
	ENTERPRISE FUNDS TOTAL	6,223,395.00	301,483.39	1,306,498.33	20.99	4,916,896.67
	TRANSFERS IN/OUT TOTAL	3,857,739.00	.00	.00	.00	3,857,739.00
	TRANSFER OUT TOTAL	3,857,739.00	.00	.00	.00	3,857,739.00
	TOTAL EXPENSES	58,809,359.00	2,919,942.32	12,569,799.23	21.37	46,239,559.77

REVENUE REPORT

CALENDAR 10/2019, FISCAL 4/2020

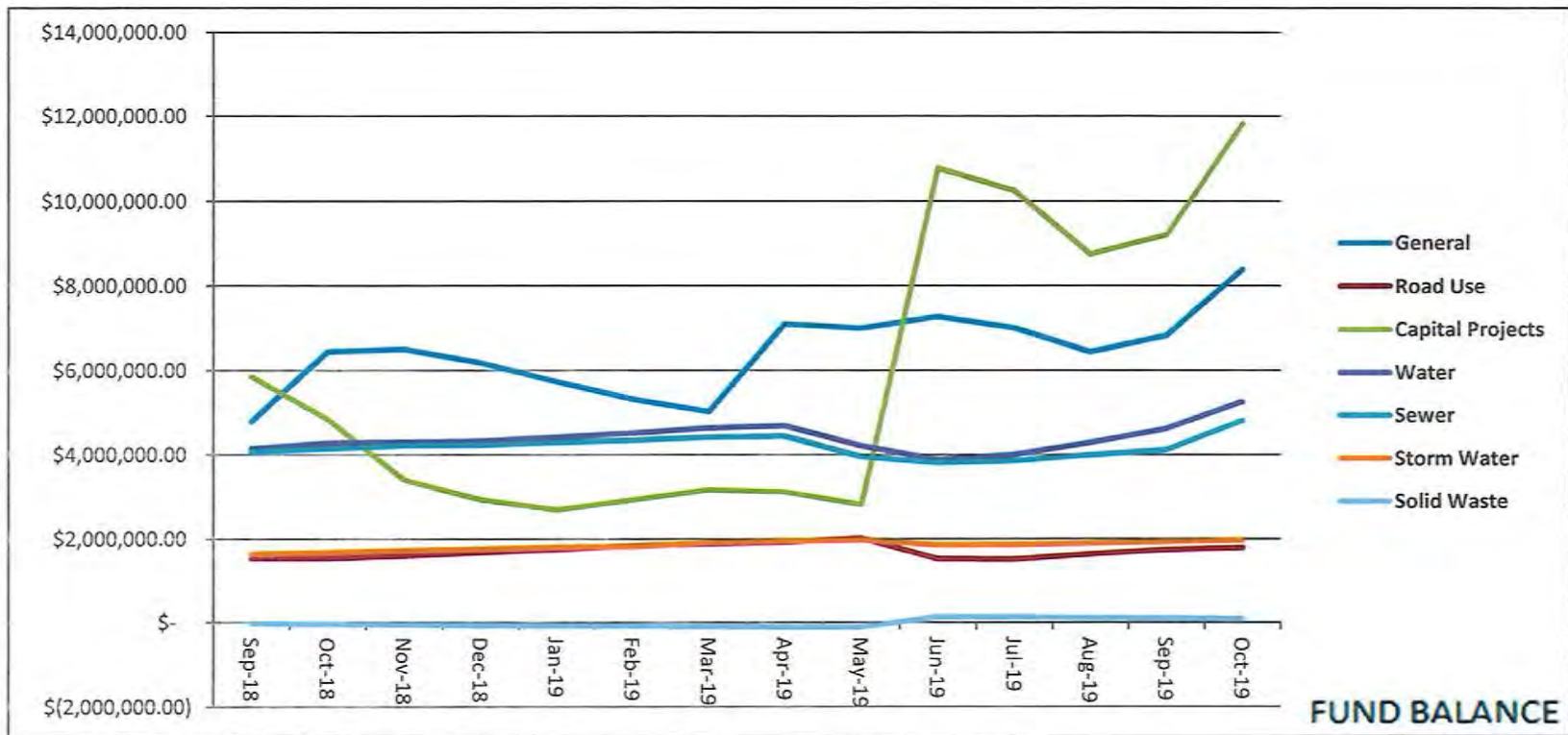
PCT OF FISCAL YTD 33.3%

ACCOUNT NUMBER	ACCOUNT TITLE	FISCAL ESTIMATE	PTD BALANCE	YTD BALANCE	PERCENT RECVD	UNCOLLECTED
	GENERAL TOTAL	9,587,035.00	2,232,454.41	3,963,421.85	41.34	5,623,613.15
	FIRE/RESCUE AUXILIARY TOTAL	32,000.00	.00	.00	.00	32,000.00
	ROAD USE TAX TOTAL	1,415,000.00	141,987.15	589,094.14	41.63	825,905.86
	EMPLOYEE BENEFITS TOTAL	1,753,885.00	671,043.85	770,941.92	43.96	982,943.08
	EMERGENCY FUND TOTAL	234,975.00	89,917.73	103,072.01	43.87	131,902.99
	LOCAL OPTION SALES TAX TOTAL	1,000.00	178.07	709.41	70.94	290.59
	TAX INCREMENT FINANCING TOTAL	2,158,592.00	738,108.27	858,758.43	39.78	1,299,833.57
	ECONOMIC DEVELOPMENT TOTAL	87,000.00	.00	19,011.51	21.85	67,988.49
	ECO DEVELOPMENT REVOLVING TOTA	12,835.00	1,069.70	4,278.80	33.34	8,556.20
	RESTRICTED GIFTS TOTAL	11,174.00	326.39	995.14	8.91	10,178.86
	DEBT SERVICE TOTAL	3,744,249.00	810,729.18	927,950.73	24.78	2,816,298.27
	CAPITAL PROJECT FUND TOTAL	3,400,000.00	.00	9,606.40	.28	3,390,393.60
	CP - ROAD DEVELOPMENT TOTAL	400,000.00	.00	24,999.99	6.25	375,000.01
	CP-SW COUNTY LINE ROAD TOTAL	.00	3,130,000.00	3,130,000.00	.00	3,130,000.00-
	CP - PARKS TOTAL	750,000.00	.00	.00	.00	750,000.00
	CP - S JAMES/SE 37TH ST TOTAL	.00	989,617.94	989,617.94	.00	989,617.94-
	CP-New Jordan Well 2019 TOTAL	3,850,000.00	221,434.47	1,768,160.47	45.93	2,081,839.53
	CP-16" Water Main TOTAL	1,600,000.00	.00	905,188.50	56.57	694,811.50
	CP-Water Tower 2019 TOTAL	3,800,000.00	125,251.10	516,154.70	13.58	3,283,845.30
	CP-Water Plant Exp 2019 TOTAL	.00	77,139.85	127,913.45	.00	127,913.45-
	SE 37TH HWY 141 PROJECT TOTAL	5,100,000.00	.00	1,169,110.36	22.92	3,930,889.64
	SE 19TH & SW CO OVERLAY TOTAL	110,000.00	.00	.00	.00	110,000.00
	WRA SANI SEWER CONNECTION TOTA	2,000,000.00	.00	15,036.17	.75	1,984,963.83
	WRA YARD PIPING & PAVING TOTA	381,000.00	.00	.00	.00	381,000.00
	RAW PUMP STATION IMP 2020 TOTA	274,000.00	.00	.00	.00	274,000.00
	WRA CAPITAL COSTS TOTAL	1,000,000.00	.00	.00	.00	1,000,000.00

REVENUE REPORT
CALENDAR 10/2019, FISCAL 4/2020

PCT OF FISCAL YTD 33.3%

ACCOUNT NUMBER	ACCOUNT TITLE	FISCAL ESTIMATE	PTD BALANCE	YTD BALANCE	PERCENT RECVD	UNCOLLECTED
	HWY44 & COUNTY LN RD 2020 TOTA	2,200,000.00	.00	.00	.00	2,200,000.00
	N JAMES WATER ISOLATION TOTAL	60,000.00	.00	.00	.00	60,000.00
	WATER TOTAL	3,900,500.00	807,399.00	1,981,319.68	50.80	1,919,180.32
	WATER DEPOSITS TOTAL	10,020.00	2,487.69	14,239.50	142.11	4,219.50-
	WATER SINKING TOTAL	822,096.00	.00	.00	.00	822,096.00
	SEWER TOTAL	2,113,600.00	768,206.34	1,357,714.36	64.24	755,885.64
	SEWER SINKING TOTAL	596,776.00	.00	.00	.00	596,776.00
	LANDFILL/GARBAGE TOTAL	649,000.00	41,926.35	163,730.88	25.23	485,269.12
	STORM WATER TOTAL	521,500.00	58,190.84	233,560.09	44.79	287,939.91
	TOTAL REVENUE BY FUND	=====	=====	=====	=====	=====
		52,576,237.00	10,907,468.33	19,644,586.43	37.36	32,931,650.57
		=====	=====	=====	=====	=====



MARTENS & COMPANY, CPA, LLP
4949 PLEASANT ST.
SUITE 104
WEST DES MOINES, IA 50266
515-223-4841

Invoice Date: November 14, 2019

Invoice Number: 00135543

Client Number: GRI04 001

CITY OF GRIMES

101 NE HARVEY ST
GRIMES, IA 50111

STATEMENT RENDERED FOR SERVICES IN CONNECTION WITH THE FOLLOWING:

Services rendered and expenses incurred during the audit of
the City for the year ended June 30, 2019. \$17,000.00

Additional services resulting from problems with the the
mid-year conversion of records. 1,000.00

Total Due \$18,000.00

**** PLEASE RETURN ONE COPY OF STATEMENT WITH REMITTANCE ****

Amount due is payable upon receipt of bill. Past due accounts will be
charged a finance charge of 1.50% per month. Thank you for keeping your account current.

Contractor's Application for Payment No.

5

To: City of Grimes 101 NE Harvey St. Grimes, IA 50111		Application Period: 9/22/2019 through 10/26/2019	Application Date: 10/26/2019
(Owner): Project: New 1.5 MG Elevated Water Storage Tank		From (Contractor): CB&I PO Box 846217 Dallas, TX 75284-6217	Via (Engineer): McClure Engineering Co. 1360 NW 121st St. Clive, IA 50325
Owner's Contract No.: FS-77-18-DWSRF-016		Contract:	Engineer's Project No.: 191105-000
		Contractor's Project No.: 374231044	

Application For Payment Change Order Summary

Approved Change Orders				
Number	Additions	Deductions		
			1. ORIGINAL CONTRACT PRICE.....	\$ \$2,947,680.00
			2. Net change by Change Orders.....	\$ \$0.00
			3. Current Contract Price (Line 1 ± 2).....	\$ \$2,947,680.00
			4. TOTAL COMPLETED AND STORED TO DATE	
			(Column F on Progress Estimate).....	\$ \$907,780.00
			5. RETAINAGE:	
			a. 5% X \$907,780.00 Work Completed.....	\$ \$45,389.00
			b. 5% X \$0.00 Stored Material.....	\$ \$0.00
			c. Total Retainage (Line 5a + Line 5b).....	\$ \$45,389.00
			6. AMOUNT ELIGIBLE TO DATE (Line 4 - Line 5c).....	\$ \$862,391.00
			7. LESS PREVIOUS PAYMENTS (Line 6 from prior Application).....	\$ \$574,282.60
			8. AMOUNT DUE THIS APPLICATION.....	\$ \$288,108.40
			9. BALANCE TO FINISH, PLUS RETAINAGE	
			(Column G on Progress Estimate + Line 5 above).....	\$ \$2,085,289.00
TOTALS				
NET CHANGE BY				
CHANGE ORDERS				

Contractor's Certification

The undersigned Contractor certifies that to the best of its knowledge: (1) all previous progress payments received from Owner on account of Work done under the Contract have been applied on account to discharge Contractor's legitimate obligations incurred in connection with Work covered by prior Applications for Payment; (2) title of all Work, materials and equipment incorporated in said Work or otherwise listed in or covered by this Application for Payment will pass to Owner at time of payment free and clear of all Liens, security interests and encumbrances (except such as are covered by a Bond acceptable to Owner indemnifying Owner against any such Liens, security interest or encumbrances); and (3) all Work covered by this Application for Payment is in accordance with the Contract Documents and is not defective.

By: *Stephanie Chaus*

Date: 10/26/2019

Payment of: \$ \$288,108.40
(Line 8 or other - attach explanation of the other amount)

is recommended by: *Matthew Wall* 10-31-19
McClure Engineering Co. (Date)

Payment of: \$ \$288,108.40
(Line 8 or other - attach explanation of the other amount)

is approved by: _____
City of Grimes (Date)

Approved by: _____
Funding Agency (if applicable) (Date)

* ACCEPTANCE BY AGENCY: The review and acceptance of this estimate does not attest to the correctness of the quantities shown or that the work has been performed in accordance with the contract documents.

Progress Estimate - Lump Sum Work

Contractor's Application

For (Contract): New 1.5 MG Elevated Water Storage Tank					Application Number: 5			
Application Period: 9/22/2019 through 10/26/2019					Application Date: 10/26/2019			
			Work Completed		E	F		G
Specification Section No.	A	B	C	D	Materials Presently Stored (not in C or D)	Total Completed and Stored to Date (C + D + E)	% (F / B)	Balance to Finish (B - F)
	Description	Scheduled Value (\$)	From Previous Application (C+D)	This Period				
1	Contract Award - Bonds & Insurance	\$53,700.00	\$53,700.00	\$0.00	\$0.00	\$53,700.00	100%	\$0.00
2	Engineering & Design	\$203,600.00	\$193,420.00	\$4,072.00	\$0.00	\$197,492.00	97%	\$6,108.00
3	Tank Material	\$395,655.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$395,655.00
4	Fabrication & Ship (CET Crew)	\$98,300.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$98,300.00
5	Fabrication & Ship (Tank Crew)	\$168,500.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$168,500.00
6	Mobilization (Subcontractor)	\$46,680.00	\$46,680.00	\$0.00	\$0.00	\$46,680.00	100%	\$0.00
7	Site Prep	\$46,320.00	\$41,688.00	\$0.00	\$0.00	\$41,688.00	90%	\$4,632.00
8	Deep Foundation	\$198,620.00	\$198,620.00	\$0.00	\$0.00	\$198,620.00	100%	\$0.00
9	Foundation Construction	\$440,000.00	\$70,400.00	\$299,200.00	\$0.00	\$369,600.00	84%	\$70,400.00
10	Piping (at Grade & Buried)	\$50,300.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$50,300.00
11	Mobilization (CB&I)	\$69,700.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$69,700.00
12	Concrete Shaft Construction (CET Crew)	\$448,200.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$448,200.00
13	Tank Erection	\$183,200.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$183,200.00
14	Paint Tank (At Grade)	\$120,000.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$120,000.00
15	Hoist Tank	\$65,000.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$65,000.00
16	Paint Tank (In Air)	\$136,600.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$136,600.00
17	Doors & Interior Build-out	\$36,285.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$36,285.00
18	Electrical & Controls	\$139,870.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$139,870.00
19	Sterilize & Fill	\$3,500.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$3,500.00
20	Concrete Floor	\$8,000.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$8,000.00
21	Final Site work (Fence/Landscape/Final Grading)	\$35,650.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$35,650.00
	Totals	\$2,947,680.00	\$604,508.00	\$303,272.00	\$0.00	\$907,780.00	31%	\$2,039,900.00

Contractor's Application

EJCDC C-620 Contractors Application for Payment
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Page 4 of 4

Contractor's Application

For (Contract):	New 1.5 MG Elevated Water Storage Tank				Application Number:	5
					Application Date:	10/26/2019
Application Period:	From:	9/22/2019	To:	10/26/2019	Contractor:	CB&I, LLC PO Box 846217, Dallas, TX 75284-6217

Original Contract Amount:	\$	2,947,680.00
---------------------------	----	--------------

Approved Change Orders:

[illegible]

Revised Contract Amount:	\$	2,947,680.00
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Pay Estimates Paid-to-Date

[illegible]

Total Estimates Paid to Date:	\$	574,282.60
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Total Construction Cost:	\$	574,282.60
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**CB&I LLC (SPS Division)**757 N. Eldridge Parkway
Houston, TX 77079**INVOICE**

INVOICE NO. 231044-05
 APPLICATION NO. 5
 INVOICE DATE 10/26/19
 DUE DATE 11/25/19
 TERMS N30
 A/P VENDOR NO. #

Work From Date: 09/22/19
 Work Thru Date: 10/26/19
 CBI Contract No. 374231044
 CBI Customer No. 9503157
 Project Manager Drew Rockafellow

MAIL TO: City of Grimes 101 NE Harvey Street Grimer, IA 50111	SOLD TO: City of Grimes 101 NE Harvey Street Grimer, IA 50111
Attn: Dan Wing Ph. 515-971-3859 Email: dwing@mecresults.com	
Job Location: Grimes, IA	
Eng Proj #: 191105-000	

DESCRIPTION**New 1.5 MG Elevated Water Storage Tank**

Original Contract Price **\$2,947,680.00**
 Change Order **\$0.00**
Total Contract Price \$2,947,680.00

<u>Schedule of Values</u>	<u>PRICE</u>	<u>% COMPLETE</u>	<u>AMOUNT DUE</u>
1 Contract Award - Bonds & Insurance	\$53,700.00	100%	\$53,700.00
2 Engineering & Design	\$203,600.00	97%	\$197,492.00
3 Tank Material	\$395,655.00	0%	\$0.00
4 Fabrication & Ship (CET Crew)	\$98,300.00	0%	\$0.00
5 Fabrication & Ship (Tank Crew)	\$168,500.00	0%	\$0.00
6 Mobilization (Subcontractor)	\$46,680.00	100%	\$46,680.00
7 Site Prep	\$46,320.00	90%	\$41,688.00
8 Deep Foundation	\$198,620.00	100%	\$198,620.00
9 Foundation Construction	\$440,000.00	84%	\$369,600.00
10 Piping (at Grade & Buried)	\$50,300.00	0%	\$0.00
11 Mobilization (CB&I)	\$69,700.00	0%	\$0.00
12 Concrete Shaft Construction (CET Crew)	\$448,200.00	0%	\$0.00
13 Tank Erection	\$183,200.00	0%	\$0.00
14 Paint Tank (At Grade)	\$120,000.00	0%	\$0.00
15 Hoist Tank	\$65,000.00	0%	\$0.00
16 Paint Tank (In Air)	\$136,600.00	0%	\$0.00
17 Doors & Interior Build-out	\$36,285.00	0%	\$0.00
18 Electrical & Controls	\$139,870.00	0%	\$0.00
19 Sterilize & Fill	\$3,500.00	0%	\$0.00
20 Concrete Floor	\$8,000.00	0%	\$0.00
21 Final Site work (Fence/Landscape/Final Grading)	\$35,650.00	0%	\$0.00
	\$2,947,680.00	31%	\$907,780.00
		Total Completed to Date	\$907,780.00
		Less: Retention 5%	\$45,389.00
		Total Amount Billed to Date	\$862,391.00
		Less: Amount Previously Invoiced	\$574,262.60
		Current Amount Due	\$288,108.40

Regular Mail:
 CB&I LLC (SPS Division)
 PO Box 846217
 Dallas, TX 75284-6217

Overnight Mail:
 Bank of America Lockbox Services
 CB&I LLC (SPS Division) - Lockbox 846217
 1950 N. Stemmons Frwy, Suite 5010
 Dallas, TX 75207

Bank of America EFT Information
 Account Name CB&I LLC (SPS Division)
 Account Number 3756272668
 ABA 111000012 (ACH Only)
 ABA 026009593 (Wire Only)

DIRECT QUESTIONS REGARDING: usainvoicing@mcdermott.com



Iowa Department of Transportation

Construction Pay Estimate Report

SE 37th Street @ Highway 141

11/11/2019 9:53 AM

FieldManager 5.3c

Contract: _77-3125-614, PCC Pavement- Grade and Replace

Estimate No.	Estimate Date	Entered By	Estimate Type	Managing Office
14	11/11/2019	Chris Wlon	Semi-Monthly	HR Green- Des Moines
All Contract Work Completed		Construction Started Date 4/22/2019	Prime Contractor Concrete Technologies Inc 1001 SE 37th Street Grimes IA 50111	
Comments				

Item Usage Summary

Project: 77-3125-614, SE 37th Street

Category: 1, participating

Item Description	Unit	Item Code	Prop. Ln.	Project Line No.	Item Type	Mod. No.	Quantity	Item Price	Dollar Amount
EXCAVATION, CL 10, RDWY+BORROW	CY	2102-2710070	0020	0010	00	000	1,294.000	18.75	\$24,262.50
STD/S-F PCC PAV'T, CL C CL 3, 9.5"	SY	2301-1033095	0120	0060	00	000	4,108.867	69.50	\$285,566.26
MANHOLE ADJUSTMENT, MINOR	EACH	2435-0600010	0320	0160	00	000	1.000	1,250.00	\$1,250.00
RMVL OF PAV'T	SY	2510-6745850	0450	0230	00	000	595.740	11.75	\$6,999.95
FLAGGER	EACH	2528-8445113	0580	0295	00	000	16.000	480.00	\$7,680.00
Subtotal for Category 1:									\$325,758.71
Subtotal for Project 77-3125-614:									\$325,758.71
Total Estimated Item Payment:									\$325,758.71

Time Charges

Site	Site Description	Site Method	Days Charged	Liq. Damages
00	Overall Contract Site	Working Days	6	\$0
Total Liquidated Damages:				\$0

Pre-Voucher Summary

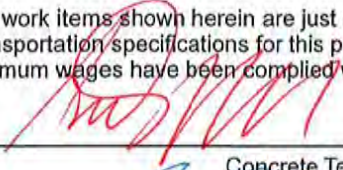
Project	Voucher No.	Item Payment	Stockpile Adjustment	Dollar Amount
77-3125-614, SE 37th Street	0005	\$325,758.71	\$0.00	\$325,758.71
Voucher Total:				\$325,758.71

**Construction Pay Estimate Report****Summary**

Current Voucher Total:	\$325,758.71	Earnings to date:	\$3,569,872.84
-Current Retainage:	\$0.00	- Retainage to date:	\$30,000.00
-Current Liquidated Damages:	\$0.00	- Liquidated Damages to date:	\$0.00
-Current Adjustments:	\$0.00	- Adjustments to date:	\$0.00
Total Estimated Payment:	\$325,758.71	Net Earnings to date:	\$3,539,872.84
		- Payments to date:	\$3,214,114.13
		Net Earnings this period:	\$325,758.71

Estimate Certification

The work items shown herein are just and unpaid, and the requirements of the Iowa Department of Transportation specifications for this project, including all requirements as to maximum hours of labor and minimum wages have been complied with.


Concrete Technologies Inc

11-11-19
(Date)


Recommended by Project Engineer

11/11/2019
(Date)

Approved by District Construction Engineer or designee

(Date)

Hubbell
2015
Bldg #4
FY20

EXHIBIT B

COMPANY'S ESTIMATE WORKSHEET

- (1) Date of Preparation: October ____, 20__.
- (2) Assessed Valuation of Property as of January 1, 20 18 :
\$ 1,713,750.
- (3) Base Taxable Valuation of Property:
\$ 5690.
- (4) Incremental Taxable Valuation of Property (2 minus 3):
\$ 1,708,060 (the "TIF Value"). $\times .90 = 1,537,254$
- (5) Current City fiscal year consolidated property tax levy rate for purposes of calculating Incremental Property Tax Revenues (the "Adjusted Levy Rate"):
\$ 32.22343 per thousand of value.
- (6) The TIF Value (4) factored by the Adjusted Levy Rate (5).
 $\$1,537,254 \times \$32.22343/1000 = \$49,536$ (the "TIF Estimate")
- (7) TIF Estimate (\$ 49,536 x Annual Percentage* (100 %)) = Company's Estimate (\$ 49,536).

$\frac{1}{2}$ FY 20 TIF Rebate

125-520-6498

\$24,768

2014
clubb #3
FY20

EXHIBIT B

COMPANY'S ESTIMATE WORKSHEET

- (1) Date of Preparation: October ____, 20__.
- (2) Assessed Valuation of Property as of January 1, 2018:
\$ 3,768,920.
- (3) Base Taxable Valuation of Property:
\$ 6719.
- (4) Incremental Taxable Valuation of Property (2 minus 3):
\$ 3,762,201 (the "TIF Value"). $\times .90 = 3,385,981$
- (5) Current City fiscal year consolidated property tax levy rate for purposes of calculating Incremental Property Tax Revenues (the "Adjusted Levy Rate"):
\$ 32,22343 per thousand of value.
- (6) The TIF Value (4) factored by the Adjusted Levy Rate (5).
 $\$3,385,981 \times \$32,22343 / 1000 = \$109,108$ (the "TIF Estimate")
- (7) TIF Estimate (\$ 109,108 x Annual Percentage* (100 %)) = Company's Estimate (\$ 109,108).

$\frac{1}{2}$ FY20 TIF Rebate
\$ 54,554

125-520-6498

2012
Subbill
Bldg #2
Final yr
FY20

EXHIBIT B

COMPANY'S ESTIMATE WORKSHEET

(1) Date of Preparation: October ____, 20__.

(2) Assessed Valuation of Property as of January 1, 2018:

\$ 4,825,300.

(3) Base Taxable Valuation of Property:

\$ 5,700.

(4) Incremental Taxable Valuation of Property (2 minus 3):

\$ 4,819,600 (the "TIF Value"). $\times .90 = 4,337,640$

(5) Current City fiscal year consolidated property tax levy rate for purposes of calculating Incremental Property Tax Revenues (the "Adjusted Levy Rate"):

\$ 32.22343 per thousand of value.

(6) The TIF Value (4) factored by the Adjusted Levy Rate (5).

\$ 4,337,640 $\times$ \$ 32.22343 / 1000 = \$ 139,774 (the "TIF Estimate")

(7) TIF Estimate (\$ _____ $\times$ Annual Percentage* (____%) = Company's Estimate (\$ _____).

*Max allowed left to pay on agreement

\$ 43,572.34

1/2 FY20 TIF rebate

\$ 21,786.17

#125-520-6498

F420
TIF
2014
agreement

EXHIBIT B

COMPANY'S ESTIMATE WORKSHEET

- (1) Date of Preparation: October ____, 20__.
- (2) Assessed Valuation of Property as of January 1, 20 18 :
\$ 52,000.
- (3) Base Taxable Valuation of Property:
\$ 36,500.
- (4) Incremental Taxable Valuation of Property (2 minus 3):
\$ 15,500 (the "TIF Value"). $\times .90 = 13,950$
- (5) Current City fiscal year consolidated property tax levy rate for purposes of calculating Incremental Property Tax Revenues (the "Adjusted Levy Rate"):
\$ 32.22343 per thousand of value.
- (6) The TIF Value (4) factored by the Adjusted Levy Rate (5).
\$ 13,950 $\times$ \$ 32.22343/1000 = \$ 450 (the "TIF Estimate")
- (7) TIF Estimate (\$ 450) $\times$ Annual Percentage* (100 %) = Company's Estimate (\$ 450).

$\frac{1}{2}$ F420 TIF Rebate

\$ 225

Shade Tree
Auto
FY20

EXHIBIT C

DEVELOPER'S ESTIMATE WORKSHEET

- (1) Date of Preparation: October ____, 20 __.
- (2) Assessed Valuation of Property as of January 1, 20 18:
\$ 1,910,000.
- (3) Base Taxable Valuation of Property:
\$ 3870.
- (4) Incremental Taxable Valuation of Property (2 minus 3):
\$ 1,906,130 (the "TIF Value"). $\times .90 = 1,715,517$
- (5) Current City fiscal year consolidated property tax levy rate for purposes of calculating Incremental Property Tax Revenues (the "Adjusted Levy Rate"):
\$ 32.22343 per thousand of value.
- (6) The TIF Value (4) factored by the Adjusted Levy Rate (5).
 $\$1,715,517 \times \$32.22343 / 1000 = \$55280$ (the "TIF Estimate")
- (7) TIF Estimate (\$ 55280 x Annual Percentage* (60 %)) = Developer's Estimate (\$ 33168).

Fiscal Year of City	Annual Percentage *
First Payment	75%
Second Payment	60% $\times$
Third Payment	45%
Fourth Payment	30%
Fifth Payment	15%

FY 20 1/2 yr TIF Rebate

#125-520-6498
\$16,584

Premiere
Concrete
FY 20

EXHIBIT B

COMPANY'S ESTIMATE WORKSHEET

- (1) Date of Preparation: October ____, 20__.
- (2) Assessed Valuation of Property as of January 1, 20 18:
\$ 745,000.
- (3) Base Taxable Valuation of Property:
\$ 0.
- (4) Incremental Taxable Valuation of Property (2 minus 3):
\$ 745,000 (the "TIF Value"). $\times .90 = 670,500$
- (5) Current City fiscal year consolidated property tax levy rate for purposes of calculating Incremental Property Tax Revenues (the "Adjusted Levy Rate"):
\$ 32.22343 per thousand of value.
- (6) The TIF Value (4) factored by the Adjusted Levy Rate (5).
\$ 670,500 $\times$ \$ 32.22343 / 1000 = \$ 21,606 (the "TIF Estimate")
- (7) TIF Estimate (\$ 21,606 $\times$ Annual Percentage* (100 %)) = Company's Estimate (\$ 21,606).

125-520-6498

1/2 FY 20 TIF Rebate

\$ 10,803

Total Family Eyebrow
FY20 Rebate

EXHIBIT C

DEVELOPER'S ESTIMATE WORKSHEET

- (1) Date of Preparation: October ____, 20__.
- (2) Assessed Valuation of Property as of January 1, 20 18:
\$ 1,730,000.
- (3) Base Taxable Valuation of Property:
\$ 2530.
- (4) Incremental Taxable Valuation of Property (2 minus 3):
\$ 1,727,470 (the "TIF Value"). $\times .90 = 1,554,723$
- (5) Current City fiscal year consolidated property tax levy rate for purposes of calculating Incremental Property Tax Revenues (the "Adjusted Levy Rate"):
\$ 32.89657 per thousand of value.
- (6) The TIF Value (4) factored by the Adjusted Levy Rate (5).
\$ 1,554,723 $\times$ \$ 32.89657 / 1000 = \$ 51,145 (the "TIF Estimate")
- (7) TIF Estimate (\$ 51,145 $\times$ Annual Percentage* (60 %) = Developer's Estimate (\$ 30,687).

Fiscal Year of City	Annual Percentage *
First Payment	75%
Second Payment	60%
Third Payment	45%
Fourth Payment	30%
Fifth Payment	15%

FY20 1/2 yr TIF Rebate

September 5, 2019

Grimes City Council
101 NE Harvey Street
Grimes, IA

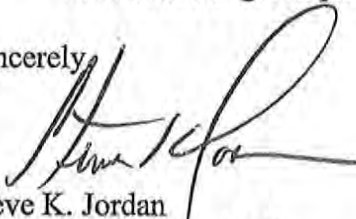
RE: Heritage at Grimes

To Whom It May Concern:

Pursuant to the Development Agreement entered into by the City of Grimes and Heritage at Grimes, LLC as of the 26th day of April 2016, this letter constitutes a certification to the City that the estimated amount of incremental property taxes which will be paid with respect to the certified phases of the project for the fiscal year 2019/2020 in the amount of \$489,657.00

This notice is given pursuant to Article A.8 of the Development Agreement.

Sincerely,



Steve K. Jordan
Heritage at Grimes, LLC

#125-520-6498

\$ 244,828.50

1/2 FY 20 Rebate

Hy-Use #1
2017
FY20

EXHIBIT C

DEVELOPER'S ESTIMATE WORKSHEET

- (1) Date of Preparation: October 9, 2018.
- (2) Assessed Valuation of Property as of January 1, 2018:
\$ 19,500,000. Tax parcel #311-00347-701-000
- (3) Base Taxable Valuation of Property:
\$ 64,120.
- (4) Incremental Taxable Valuation of Property (2 minus 3):
\$ 3,300,000 (the "TIF Value"). $\times .90 = \$2,970,000$
- (5) Current City fiscal year consolidated property tax levy rate for purposes of calculating Incremental Property Tax Revenues (the "Adjusted Levy Rate"):
\$ 32.22343 per thousand of value.
- (6) The TIF Value (4) factored by the Adjusted Levy Rate (5).
 $\$2,970,000 \times \$32.22343 / 1000 = \$95,704$ (the "TIF Estimate")
- (7) TIF Estimate (\$ 95,704 x Annual Percentage* (75%) = Developer's Estimate (\$ 71,778).

Fiscal Year of City	Annual Percentage *
First Payment	75% $\times$
Second Payment	60%
Third Payment	45%
Fourth Payment	30%
Fifth Payment	15%

#35,889 1/2 TIF Estimate
FY20
#125-520-6498



MARTENS & COMPANY, CPA, LLP

CERTIFIED PUBLIC ACCOUNTANTS

4949 Pleasant Street, Suite 104

West Des Moines, Iowa 50266

(515)-223-4841

FAX: (515)-223-0851

November 7, 2019

Rochelle Williams, City Clerk
City of Grimes
101 NE Harvey Street
Grimes, IA 50111

Dear Rochelle:

Please find enclosed 10 copies of the certified audit report of the City of Grimes for the year ended June 30, 2019. Please make proper distribution. Also, please find enclosed 8 copies of the SAS 114 letter, which needs to be provided to the mayor and each council member.

I will send one PDF copy of the certified audit report and the news release to the State Auditor as per their request. A copy is enclosed. The City also needs to remit a filing fee to the Office of Auditor of State for \$850. Mail to: Office of Auditor of State, State Capitol Building, Room 111, 1007 East Grand Avenue, Des Moines, IA 50319-0001.

I have notified the Des Moines Register as required by Section 11.19, Code of Iowa. A copy is enclosed.

Also enclosed is a copy of the news release.

If we can be of any other service to you, please do not hesitate to call.

Very truly yours,

MARTENS & COMPANY, CPA, LLP

Marvin D. Berger
Certified Public Accountant

MDB:lb
Enclosures

Resolution #11-1119 "A Resolution Approving Personnel Transactions"

WHEREAS, the City Administrator recommends the following additions and/or amendments to the payroll.

NOW THEREFORE, be it resolved by the City Council of the City of Grimes, Iowa that:

Section 1. The previously approved job description of Senior Engineering Tech in the Development Services has been filled by Tony Hanson at \$37.50 per hour;

Section 2. That pursuant to the need for a Program Supervisor, Melissa McMaster has been hired by the Parks and Recreation Department at the rate of \$15.00 per hour, also to fill in as a Night Supervisor at \$9.50/hour; and

Section 3. All new hires are subject to a standard probationary period that shall be no less than six months but may be extended for a longer period as determined by the City Administrator.

PASSED AND APPROVED this 26th day of November, 2019.

Mayor Scott Mikkelsen

ATTEST:

Rochelle Williams, City Clerk



**WHITFIELD
& EDDY LAW**

699 Walnut Street, Suite 2000
Des Moines, IA 50309
Telephone: 515-288-6041
Federal ID. No 42-0643980

City of Grimes
Grimes City Hall
P. O. Box 457
Grimes, IA 50111

INVOICE 253823
November 20, 2019

176170-0101
City Of Grimes - General

Responsible Attorney: Thomas I. Henderson
For Professional Services Rendered Through October 31, 2019

CURRENT INVOICE:

Current Fees	9,467.50
Current Costs	0.00

TOTAL DUE CURRENT INVOICE: 9,467.50

TOTAL DUE AGING REPORT

	0-30	31-60	61-90	91+	
	CURRENT	PAST DUE	PAST DUE	PAST DUE	TOTAL DUE
TOTALS	9,467.50	0.00	0.00	0.00	9,467.50

PLEASE REMIT PAYMENT TO:
WHITFIELD & EDDY, P.L.C.
Accounting Department
699 Walnut Street, Suite 2000
Des Moines, IA 50309

We accept Mastercard/Visa/Discover/American Express
Visit our website at www.whitfieldlaw.com
Click on Menu, Make Payment, Pay Invoice

Thank You!



THOMAS HENDERSON
699 WALNUT STREET, SUITE 2000
DES MOINES, IOWA 50309

whitfieldlaw.com

515-288-6041 P 515-246-1474 F

515-246-5559 D
henderson@whitfieldlaw.com

November 21, 2019

Rochelle Williams
City Clerk
101 N. Harvey Street
Grimes, IA 50111

Re: City of Grimes Legal Services (176170-102)

ACTION	AMOUNT
Attendance at council meetings on October 8, 2019 and October 21, 2019 (2 meetings x \$200 = \$400.00)	\$400.00
TOTAL	\$400.00



699 Walnut Street, Suite 2000
Des Moines, IA 50309
Telephone: 515-288-6041
Federal ID. No 42-0643980

City of Grimes
Grimes City Hall
101 N. Harvey St
Grimes, IA 50111

INVOICE 253824
November 20, 2019

176170-0875
PMR Realty Group, LLC and R & R Realty Group, LLC-Special Assessment

Responsible Attorney: Thomas I. Henderson
For Professional Services Rendered Through October 31, 2019

CURRENT INVOICE:

Current Fees	1,530.00
Current Costs	0.00

TOTAL DUE CURRENT INVOICE: 1,530.00

TOTAL DUE AGING REPORT

	0-30	31-60	61-90	91+	
	CURRENT	PAST DUE	PAST DUE	PAST DUE	TOTAL DUE
TOTALS	1,530.00	0.00	0.00	0.00	1,530.00

PLEASE REMIT PAYMENT TO:
WHITFIELD & EDDY, P.L.C.
Accounting Department
699 Walnut Street, Suite 2000
Des Moines, IA 50309

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Thank You!

Whitfield & Eddy, P.L.C.

Grimes, Iowa, City of
PMR Realty Group, LLC and R & R Realty Group, LLC-Special
176170-0875

November 20, 2019
INVOICE 253824
PAGE 3

FEES:

Description

Letter from City Clerk re settlement agreement;

Letter from City Clerk re settlement agreement;

Letter to attorney Manning re settlement;

TOTAL FEES	1,530.00
-------------------	-----------------

SUBTOTAL CURRENT FEES AND COSTS	1,530.00
--	-----------------

TOTAL CURRENT FEES AND COSTS	1,530.00
-------------------------------------	-----------------



699 Walnut Street, Suite 2000
Des Moines, IA 50309
Telephone: 515-288-6041
Federal ID. No 42-0643980

City of Grimes
Grimes City Hall
101 N. Harvey St
Grimes, IA 50111

INVOICE 253825
November 20, 2019

176170-0878
Norfolk Southern Railway Company-Condernnation

Responsible Attorney: Thomas I. Henderson
For Professional Services Rendered Through October 31, 2019

CURRENT INVOICE:

Current Fees	2,250.00
Current Costs	0.00

TOTAL DUE CURRENT INVOICE: 2,250.00

TOTAL DUE AGING REPORT

	0-30 CURRENT	31-60 PAST DUE	61-90 PAST DUE	91+ PAST DUE	TOTAL DUE
TOTALS	2,250.00	0.00	0.00	0.00	2,250.00

PLEASE REMIT PAYMENT TO:
WHITFIELD & EDDY, P.L.C.
Accounting Department
699 Walnut Street, Suite 2000
Des Moines, IA 50309

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Thank You!



**WHITFIELD
& EDDY LAW**

699 Walnut Street, Suite 2000
Des Moines, IA 50309
Telephone: 515-288-6041
Federal ID. No 42-0643980

City of Grimes
Grimes City Hall
101 N. Harvey St
Grimes, IA 50111

INVOICE 253826
November 20, 2019

176170-0879
SW County Line Rd. Condemnations

Responsible Attorney: Thomas I. Henderson
For Professional Services Rendered Through October 31, 2019

CURRENT INVOICE:

Current Fees	2,507.50
Current Costs	183.02

TOTAL DUE CURRENT INVOICE: 2,690.52

TOTAL DUE AGING REPORT

	0-30	31-60	61-90	91+	
	CURRENT	PAST DUE	PAST DUE	PAST DUE	TOTAL DUE
TOTALS	2,690.52	0.00	0.00	0.00	2,690.52

PLEASE REMIT PAYMENT TO:
WHITFIELD & EDDY, P.L.C.
Accounting Department
699 Walnut Street, Suite 2000
Des Moines, IA 50309

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Visit our website at www.whitfieldlaw.com
Click on Menu, Make Payment, Pay Invoice

Thank You!



699 Walnut Street, Suite 2000
Des Moines, IA 50309
Telephone: 515-288-6041
Federal ID. No 42-0643980

City of Grimes
Grimes City Hall
101 N. Harvey St
Grimes, IA 50111

INVOICE 253827
November 20, 2019

176170-0881
National Carwash Solutions d/b/a RYKO-Water Pollution Issue

Responsible Attorney: Thomas I. Henderson
For Professional Services Rendered Through October 31, 2019

CURRENT INVOICE:

Current Fees	742.50
Current Costs	0.00

TOTAL DUE CURRENT INVOICE: 742.50

TOTAL DUE AGING REPORT

	0-30 CURRENT	31-60 PAST DUE	61-90 PAST DUE	91+ PAST DUE	TOTAL DUE
TOTALS	742.50	0.00	0.00	0.00	742.50

PLEASE REMIT PAYMENT TO:
WHITFIELD & EDDY, P.L.C.
Accounting Department
699 Walnut Street, Suite 2000
Des Moines, IA 50309

We accept Mastercard/Visa/Discover/American Express
Visit our website at www.whitfieldlaw.com
Click on Menu, Make Payment, Pay Invoice

Thank You!



*101 NE Hawley, Grimes, Iowa 50111
515.986.3036 Fax 515.986.3846*

AGENDA MEMO

Item No. X
For Meeting of 11/26/2018

AGENDA HEADING: Creek Restoration and Detention Area Improvement Materials

SYNOPSIS: The Public Works Department requests the approval to purchase Flexamat Landscaping material to prevent erosion in heavy drainage areas that susceptible to erosion. The material is concrete mesh type blanket that prevents washout and erosion. The material will help for long term stabilization on Council approved projects.

FISCAL IMPACT: The cost of the material is \$11,209.00.

Funding for the project will come out the Council approved project funding.

PREVIOUS COUNCIL ACTION(S): Approved Creek Restoration Project and approved Detention Area Improvement Project.

BOARD/COMMISSION ACTION(S):

STAFF/COMMITTEE RECOMMENDATION: Staff respectfully requests that Flexamat be purchased to add quality and longevity to current projects under construction.



Quick Supply
6620 NW Toni Drive
Des Moines, IA 50313
Phone: 515-289-1271

INVOICE

Reference No.: QSC110463
Date: 9/3/2019
Due Date: 9/3/2019
Customer ID: 102201
Ordered By: Wes Wunder
Phone:
Salesperson: John Parenza

BILL TO:				SHIP TO:		
City Of Grimes 101 NE Harvey St. Grimes IA 50111				Customer Pick Up 6620 N.W. Toni Drive Des Moines IA 50313		
CUSTOMER PO		TERMS		CONTACT		
		NET 30 DAYS		John Parenza 515-250-6079		
NO.	ITEM	ITEM ID	QTY.	UOM	UNIT PRICE	EXTENDED PRICE
SHIP VIA:		CPU				
1	Flexamat Standard /sf	42031036	2,780.00	SF	3.95	10,981.00
2	U shaped Rebar Anchors-18" length	42501046	285.00	EACH	0.80	228.00

Payment Details						Customer Signature	
Payment Date	Payment Ref	Payment Nbr	Payment Method	Account/Card	Payment Amount	Sales Total:	11,209.00
						Tax Total:	0.00
						Total:	11,209.00
Order Total							
Paid Amount							
Total Balance							
Quick Supply Invoice Terms and Conditions:							
All returns are subject to a 25% restocking charge. A restocking fee will be applied to all returns after 30 days of purchase. Return tickets are subject to change upon inspection and approval of materials returned. Credit must appear on account before any cash or check will be issued. All special order products require a signed purchase order or prepaid invoice before ordering product. All special order products are non-returnable. Please allow for extended lead time. All returns must be stacked as original and undamaged.							
The goods and products and (if any) services delivered pursuant to this invoice are subject to the Terms and Conditions shown on the reverse side hereof.							

Geosynthetics | Erosion and Sediment Control | Stormwater | Hardscapes

Notice to Buyer and any Subsequent Owner

Failure of this contractor to pay those persons supplying material or services to complete this contract can result in the filing of a mechanic's lien on the property which is the subject of this contract. To avoid this result you may ask this contractor for "lien waivers" from all persons supplying materials or services for the work described in this contract. Failure to secure lien waivers may result in your paying for labor and material twice.

Terms and Conditions

As used herein, "Seller" shall refer to the entity (either A.S.P. Enterprises, Inc., Hale Supply Co., Quick Colorado, Inc., Quick Michigan, Inc., Quick Minnesota, Inc., or Quick Supply Co.) named in the attached Invoice, Quote or Sales Order as providing goods or services thereunder and "Buyer" shall refer to the person or entity to whom the attached Invoice, Quote or Sales Order is directed. The following Terms and Conditions govern and are made a part of the attached Invoice, Quote, or Sales Order. For clarity, these Terms and Conditions are solely between Buyer and the Seller entity named on the attached Invoice, Quote, or Sales Order and in no event shall Buyer have any right to bring a claim against any affiliate or parent entity of Seller.

1. Buyer shall pay all amounts stated on Seller's invoices, without deduction, counterclaim or setoff, within the payment terms stated on the invoice (or 30 days from date of invoice if no payment terms are so stated). Any amounts not paid by Buyer when due will bear interest at a rate of one and one-half percent (1.5%) per month (or, if less, the highest rate of interest allowed by law) calculated from the date of the invoice until the date of payment of such amount. Buyer shall also reimburse all of Seller's collection costs related to unpaid amounts, including but not limited to reasonable attorneys' fees and court costs. Seller may, without penalty, delay or withhold shipment of goods or performance of services hereunder if Buyer is in default of any payment obligation or other obligation owed to Seller hereunder or under any other agreement or order between Buyer and Seller or any affiliate of Seller.
2. Seller shall retain a purchase money security interest for all goods or other items sold until Seller has been paid all amounts due. Seller is hereby granted all rights and privileges as a secured lender under the commercial code as adopted in the state of Iowa, including but not limited to the right to file a financing statement securing Seller's rights hereunder, and Buyer hereby grants power of attorney to Seller sign Buyer's name to any such financing statement or other document necessary to establish, perfect and maintain Seller's rights herein.
3. ALL GOODS, PRODUCTS, MATERIALS AND SERVICES SOLD OR OTHERWISE PROVIDED BY SELLER TO BUYER ARE SOLD AND PROVIDED "AS-IS", "WHERE-IS" AND "WITH ALL FAULTS", SELLER MAKES ABSOLUTELY NO WARRANTIES WHATSOEVER, AND SELLER HEREBY DISCLAIMS ALL WARRANTIES, WHETHER EXPRESS, IMPLIED OR STATUTORY, INCLUDING BUT NOT LIMITED TO ANY IMPLIED WARRANTY OF MERCHANTABILITY, FITNESS FOR A PARTICULAR PURPOSE, QUALITY, SECURITY, LEGAL COMPLIANCE, OR NON-INFRINGEMENT. To the extent that a manufacturer's warranty is applicable to any goods sold hereunder and Seller has rights to pass such manufacturer's warranty through to Buyer, Seller will use commercially reasonable efforts to do so. Buyer's sole remedy for breach of any warranty is against the manufacturer and not against Seller, and in no event shall Buyer be entitled to compel Seller to make any claim or take any action against any manufacturer.
4. Upon receipt of the goods sold hereunder Buyer may inspect said goods. Buyer may reject goods only if such goods materially fail to meet the description set forth on the face of the Invoice for such goods. Further, in order to reject any goods, Buyer must within five (5) days of receipt of the goods send written notice to Seller describing in detail the defect or nonconformance of the goods delivered. Should Seller not receive written notice within the period provided then Buyer will be deemed to have accepted the goods and waived any such defects. Seller's sole liability in the event of reject of goods is to, at Seller's sole option, replace the goods with conforming goods within a commercially reasonable time or terminate the order and refund to Buyer any amounts previously paid by Buyer for the non-conforming goods.
5. Risk of loss of goods shall pass to Buyer immediately upon delivery of the goods by Seller to the carrier for shipment. Seller is not responsible or liable for the acts or omissions of any carrier or shipper or any damage to goods while in transit.
6. All orders are non-cancellable and cannot be terminated by Buyer for any reason without Seller's written consent. If Buyer purports to cancel an order without Seller's consent, Buyer shall remain liable to pay the full amount stated on Seller's Invoice. A restocking fee of twenty five percent (25%) of Invoice price for all goods will apply to any goods returned by Buyer for any reason and Buyer agrees to pay such fee upon demand.
7. IN NO EVENT SHALL SELLER BE LIABLE FOR ANY INCIDENTAL, INDIRECT, PUNITIVE, SPECIAL, CONSEQUENTIAL OR LOST PROFITS DAMAGES, REGARDLESS OF TYPE, ARISING OUT OF OR RELATED TO THIS TRANSACTION AND/OR THE GOODS AND/OR SERVICES FURNISHED HEREUNDER (WHETHER SUCH LIABILITY IS ASSERTED IN CONTRACT, TORT, STRICT LIABILITY, NEGLIGENCE OR ANY OTHER THEORY), EVEN IF ADVISED OF THE POSSIBILITY THEREOF. SELLER'S MAXIMUM AGGREGATE LIABILITY WHATSOEVER ARISING OUT OF OR RELATED TO THIS TRANSACTION AND/OR THE GOODS AND/OR SERVICES FURNISHED HEREUNDER SHALL NOT EXCEED THE GREATER OF: (I) THE ACTUAL AMOUNTS PAID BY BUYER TO SELLER FOR THE GOODS OR SERVICES GIVING RISE TO SUCH LIABILITY; OR (II) FIVE HUNDRED DOLLARS (\$500.00). THE PARTIES AGREE THAT THESE LIMITATIONS ARE A FUNDAMENTAL BASIS OF THE PARTIES' BARGAIN AND ARE INTENDED TO BE ENFORCED TO THE MAXIMUM EXTENT PERMITTED BY LAW, NOTWITHSTANDING ANY FAILURE OF ESSENTIAL PURPOSE.
8. If a dispute arises concerning this Invoice then the parties shall try diligently to settle all disputes. Should suit have to be filed then the parties agree that any such suit must be filed in the federal or state courts sitting in Polk County, Iowa and Buyer and Seller irrevocably agree to the sole and exclusive jurisdiction of such courts over themselves and over the dispute.
9. The terms and conditions contained herein may only be modified by a written agreement signed by an officer of Seller and Buyer. These terms and conditions form the sole terms and conditions applicable to the attached Invoice, Quote, or Sales Order. Any "standard terms" maintained by Buyer and/or any terms contained on any purchase order or other document provided by Buyer are hereby objected to by Seller and such terms do not form part of this Agreement and are not binding on Seller.

P.O. No. _____

26349

CITY OF GRIMES

101 N. Harvey, Grimes, IA 50111 phone: 515-986-3036 fax: 515-986-3846

PURCHASE REQUEST/PURCHASE ORDER

Source/Supplier _____

Name

Quick Supply

Address

Phone Number/Fax Number

ITEMS

QTY

UNIT PRICE

TOTAL

QSC110463

11209.00

PURCHASE JUSTIFICATION:

mats to complete project

DEPARTMENT:

CP - Prairie Creek

LINE ITEM:

306-²¹⁰⁻⁶⁴⁸⁹~~410-6910~~

BEGINNING BUDGET BALANCE:

ENDING BUDGET BALANCE:

PURCHASE REQUESTED BY:

Walter Wunderly

DATE:

11-20-19

PURCHASE ORDER APPROVAL AND ASSIGNMENT

City Administrator

Jake Anderson

msh

Date

11-21-19

Council Approval date: (if over \$5,000)

☐ Purchaser's Copy

☐ Vendor's Copy

☐ File Copy

Invoice

Page 1 of 1



MUNICIPAL SUPPLY, INC.

Municipal, Contractor, and Industrial Supplies

1550 N.E. 51st Avenue Des Moines, Iowa 50313

PH: (515) 262-1300 FAX: (515) 262-6662

WATS (800) 747-2025

INVOICE NUMBER: 0746983-IN

INVOICE DATE: 11/13/2019

ORDER NUMBER: 0558571

ORDER DATE: 11/11/2019

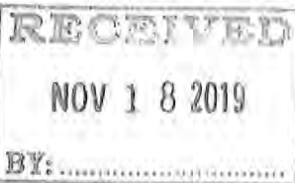
SHIP DATE: 11/11/2019

SALESPERSON: KENT KUEHL

CUSTOMER NO: 10-GRIMES

SOLD TO:

CITY OF GRIMES
101 NE HARVEY ST
GRIMES, IA 50111



SHIP TO:

CITY OF GRIMES
101 NE HARVEY ST
GRIMES, IA 50111

BUYER:

CUSTOMER P.O.	JOB NAME	SHIP VIA			TERMS	
1998		CPU			NET 30 DAYS	
ITEM NO.	UNIT	ORDERED	SHIPPED	BACK ORD	PRICE	AMOUNT
I2S5GMXX 3/4S 100G IPERL MTR SM 25' 3WI	EACH	32.00	32.00	0.00	130.000	4,160.00
C38-232.5NL 3/4" MTR COUP 2 1/2" LONG	EACH	25.00	25.00	0.00	12.500	312.50
C23XXXXG1GAXX 2" C2 OMNI COMP MTR 1000G 15 I	EACH	2.00	2.00	0.00	1,589.000	3,178.00
75C300BSQ0Z 3/4" X 3" PLTD SQ HEAD BOLT	EACH	8.00	8.00	0.00	2.130	17.04
75CNFHB 3/4" BRASS FINISH HEX NUT	EACH	8.00	8.00	0.00	1.940	15.52
CF31-77NL 2" NL BRONZE MTR FLANGE TAPT 2	EACH	4.00	4.00	0.00	77.000	308.00

ORDER# 558571

**A SERVICE CHARGE OF 1 1/2% WITH A MINIMUM OF \$1.00 PER MONTH
WILL BE CHARGED ON ALL PAST DUE ACCOUNTS.**

Net Invoice: 7,991.06

Freight: 0.00

Sales Tax: 0.00

Invoice Total: 7,991.06

Melvin R. Marsh

2345 W Avenue
Dallas Center, Iowa 50063

Phone:
986-3964 - home
240-8558 - cellular

NUMBER

0850

DATE

11-13-19
CUSTOMER'S ORDER NO.

SOLD TO:

U S Water

City of Grinn

SOLD BY	CASH	C.O.D.	CHARGE	ON ACCT.	MDSE. RET'D	PAID OUT
						\$

	QUANTITY	DESCRIPTION	PRICE	AMOUNT
1		Reed Bed		
2		No - 3		
3	80	loads 1,600 tons	22.00	35,200.00
4				
5				
6				
7		Total		\$ 35,200.00
8				
9				
10				
11				
12				
13				
14				
15				
16				

All claims and returned goods MUST be accompanied by this bill.

RECEIVED BY _____

P.O. No. _____

26197 ✓

CITY OF GRIMES

101 N. Harvey, Grimes, IA 50111 phone: 515-986-3036 fax: 515-986-3846

PURCHASE REQUEST/PURCHASE ORDER

Source/Supplier Melvin R. Marsh
Name
2345 W. Avenue, Dallas Center, IA
Address
986-3964
Phone Number/Fax Number

ITEMS	QTY	UNIT PRICE	TOTAL
<u>Haul Road Bed #3</u>	<u>1600</u>	<u>22.00</u>	<u>35.200</u>

PURCHASE JUSTIFICATION: _____

610-815

600-810-6320

DEPARTMENT: Waters

LINE ITEM: _____

BEGINNING BUDGET BALANCE: _____

ENDING BUDGET BALANCE: _____

PURCHASE REQUESTED BY: A. Wood DATE: 11-18-2019
PURCHASE ORDER APPROVAL AND ASSIGNMENT

Jake Anderson
City Administrator nish 11-20-19
Date

CC 11-26-19

Council Approval date: (if over \$5,000)

☐ Purchaser's Copy ☐ Vendor's Copy ☐ File Copy

Melvin R. Marsh

2345 W Avenue
Dallas Center, Iowa 50063

Phone:
986-3964 - home
240-8558 - cellular

NUMBER

0850

DATE

11-6-19

CUSTOMER'S ORDER NO.

SOLD TO:

U S Water

City of Grimes

SOLD BY

CASH

C.O.D.

CHARGE

ON ACCT.

MDSE. RET'D

PAID OUT

\$

QUANTITY	DESCRIPTION	PRICE	AMOUNT
1	87		
2	Longer line		
3	3,175 Tons	20 ⁰⁰	48,500 ⁰⁰
4			
5			
6	Total		43,500 ⁰⁰
7			
8			
9			
10			
11			
12			
13			
14			
15			
16			

All claims and returned goods MUST be accompanied by this bill.

RECEIVED BY

P.O. No. _____

26196 ✓

CITY OF GRIMES

101 N. Harvey, Grimes, IA 50111 phone: 515-986-3036 fax: 515-986-3846

PURCHASE REQUEST/PURCHASE ORDER

Source/Supplier Melvin R. Marsh
Name
2345 W. Avenue, Dallas Center, IA 50063
Address
986-3964
Phone Number/Fax Number

ITEMS	QTY	UNIT PRICE	TOTAL
<u>Lime Removal</u>	<u>2,175 TN</u>	<u>20.00 TN</u>	<u>43,500</u>

PURCHASE JUSTIFICATION: _____

600-810-6320

DEPARTMENT: Water

LINE ITEM: _____

BEGINNING BUDGET BALANCE: _____

ENDING BUDGET BALANCE: _____

PURCHASE REQUESTED BY: A Wood DATE: 11-18-2019
PURCHASE ORDER APPROVAL AND ASSIGNMENT

Jake Anderson msh 11-20-19
City Administrator Date
CC 11-26-19

Council Approval date: (if over \$5,000)

☐ Purchaser's Copy ☐ Vendor's Copy ☐ File Copy

REC'D NOV 12 2019



October 31, 2019
Project No: R3003.706.00
Invoice No: 46414

Weston Wunder
Public Works Director
City of Grimes
101 North Harvey Street
Grimes, IA 50111

Project R3003.706.00 Grimes, City of - South Sports Complex
Professional Services through October 31, 2019
Fee

Billing Phase	Fee	Billed %	Earned	Prior Fee	Current Fee
Fee	25,000.00	10.00	2,500.00	0.00	2,500.00
Total Fee	25,000.00		2,500.00	0.00	2,500.00
			Total Fee		2,500.00

Reimbursable Expenses

Printing					.47
Total Reimbursables					.47
				Total this Invoice	\$2,500.47



October 31, 2019
Project No: R3003.707.00
Invoice No: 46415

Weston Wunder
Public Works Director
City of Grimes
101 North Harvey Street
Grimes, IA 50111

Project R3003.707.00 Grimes, City of - Lions Park
Professional Services through October 31, 2019
Fee

Billing Phase	Fee	Billed %	Earned	Prior Fee	Current Fee	
Schematic Design	117,300.00	5.00	5,865.00	0.00	5,865.00	
Design Development	112,700.00	0.00	0.00	0.00	0.00	
Total Fee	230,000.00		5,865.00	0.00	5,865.00	
Total Fee						5,865.00

Reimbursable Expenses

Printing					.79	
Total Reimbursables					.79	.79
Total this Invoice						\$5,865.79





*101 NE Hawkey, Grimes, Iowa 50111
515.986.3036 Fax 515.986.3846*

AGENDA MEMO

Item No. X
For Meeting of DATE

AGENDA HEADING: Installing additional street lighting along NE 18th St. neat the HWY 141 intersection.

SYNOPSIS: The Public Works Department has received a request for additional street lighting to be installed on NE 18th St near HWY 141. The area is very dark and the resident int hat area states that it is hard to see in that area and is worried about the safety of motorists when coming to the intersection or they might miss it altogether. We have recently had an incident of illegal dumping in this area as it is not very well lit.

FISCAL IMPACT: MidAmerican Energy was contacted and they quoted the price of \$5506.83.

PREVIOUS COUNCIL ACTION(S):

BOARD/COMMISSION ACTION(S): The request for additional lighting was taken before the Health and Safety Board on December 7, 2019. After careful review, the Board supported the idea of additional lighting in this area and suggested that Public Works take it to City Council for a final decision.

STAFF/COMMITTEE RECOMMENDATION: Public Works Staff respectfully requests that additional lighting be installed on NE 18th St. near HWY 141 to improve safety, visibility, and control unauthorized actions.

David Guthrie
Special Projects Coordinator
Public Works



MidAmerican Energy
PO BOX 657
Des Moines, IA 50306

11/21/2019

City of Grimes
ATTN: David Guthrie
1700 SE Destination Dr
Grimes, IA 50111
dguthrie@grimesiowa.gov

Dear Mr. Guthrie:

Enclosed is MidAmerican Energy's proposal to add additional streetlights at 2150 NE 18th St in Grimes, IA. This proposal includes the installation of streetlights on:

NE 18th St – WMIS 2786197

We Propose To:

Install:	(1)	30'	Wood pole
	(1)	25kVA	Overhead transformer
	(3)	100W	Streetlights with 6' arms

These lights will be installed on wood poles and served by overhead conductors, and will be billed to the city at the wood pole, overhead rate. The applicant charge for this work is \$5,506.83.

MidAmerican Energy Company's street light proposal is based on the approved street light analysis provided by the City. MidAmerican Energy Company will install the lights based on the staked locations provided in the field by the customer.

If this proposal meets with your approval, please sign and return one (1) copy of this letter and one (1) copy of the print. MidAmerican Energy Company will release the work upon receipt of the signed proposal.

11/21/2019

Upon receipt of your approval, we will prepare work instructions and schedule the installation of these lights. This proposal is valid for 90 days and if MidAmerican Energy Company construction has not commenced within 12 months it may be voided.

If you have any questions, please contact me at (515) 252-6565.

Sincerely,



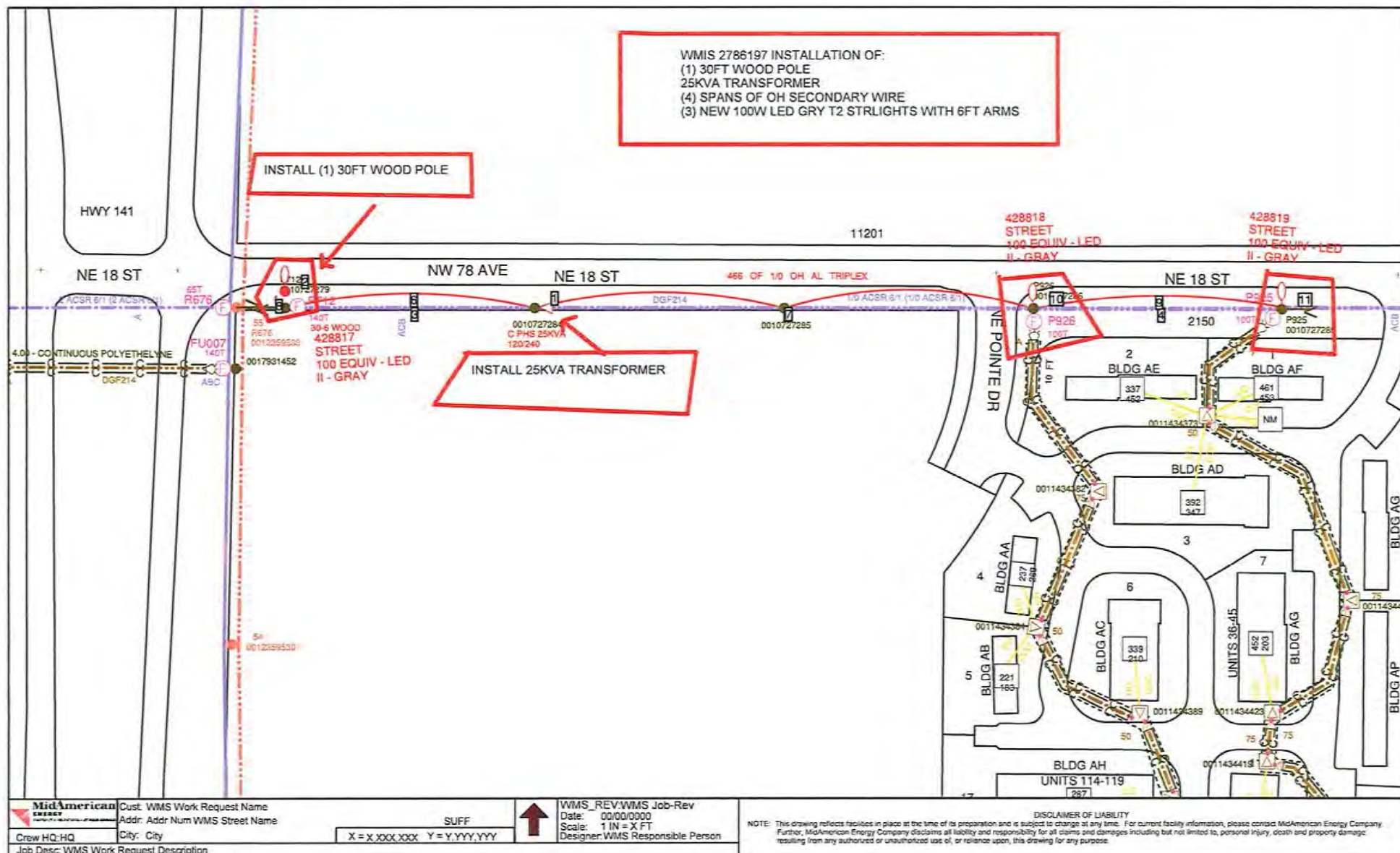
Dustin L. Wedlund
Customer Project Coordinator

Accepted By: _____ Date: _____

Requested Start Date: _____

Requested Completion Date: _____

Additional Notes: _____



P.O. No. _____

26350

CITY OF GRIMES

101 N. Harvey, Grimes, IA 50111 phone: 515-986-3036 fax: 515-986-3846

PURCHASE REQUEST/PURCHASE ORDER

Source/Supplier Stivers
Name _____

Address _____

Phone Number/Fax Number _____

ITEMS	QTY	UNIT PRICE	TOTAL
<u>155018</u>			<u>\$29997.07</u>

PURCHASE JUSTIFICATION: 2nd new vehicle - 5-111 see attached memo

DEPARTMENT: RUT - CAP - Outlay Veh.

LINE ITEM: 110-210-6710

BEGINNING BUDGET BALANCE: _____

ENDING BUDGET BALANCE: _____

PURCHASE REQUESTED BY: Wester Winderup DATE: 11-21-19
PURCHASE ORDER APPROVAL AND ASSIGNMENT

City Administrator _____

Date _____

Council Approval date: (if over \$5,000)

☐ Purchaser's Copy

☐ Vendor's Copy

☐ File Copy

CAR INVOICE STOCK# FA91989

NUMBER

155018



Stivers Ford Lincoln

 1450 E. Hickman Rd • Waukee, Iowa
 (515) 987-3697 • www.StiversFordIA.com

NAME CITY OF GRIMES

DATE 11/20/2019

 ADDRESS 101 NE HARVEY ST
 GRIMES IA 50111-2051
 HOME 515/986-3036

 SALESMAN
 RONALD REESE

WORK 515/986-3036

YEAR	MAKE	MODEL	BODY STYLE	NEW OR USED	KEY #	V. I. OR SERIAL NUMBER	COLOR	
2019	FORD	F-250	PU	F		1FTBF2B60KEG42132	WHITE	
EQUIPPED AS PER FEDERAL PRICE LABEL			PAY FROM THIS INVOICE TERMS NET 20 DAYS			PRICE OF CAR	29997.00	
						TRANSPORTATION		
						PREPARATION & CONDITIONING		
						EXTRAS		
						FACTORY INSTALLED		
						DEALER INSTALLED		N/A
						USE TAX		N/A
						LIC/TITLE/LIEN		N/A
						TOTAL CASH PRICE		29997.00
						COST OF FINANCING		
DEALER INSTALLED		N/A						
TOTAL CASH PRICED		29997.00						
SETTLEMENT								
DEPOSIT								
CASH ON DELIVERY		N/A						
USED CAR		N/A						
BALANCE DUE ON TRADE IN			DESCRIPTION					
			VEHICLE IDENTIFICATION NUMBER					
FINANCE CO. CASH DEAL								
ADDRESS			_____ @ _____		29997.00			
			_____ @ _____		29997.00			
FIRST PAYMENT DUE 11/20/2019			TOTAL		29997.00			

 NO PUBLIC LIABILITY OR PROPERTY DAMAGE INSURANCE
 ISSUED WITH THIS TRANSACTION UNLESS HEREIN STATED



101 NE Hawley, Grimes, Iowa 50111
515.986.3036 Fax 515.986.3846

AGENDA MEMO

Item No.
For Meeting of 10/24/20

*Second
F-250*

AGENDA HEADING: Purchase of (2) F-250 Trucks with snow plow package heavy duty suspension packages.

SYNOPSIS: The Public Works Department is a growing division that has been fortunate enough to slightly increase staffing levels. Our current fleet is aging quickly and needs to purchase heavier duty trucks for the work our department does on a daily basis.

1. Staff researched and compared models quoted various and types of trucks. Originally, we were going to purchase and 1 F-550 with a dump box, but after further analysis of the fleet we determined it would be more beneficial to purchase (2) F-250 for the same budgeted amount not to exceed 60,000.00
2. Staff is still working with the vendor to determine the final specifications and cost of each unit
3. This purchase will allow the Public Works department to phase out two units: 1989 Chevy 1500, and a 1996 F-150. These two vehicles are not rated for towing capacity needed on a daily basis which creates operational problems on a consistent basis for our team.
4. City staff is tracking all repair cost to each unit and is in the process of using that information to create a fleet replacement schedule.
5. Both units will be gas engines vs a diesel which is more costly to purchase and is not necessary based on miles we drive on an annual basis.
6. Both units will have a useful life of 5-7 years before they are phased out from daily use

FISCAL IMPACT: Equipment Purchase was planned and budgeted 60,000.00 in current fiscal year

PREVIOUS COUNCIL ACTION(S): Council Approved Budget Item

BOARD/COMMISSION ACTION(S): NA

STAFF/COMMITTEE RECOMMENDATION: Staff recommends approval of purchase of (2) F-250 units to improve our current fleet and improve operational efficiencies.

Weston Wunder
Public Works Director



*101 NE Hawley, Grimes, Iowa 50111
515.986.3036 Fax 515.986.3846*

AGENDA MEMO

Item No. X
For Meeting of 11/26/2019

AGENDA HEADING: Repair Water Valve and Move Fire Hydrant at Intersection of SW 19th St. and S James St.

SYNOPSIS: A fire hydrant was identified as needing to be located to allow for the HMA paving project of SW 19th St. While conducting the re-location, it was discovered that the valve for the hydrant was damaged and needed repaired. RD McKinney Plumbing and Excavating, Inc. conducted the repairs and relocation of the hydrant.

FISCAL IMPACT:

The total expense for the hydrant relocation and valve is \$9337.50

Funding source will be the SW 19th St and SW County Line Rd HMA Improvement Project hydrant move and the water valve repair will be funded through the water department.

PREVIOUS COUNCIL ACTION(S): Council approved the SW 19th St and SW County Line Rd HMA Improvement Project

BOARD/COMMISSION ACTION(S):

STAFF/COMMITTEE RECOMMENDATION: Staff respectfully requests the approval of payment to RD McKinney Plumbing and Excavating, Inc. for work completed on the project.



P.O. Box 434
Waukee, IA
50263

Invoice

Date	Invoice #
10/30/2019	18248

Bill To
City of Grimes 101 NE Harvey Street Grimes, IA 50111

Ship To
s19th st grimes

Terms	Project
Due on receipt	

Quantity	Item Code	Description	Price Each	Amount
2	Mini Machine	Mini Track Hoe uncover and raise road box for street wideing	175.00	350.00

			Total	\$350.00
--	--	--	--------------	----------

If not paid with in 15 days late charges start accumulating @ Prime + 5%. With a minium of \$50.00 per month. If legal action is needed all legal fees and court costs will be charged.

Phone #	Fax #	E-mail
515-987-4715	515-987-5278	chris@rdmpe.com

Payments/Credits	\$0.00
Balance Due	\$350.00

P.O. No. _____

26334 ✓

CITY OF GRIMES

101 N. Harvey, Grimes, IA 50111 phone: 515-986-3036 fax: 515-986-3846

PURCHASE REQUEST/PURCHASE ORDER

Source/Supplier

RD McKinney
Name

Address

Phone Number/Fax Number

ITEMS	QTY	UNIT PRICE	TOTAL
<u>18235</u>			<u>9337.50</u>
<u>18248</u>			<u>350.00</u>
			<u>9687.50</u>

PURCHASE JUSTIFICATION: 19th St & James project & County Line Rd.

DEPARTMENT:

CP

LINE ITEM:

327-210-6490

BEGINNING BUDGET BALANCE:

ENDING BUDGET BALANCE:

PURCHASE REQUESTED BY:

Walter Wunderly

DATE:

11-19-19

PURCHASE ORDER APPROVAL AND ASSIGNMENT

Jake Anderson
City Administrator

msh

11-20-19
Date

cc 11-26-19
Council Approval date: (if over \$5,000)

☐

Purchaser's Copy

☐

Vendor's Copy

☐

File Copy



CHAMBER & ECONOMIC DEVELOPMENT

404 SE 2nd Street, Suite 200

Grimes, Iowa 50111

Phone: (515) 986-5770

www.grimesiowa.com

November 21st, 2019

City of Grimes
% Jake Anderson, City Administrator
101 NE Harvey Street
Grimes, IA 50111

**Subject: Incurred Economic Development Tourism & Home Base Iowa Expenses
Request for Reimbursement**

Dear Jake,

Please find attached to this correspondence one invoice totaling \$22,621.71. The accompanying spreadsheet itemizes the expenses and distinguishes between Economic Development, Home Base Iowa & Tourism expenses. The invoice reflects expenses incurred by Grimes Chamber & Economic Development associated with our Economic Development, Tourism, and the Home Base Grimes initiative.

Should you, members of your staff, any of the City Council members, or Mayor Mikkelsen have any questions, please do not hesitate to contact me.

On behalf of Grimes Chamber & Economic Development, I would like to thank the City of Grimes for their continued partnership and support of this organization.

Sincerely,

A handwritten signature in dark ink, appearing to read 'Brian Buethe', is written over a light blue horizontal line.

Brian Buethe
President | CEO

Attachments

Grimes Chamber & Economic Development
Incurred Economic Development & Tourism Expenses

July - November 2019

Supporting Document #	Expense	ED (\$)	TR (\$)	Home Base Iowa (\$)	GCED Check #	Check Date
1	Register Media (Ad Buy)		234.00		6141	7/15/2019
2	Access Systems	91.08			6142	7/15/2019
3	Central Iowa Tourism Region		150.00		6143	7/15/2019
4	Home Base Grimes Fireworks Expense			11,200.00	6144	7/15/2019
5	Website Expense		76.00		6145	7/15/2019
6	Printing Expense	46.61			6150	7/29/2019
7	Printing Expense	118.19			6151	7/29/2019
8	CenturyLink	70.83			6152	7/29/2019
9	GateHouse Media (Ad Buy)		120.00		6155	7/29/2019
10	Wellmark (Health Insurance)	57.85			6156	7/29/2019
11	Mediacom	91.31			6161	7/31/2019
12	Insurance Expense (Work. Comp.)	97.50			6162	7/31/2019
13	Professional Services (Accounting)	217.50			6165	8/8/2019
14	VISA Card Services (Computer Software, Postage, Prospect Lunches, Ad Purchase)	320.52	19.03		6166	8/8/2019
15	GateHouse Media (Ad Buy)		185.00		6170	8/15/2019
16	Professional Services (Accounting)	217.50			6171	8/15/2019
17	Central Iowa Tourism Region		20.00		6176	8/30/2019
18	Website Expense		540.80		6177	8/30/2019
19	Wellmark (Health Insurance)	57.85			6178	8/30/2019
20	CenturyLink	72.93			6179	8/30/2019
21	Website Expense		76.00		6180	8/30/2019
22	Mediacom	95.06			6184	8/30/2019
23	Access Systems	267.31			6215	9/11/2019
24	VISA Card Services (Computer Software, Parking, Conference Expense)	217.29			6189	9/13/2019
25	Professional Services (Accounting)	217.50			6194	9/23/2019
26	CenturyLink	71.76			6197	9/23/2019
27	Wellmark (Health Insurance)	57.85			6198	9/23/2019
28	Mediacom	96.33			6204	10/1/2019
29	Website Expense		270.40		6206	10/1/2019
30	Website Expense		76.00		6208	10/8/2019
31	Membership Investment (Annual)	300.00			6209	10/8/2019
32	Membership Investment (Quarterly)	120.00			6210	10/8/2019
33	VISA Card Services (Ad Purchases, Computer Software, Postage, Conference Expense, Office Supplies, Parking)	560.26	12.82		6211	10/8/2019
34	Professional Services (Accounting)	217.50			6221	10/15/2019
35	Printing Expense	62.54			6237	10/15/2019
36	Printing Expense	1,630.81			6238	10/15/2019
37	CenturyLink	71.87			6239	10/18/2019
38	Wellmark (Health Insurance)	57.85			6240	10/18/2019
39	Mediacom	192.73			6241	10/29/2019
40	Website Expense		76.00		6242	10/29/2019
41	Website Expense		270.40		6243	10/29/2019
42	E.D. Bus Tour Expenses	1,950.17			6245	10/29/2019
43	VISA Card Services (Prospect Lunches, Computer Software, Office Supplies, Postage, Printing, Ad Purchase)	439.69	1.44		6253	11/8/2019
44	Employee Reimbursement (Brian Buethe)	1,207.63			6263	11/21/19
Subtotals		9,293.82	2,127.89	11,200.00		
Grand Total			22,621.71			

Statement



FOX Engineering Associates, Inc.
 414 South 17th Street, Ste 107
 Ames, IA 50010
 515-233-0000

City of Grimes
 101 NE Harvey Street
 Grimes, IA 50111

Statement date: 11/12/2019

	Invoice Number	Invoice Date	Amount
City of Grimes			
100517A Grimes SE 37th Street @ Hwy 141 Improvements	45193	10/30/2019	<u>54.50</u>
	Project Outstanding		54.50
100517B Grimes S James Street & SE 37th Street Intersection Improvements	45196	10/30/2019	<u>539.00</u>
	Project Outstanding		539.00
100518B SW County Line Road Improvements	45197	10/30/2019	<u>7,498.50</u>
	Project Outstanding		7,498.50
100519B Hwy 44 & County Line Road Intersection Improvements	45198	10/30/2019	<u>6,800.00</u>
	Project Outstanding		6,800.00
336417A Grimes Water Tower	45211	10/30/2019	<u>818.00</u>
	Project Outstanding		818.00
336417C Grimes Water Treatment Plant Expansion - Phase 1	45227	10/30/2019	<u>6,907.00</u>
	Project Outstanding		6,907.00
336417D Grimes New Jordan Well	45228	10/30/2019	<u>3,136.10</u>
	Project Outstanding		3,136.10
336417E Grimes 16-inch Raw Water Main	45199	10/30/2019	<u>11,247.00</u>
	Project Outstanding		11,247.00
336418A ASR Pump Equipment Replacement	45229	10/30/2019	<u>785.00</u>
	Project Outstanding		785.00
702403S Grimes Phase II Stormwater Permit	45200	10/30/2019	6,432.10

Statement



FOX Engineering Associates, Inc.
 414 South 17th Street, Ste 107
 Ames, IA 50010
 515-233-0000

City of Grimes
 101 NE Harvey Street
 Grimes, IA 50111

Statement date: 11/12/2019

	Invoice Number	Invoice Date	Amount
City of Grimes			
	Project Outstanding		6,432.10
702415A Beaver Creek Watershed Improvements			
	45201	10/30/2019	327.00
	Project Outstanding		327.00
702415B Little Beaver & Prairie Creek Channel Improvements			
	45202	10/30/2019	13,248.13
	Project Outstanding		13,248.13
863000Q Hubbell Development - Grimes Business Park			
	45299	10/30/2019	500.00
	Project Outstanding		500.00
863005J Chevalia Valley			
	45298	10/30/2019	500.00
	Project Outstanding		500.00
863007A Bridge Creek			
	45297	10/30/2019	500.00
	Project Outstanding		500.00
863008R Prairie Business Park			
	45296	10/30/2019	500.00
	Project Outstanding		500.00
863010A Caymus Group			
	45295	10/30/2019	500.00
	Project Outstanding		500.00
863013G Brooke Ridge West			
	45294	10/30/2019	500.00
	Project Outstanding		500.00
863016F James Street Villas			
	45293	10/30/2019	500.00
	Project Outstanding		500.00
863016I North Pointe Townhomes			

Statement



FOX Engineering Associates, Inc.
 414 South 17th Street, Ste 107
 Ames, IA 50010
 515-233-0000

City of Grimes
 101 NE Harvey Street
 Grimes, IA 50111

Statement date: 11/12/2019

	Invoice Number	Invoice Date	Amount
City of Grimes			
	45292	10/30/2019	500.00
	Project Outstanding		500.00
863017A Legacy Park			
	45277	10/30/2019	1,350.00
	Project Outstanding		1,350.00
863017B Pinnacle Pointe			
	45291	10/30/2019	500.00
	Project Outstanding		500.00
863017C Brentwood Estates			
	45280	10/30/2019	500.00
	Project Outstanding		500.00
863017D Autumn Park West			
	45290	10/30/2019	500.00
	Project Outstanding		500.00
863017G Destination Market			
	45281	10/30/2019	398.90
	Project Outstanding		398.90
863018E Hwy 44 Tree Farm			
	45289	10/30/2019	500.00
	Project Outstanding		500.00
863019B Dallas-Center Grimes Administration Building			
	45279	10/30/2019	2,826.00
	Project Outstanding		2,826.00
863098A Grimes City Engineering			
	45278	10/30/2019	2,098.00
	Project Outstanding		2,098.00
863098B Grimes Crossing			
	45287	10/30/2019	500.00
	45288	10/30/2019	500.00

Statement



FOX Engineering Associates, Inc.
414 South 17th Street, Ste 107
Ames, IA 50010
515-233-0000

City of Grimes
101 NE Harvey Street
Grimes, IA 50111

Statement date: 11/12/2019

	Invoice Number	Invoice Date	Amount
City of Grimes			
	Project Outstanding		<u>1,000.00</u>
863098D Grimes Beaverbrooke Development			
	45286	10/30/2019	<u>500.00</u>
	Project Outstanding		<u>500.00</u>
863098G Western Plains Business Park			
	45285	10/30/2019	<u>500.00</u>
	Project Outstanding		<u>500.00</u>
863098I Kennybrook Estates			
	45284	10/30/2019	500.00
	45283	10/30/2019	<u>500.00</u>
	Project Outstanding		<u>1,000.00</u>
863099B Gateway Commerce			
	45282	10/30/2019	<u>500.00</u>
	Project Outstanding		<u>500.00</u>
	Client Outstanding		73,965.23

City of Grimes						
Outstanding	Current	31-60 Days	61-90 Days	91-120 Days	121+ Days	Prepayment
73,965.23	73,965.23	0.00	0.00	0.00	0.00	0.00



101 N Harvey Grimes, Iowa 50111 Phone 515.986.3036 Fax 505.986.3846

Refund
\$2500

AGREEMENT TO COMPLETE SITE IMPROVEMENTS

THIS AGREEMENT made and entered into this 7TH day of JANUARY 2019, by and between ("Builder") **Landmark Construction Services Inc.** and the **City of Grimes, Iowa**, an Iowa municipal corporation ("Grimes").

WHEREAS, Builder has previously submitted to Grimes, for its consideration, and Grimes has approved a building permit for 255 SW Brookside Dr. on Lot 1 of Brookside Commercial Plat 2, an Official Plat, Grimes, Polk County, Iowa (the "Site"); and

WHEREAS, certain site improvements have not yet been completed by Builder to the satisfaction of Grimes; and

WHEREAS, Builder is desirous of installing such site improvements in accordance with the site plan and the regulations and requirements of Grimes, but is desirous of having a temporary certificate of occupancy issued prior to completion of said improvements subject to terms and conditions of this Agreement.

NOW, THEREFORE, for and in consideration of Grimes granting a temporary Certificate of Occupancy for the site and in further consideration of the mutual promises and covenants herein contained, the parties hereto do hereby agree as follows:

1. Builder shall complete the installation of the Site Seeding on the approve site plan dated **08/02/18** (the "Improvements") and reinstall the sidewalk/trail discussed and detailed on inspection report dated 1/07/19 All work shall be performed in accordance with Grimes specifications and shall be completed on or before **May 15th, 2019**.

2. Builder, in order to secure the full and timely completion of the Improvements referred to in paragraph 1 above, hereby provides evidence of an escrow account that has been established to complete the Improvements or as an alternative delivers unto Grimes a cash bond in the amount of **\$2500.00**, which may be drawn upon by Grimes, in order to complete the Improvements, in the event of a breach of this agreement by Builder.

3. Builder hereby agrees that Grimes shall not issue a permanent certificate of occupancy until the Improvements have been completed as set forth in this Agreement. Further, if the Improvements are not completed as set forth in the Agreement, the temporary certificate of occupancy may be withdrawn.

IN WITNESS WHEREOF, the parties hereto have caused this agreement to be executed as of the day and year above-written.

BUILDER: Landmark Construction Services Inc,

Lonn Wiegel

By: _____

Printed Name:

Title: _____

CITY OF GRIMES, IOWA

By: _____

Scott Clyde, Building Official



Development Services

410 SE Main St, Suite 102

Grimes, IA 50111

(515)986-4050

www.grimesiowa.gov

October 5, 2019

Abacai Consulting, INC

Attn: Mark McMurphy

300 NE Grimes Blvd, Suite 800

Grimes, IA 50111

RE: Golden Rule Site Plan

Dear Project Contact:

The Development Services Department is in receipt of a proposed Site Plan for the Golden Rule. Based on the review of the provided submittal materials, staff have the following comments:

Cover Sheet/Misc

- ~~1. Please add the required open space vs provided open space on the lot.~~
- ~~2. Please note on the plans the breakdown of the impervious surface area by type.~~
- ~~3. Please add the required parking vs provided parking lot on the lot. Include a handicap stall analysis.~~
4. Please provide a geo-tech report.
- ~~5. Please note the floodplain on the site sheets with a bold dashed line.~~
- ~~6. Please provide handicap stall signage details.~~
- ~~7. Please note the intended use of the site.~~

Sheet 6

- ~~8. Please revise General Note 1e. and Building Note B8 to remove that the KNOX Box can be obtained from City Hall. Limited quantities are available, and new inventory is not being sourced.~~
- ~~9. Please fill in Landscape Note L1. Note this should be put on the cover page as well.~~

10. Please note that no outdoor storage in the sanitary sewer easement will be permitted.
11. Please show the trail location.
12. Please provide a detail for the trash enclosure. Note that it must be constructed out of masonry, with steel framed gates and opaque fencing. Please provide.
13. Please relocate the trash enclosure on the NW corner of the building. It is in too close proximity to the fire hydrant.
14. Please note on the plans if any fencing of the outdoor storage area is proposed. Note that staff does not approve of the fencing in of the sanitary sewer. Staff understands that fencing is now proposed. Upon discussions with the property owner, the fence will be permitted started at the NW corner of the building, and extending west to the curb line. Fence may extend south from that point.
15. Please move the pavement legend to the applicable sheet or show the pavement differentiation on this sheet.
16. Please stripe the area where the sanitary sewer easement is for no outdoor storage.

Sheet 7

17. Please remove the outdoor storage area expansion. This will put the sanitary manhole into the storage area.
18. Please ensure that there is a minimum 2% fall in the basin bottom.
19. Please identify the grade line around the bee hive on the east side of the property.
20. Staff questions what the rectangular box in the basin bottom is. Note that no troughs are permitted now.
21. Please provide sidewalk ramp details. Additional details are needed for the ramps within the ROW. (common square, special shaping area, etc)
22. Please note the cross slope of the pedestrian cross walks. Staff questions if the ramps can tie in with the existing sidewalk.
23. Please provide spot elevations for the accessible stall areas.

Sheet 8

24. Please note the intake type on the plans.

- ~~25. Please identify all critical crossings with elevations.~~
- ~~26. Please revise the sanitary sewer service line to a wye rather than direct into a manhole.~~
- ~~27. Please show the grade lines in the basin on this sheet.~~
- ~~28. Please revise the FES location to the far side of the trail.~~
- ~~29. Please note the domestic and fire service size into the building, and provide a detail.~~
- ~~30. Please provide details for all storm sewer intakes.~~
- ~~31. Please extend the NW fire hydrant closer to the corner of the building, which will allow access on the west side of the building.~~
- ~~32. Please ensure all pipe sizes and types are labeled. There are a number missing.~~
- ~~33. Revise the trench detail to a minimum 6" perforated. Amended soils should be placed upon the top of the trench.~~

Sheet 9

- ~~34. Staff would suggest including evergreen materials along the rear (west) side of the facility to provide screening from the trail and single-family properties.~~
- ~~35. Additional landscape materials should be provided along the NW edge of the basin.~~
- ~~36. Please revise Note 1 to require sod.~~
- ~~37. Please relocate the southernmost Prairie fire Crab and Sugar Maple outside of the sanitary sewer easement.~~
- ~~38. Consider replacing the southernmost two Prairie Fire Crabs and northern red oak with evergreen trees.~~

Sheet 10

- ~~39. Please remove the soil stock pile and equipment storage from the sanitary sewer easement.~~
- ~~40. Please include sidewalk closed signs for the construction entrance.~~

~~41. Please provide a SWPPP book and NPDES Permit Authorization.~~

SWMP

~~42. Please provide a pond report.~~

Elevations

43. Please note that the Zoning Ordinance requires 25% of the façade facing the public street, as well as 30-feet down the sides to be masonry/brick. Please update accordingly and provide masonry calculations. **Please provide masonry calculations.** Please include. Staff feels that additional architectural detailing is necessary along the front façade. Stone framing the corners of the building, or at the entry may add some visual interest to the building.

~~44. Please label the elevations with the cardinal direction.~~

~~45. Please provide a color rendering of the propose building.~~

~~46. Please provide material call-outs.~~

Please provide a letter addressing all comments on this comment letter and/or state what was modified on the site plan to address said comments.

SITE PLAN SUBMITTAL SCHEDULE:

SUBMITTAL DATE: October 14, 2019 @ 12:00 PM
(1 PDF of Site plan with Elevation Plan included)

PLANNING & ZONING: November 5th, 2019 at 5:30 at the Grimes City Hall

COUNCIL MEETING: November 12th, 2019 at 5:30 at the Grimes City Hall

Please feel free to contact me at apfaltzgraff@grimesiowa.gov or at (515) 986-4050 if you have any questions or need additional information.

Sincerely,



Alex Pfaltzgraff
Development Services Director



*101 NE Harvey, Grimes, Iowa 50111
515.986.3036 Fax 515.986.3846*

AGENDA MEMO

For Meeting of November 26, 2019

AGENDA HEADING: Site Plan – Golden Rule

SYNOPSIS: The applicant, Golden Rule, has proposed a site plan that will provide for the construction of 22,500 square foot office/storage building. The site is located at 904 NE Main Street, just north of the existing Golden Rule facility.

Following the Planning and Zoning Commission review and recommendation, staff worked with the applicant to increase the aesthetics of the façade that faces NE Main. Additional windows and a store front entry were included on the renderings provided in your packet. In addition, foundation plantings with flowers and grasses will be provided.

FISCAL IMPACT:

N/A

PREVIOUS COUNCIL ACTION(S):

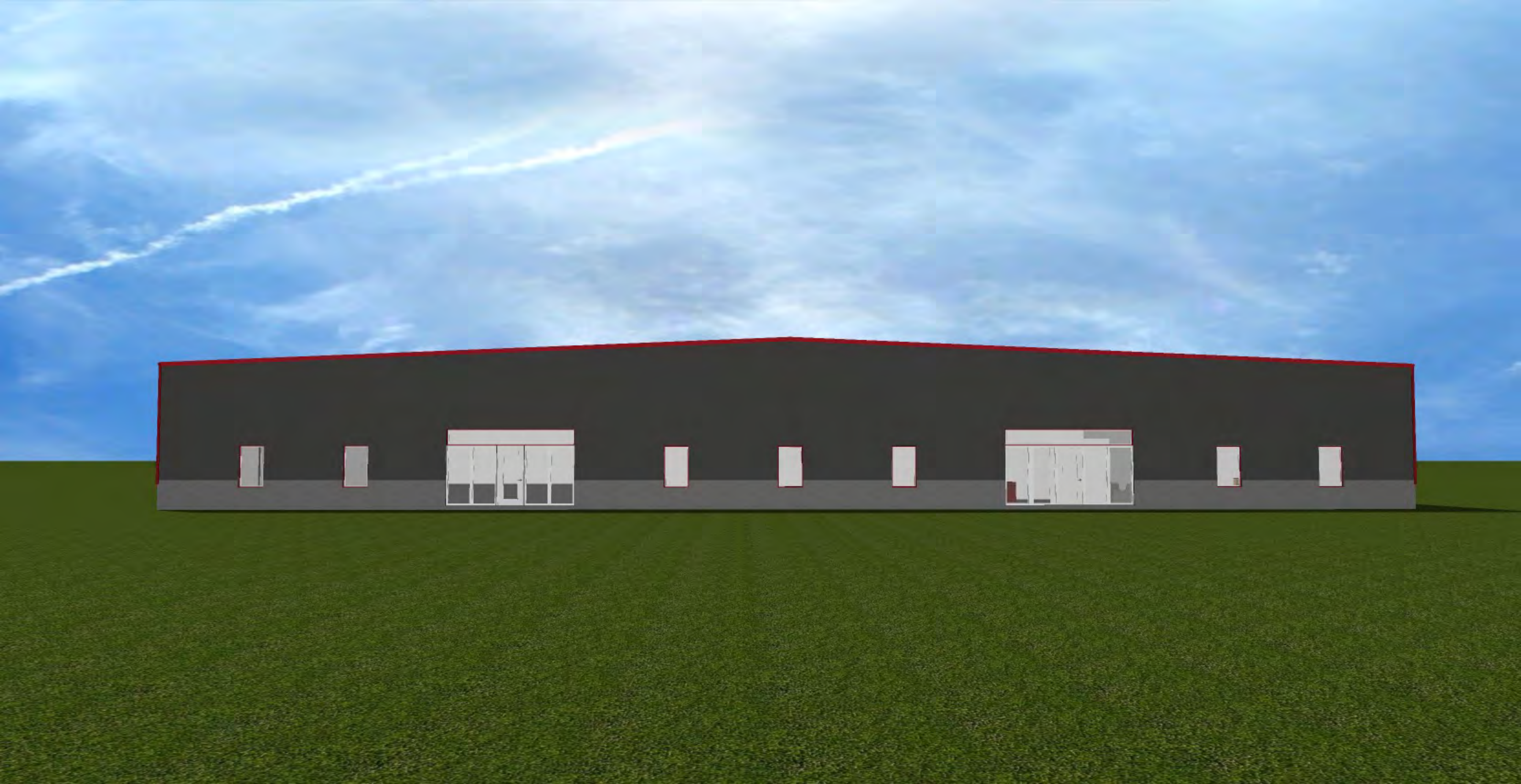
N/A

BOARD/COMMISSION ACTION(S):

Planning and Zoning – Recommendation of Approval, subject to increased aesthetics, 11/5/2019

STAFF/COMMITTEE RECOMMENDATION:

Recommendation of Approval of Site Plan for Golden Rule, subject to any remaining staff comments.









SITE PLAN / PROPOSED CONSTRUCTION PLANS

GOLDEN RULE PLUMBING AND HEATING - 904 NE MAIN ST

GRIMES, IOWA

EXISTING	PROPOSED	STANDARD LEGEND
---	---	CENTERLINE OF ROADWAY
---	---	SECTION LINE
---	---	PLAT BOUNDARY LINE
---	---	PROPERTY (LOT) LINE
---	---	RIGHT-OF-WAY (ROW)
---	---	BUILDING SETBACK LINE (BSL)
---DET-E---	---DET-E---	DETENTION-RETENTION EASEMENT
---E-E---	---PUE-L---	ELECTRICAL (LIGHTING) EASEMENT
---GE---	---GE---	GAS (LINE) EASEMENT
---ESMT---	---ESMT---	GENERIC/MISCELLANEOUS/OTHER EASEMENT
---ACC-E---	---ACC-E---	INGRESS-EGRESS (ACCESS) EASEMENT
---LS-E---	---LS-E---	LANDSCAPING BUFFER EASEMENT
---PUE---	---PUE---	PUBLIC UTILITY EASEMENT (PUE)
---ESMT---	---	RAILROAD EASEMENT
---ROW-E---	---	ROADWAY/HIGHWAY EASEMENT
---SAN-E---	---SAN-E---	SANITARY SEWER EASEMENT
---STM-E---	---STM-E---	STORM SEWER EASEMENT
---STM-SWFE---	---STM-SWFE---	STORM SEWER AND SURFACE WATER FLOWAGE EASEMENT
---SWFE---	---SWFE---	SURFACE WATER FLOWAGE (OVERFLOW) EASEMENT
---TR-E---	---TR-E---	TRAIL EASEMENT
---WTR-E---	---	WATERMAIN EASEMENT
---	---TCO-N-E---	TEMPORARY CONSTRUCTION EASEMENT
DS	DS	CLEANOUT, SANITARY OR STORM
DS	DS	DOWNSPOUT
XP	XP	ELECTRICAL PEDESTAL/BOX
X	X	FENCE LINE
Fire Hydrant	Fire Hydrant	FIRE HYDRANT (ASSEMBLY)
Flared End	Flared End	FLARED END SECTION (FES)
G	G	GAS MAIN (OR SERVICE)
G	G	GAS VALVE
Light	Light	LIGHT, BUILDING MOUNTED
Light	Light	SOIL BORING
995	995	MAJOR CONTOUR W/ ELEVATION
991	991	MINOR CONTOUR W/ ELEVATION
EP	EP	OVERHEAD ELECTRIC
Power Pole	Power Pole	POWER POLE W/ LIGHT, OR POLE MOUNTED SITE LIGHTING
San	San	POWER POLE
(SAN)	(SAN)	SANITARY SEWER MANHOLE
(SAN)	(SAN)	SANITARY SEWER PIPE (OR SERVICE)
Sign	Sign	SIGN
Storm Intake	Storm Intake	STORM INTAKE, ROUND
Storm Intake	Storm Intake	STORM INTAKE, RECTANGULAR
Storm Intake	Storm Intake	STORM INTAKE, SINGLE IN CURBLINE
Storm Intake	Storm Intake	STORM INTAKE, DOUBLE IN CURBLINE
Storm Sewer Manhole	Storm Sewer Manhole	STORM SEWER MANHOLE
Storm Sewer Pipe	Storm Sewer Pipe	STORM SEWER PIPE (OR SERVICE)
SD	SD	SUBDRAIN/SUMP LINE
Telephone Pedestal	Telephone Pedestal	TELEPHONE PEDESTAL
Television Pedestal	Television Pedestal	TELEVISION PEDESTAL
Transformer	Transformer	TRANSFORMER, ELECTRIC
Underground Electric	Underground Electric	UNDERGROUND ELECTRIC
Underground Fiber Optics	Underground Fiber Optics	UNDERGROUND FIBER OPTICS
Underground Telephone	Underground Telephone	UNDERGROUND TELEPHONE
Underground Television	Underground Television	UNDERGROUND TELEVISION
WTR	WTR	WATERMAIN (OR SERVICE)
WTR	WTR	WATERMAIN GATE VALVE
WTR	WTR	WATER SERVICE SHUTOFF

NOTES:
1. NOT ALL SYMBOLS AND LINES SHOWN IN THIS STANDARD LEGEND ARE UTILIZED WITHIN THIS CONSTRUCTION PLAN SET.
2. SEE 'GENERAL NOTES AND INFORMATION' SHEETS FOR STANDARD ABBREVIATIONS.

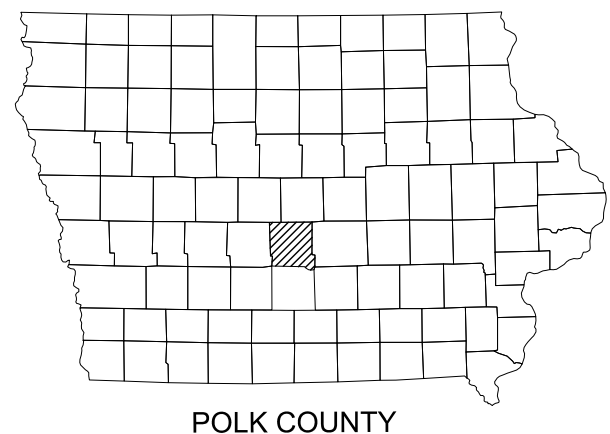
REFERENCE STATEMENT:
THIS SURVEY/ENGINEERING DOCUMENT WAS PREPARED FOR USE ON THIS PROJECT IN ACCORDANCE WITH THE CLIENT'S SCOPE OF WORK REQUIREMENTS. ABACI CONSULTING, INC. ASSUMES NO RESPONSIBILITY OR LIABILITY (CONSEQUENTIAL OR OTHERWISE) FOR ANY USE OF THIS DRAWING (OR ANY PART THEREOF) EXCEPT IN ACCORDANCE WITH THE TERMS OF SAID SCOPE OF WORK REQUIREMENTS.

UTILITIES SHOWN FOR REFERENCE ONLY. IOWA LAW REQUIRES AT LEAST 48 HOURS ADVANCE NOTICE BEFORE EXCAVATION BEGINS. NOTIFY IOWA ONE-CALL SERVICE PHONE 1-800-292-8989. ADDITIONALLY, THE CONTRACTOR SHALL ALSO NOTIFY THE OWNER AT LEAST 48 HOURS PRIOR TO STARTING CONSTRUCTION AND HAVE ANY AND ALL PRIVATE UTILITIES LOCATED.

SITE ADDRESS/NEAREST MAJOR INTERSECTION:
904 NE MAIN STREET, GRIMES, IA 50111

FEMA FIRM PANEL(S):
NUMBER = 19153C0160F; EFFECTIVE DATE = FEBRUARY 1, 2019

PORTIONS OF THE WESTERLY AND NORTHERLY 40 FEET OF THIS PROPERTY ARE INSIDE OF THE FEMA 100-YR FLOOD PLAIN



INDEX OF SHEETS

- 1 - TITLE SHEET
- 2 - GENERAL NOTES AND INFORMATION 1
- 3 - GENERAL NOTES AND INFORMATION 2
- 4 - GENERAL NOTES AND INFORMATION 3
- 5 - GENERAL NOTES AND INFORMATION 4
- 6 - GEOMETRIC PLAN
- 7 - GRADING PLAN
- 8 - UTILITY PLAN
- 9 - LANDSCAPING PLAN
- 10 - INITIAL EROSION CONTROL PLAN

ZONING NOTES:

- Z1) THE ZONING IS HEAVY INDUSTRIAL DISTRICT (M3).
- Z2) SEE THE ZONING ORDINANCE FOR ADDITIONAL REQUIREMENTS/RESTRICTIONS.
- Z3) NO VARIANCES ARE PROPOSED FOR THIS DEVELOPMENT.
- Z4) THIS SITE IS OUTSIDE OF THE TRANSPORTATION CORRIDOR MIXED USE DEVELOPMENT OVERLAY DISTRICT

INDEX OF REVISIONS

NO:	REVISION DESCRIPTION:	DATE:
1		
2		
3		
4		

PROJECT INFORMATION:

ENGINEER/SURVEYOR:

MANAGING OFFICE: GRIMES
OFFICE: (515) 986-5048
FAX: (515) 986-0588

PROJECT MANAGER: MARK McMURPHY
MOBILE: (515) 556-5460
EMAIL: mark@abaciconsulting.com

SURVEY COORDINATOR: VINCE PIAGENTINI
MOBILE: (515) 480-0472
EMAIL: Vincep@abaciconsulting.com

CITY/PROJECT BULK REGULATIONS:

CURRENT ZONING: M-3 HEAVY INDUSTRIAL DISTRICT

BULK REGULATIONS	REQ'D	PROVIDED
MIN. LOT AREA	N/A	3.25 AC.
MIN. LOT WIDTH	N/A	496'
FRONT YARD BSL	30'	31'
SIDE YARD BSL	0'	64'
REAR YARD BSL	40'	139'
MINIMUM OPEN SPACE	10%	56%

* ADJACENT TO DIFFERENT ZONING OR USE.

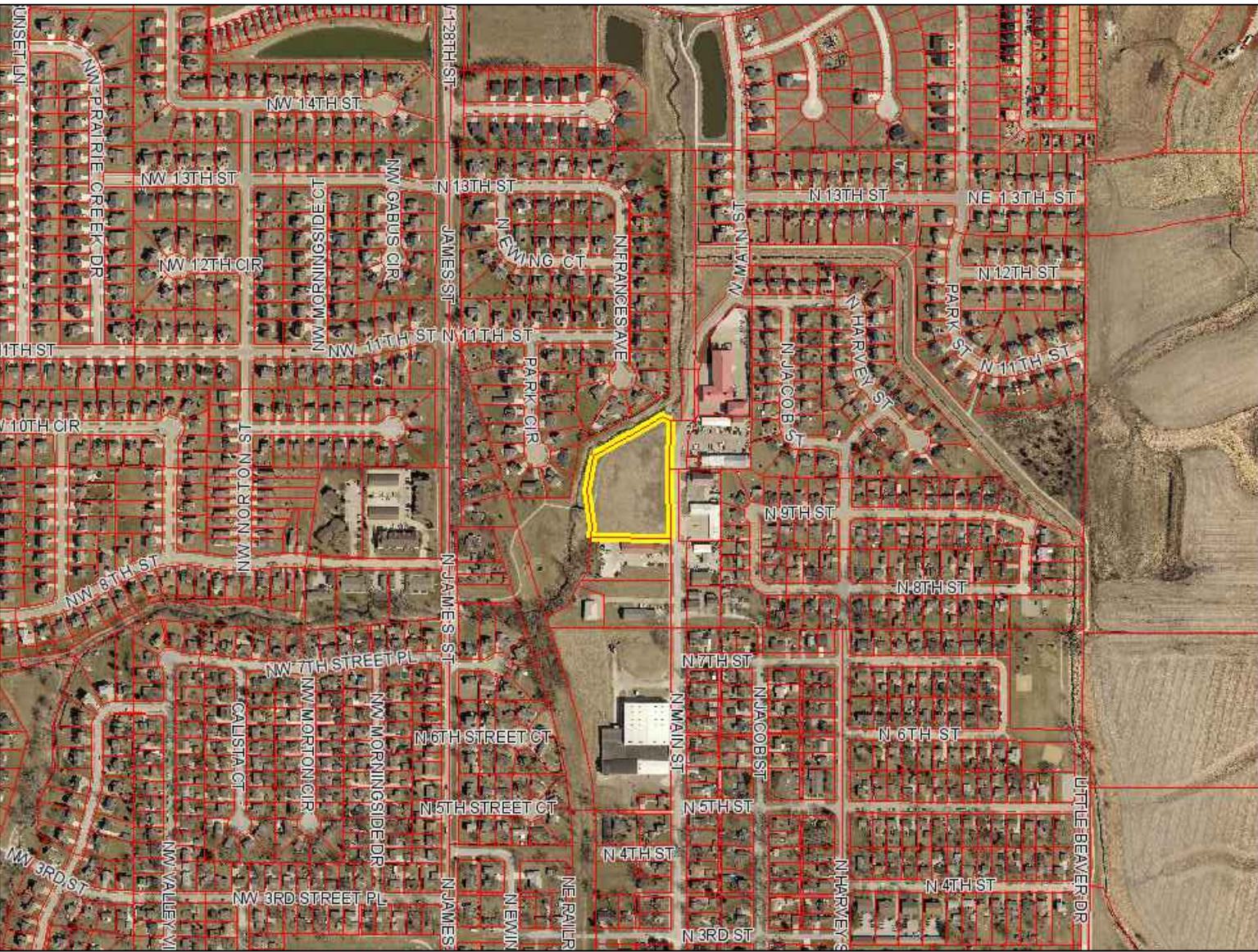
OWNER:

ATTN: MARK PAUP
PAUP PROPERTIES LLC.
804 NE MAIN STREET
GRIMES, IA 50111
MOBILE: (515) 305-2955

DEVELOPER:

SAME AS OWNER

VICINITY MAP



USE:

FLEX SPACE

UTILITY OWNERSHIP AND CONTACTS:

WATER:	US WATER CROP - ANDREW WOOD	515-822-2320
SANITARY SEWER:	US WATER CROP - ANDREW WOOD	515-822-2320
GAS LINES	BLACK HILLS ENERGY - JOE McAREAVY	515-343-2031
ELECTRICAL:	MIDAMERICAN ENERGY - DUSTIN WEDLUND	515-522-6565
TELEPHONE:	CENTURYLINK - JAKOB LINDKE	319-310-0254
CABLE:	MEDIACOM - PAUL KENDRICK	515-246-1890



INDICATES THAT UNDERGROUND UTILITIES WILL LIKELY BE ENCOUNTERED IN THE SHOWN AREA

UTILITY NOTES:

- U1) THE WATER SUPPLY IS BY THE CITY OF GRIMES.
- U2) SANITARY SEWER SERVICE IS BY THE CITY GRIMES.
- U3) ANY DISTURBED TILE LINES OR SUBSURFACE DRAINS MUST BE RESTORED/REROUTED.
- U4) THE ELECTRIC SERVICE IS BY MID-AMERICAN ENERGY.
- U5) THE NATURAL GAS SERVICE IS BY BLACK HILLS ENERGY.
- U6) THE TELEPHONE SERVICE IS BY CENTURY LINK.
- U7) THE EXISTING WATER SERVICE SIZE & LOCATION ARE BASED ON BEST AVAILABLE INFORMATION. CONTRACTOR SHALL UTILIZE WATER FITTINGS AS NECESSARY, BASED ON FIELD LOCATE OF EXISTING SERVICE, TO EXTEND THE SERVICE TO THE BUILDING.
- U8) MAINTAIN MINIMUM OF 1% SLOPE ON ALL SANITARY SEWER SERVICE.

BENCHMARK(S) INFORMATION:

G 6E - 006 ARROWHEAD ON FH, W SIDE OF NE MAIN BY 804	ELEV. = 939.02
G 6A - 012 BURY BOLT ON FH, SE CORNER OF NE MAIN STREET AND NE 12TH STREET	ELEV. = 917.90
G 6B - BURY BOLT ON FH, N SIDE OF NE 13TH BY 508 & 512	ELEV. = 920.23

ABACI CONSULTING, INC.

CIVIL ENGINEERING - LAND SURVEYING

GRIMES
300 NE GRIMES BLVD, #800
GRIMES, IOWA 50111
(515) 986-5048

ABACI PROJECT NO.: 19090 ABACI FILE NO: 19090CD

I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED AND THE RELATED WORK WAS PERFORMED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

SIGNATURE **MARK McMURPHY** DATE

PRINTED OR TYPED NAME:
IOWA LIC. NO. 14674
MY LICENSE RENEWAL DATE IS DECEMBER 31, 2020

SHEETS 1 THROUGH 10.
PAGES COVERED BY THIS SEAL:

CITY OF GRIMES NOTES: 1. ANY CITY (GENERAL/STANDARD) NOTES SHALL GOVERN IF DISCREPANCIES OCCUR WITHIN THESE (GENERAL) PROJECT NOTES. 2. A SIGN PERMIT IS REQUIRED PRIOR TO INSTALLATION OF ANY ONSITE SIGNAGE. GENERAL NOTES: 1. THIS ENGINEERING/SURVEY DOCUMENT WAS PREPARED FOR USE ON THIS PROJECT IN ACCORDANCE WITH THE CLIENT'S SCOPE OF WORK REQUIREMENTS. ABACI CONSULTING, INC. ASSUMES NO RESPONSIBILITY OR LIABILITY (CONSEQUENTIAL OR OTHERWISE) FOR ANY USE OF THIS DRAWING (OR ANY PART THEREOF) EXCEPT IN ACCORDANCE WITH THE TERMS OF SAID SCOPE OF WORK REQUIREMENTS. 2. THESE DRAWINGS ARE BEING MADE AVAILABLE BY ABACI CONSULTING, INC FOR USE ON THIS PROJECT IN ACCORDANCE WITH ABACI'S AGREEMENT FOR PROFESSIONAL SERVICES. ABACI ASSUMES NO RESPONSIBILITY OR LIABILITY FOR ANY USE OF THESE DRAWINGS (OR ANY PART THEREOF) EXCEPT IN ACCORDANCE WITH THE TERMS OF SAID AGREEMENT. 3. SEE THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) FOR THE INITIAL EROSION CONTROL MEASURES ON THE "INITIAL EROSION CONTROL (SWPPP) PLAN" SHEETS. 4. SEE ALL OTHER PLAN SHEETS FOR ADDITIONAL NOTES AND INFORMATION. 5. ALL CONSTRUCTION SHALL CONFORM TO THE MOST RECENT EDITION OF THE CITY STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS, WITH APPLICABLE SUPPLEMENTAL SPECIFICATIONS; AND THE LATEST EDITION OF IOWA SUDAS STANDARDS AND SPECIFICATIONS - EXCEPT AS MODIFIED HEREIN. 5.1. THE CITY STANDARD SPECIFICATIONS SHALL GOVERN IF ANY DISCREPANCIES ARE FOUND IN CONSTRUCTION DRAWING NOTES AND ANY SEPARATE CONSTRUCTION SPECIFICATIONS. 5.2. IN THE EVENT OF A DISCREPANCY BETWEEN THE CITY STANDARD DETAILS AND THE DETAILED CONSTRUCTION DRAWINGS, THE DETAILED CONSTRUCTION DRAWINGS SHALL GOVERN. 6. ALL WORK SHALL BE DONE IN ACCORDANCE WITH APPLICABLE CITY, COUNTY, AND STATE CODES, ORDINANCES, REGULATIONS, AND RULES, INCLUDING THE COUNTY STANDARD/SUPPLEMENTAL SPECIFICATIONS FOR PUBLIC IMPROVEMENTS. WHERE NOT OTHERWISE COVERED BY THE ABOVE, IN THE NOTES BELOW, OR WITHIN THIS PLAN SET, AND THE LATEST EDITION OF THE IOWA SUDAS STANDARDS AND SPECIFICATIONS SHALL GOVERN. 7. THE CONTRACTOR(S) SHALL BE FAMILIAR WITH AND COMPLY ALL STANDARDS, DETAILS, SPECIFICATIONS, CODES, ORDINANCES, REGULATIONS, AND RULES, ETC. NOTHING IN THESE DOCUMENTS SHALL RELIEVE THE CONTRACTOR(S) OF THIS REQUIREMENT. 8. ALL CONSTRUCTION PROCEDURES AND MATERIALS SHALL MEET OR EXCEED MINIMUM REQUIREMENTS OF THE CITY. 8.1. THE CONTRACTOR(S) SHALL SUBMIT SHOP DRAWINGS, CUT SHEETS, OR MATERIAL SPECIFICATIONS TO COUNTY PUBLIC WORKS ON ALL CONSTRUCTION MATERIALS USED PRIOR TO CONSTRUCTION. 8.2. PRIOR TO CONSTRUCTION, THE CONTRACTOR(S) SHALL PROVIDE SUBMITTAL(S) OF ALL CONSTRUCTION MATERIALS BEING USED. 9. ALL REFERENCES TO SECTIONS AND/OR FIGURES ARE TO THE SUDAS STANDARD SPECIFICATIONS WITH FIGURES, UNLESS OTHERWISE NOTED. COUNTY STANDARD SPECIFICATIONS AND/OR DETAILS SHALL GOVERN IF ANY DISCREPANCIES. 10. THIS PROJECT IS COVERED BY THE IOWA DEPARTMENT OF NATURAL RESOURCES NPDES GENERAL PERMIT NO. 2; WITH ALL TERMS AND CONDITIONS. 10.1. ALL CONTRACTOR(S) SHALL MAINTAIN PROPER EROSION CONTROL THROUGHOUT THE ENTIRE PROJECT. SEE 'SWPPP/EROSION CONTROL' AND 'GRADING' NOTES. 10.2. NPDES NOI GENERAL PERMIT HOLDER IDENTIFIED IN CURRENT SWPPP SHALL PROVIDE WRITTEN VERIFICATION TO THE COUNTY ON COMPLIANCE WITH THE GENERAL PERMIT #2 TOPSOIL REQUIREMENTS UPON COMPLETION OF THE PROJECT. 11. ALL MUD, SOIL, AND/OR DEBRIS SPILLED ON THE STREETS OR ADJACENT PROPERTY SHALL BE PROMPTLY REMOVED BY THE CONTRACTOR(S) - AT LEAST AT THE END OF EACH WORK DAY; PRIOR TO ANY RAIN EVENT; AND AS DIRECTED. OR, THE OWNER/DEVELOPER SHALL REMOVE THE ITEMS AND DEDUCT THE COST FROM THE AMOUNT DUE TO THE CONTRACTOR(S). 12. THE LOCATION OF ALL UTILITIES INDICATED ON THE PLANS ARE TAKEN FROM EXISTING PUBLIC RECORDS AND SURVEYS. THE EXACT LOCATION AND ELEVATION OF ALL PUBLIC UTILITIES MUST BE DETERMINED BY THE CONTRACTOR(S). IT SHALL BE THE DUTY OF THE CONTRACTOR(S) TO ASCERTAIN WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT; AND TO NOTIFY THE OWNER(S) OF THE UTILITIES. THE CONTRACTOR(S) SHALL AFFORD ACCESS TO THESE FACILITIES BY THE OWNERS FOR NECESSARY MODIFICATION OF SERVICES. PRIOR TO ANY WORK AT THE SITE, THE CONTRACTOR(S) SHALL EXAMINE ANY APPLICABLE DRAWINGS AVAILABLE FROM THE OWNER, ENGINEER, AND/OR ARCHITECT; AND SHALL CONSULT WITH OWNER'S PERSONNEL AND UTILITY COMPANY REPRESENTATIVES. NO COMPENSATION WILL BE ALLOWED FOR DAMAGE FROM FAILURE TO COMPLY WITH THIS REQUIREMENT. 14. THE CONTRACTOR(S) SHALL NOTIFY THE COUNTY AND THE ENGINEER IF ANY FIELD TILES ARE ENCOUNTERED OR INTERCEPTED. THE CONTRACTOR(S) SHALL EITHER RECONNECT THE FIELD TILE OR CONNECT IT TO THE STORM SEWER SYSTEM. THE CONTRACTOR(S) SHALL KEEP A RECORD OF ALL FIELD TILE(S) ENCOUNTERED AND/OR INTERCEPTED; AND THE ACTION PERFORMED. THIS INFORMATION WILL BE GIVEN DIRECTLY TO THE COUNTY PUBLIC WORKS/ENGINEERING DEPARTMENT, AND ALSO INCORPORATED INTO ANY NOTED RECORD/AS-BUILT DRAWINGS. 15. THE CONTRACTOR(S) SHALL CONTACT IOWA ONE CALL AT 800-292-8989 OR AT 811 A MINIMUM OF 24 HOURS PRIOR TO BEGINNING WORK OR ANY WORK STAGE. 15.1. THE CONTRACTOR(S) SHALL ALSO NOTIFY THE OWNER/DEVELOPER AT LEAST 48 HOURS PRIOR TO STARTING CONSTRUCTION AND HAVE ANY AND ALL PRIVATE UTILITIES LOCATED. 15.2. THE CONTRACTOR(S) SHALL NOTIFY ABACI CONSULTING, INC. AT LEAST ONE (1) WEEK PRIOR TO STARTING ANY SUBSTANTIAL CONSTRUCTION ACTIVITIES. 16. ALL TESTING SHALL BE TO CITY STANDARDS AND CITY STAFF SHALL BE PRESENT DURING AND WITNESS ALL TESTING. 17. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR GIVING THE CITY AND OTHER INSPECTION AGENCIES PROPER NOTICE FOR THEIR REQUIRED INSPECTIONS. 18. THE CONTRACTOR(S) SHALL NOTIFY THE CITY PUBLIC WORKS/ENGINEERING DEPARTMENT AT LEAST 48 HOURS PRIOR TO THE BEGINNING OF CONSTRUCTION, WEEKEND WORK, AND/OR HOLIDAY WORK. 19. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR APPLYING FOR AND OBTAINING ANY AND ALL REQUIRED PERMITS FOR PERFORMING THE WORK, EXCEPT THAT THE OWNER/DEVELOPER SHALL APPLY FOR AND OBTAIN THE FOLLOWING: 19.1. ANY STORMWATER DISCHARGE PERMITS FROM THE IDNR AND/OR THE COUNTY. 19.2. ANY GRADING/COSESCO PERMITS FROM THE IDNR AND/OR THE COUNTY. 19.3. ANY SANITARY SEWER AND WATERMAIN PERMITS FROM THE IDNR AND/OR THE COUNTY. 19.4. ANY DOT (FEDERAL, STATE, AND COUNTY) AND/OR RAILROAD PERMITS WITH THE ASSISTANCE OF THE COUNTY. 20. ALL PERMITS FROM IDNR, IDOT, COUNTY, CITY, AND/OR OTHER PERMITTING AGENCIES SHALL BE OBTAINED PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR(S) SHALL HAVE PAPER A COPY OF EACH ONSITE BEFORE COMMENCING CONSTRUCTION. 21. ALL CONSTRUCTION STAKING SHALL BE DONE UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER AND/OR LAND SURVEYOR INCLUDING, BUT NOT LIMITED TO: ROADWAYS/STREETS, ALLEYS, PEDESTRIAN FACILITIES (INCLUDING ALL CURB DROPS AND SIDEWALK/SHARED USE PATH LOCATIONS), AND UTILITIES. 21.1. ALL CONSTRUCTION STAKING SHALL BE PROVIDED BY THE OWNER/DEVELOPER THROUGH A CONTRACT WITH ABACI CONSULTING, INC. 21.2. ALL CONSTRUCTION STAKING, PROPERTY PINS, ETC. SHALL BE PROTECTED FROM GRADING AND/OR OTHER OPERATIONS. ANY DISTURBED SHALL BE RESET AT THE CONTRACTOR'S EXPENSE. 21.3. RESET ALL PROPERTY PINS DISTURBED BY CONSTRUCTION ACTIVITIES. PROPERTY PINS SHALL BE RESET BY A REGISTERED LAND SURVEYOR AND SHALL BY INCIDENTAL TO CONSTRUCTION. 22. THE CONTRACTOR(S) SHALL CONFINE HIS/HER OPERATIONS WITHIN THE PROJECT LIMITS AND ANY RELATIVE EASEMENTS. THE CONTRACTOR(S) SHALL BE SOLELY RESPONSIBLE FOR ANY DAMAGE TO OTHER PROPERTY. 23. THE CONTRACTOR SHALL PROTECT EXISTING (SHOWN AND NOT SHOWN) FACILITIES THAT ARE TO REMAIN AT THE SITE (ON AND/OR SURROUNDING) AGAINST DAMAGE. ANY DAMAGES TO EXISTING UTILITIES NOT SCHEDULED FOR REMOVAL SHALL BE REPAIRED TO THE UTILITY OWNER'S SPECIFICATIONS AND AT THE CONTRACTOR'S EXPENSE. 24. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR ANY AND ALL CLAIMS OF ANY TYPE WHATSOEVER RESULTING FROM DAMAGE(S) TO ADJOINING PROPERTIES. 25. THE CONTRACTOR(S) SHALL REPAIR, REPLACE, AND/OR RETURN ANY DAMAGED ITEM TO AT LEAST THE ORIGINAL CONDITION, WITHOUT ADDITIONAL COMPENSATION. 26. ANY DAMAGE DONE TO THE EXISTING AND/OR PROPOSED FENCES, YARDS, OR OTHER IMPROVEMENTS SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE. 27. THE CONTRACTOR(S) IS RESPONSIBLE FOR REPLACING ANY AREAS OF PAVEMENT OR SIDEWALK NOT TO BE REMOVED THAT IS DAMAGED, AND/OR REMOVED BEYOND THE LIMITS SHOWN, DUE TO OPERATING HIS/HER EQUIPMENT OR ACTIONS ON THE PAVEMENT OR SIDEWALK. PAVEMENT REPLACEMENT SHALL COMPLY WITH THE COUNTY STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS. 28. THE CONTRACTOR(S) MAY BE REQUIRED, AS DIRECTED BY THE ENGINEER OR THE CITY, TO PLACE TEMPORARY WARNING DEVICES AND/OR SAFETY FENCE AT CERTAIN LOCATIONS WHERE REPLACEMENT FEATURES ARE NOT FULLY INSTALLED THE SAME DAY. THIS WILL BE INCIDENTAL TO TRAFFIC CONTROL. 29. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR ALL REQUIRED WORK ZONE TRAFFIC CONTROL (VEHICULAR, BICYCLE, AND/OR PEDESTRIAN) REQUIRED DURING ANY AND ALL OPERATIONS - AT LEAST APPROVAL, PERMITTING, INSTALLING, MAINTAINING, AND REMOVAL. THESE SHALL BE INSTALLED PRIOR TO BEGINNING WORK ON THE SITE. 29.1. AS REQUIRED AND PRIOR TO PROCEEDING WITH THE WORK, THE CONTRACTOR(S) SHALL PROVIDE THE CITY, COUNTY, AND/OR STATE AGENCIES A TRAFFIC CONTROL PLAN FOR ANY SIDEWALK, LANE, AND/OR ROADWAY CLOSURES. 29.2. DURATION OF ANY CLOSURE SHALL BE LIMITED TO FIVE (5) BUSINESS DAYS, UNLESS OTHERWISE NOTED. 29.3. AS REQUIRED AND PRIOR TO PROCEEDING WITH THE WORK, THE CONTRACTOR(S) SHALL COORDINATE HIS/HER TRAFFIC CONTROL WITH OTHER PUBLIC AND/OR PRIVATE CONSTRUCTION PROJECT(S) IN THE SURROUNDING AREA. 30. THE CONTRACTOR(S) SHALL FURNISH AND PLACE ALL NECESSARY TEMPORARY SIGNS, BARRICADES, STRIPING, ETC. DURING CONSTRUCTION IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) FOR STREETS AND HIGHWAYS. ALL ROADS AND/OR FEATURES SHALL BE BARRICADED AND MAINTAINED UNTIL ACCEPTANCE BY COUNTY. COORDINATE WITH COUNTY ON REMOVAL OF ANY CONFLICTING SIGNAGE. THE OWNER/DEVELOPER SHALL INSTALL ONE-WAY SIGNAGE IN COMPLIANCE WITH MUTCD FOR ANY 12 FOOT WIDE DRIVES. 31. ALL DISTURBED AREAS SHOULD BE RESTORED BY SEEDING OR SODDING. ANY EXISTING ESTABLISHED LAWNS SHALL BE REPLACED WITH SOD. ALL DISTURBED AREAS SHALL BE WATERED UNTIL ESTABLISHED AND SHALL BE INCIDENTAL TO CONSTRUCTION. SOD MAINTENANCE PERIOD SHALL BE WHEN SOD IS DEEMED ESTABLISHED BY THE COUNTY, BUT SHALL NOT EXTEND BEYOND ONE (1) YEAR. 32. REMOVE, PROTECT, AND REPLACE ALL STREET SIGNS AS DIRECTED BY THE ENGINEER, INCIDENTAL TO CONSTRUCTION. 33. THE CITY SHALL FURNISH AND PLACE ALL NECESSARY STREET SIGNS AT ALL STREET CORNERS; AND OTHER SIGNAGE AS DEEMED OR WARRANTED. 34. MAINTENANCE/PERFORMANCE BONDS SHALL BE PROVIDED AS REQUIRED BY CITY ORDINANCE OR CODE. 35. ANY CHANGES TO THE PROPOSED PLAN AND/OR APPROVED CONSTRUCTION DRAWINGS SHALL BE SUBMITTED TO THE PROJECT ENGINEER AND TO THE CITY PUBLIC WORKS/ENGINEERING DEPARTMENT IN WRITING PRIOR TO IMPLEMENTATION. ALL PROPOSED CHANGES SHALL BE PERFORMED BY THE PROJECT ENGINEER. CONTRACTOR(S) SHALL BE RESPONSIBLE FOR COSTS ASSOCIATED WITH CHANGES MADE WITHOUT WRITTEN COUNTY APPROVAL. 36. ACCESS SHALL BE MAINTAINED TO ALL EXISTING ENTRANCES AND/OR DRIVEWAYS AT ALL TIMES AND SHALL BE INCIDENTAL TO CONSTRUCTION AND SHALL BE THE CONTRACTORS' RESPONSIBILITY. 37. THE CONTRACTOR SHALL APPLY NECESSARY MOISTURE TO THE CONSTRUCTION AREA AND HAUL ROADS TO PREVENT THE SPREAD OF DUST. DO NOT STORE AND/OR STOCKPILE CONSTRUCTION MATERIALS AND/OR EQUIPMENT WITHIN THE RIGHT-OF-WAY (PROPOSED OR EXISTING) OR IN THE FRONT YARD SETBACK. 39. "APPROVED EQUAL" SHALL MEAN: APPROVED IN WRITING BY BOTH THE CITY AND THE PROJECT DESIGN ENGINEER (ABACI CONSULTING, INC.). 40. THE CONTRACTOR(S) SHALL VERIFY ALL BUILDING AND/OR TRASH ENCLOSURE DIMENSIONS WITH THE ARCHITECTURAL PLANS. GENERAL SURVEYING NOTES: 1. GENERAL INFORMATION - MEASUREMENT UNITS FOR THIS PROJECT ARE IN US SURVEY FEET. PROJECT DATUM AND CONTROL POINT INFORMATION WAS ESTABLISHED USING IOWA RTN (REAL-TIME NETWORK) REFERENCE STATIONS. 2. VERTICAL CONTROL - VERTICAL DATUM FOR THIS PROJECT BASED ON A NAVD'88 AND/OR CITY ESTABLISHED BENCHMARK(S) AND IS THEN TIED TO AT LEAST ONE (1) BENCHMARK (AS SHOWN AND NOTED) ESTABLISHED SPECIFICALLY FOR THIS PROJECT. 3. HORIZONTAL CONTROL - THE PROJECT COORDINATE SYSTEM IS THE MODIFIED IOWA STATE PLANE SOUTH (U.S. SURVEY FEET). COORDINATES WERE DETERMINED BE AVERAGING AT LEAST THREE (3) lartN OBSERVATIONS WITH APPROPRIATE TIME SPANS BETWEEN. 4. ADDITIONAL CONTROL POINTS WERE THEN ESTABLISHED THROUGHOUT THE PROJECT LOCATION USING GNSS (GLOBAL NAVIGATION SATELLITE SYSTEM) ROVER SETUP RELATIVE TO SAID BENCHMARK(S). ABBREVIATIONS: ALL MAY BE WITH OR WITHOUT PERIODS. ℄ = CENTERLINE ℄ = FLOWLINE ℄ = PROPERTY LINE B/WALL = BOTTOM OF WALL (AT GROUND/FACE) BOC = BACK OF CURB CIP = CAST-IN-PLACE (CONCRETE) CISP OR CIP = CAST-IRON (SOIL) PIPE DHWL = DESIGN HIGH WATER LEVEL DIP = DUCTILE IRON PIPE DWY = DRIVEWAY ESMT OR EASE = EASEMENT ELEV OR EL = ELEVATION ENT = ENTRANCE EOP = EDGE OF PAVEMENT ESMT OR EASE = EASEMENT EXIST OR EX = EXISTING FES = FLARED END SECTION F/G = FINISHED GRADE FOC = FACE OF CURB G = GUTTER GND = GROUND HORIZ OR HOR = HORIZONTAL HWL = HIGH WATER LEVEL INV = INVERT/FLOWLINE P = PAVEMENT PE OR PEP = POLYETHYLENE (PIPE) PROP OR PR = PROPOSED PVC = POLYVINYL CHLORIDE (PIPE) PKWY = PARKWAY RCB = REINFORCED CONCRETE BOX RCP = REINFORCED CONCRETE PIPE ROW OR R/W = RIGHT-OF-WAY S/W = SIDEWALK SAN = SANITARY SEWER OR SERVICE SMF = STORMWATER MANAGEMENT FACILITY SWFE = STORMWATER FLOWAGE EASEMENT SWPPP = STORMWATER POLLUTION PREVENTION PLAN STM = STORM SEWER OR SERVICE T/C = TOP OF CURB T/W = TOP OF WALK T/WALL = TOP OF WALL TYP = TYPICAL VCP = VITRIFIED CLAY PIPE VERT OR VER = VERTICAL WTR = WATERMAIN OR WATER SERVICE
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SWPPPP/EROSION CONTROL GENERAL NOTES: 1. SEE THE STORMWATER POLLUTION PREVENTION PLAN (SWPPPP) FOR THE INITIAL EROSION CONTROL MEASURES ON THE "INITIAL EROSION CONTROL (SWPPPP) PLAN" SHEETS. 2. SEE THE 'GRADING NOTES' ON THIS SHEET FOR ADDITIONAL INFORMATION. 3. SEE THE "INITIAL EROSION CONTROL (SWPPPP) PLAN" SHEET(S) FOR ADDITIONAL GROUND COVER INFORMATION; SEDIMENTATION BASIN LOCATIONS; AND ANY RELATED QUANTITIES. 4. SEE ALL RELATED NOTES FOR THESE CONSTRUCTION DRAWINGS FOR THIS PHASE/DEVELOPMENT PLAN FOR ADDITIONAL INFORMATION. 5. REFER TO THE STORMWATER POLLUTION PREVENTION PLAN NARRATIVE FOR ALL EROSION CONTROL MEASURES AND ADDITIONAL NOTES AND DETAILS. ADDITIONAL NOTES AND MEASURES IN THE NARRATIVE SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION AND SHALL BE INCLUDED IN THE ORIGINAL BID. 6. THE STORMWATER POLLUTION PREVENTION PLAN AND RELATED NARRATIVE ARE CONSIDERED LIVING DOCUMENTS, AND SHALL REQUIRE PERIODIC UPDATES, MODIFICATIONS, AND/OR ADJUSTMENTS DEPENDING ON SITE CONDITIONS AND CONSTRUCTION PROGRESS TO ASSURE COMPLIANCE WITH THE NPDES GENERAL PERMIT NO. 2. IT SHALL BE THE RESPONSIBILITY OF ALL CONTRACTORS TO UPDATE THE SWPPP AND IMPLEMENT ANY AND ALL MEASURES TO COMPLY WITH SAID PERMIT. 7. THIS PROJECT IS COVERED BY THE IOWA DEPARTMENT OF NATURAL RESOURCES NPDES GENERAL PERMIT NO. 2, WITH ALL TERMS AND CONDITIONS, AND INITIALLY DESIGNED AND PROVIDED BY ABACI CONSULTING, INC. 8. THE CONTRACTOR SHALL COMPLY WITH ALL EROSION CONTROL REQUIREMENTS OF THE IOWA CODE, THE IOWA DEPARTMENT OF NATURAL RESOURCES NPDES PERMIT, THE ENVIRONMENTAL PROTECTION AGENCY, AND LOCAL ORDINANCES. 9. ALL CONTRACTOR(S) SHALL UTILIZE THE APPROVED CIVIL SITE PLANS, PROJECT SWPPP SHEET(S), AND NPDES NOI PERMIT CONDITIONS FOR ADDITIONAL DETAILS, NOTES, AND/OR DIRECTIONS. 10. THE SWPPP AND ALL DOCUMENTS ASSOCIATED WITH IT AND THE IDNR PERMIT SHALL BE KEPT ONSITE AT ALL TIMES AND BE AVAILABLE TO PRESENT TO THE IOWA DEPARTMENT OF NATURAL RESOURCES (IDNR) UPON REQUEST. 11. ALL MUD, SOIL, AND/OR DEBRIS SPILLED ON THE STREETS OR ADJACENT PROPERTY SHALL BE PROMPTLY REMOVED BY THE CONTRACTOR(S) - AT LEAST AT THE END OF EACH WORK DAY; PRIOR TO ANY RAIN EVENT; AND AS DIRECTED. OR, THE OWNER/DEVELOPER SHALL REMOVE THE ITEMS AND DEDUCT THE COST FROM THE AMOUNT DUE TO THE CONTRACTOR(S). 12. THE CONTRACTOR(S) SHALL INSTALL EROSION AND SEDIMENTATION CONTROL INFRASTRUCTURE PRIOR TO INITIATING WORK ON THE SITE. 13. EROSION/SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED AS SHOWN ON THIS EXHIBIT AND ARE FOR INITIAL (START-UP) PURPOSES ONLY. THE CONTRACTOR(S) SHALL MODIFY, CHANGE, AND/OR ADD EROSION/SEDIMENTATION CONTROL MEASURES DURING THE COURSE OF CONSTRUCTION TO ACCOMMODATE FIELD CONDITIONS AND METHODS OF CONSTRUCTION. 13.1. PRESERVE ANY EXISTING VEGETATION UNTIL CONSTRUCTION IS NECESSARY IN THAT AREA. 13.2. MODIFY AND UPDATE THIS EXHIBIT AS REQUIRED DURING THE COURSE OF CONSTRUCTION TO REFLECT FIELD MODIFICATIONS, INCLUDING 'REVISION' BOX; AND TO MEET LOCAL, STATE, AND FEDERAL REQUIREMENTS. 14. IT IS THE RESPONSIBILITY OF ALL CONTRACTORS TO TAKE ALL THE NECESSARY MEASURES TO ELIMINATE EROSION FROM AND TO THE PROJECT SITE, ADJACENT PROPERTIES, AND/OR ANY BORROW OR FILL AREAS INCLUDING, BUT NOT LIMIT TO, THE CONTROLS SHOWN ON THIS PLAN. THIS INCLUDES SOIL EXCAVATIONS FOR FOUNDATIONS ON EACH RESPECTIVE BUILDING AND/OR RESIDENTIAL LOT. ALL CONTRACTOR(S) SHALL MAINTAIN PROPER EROSION CONTROL THROUGHOUT THE ENTIRE PROJECT. 15. ALL CONTRACTORS SHALL UTILIZE PROJECT SWPPP AND NPDES NOI PERMIT CONDITIONS FOR ADDITIONAL DETAILS AND DIRECTIONS. EROSION/SEDIMENTATION CONTROL MEASURES MAY BE REMOVED AS ALLOWED BY PERMIT CONDITIONS AND AT THE TERMINATION OF THE NPDES STORMWATER PERMIT AT THE COMPLETION OF THE PROJECT. 16. ALL CONTRACTORS SHALL BE REQUIRED TO MAINTAIN ALL EROSION CONTROL MEASURES (TEMPORARY AND PERMANENT) AND KEEP THEM IN WORKING ORDER. 17. SUDAS SPECIFICATIONS SHALL APPLY TO GRADING, EROSION CONTROL, AND ALL ASSOCIATED WORK FOR THE PROJECT. THE CONTRACTOR(S) SHALL ESPECIALLY OBSERVE THE REQUIREMENTS OF THE SPECIFICATIONS (ALONG WITH THE EROSION CONTROL PLAN PREPARED FOR THE PROJECT) IN CONDUCTING GRADING AND SURFACE RESTORATION WORK. 17.1. THE STORMWATER POLLUTION PREVENTION PLAN (SWPPPP) IS THE RESPONSIBILITY OF THE OWNER/DEVELOPER AND THE SWPPP MANAGER WHOM SHALL MAKE ALL CONTRACTORS AND CONSTRUCTION WORKERS AWARE OF THE MAJOR PROVISIONS OF SAID PLAN. 17.2. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CHECKED REGULARLY, ESPECIALLY AFTER EACH SIGNIFICANT STORM OR TYPICALLY AT LEAST EVERY SEVEN (7) DAYS, TO LOCATE DAMAGE AND CONDUCT MAINTENANCE OPERATIONS. RECORD THE FINDINGS OF THE INSPECTION AND TAKE ANY ACTIONS NECESSARY TO ENSURE THAT THE EROSION CONTROL MEASURES ARE WORKING PROPERLY. 17.3. STABILIZATION MEASURES SHALL BE INITIATED ON ALL DISTURBED AREAS ON THE FIRST DAY AFTER NO CONSTRUCTION ACTIVITY HAS OCCURRED ON AREAS WHERE CONSTRUCTION ACTIVITY WILL NOT OCCUR FOR A PERIOD OF ANOTHER 14 CALENDAR DAYS. 17.4. INSTALL SILT FENCE/WATTLE PRIOR TO BEGINNING CONSTRUCTION AROUND NOTED STRUCTURES AND ON STEEP SLOPES. ADDITIONAL LINES OF SILT FENCE/WATTLE WILL BE REQUIRED AS PROGRESS, OR AS DIRECTED. 18. REMOVE SILT ACCUMULATED ALONG SILT FENCE/WATTLE WHEN REACHES MAXIMUM OF 50 PERCENT OF EXPOSED HEIGHT, OR AS DIRECTED. 19. CONTRACTOR(S) SHALL CONSTRUCT AND STABILIZE PROPOSED NOTED SEDIMENTATION BASIN, BASIN OUTLET STRUCTURE, AND OUTLET PRIOR TO CONSTRUCTING THE REST OF THE SUBDIVISION INFRASTRUCTURE IMPROVEMENTS. PROPOSED SEDIMENTATION BASIN(S) SHALL BE LOCATED WITHIN THE EXISTING/PROPOSED STORMWATER MANAGEMENT FACILITIES (SMF). SEE ADDITIONAL NOTES AND DETAILS FOR ADDITIONAL INFORMATION. 20. INSTALL TEMPORARY SEDIMENT BASIN OUTLET STRUCTURE SURROUNDED BY SILT FENCE PRIOR TO THE CONSTRUCTION OF SUBDIVISION INFRASTRUCTURE (DEMOLITION, PIPING, MASS GRADING, AND PAVEMENT). 21. PROVIDE POSITIVE DRAINAGE AROUND ALL STOCKPILES AND OTHER IMPROVEMENTS DURING AND AT THE COMPLETION OF OF ALL PHASES OF CONSTRUCTION INCLUDING, BUT NOT LIMITED TO, INFRASTRUCTURE AND BUILDING. DRAIN ANY ONSITE AREAS WITH PONDING WATER TO THE SEDIMENTATION BASIN. 22. PLACE SILT FENCE, FILTER SOCK, AND/OR OTHER APPROVED SEDIMENTATION CONTROL/SILT CONTAINMENT DEVICE AROUND EXISTING STORM INTAKES AND/OR STRUCTURES, AND/OR PROPOSED STORM INTAKES AND/OR STRUCTURES AFTER CONSTRUCTED AND BEFORE PAVING, AS NOTED. 23. PROVIDE/VERIFY BELOW GRADE INLET PROTECTION FOR ALL STORM STRUCTURES WITHIN PUBLIC STREETS OR RIGHT-OF-WAY (ROW) ONCE PAVING IS COMPLETED. 24. ALL AREAS OF THE EXISTING/PROPOSED DITCH BOTTOM AROUND END SECTIONS, AND EXISTING/PROPOSED END SECTIONS DISCHARGING INTO A DITCH, SWALE, AND/OR SMF SHALL BE COVERED WITH RIPRAP, OR OTHER APPROVED AND NOTED PROTECTION/ENERGY DISSIPATION. 24.1. ALL RIPRAP SHALL BE PLACED OVER ENGINEERING FABRIC AS NOTED AND HATCHED IN THE CONSTRUCTION PLANS. 24.2. SEE 'DETAILS' SHEETS FOR ADDITIONAL SCOURSTOP INFORMATION. ALTHOUGH SCOURSTOP IS LABELED AND SHOWN, ALTERNATE EQUIVALENT PRODUCTS (I.E., SHOREMAX, ETC.) MAY BE USED WHEN APPROVED BY THE COUNTY AND INSTALLED BY A CERTIFIED INSTALLER ON THIS PROJECT. ALL PRODUCTS SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND INSTALLATION INSTRUCTIONS. 25. AT COMPLETION OF SITE GRADING AND ROADWAY PAVING, CLEAN UP SITE AND INSTALL (PERMANENT AND/OR TEMPORARY) STABILIZATION UNTIL PHASE RESIDENTIAL DEVELOPMENT BEGINS. 26. ALL SEEDED/SODDED SURFACES SHALL BE COVERED WITH AT LEAST SIX (6") INCHES TOPSOIL IN PLACE BEFORE PERMANENT (FINAL) SEEDING/SODDING OPERATIONS COMMENCE AND AT FINAL STABILIZATION. 27. ALL AREAS NOT COVERED BY PAVEMENT AND/OR BUILDINGS SHALL BE GRASS. SEEDED/SODDED AREAS SHALL BE PREPARED AS SPECIFIED IN SUDAS. 27.1. ONLY AREAS DESIGNATED ON PLANS AS PRAIRIE GRASS SHALL BE SUDAS NATIVE GRASS AND FORBS/WILDFLOWER MIX (AKA PRAIRIE MIX); AND SHALL BE INSTALLED BY THE DEVELOPER'S CONTRACTOR. 27.2. ONLY AREAS DESIGNATED ON PLANS AS URBAN LAWN MIX SHALL BE SUDAS URBAN LAWN MIX AND/OR SOD; AND SHALL BE INSTALLED BY THE DEVELOPER'S CONTRACTOR WITH THE SPECIFIED TYPE. 27.3. ALL OTHER AREAS SHALL BE DESIGNATED AS AREAS TO RECEIVE LAWN SEED MIX AND/OR SODDED. THESE AREAS SHALL FIRST BE SEEDED AND MULCHED BY THE DEVELOPER'S CONTRACTOR WITH SUDAS TYPE 4 EROSION CONTROL MIX. THE PERMANENT COVER SHALL BE BY THE HOME BUILDER'S CONTRACTOR WITH A URBAN LAWN MIX AND/OR SODDED. 28. TREE/BUSH PROTECTION (FENCING) SHALL CONSIST OF MINIMUM 48 INCHES HIGH ORANGE CONSTRUCTION INSTALLED AND SECURED ON METAL T-POSTS AND BEING NO CLOSER THAN THE DRIP LINE, OR AS DIRECTED. 29. 'TEMPORARY' BMPs SHALL BE REMOVED AT THE END OF SITE DEVELOPMENT AND AT FINAL STABILIZATION. ADDITIONAL BMPs SHALL BE INSTALLED BY THE INDIVIDUAL LOT CONTRACTOR(S). 30. AT THE COMPLETION OF THE SITE IMPROVEMENTS, CLEAN BASIN(S), INSTALL PERMANENT STABILIZATION, AND INSTALL NOTED GRANULAR BACKFILL TRENCH IN BOTTOM OF SMF BASIN. SURROUND GRANULAR TRENCH AND OUTLET STRUCTURE WITH SILT FENCE DURING RESIDENTIAL HOME CONSTRUCTION. SMF CONTROL MEASURES IN BASIN SHALL REMAIN IN PLACE UNTIL FULL BUILDOUT OF RESIDENTIAL LOT BUILDINGS IN SUBDIVISION. 31. AT THE COMPLETION OF THE SITE IMPROVEMENTS AND AT FINAL STABILIZATION, THE SWPPP MANAGER SHALL PROVIDE AS-BUILT PLANS AND A CERTIFICATION STATEMENT INDICATING THAT ALL BMP's AND SMF's WERE CONSTRUCTED TO AT LEAST THE DESIGNED. 32. AT THE COMPLETION OF THE SITE IMPROVEMENTS AND AT FINAL STABILIZATION, THE SWPPP MANAGER SHALL PROVIDE AS-BUILT PLANS AND A CERTIFICATION STATEMENT INDICATING THAT THE DETENTION BASIN(S), OR ANY OTHER STORMWATER MANAGEMENT FACILITY, AT LEAST MEETS THE REQUIRED DESIGN VOLUME(S). 32.1. THE SWPPP MANAGER SHALL CONTACT ABACI CONSULTING. INC. TO PERFORM SAID SURVEY PRIOR TO SEEDING/SODDING. 32.2. IF THE DETENTION BASIN(S), OR ANY OTHER STORMWATER MANAGEMENT FACILITY, HAVE BEEN CONSTRUCTED INCORRECTLY, THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR ALL SUBSEQUENT WORK AND AS-BUILT SURVEY(S) UNTIL ALL ISSUES HAVE BEEN CORRECTED. 33. AT THE COMPLETION OF THE SITE IMPROVEMENTS AND AT FINAL STABILIZATION, A NOTICE OF DISCONTINUATION MUST BE FILED BY THE SWPPP MANAGER AND THE OWNER. THE OWNER/DEVELOPER MUST RETAIN ALL DOCUMENTS ASSOCIATED WITH THE PERMIT AND SWPPP FOR THREE (3) YEARS. 34. THE SWPPP MANAGER SHALL PROVIDE ALL DOCUMENTS INCLUDING THE ORIGINALS AND INSPECTION RECORDS TO THE OWNER/DEVELOPER UPON ISSUANCE OF THE NOTICE OF DISCONTINUATION. 35. "FINAL STABILIZATION" SHALL MEAN: THE POINT IN CONSTRUCTION AT WHICH ALL SOIL DISTURBING ACTIVITIES IN AN AREA AND/OR OVER THE PROJECT SITE HAVE BEEN COMPLETED, AND A UNIFORM PERENNIAL VEGETATIVE COVER WITH A DENSITY OF AT LEAST 70 PERCENT SUFFICIENT TO PRECLUDE EROSION FOR THE ENTIRE DISTURBED AREA OF THE PERMITTED PROJECT OF THE COVER FOR UNPAVED AREAS AND AREAS NOT COVERED BY PERMANENT STRUCTURES HAS BEEN ESTABLISHED OR EQUIVALENT PERMANENT STABILIZATION MEASURES (SUCH AS THE USE OF RIPRAP, GABIONS, OR GEOTEXTILES) HAVE BEEN EMPLOYED. GRADING GENERAL NOTES: 1. SEE THE 'SWPPPP/EROSION CONTROL' NOTES' ON THIS SHEET FOR ADDITIONAL INFORMATION. 2. SEE THE "GRADING PLAN" SHEETS FOR ADDITIONAL GRADING INFORMATION. SEE ALL OTHER NOTE AND PLAN AND/OR PLAN AND PROFILE SHEETS FOR ADDITIONAL UTILITY INFORMATION. 3. COUNTY STANDARD SPECIFICATIONS SHALL GOVERN IF DISCREPANCIES OCCUR WITH THESE GRADING NOTES. 4. THE CONTRACTOR(S) SHALL CARRY OUT ALL OF THE TERMS AND CONDITIONS OF NPDES GENERAL PERMIT NO. 2; AND THE SWPPP WHICH IS PART OF THESE CONTRACT DOCUMENTS. 5. COUNTY STANDARD SPECIFICATIONS SHALL APPLY TO GRADING, EROSION CONTROL, AND ALL ASSOCIATED WORK FOR THE PROJECT. THE CONTRACTOR(S) SHALL ESPECIALLY OBSERVE THE REQUIREMENTS OF THE SPECIFICATIONS (ALONG WITH THE EROSION CONTROL PLAN PREPARED FOR THE PROJECT) IN CONDUCTING GRADING AND SURFACE RESTORATION WORK. 6. DURING STRIPPING AND GRADING PROCEDURES MINIMIZE THE AREA DISTURBED TO AS NEEDED. 7. REMOVE AN ADEQUATE AMOUNT OF TOPSOIL FROM THE UPPER 12 INCHES OF THE EXISTING ONSITE ORGANIC MATERIAL TO ALLOW FOR A FINISHED GRADE OF A MINIMUM TOPSOIL DEPTH OF SIX (6") INCHES THROUGHOUT. 8. STRIP AND STOCKPILE ALL TOPSOIL FOR REUSE ON SITE. ALL AREAS NOT COVERED BY POND, PAVEMENT, AND/OR BUILDINGS SHALL BE GRASS. SEEDED/SODDED AREAS SHALL BE PREPARED AS SPECIFIED IN SUDAS, AND NO LESS THAN SIX (6") INCHES OF TOPSOIL SHALL BE IN PLACE BEFORE PERMANENT (FINAL STABILIZATION) SEEDING/SODDING OPERATIONS COMMENCE. 9.1. IF LESS THAN SIX (6") INCHES OF TOPSOIL IS LOCATED ON SITE, THE CONTRACTOR SHALL RETAIN AND RESPREAD ALL AVAILABLE MATERIAL AT SIX (6") INCHES OF TOPSOIL WITHIN PUBLIC ROW; AND THEN AT AN EQUAL DEPTH AS EACH LOT IS DEVELOPED. 9.2. WRITTEN VERIFICATION SHALL BE SUPPLIED AT LEAST TO THE COUNTY, THE OWNER/DEVELOPER, AND THE ENGINEER BY THE GRADING CONTRACTOR(S) DOCUMENTING THE LOCATIONS AND MINIMUM DEPTHS OF TOPSOIL RESPREAD PER THE NPDES GENERAL PERMIT. 9. STOCKPILE SEPARATELY ALL STRIPPED TOPSOIL AND ALL EXCESS CUT IN THE AREA(S) SHOWN ON THIS PLAN, OR IN A SUITABLE LOCATION(S). PROOF ROLL THE EXPOSED SUBGRADE AND REPLACE WITH COMPACTED FILL TO MINIMUM DEPTH OF TWO (2) FEET TO BOTTOM OF PAVEMENT, CONCRETE DRIVES, CURBS, WALKS, AND BUILDING FLOOR ELEVATIONS. 10. ANY SOFT SPOTS DISCOVERED DURING PROOF ROLLING SHALL BE UNDERCUT AND RECOMPACTED TO MINIMUM DEPTH OF TWO (2) FEET. 11. NATIVE OR EXISTING ONSITE SOILS MAY BE REUSED FOR COMMON FILL AFTER THEY ARE SORTED TO REMOVE ALL DELETERIOUS MATERIALS SUCH AS CONCRETE, BRICKS, ORGANICS, AND OTHER RUBBLE. DELETERIOUS MATERIALS SHALL BE REMOVED FROM THE PROJECT SITE. ALL EXCESS MATERIALS SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR(S). SEE 'DEMOLITION NOTES' FOR DETAILS ON REMOVAL AND LEGAL DISPOSAL OF MATERIALS. 12. ANY COHESIONLESS SOILS ENCOUNTERED SHALL BE COMPACTED TO 98 PERCENT OF STANDARD PROCTOR BENEATH PAVEMENTS AND CRITICAL BACKFILL AREAS. 13. ALL PAVEMENTS SHALL HAVE A MINIMUM OF 12 INCHES OF MOISTURE-CONTROLLED, SELECT, AND COMPACTED MATERIAL OF CL OR ML ON THE UNIFIED SOIL CLASSIFICATION SYSTEM DIRECTLY BELOW THE BOTTOM OF SLAB, AND IN AT LEAST TWO (2) SIX (6") INCH LIFTS COMPACTED TO AT LEAST 95 PERCENT OF STANDARD PROCTOR (ASTM D-698) MAXIMUM DRY DENSITY; OR OTHER ACCEPTED MATERIAL BY THE ENGINEER. PROOF ROLL PRIOR TO PLACEMENT. 14. FILL SHALL BE PLACED IN UNIFORM LIFTS HAVING A MAXIMUM LOOSE THICKNESS OF NINE (9") INCHES. COMPACTION BELOW SLABS AND PAVING AND WALKS SHALL BE AT LEAST 95 PERCENT OF STANDARD PROCTOR (ASTM D-698) MAXIMUM DRY DENSITY. COMPACT TO AT LEAST 90 PERCENT AT ALL OTHER LOCATIONS. MAINTAIN MOISTURE CONTENT RANGE OF CONTROLLED FILL DURING ALL PLACEMENT AND COMPACTION. 15. MAINTAIN MOISTURE CONTENT OF PAVEMENT SUBGRADE SOILS CONSISTING OF CLAYS/SILTS BETWEEN ZERO (0) AND FOUR (4) PERCENTAGE POINTS ABOVE OPTIMUM UNTIL THE ROADWAY/BUILDING PAVEMENT IS PLACED AND/OR PLACEMENT OF TOPSOIL. 16. THE ENTIRE SITE SHALL BE FINE GRADED WITH ELEVATION TOLERANCE OF ONE-TENTH (0.10) FOOT; OR FIVE-HUNDREDTHS (0.05) FEET UNDER PAVED AREAS. 17. NO PAYMENT FOR OVERHAUL SHALL BE ALLOWED. 18. OBSERVATION AND TESTING OF FILL AND OVER-EXCAVATION OPERATIONS SHALL BE BY THE SOILS ENGINEER HIRED BY THE OWNER. EXISTING ONSITE FILL SHALL BE FREE OF CONCRETE, GRAVEL, BRICK, CINDERS, GLASS, ORGANICS, AND OTHER LOW DENSITY/DEGRADABLE OR FROZEN MATERIAL. 21. ANY TOP OF WALL (T/WALL) AND BOTTOM OF WALL (B/WALL) LABELS ONLY REFERENCE EXPOSED FACE. RETAINING WALL SHALL BE DESIGNED BY A IOWA LICENSED PROFESSIONAL STRUCTURAL ENGINEER WHEN WALL HEIGHTS EXCEED 48 INCHES. 22. ANY RETAINING WALL DETAILS AND/OR ELEVATIONS HAVE BEEN INCLUDED OR SHOWN FOR REFERENCE INFORMATION ONLY. CONSULT WITH THE MANUFACTURER; AND/OR WITH A STRUCTURAL ENGINEER FOR FINAL DESIGN WHEN WALL HEIGHTS EXCEED 48 INCHES. THE CONTRACTOR(S) SHALL PROVIDE A COPY OF THE PLANS AND/OR CALCULATIONS FROM THE MANUFACTURER AND/OR THE STRUCTURAL ENGINEER TO THE CITY AND TO ABACI CONSULTING, INC. 23. ALL SPOT ELEVATIONS ARE TO THE TOP OF THE FINISHED SURFACE, UNLESS OTHERWISE SPECIFIED. 24. 24.1. SPOT ELEVATIONS SHOWN IN THE PAVED AREAS ARE AT THE BOTTOM OF THE CURB. ADD SIX (6") INCHES TO COMPUTE THE TOP OF CURB ELEVATIONS. 25. 24.2. SPOT ELEVATIONS ARE TO TOP OF PAVEMENT OR TOP OF GROUND (INCLUDING SOD) UNLESS OTHERWISE NOTED. 26. 24.3. SPOT ELEVATIONS GOVERN OVER CONTOURS. 27. CURB BACKFILL SHALL BE COMPACTED AND SLOPED TO PROVIDE ADEQUATE AND POSITIVE DRAINAGE TO AT LEAST PREVENT STORMWATER RUNOFF FROM PONDING AND INFILTRATING BENEATH THE PAVEMENT. 28. PROVIDE AND/OR MAINTAIN POSITIVE DRAINAGE FOR ALL LOCATIONS. DRAIN ANY ONSITE AREAS WITH PONDING WATER TO THE SEDIMENTATION BASIN. OVERLAND STORM FLOWAGE SHALL BE ROUTED ALONG THE LOT LINES TO THE ROADWAY PAVEMENT, TO THE SMF(S), AND/OR TO THE OVERLAND FLOWAGE EASEMENT(S). 29. ADJUST TRAIL, SIDEWALK, AND SHARED USE PATH ELEVATIONS TO PROVIDE LABELED STORMWATER BASIN EMERGENCY OVERFLOW ROUTE AND WEIR ELEVATIONS. 30. PERMANENT SMF's SHALL BE USED AS TEMPORARY SILTATION BASINS. SEE SWPPP AND DETAIL SHEETS FOR MORE INFORMATION. 31. INSTALL AND MAINTAIN TREE/BUSH PROTECTION (FENCING) ALONG THE EASTERLY PROPERTY LINE TO PREVENT CROSSING INTO ADJACENT PROPERTIES - AS SHOWN ON THE SWPPP SHEETS. ANY TEMPORARY EASEMENTS WILL NEED TO BE OBTAINED BY THE CONTRACTOR AND/OR OWNER/DEVELOPER IF ANY OFF-SITE WORK IS REQUIRED. 32. "TOPSOIL" SHALL MEAN: FERTILE, FRIABLE LOAM, AND CAPABLE OF SUSTAINING VIGOROUS PLANT GROWTH; FROM A WELL-DRAINED SITE FREE FROM FLOODING, NOT IN FROZEN OR MUDDY CONDITIONS; REASONABLE FREE FROM SUBSOIL, CLAY LUMPS, ROOTS, GRASS, WEEDS, STONES, AND OTHER FOREIGN MATTER GREATER THAN THREE-QUARTERS (3/4") INCH DIAMETER; ACIDITY RANGE (pH) OF 5.5 TO 7.5; AND CONTAINING A MINIMUM OF FOUR (4) PERCENT AND A MAXIMUM OF 20 PERCENT OF ORGANIC MATTER. THE CONTRACTOR(S) SHALL MODIFY AND ADJUST AS NECESSARY, WHICH SHALL BE INCIDENTAL. ABACI CONSULTING, INC. CIVIL ENGINEERING - LAND SURVEYING GRIMES 3000 SE GRIMES BLVD, SUITE 800 GRIMES, IOWA 50111 OFFICE: (515) 965-5048 GOLDEN RULE PLUMBING & HEATING - 904 NE MAIN STREET GRIMES IOWA SHEET: 3 GENERAL NOTES AND INFORMATION 2 PROJECT NO: 19090 DATE: REVISION DESCRIPTION: NO: 1 2 3 4 DRAWING FILE NO: 19090CD DESIGNED/REVIEWED BY: McMURPHY DRAWN BY: McMURPHY DATE: 07-07-2019 Z:\site comp\Clients\Golden Rule\19090_904 NE Main Street, Grimes\Design\Construction Drawings\19090_Notes.dwg 10/14/2019 9:30 AM
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SITE DEMOLITION:

EXTENT OF WORK

THE EXTENT OF WORK INCLUDES, BUT NOT LIMITED TO: THE REMOVAL OF EXISTING PAVEMENTS, LANDSCAPING, RETAINING WALLS, LIGHTING, AND APPURTENANCES. THIS SECTION ALSO COVERS THE REMOVAL, SALVAGE, AND STORAGE OF EXISTING ITEMS ON SITE.

GENERAL

1. THE CONTRACTOR(S) SHALL FIELD VERIFY STATUS AND CONDITION OF ALL REMOVALS PRIOR TO BIDDING AND/OR BEGINNING CONSTRUCTION. DOCUMENT STATUS AND CONDITIONS PRIOR TO BEGINNING CONSTRUCTION AS NECESSARY.
2. THE CONTRACTOR(S) SHALL VERIFY THE NEED FOR A DEMOLITION PERMIT WITH THE COUNTY AND/OR OTHER RELATED PERMITTING, AND AS NECESSARY OBTAIN THE PERMIT(S). THE CONTRACTOR(S) SHALL HAVE A PAPER COPY OF EACH ONSITE BEFORE COMMENCING DEMOLITION.
3. THE CONTRACTOR(S) WILL BE RESPONSIBLE FOR CLEARING AND GRUBBING THE SITE; AND THE REMOVAL AND DISPOSAL OF ANY DELETERIOUS AND EXCESS MATERIALS LEGALLY FROM THE SITE. ALL MATERIAL THAT IS REMOVED, NOTED OR OTHERWISE, SHALL BECOME THE PROPERTY OF THE CONTRACTOR(S).
4. PROVIDE TEMPORARY BARRICADES AND OTHER FORMS OF PROTECTION AS REQUIRED TO PROTECT PERSONNEL AND PUBLIC FROM INJURY DUE TO DEMOLITION WORK, AND PRECLUDE ACCESS TO THE AREAS OF CONSTRUCTION. PROVIDE TEMPORARY BARRICADES AND OTHER FORMS OF PROTECTION FOR TREES AND OTHER LANDSCAPING TO BE SAVED FROM REMOVAL AND DEMOLITION.
5. REMOVE ALL VEGETATION, IMPROVEMENTS, OR OBSTRUCTIONS WITHIN THE LIMITS OF THE CONSTRUCTION AS NOTED ON THE PLAN. NOTE THAT ADJACENT PROPERTIES DISTURBED BY THIS ACTION SHALL BE REPAIRED UPON DAMAGE AND BARRICADED TO PREVENT FUTURE OCCURRENCES.
6. COMPLY WITH THE ENVIRONMENTAL PROTECTION AND SAFETY REQUIREMENTS OF THE OWNER/DEVELOPER AND ALL GOVERNMENTAL AUTHORITIES HAVING JURISDICTION. KEEP DUST TO A MINIMUM. MAINTAIN STREETS AND WALKS FREE OF MUD, DIRT, AND DEBRIS.
7. THE CONTRACTOR SHALL SUPPLY HIS/HER OWN PORTABLE TOILETS.
8. ALL VOIDS CREATED BY REMOVAL(S) SHALL BE FILLED WITH SUITABLE MATERIAL AND SHALL BE COMPACTED TO AT LEAST 95 PERCENT OF STANDARD PROCTOR, OR DEPENDENT ON LOCATION. THEN, GRADE TO MATCH SURROUNDING GRADE AND TO PROVIDE POSITIVE DRAINAGE.

REMOVAL OF ABOVE-GRADE IMPROVEMENTS

1. REMOVE ALL IMPROVEMENTS SHOWN ON THE DRAWINGS. ALL EXISTING BUILDINGS, FENCES, AND RELATED FEATURES WITHIN THE LIMITS OF THE BOUNDARY FOR THE DEVELOPMENT SHALL BE REMOVED AS PART OF THE SITE IMPROVEMENTS.
2. REMOVE ALL PAVEMENT AND BASE COURSE MATERIALS TO PROVIDE CLEAN AREA(S) FOR PROPOSED CONSTRUCTION. TRANSPORT MATERIALS LEGALLY FROM SITE AS THEY ARE REMOVED.
3. FULL-DEPTH SAWCUT EXISTING PAVEMENTS TO NEAREST JOINT LINE(S) PRIOR TO REMOVAL OF PAVEMENT, DRIVEWAYS, AND SIDEWALKS TO PROVIDE CLEAN, STRAIGHT EDGES FOR PROPOSED CONSTRUCTION. DO NOT TRY TO JACK HAMMER OR ATTEMPT TO BREAK OFF EXISTING PAVEMENT, DRIVEWAYS, AND SIDEWALKS TO PROVIDE CLEAN EDGES.
4. SAWCUTTING SLURRY SHALL BE CONTAINED TO AVOID DISCHARGE INTO THE STORM SEWER SYSTEM AND/OR WATERWAYS.
5. REMOVALS OF SIGNS, BIKE RACKS, AND OTHER SMALL ITEMS SHALL BE INCIDENTAL TO PAVEMENT REMOVAL.
6. THE CONTRACTOR(S) SHOULD ALSO IDENTIFY NOTIFICATION AND COORDINATION OF ANY FENCE REMOVALS WITH THE COUNTY AND AFFECTED LANDOWNERS.
7. THE CONTRACTOR(S) SHALL IDENTIFY AND COORDINATE REMOVAL AND/OR TRIMMING OF TREES AROUND THE PROJECT BOUNDARY WITH COUNTY STAFF.
8. PER IDNR, THE SITE AREA HAS THE POTENTIAL OF INHABITATION FROM THE INDIANA BAT (MYOTIS SODALIS) AND THE NORTHERN LONG-EARED BAT (MYOTIS SEPTENTRIONALIS) - NO THOROUGH FIELD STUDIES WERE PERFORMED.
 - 8.1. IF EVIDENCE SHOULD BE FOUND OR SUSPECTED, CONTACT THE IDNR (ENDANGERED SPECIES COORDINATOR) AT 515/281-5918; AND THE US FISH AND WILDLIFE SERVICE (ROCK ISLAND FIELD OFFICE) AT 309/757-5800.
 - 8.2. NO TREE CUTTING SHALL BE ALLOWED BETWEEN APRIL 1 AND SEPTEMBER 30.
9. DEMOLITION OF EXISTING FARMSTEADS (OR NOTED BUILDINGS) SHALL INCLUDE BUILDING REMOVAL; ACCESSORY BUILDING REMOVAL; REMOVAL OF ANY AND ALL ATTACHED ITEMS, ESPECIALLY UTILITIES; ASBESTOS TESTING WITH LEGAL REMOVAL AND DISPOSAL; LEAD TESTING WITH LEGAL REMOVAL AND DISPOSAL; FOUNDATION REMOVAL; LEGAL TRANSPORTATION AND DISPOSAL; ETC.

REMOVAL OF BELOW-GRADE IMPROVEMENTS

1. REMOVE ALL SUBSTRUCTURES INCLUDING BUT NOT LIMITED TO FOOTINGS AND FOUNDATION WALLS, POLE BASES, AS WELL AS LOOSE, SOFT, OR OTHERWISE UNSUITABLE BACKFILL MATERIALS ADJACENT TO THESE STRUCTURES. ALL BACKFILL SHALL BE COMPACTED TO AT LEAST 95 PERCENT STANDARD PROCTOR.
2. OBSERVATION AND TESTING OF FILL OPERATION SHALL BE BY THE SOILS ENGINEER HIRED BY THE OWNER/DEVELOPER.
3. REMOVE ANY CONDUITS, CABLES, PIPE, OR OTHER MATERIALS ASSOCIATED WITH THE UNDERGROUND STRUCTURES, UNLESS DIRECTED OTHERWISE BY THE ENGINEER.

THE OWNER/DEVELOPER'S REPRESENTATIVE.

DISPOSAL OF WASTE MATERIALS

1. REMOVAL FROM PROPERTY: REMOVE ALL WASTE MATERIALS AND UNSUITABLE SOIL FROM THE OWNER/DEVELOPER'S PROPERTY AND LEGALLY DISPOSE OF IT. DISPOSAL METHODS AND LOCATIONS ARE AT THE CONTRACTOR'S OPTION, BUT IN NO CASE SHALL THE CONTRACTOR(S) ENGAGE IN ILLEGAL DUMPING, DISPOSING ON THE OWNER/DEVELOPER'S PROPERTY, OR OTHER ACTS IN CONFLICT WITH LOCAL AND STATE ORDINANCES AND LAWS. ALL COSTS ASSOCIATED WITH TRANSPORTING AND DISPOSAL OF MATERIALS SHALL BE BORN BY THE CONTRACTOR(S).
2. ALL MATERIALS SHALL BE LEGALLY DISPOSED OF AT A CONTRACTOR'S SUPPLIED DISPOSAL SITE THAT IS APPROVED TO ACCEPT REMOVED MATERIALS.
3. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR ALL FEES, CHARGES, TESTING, AND TRANSPORTATION ASSOCIATED WITH THE REMOVED MATERIALS. ALL LOADS SHALL BE COVERED.
4. DISPOSAL OF ALL WOOD MATERIAL GENERATED AS A RESULT OF CLEARING AND GRUBBING, REMOVALS, TRIMMING, AND/OR OTHER RELATED ACTIVITIES SHALL BE ACCORDING TO IOWA DEPARTMENT OF AGRICULTURE AND LAND STEWARDSHIP'S EMERALD ASH BORER (EAB) QUARANTINE ORDER; AND LEGALLY DISPOSED OF OFF-SITE. FOR MORE INFORMATION REFER TO WWW.IOWATREEPESTS.COM/EAB_REGULATIONS.HTML.
5. BURNING ON PROPERTY: BURNING OF COMBUSTIBLE CLEARED AND GRUBBED MATERIALS IS NOT PERMITTED ON THE OWNER/DEVELOPER'S PROPERTY. ALL PLANT MATERIAL DENOTED FOR DEMOLITION SHALL BE REMOVED FROM SITE.

EXISTING UTILITIES

1. THE LOCATION OF ALL UTILITIES INDICATED ON THE PLANS ARE TAKEN FROM EXISTING PUBLIC RECORDS AND SURVEYS. THE EXACT LOCATION AND ELEVATION OF ALL PUBLIC UTILITIES MUST BE DETERMINED BY THE CONTRACTOR(S). IT SHALL BE THE DUTY OF THE CONTRACTOR(S) TO ASCERTAIN WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT; AND TO NOTIFY THE OWNER(S) OF THE UTILITIES. THE CONTRACTOR(S) SHALL AFFORD ACCESS TO THESE FACILITIES BY THE OWNERS OF THE UTILITIES FOR ANY NECESSARY MODIFICATION OF SERVICES.
2. THE CONTRACTOR(S) SHALL LOCATE EXISTING UNDERGROUND UTILITIES IN THE AREAS OF WORK BEFORE STARTING DEMOLITION OPERATIONS. IF UTILITIES ARE TO REMAIN IN PLACE, PROVIDE ADEQUATE MEANS OF PROTECTION DURING DEMOLITION OPERATIONS.
3. SHOULD UNCHARTED OR INCORRECTLY CHARTED PIPING OR OTHER UTILITIES BE ENCOUNTERED DURING EXCAVATION, CONSULT THE OWNER/DEVELOPER'S REPRESENTATIVE IMMEDIATELY FOR DIRECTIONS AS TO PROCEDURE. COOPERATE WITH THE OWNER/DEVELOPER AND PUBLIC AND PRIVATE UTILITY COMPANIES IN KEEPING THEIR RESPECTIVE SERVICES AND FACILITIES IN OPERATION.
4. THE CONTRACTOR(S) SHALL COORDINATE THE WORK WITH ALL UTILITY OWNERS INCLUDING, BUT NOT LIMITED TO: ELECTRICITY, GAS, INTERNET, SEWER, TELEPHONE, TELEVISION, AND WATER. THE CONTRACTOR(S) SHALL REMOVE ANY ABANDONED MAINS, POLES, PEDESTALS, SERVICES, AND/OR OTHER STRUCTURES PER THE RESPECTIVE UTILITY OWNER'S REQUIREMENTS.
5. ANY AND ALL EXISTING UTILITY SERVICES SHOWN AND/OR ENCOUNTERED SHALL BE CAPPED AT THE MAIN; AND AS NECESSARY, REMOVE AND REPLACE ANY PAVEMENT AND/OR SIDEWALK/TRAIL.
6. ANY AND ALL EXISTING (WATER) WELLS ENCOUNTERED SHALL BE REMOVED AND PLUGGED TO A DEPTH AT LEAST 20 FEET BELOW LOWEST LOT ELEVATION AND SHALL COMPLY WITH COUNTY ENVIRONMENTAL HEALTH DEPARTMENT REGULATIONS.

TEMPORARY PROTECTION

1. BARRICADE OPEN EXCAVATIONS MADE AS A PART OF EARTHWORK OPERATIONS AND POST WITH WARNING LIGHTS. OPERATE WARNING LIGHTS DURING HOURS FROM DUSK TO DAWN EACH DAY AND AS OTHERWISE REQUIRED AND MAY BE REQUIRED BY LOCAL CODES.
2. PROTECT STRUCTURES, UTILITIES, SIDEWALKS, PAVEMENTS, AND OTHER FACILITIES ON AND OFF THE SITE FROM DAMAGES CAUSED BY SETTLEMENT, LATERAL MOVEMENT, UNDERMINING, WASHOUT, AND OTHER HAZARDS CREATED BY EARTHWORK OPERATIONS.
3. UNLESS OTHERWISE NOTED, THE CONTRACTOR(S) SHALL PROTECT AND MAINTAIN ALL STREET SIGNS, ROADWAY SIGNS, AND/OR OTHER SIGNAGE NOT SPECIFICALLY NOTED FOR RELOCATION AND/OR REMOVAL.
4. UNLESS OTHERWISE NOTED, THE CONTRACTOR(S) SHALL PROTECT AND MAINTAIN ALL UTILITY STRUCTURES, LINES, MAINS, AND/OR SERVICES NOT SPECIFICALLY NOTED FOR RELOCATION, REPLACEMENT, REMOVAL, AND/OR ABANDONMENT.

PCC PAVING NOTES:

1. ALL WORK TO COMPLY WITH CURRENT ACI STANDARDS.
2. FULL DEPTH SAW CUT (TO SQUARE ENDS AND/OR TO REMOVE DAMAGED ENDS) AND TIE INTO EXISTING PAVEMENT, AS REQUIRED.
3. SAWCUTTING SLURRY SHALL BE CONTAINED TO AVOID DISCHARGE INTO THE STORM SEWER SYSTEM AND/OR WATERWAYS.
4. ALL PAVEMENT REPLACEMENT AND PATCHING SHALL COMPLY WITH COUNTY STANDARD SPECIFICATIONS; AND MATCH EXISTING PAVEMENT AND SUBGRADE/SUBBASE.
5. ALL MUD, SOIL, AND/OR DEBRIS SPILLED ON THE COUNTY STREETS OR ADJACENT PROPERTY SHALL BE PROMPTLY REMOVED BY THE CONTRACTOR. NOTIFY COUNTY OF PROPOSED HAUL ROUTES.
6. THE CONTRACTOR(S) SHALL SUBMIT DESIGN MIX AS DESIGNED BY INDEPENDENT TESTING LABORATORY PRIOR TO PLACING ANY CONCRETE.
7. ALL SUBGRADE UNDER SLAB TO BE COMPACTED TO AT LEAST 95 PERCENT STANDARD PROCTOR DENSITY FOR A MINIMUM OF 12 INCHES - INSTALLED IN AT LEAST TWO (2) SIX (6") INCH COMPACTED LIFTS. RECOMMENDED MOISTURE CONTENT RANGE ZERO (0%) PERCENT TO FOUR (+4%) PERCENT ABOVE OPTIMUM.
8. KEEP HEAVY CONSTRUCTION VEHICLE LOADS OFF OF THE PREPARED PAVEMENT SUBGRADE TO PREVENT DAMAGE AND/OR RUTTING. WHERE THIS IS NOT POSSIBLE, ADDITIONAL STABILIZATION MEASURES MAY BE REQUIRED TO SUPPORT THE PAVING OPERATIONS, e.g. COMPACTED SUBGRADES, CHEMICAL STABILIZATION, CRUSHED ROCK BASES, AND/OR GEOSYNTHETICS. THESE MAY BE REQUIRED IF PAYING DELIVERY VEHICLES CANNOT STAY OFF THE PREPARED SUBGRADE OR PUMPING THE CONCRETE IS NOT VIABLE.
9. MOISTEN SUBGRADE PRIOR TO PLACING CONCRETE.
10. ALL CONCRETE SHALL HAVE MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 4,000 PSI.
11. AGGREGATE SHALL BE CLASS 4.
12. CONCRETE SURFACES SHALL BE BURLAP FINISH. CHECK SURFACE WITH TEMPLATE. NO DEVIATION OVER 1/8" IN TEN (10') FEET IS PERMITTED. ALL CONCRETE SHALL SLOPE TO DRAIN.
13. ALL CONCRETE SHALL BE CURED WITH AN ASTM C309 TYPE 2, WATER BASED WHITE PIGMENTED CURING COMPOUND PER IDOT SEC. 4105.
14. THE CONTRACTOR SHALL BARRICADE SLAB(S) FOR AT LEAST 14 DAYS AFTER PLACING CONCRETE.
15. SAW CUT JOINTS AS SOON AS CONCRETE HAS SET ENOUGH TO PREVENT RAVELING AND PRIOR TO ANY CRACKING.
16. SAW CUTS TO BE 1/8" TO 1/4" WIDE; AND DEPTH: LONGITUDINAL T/3, TRANSVERSE T/4.
17. LONGITUDINAL JOINT SPACING SHALL NOT BE GREATER THAN 12 FEET. JOINT LAYOUT SHALL BE PER SUDAS, OR AS APPROVED BY THE ENGINEER AND COUNTY. ADDITIONALLY, TRANSVERSE SPACING SHALL NOT BE GREATER THAN 15 FEET.
18. BARS AT LONGITUDINAL JOINTS WILL BE MINIMUM OF 5/8" (#5) X 30" DEFORMED AT 30 INCHES O.C.
19. ALL REINFORCING STEEL RODS, DOWELS OR TIE BARS USED IN THE PCC PAVING SHALL BE EPOXY COATED, UNLESS OTHERWISE NOTED.
20. ALL LOAD TRANSFER DEVICES AND THE BARS SHALL BE POSITIONED ON CHAIRS AND SECURED AGAINST MOVEMENT WITH METAL STAKES DURING PLACING AND FINISHING OF CONCRETE.
21. ALL JOINTS SHALL BE FILLED WITH W-R MEADOWS D-164 HOT POUR RUBBER BASE JOINT SEALER OR APPROVED EQUAL.
22. BACKER ROD IS OPTIONAL OUTSIDE OF RIGHT-OF-WAY; CANNOT BE USED WITHIN LIMITS OF RIGHT-OF-WAY.
23. SPECIAL CARE SHALL BE TAKEN WHEN FORMING AT INTERSECTIONS AND SIDEWALK RAMPS SO THE PROFILES SHOWN THE PLANS AND THE ELEVATIONS SHOWN ON THE INTERSECTION AND SIDEWALK DETAILS ARE OBTAINED. SHORT LENGTHS OF FORMS OR FLEXIBLE FORMS MAY BE NECESSARY AT THESE LOCATIONS.
24. TO OBTAIN THE CORRECT FORM GRADES AT LOW POINTS WHERE INTAKES ARE LOCATED, THE CONTRACTOR(S) MUST EXERCISE ADDITIONAL CARE WHEN PAVING FULL WIDTH PAVEMENTS. THIS MAY REQUIRE POURING PORTIONS OF THE PAVEMENT AT SEPARATE TIMES ALONG JOINT LINES, OR OTHER METHODS APPROVED BY THE ENGINEER.
25. THE CONTRACTOR(S) SHALL LOCATE AND/OR DETERMINE ALL STRUCTURE, ENTRANCE, INTERSECTION, AND CUL-DE-SAC BOXOUTS AS NEEDED FOR HIS/HER OPERATIONS.
26. ALL SLOPES IN PAVEMENT SHALL BE UNIFORM TO AVOID PONDING.
27. ALL SHOWN DIMENSIONS, RADII, ETC. ARE AT BACK OF CURB.
28. TYPICAL PAVEMENT (INTERSECTION AND COMMERCIAL ENTRANCE) RETURN RADIUS IS 25-FOOT AT THE BACK OF CURB.
29. AT OPEN ENDS OF CURB AND GUTTER, TAPER THE CURB AND GUTTER FROM FULL HEIGHT TO ZERO HEIGHT IN THE LAST FIVE (5) FEET.
30. ALL ROADWAY PAVEMENT IN SHALL BE 26 FEET BOC-BOC WITH INTEGRAL AND STANDARD CURB AND GUTTER, UNLESS OTHERWISE NOTED.
31. PAVING THICKNESS SHALL BE PER THE TYPICAL SECTIONS, OR AS NOTED.
 - 31.1. ALL ROADWAYS SHALL INCLUDE 12 INCHES OF SUBGRADE PREPARATION - INSTALLED IN AT LEAST TWO (2) SIX (6") INCH COMPACTED LIFTS, AS NOTED HEREIN.
 - 31.1.1. OPTIONAL - A MINIMUM SIX (6") INCH COMPACTED LIFT OF GRANULAR MATERIAL FOR SUBBASE MAY BE SUBSTITUTED FOR 12 INCHES OF SUBGRADE PREPARATION.
 - 31.2. ANY AND ALL PATCHES SHALL MATCH THE EXISTING PAVEMENT SECTION.
 - 31.3. ALL STREET PAVEMENTS SHALL BE SEVEN (7") INCHES NON-REINFORCED PCC PAVEMENT, UNLESS OTHERWISE NOTED.
 - 31.3.1. INSTALL TYPE 'L' JOINTS ALONG CURBING AND AT SHOWN LOCATIONS.
 - 31.3.2. INSTALL TYPE 'BT', 'KT', OR 'L' JOINTS ALONG CENTERLINE AND AT SHOWN LOCATIONS DEPENDING ON PAVEMENT THICKNESS AND CONSTRUCTION STAGING.
 - 31.4. SIDEWALKS SHALL BE FOUR (4") INCHES PCC AND FIVE (5) FEET WIDE,

UNLESS OTHERWISE NOTED; AND WHERE NOT THROUGH
ENTRANCE/DRIVE.

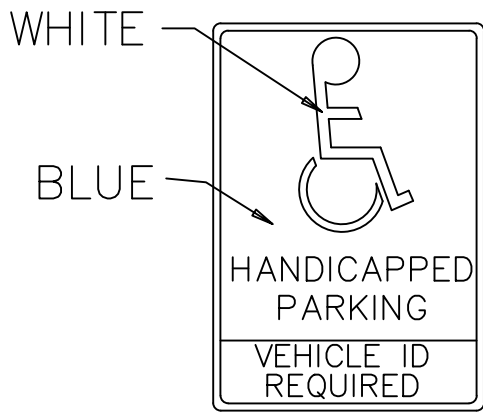
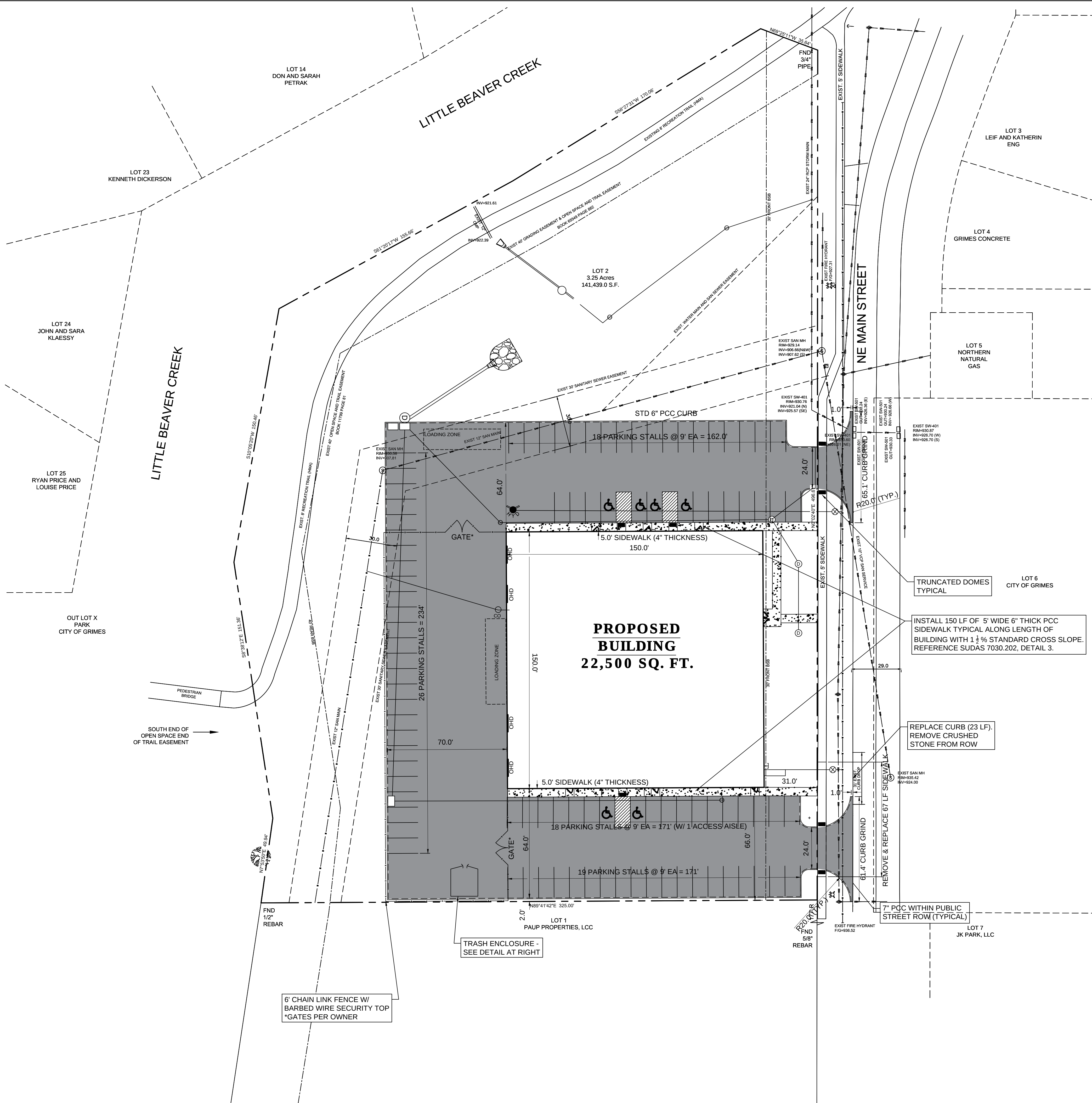
- 31.5. ANY TRAILS SHALL BE PAVED WITH SIX (6") INCHES PCC AND SHALL BE EIGHT (8) FEET WIDE, UNLESS OTHERWISE NOTED.
32. OTHERWISE, MINIMUM DEPTHS:
 - 32.1. ANY AND ALL SIDEWALKS AND/OR TRAILS SHALL AT LEAST MATCH THE DEPTH OF AN ENTRANCE/DRIVE WHEN SHOWN IN A ENTRANCE/DRIVE.
 - 32.2. ENTRANCES/DRIVES AT SEVEN (7") INCHES NON-REINFORCED PCC PAVEMENT (INCLUDING SIDEWALK IN ENTRANCE/DRIVE).
 - 32.3. PARKING AREAS AT FIVE (5") INCHES NON-REINFORCED PCC PAVEMENT.
 - 32.4. DRIVE AISLES AT SIX (6") INCHES NON-REINFORCED PCC PAVEMENT.
33. PLACE A ONE-HALF (1/2") INCH EXPANSION JOINT BETWEEN ALL SIDEWALKS AND P.C.C. PAVEMENT; AND SEAL THE JOINT.
34. PLACE A ONE-HALF (1/2") INCH EXPANSION JOINT BETWEEN ALL SIDEWALKS AND P.C.C. PAVEMENT; AND SEAL THE JOINT.
35. PLACE A THREE-QUARTER (3/4") INCH EXPANSION JOINT BETWEEN ALL P.C.C. PAVEMENT/SIDEWALK AND THE BUILDING FACE/EXTERIOR; AND SEAL THE JOINT.
36. ANY AND ALL PAVEMENT MARKINGS AND SYMBOLS ON CITY OR PROJECT STREETS SHALL BE COLORED PAINT AS DURABLE LIQUID PAVEMENT MARKING (LPM) PER IOWA DOT; AND INSTALLED IN GROOVES CUT INTO THE PAVEMENT SURFACE, UNLESS OTHERWISE NOTED.
37. THE CONTRACTOR SHALL PAINT PARKING STALLS AND PROVIDE AND INSTALL H.C. PARKING SIGNS, RAMPS, AND DETECTIBLE WARNING SURFACES, AS NOTED OR SHOWN.
38. THE "FUTURE" PAVEMENT DEPICTED IS CONCEPTUAL ONLY. ANY ADDITIONAL BUILDING, PARKING LOT AND OR DETENTION BASIN REVISIONS WILL REQUIRE AN UPDATED SITE PLAN SUBMITTED TO THE CITY.

HANDICAPPED STALLS, RAMPS, AND SIDEWALK NOTES:

1. ALL INTERSECTION SIDEWALK AND/OR TRAIL RAMPS AND RELATED TURNING SPACE/CONNECTIONS SHALL BE MINIMALLY INSTALLED AS PART OF THE PLAT/ROADWAY IMPROVEMENTS; AND AT THE LOCATIONS AND/OR TO LIMITS AS NOTED.
2. OVERALL GENERAL SIDEWALK AND/OR TRAIL CONSTRUCTION WILL BE THE RESPONSIBILITY OF THE RESPECTIVE AND INDIVIDUAL LOT OWNERS. SEE 'PCC PAVING NOTES' ON THIS SHEET FOR DEPTHS.
3. ANY TRAIL/PATH INSTALLATION IS REQUIRED THROUGH THE ADJOINING OPEN SPACE AS IDENTIFIED BY THE PLANS, AND SIDEWALK AND/OR TRAIL SHALL BE INSTALLED ADJACENT TO ANY OUTLOTS.
4. ALL PROPOSED PEDESTRIAN CROSSINGS AND NOTED TRANSITIONS SHALL BE INSTALLED AS PART OF THE PLAT IMPROVEMENTS.
5. SIDEWALK CURB RAMPS SHALL COMPLY WITH, BUT ARE NOT LIMITED TO, SUDAS FIGURES 7030.204 THROUGH 7030.210.
6. THE LONGITUDINAL SLOPE OF ANY PROPOSED TRAIL/SIDEWALK (OUTSIDE OF CURB RAMPS) SHOULD NOT EXCEED FIVE (5%) PERCENT, UNLESS OTHERWISE INDICATED.
7. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR FOLLOWING THE PROPOSED SPOT ELEVATIONS. SPOT ELEVATIONS GOVERN OVER CONTOURS AND NOTED SLOPES.
8. ALL PEDESTRIAN FACILITIES - INCLUDING, BUT NOT LIMITED TO: SIDEWALK SLOPES, DROP CURBS, GRADING, STRIPING, SIGNAGE, AND HANDICAPPED RAMP DETAILS - SHALL BE CONSTRUCTED TO MEET THE CURRENT REQUIREMENTS/STANDARDS OF SUDAS, MUTCD, DOJ, ADAAG, AND PROWAG.
9. THE CONTRACTOR(S) SHALL VERIFY WITH THE CITY INSPECTOR/ENGINEER THAT THE RAMP, SIDEWALK, AND PARKING AREAS ARE CONSTRUCTED PROPERLY TO MEET STANDARDS.
10. SIDEWALKS, ACCESSIBLE CURB RAMPS, CROSSINGS, AND SIDEWALK RAMPS INCLUDING RAISED TRUNCATED DOME AND DETECTABLE WARNINGS AND WARNING PANELS SHALL BE DESIGNED AND INSTALLED TO THE LATEST PROWAG AND ADA REQUIREMENTS.
11. SHOULD DISCREPANCIES OCCUR ON THE PLAN OR WHAT IS REQUIRED BY THE INSPECTOR, THE CONTRACTOR(S) SHALL NOTIFY THE ENGINEER.
12. PERFORMING THE WORK THE WAY THE CONTRACTOR(S) HAS FOR THE LAST XX YEARS ON OTHER APPROVED PROJECTS WILL NOT BE AN EXCUSE FOR NON-COMPLIANCE WITH THESE REQUIREMENTS.

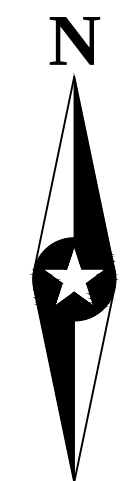
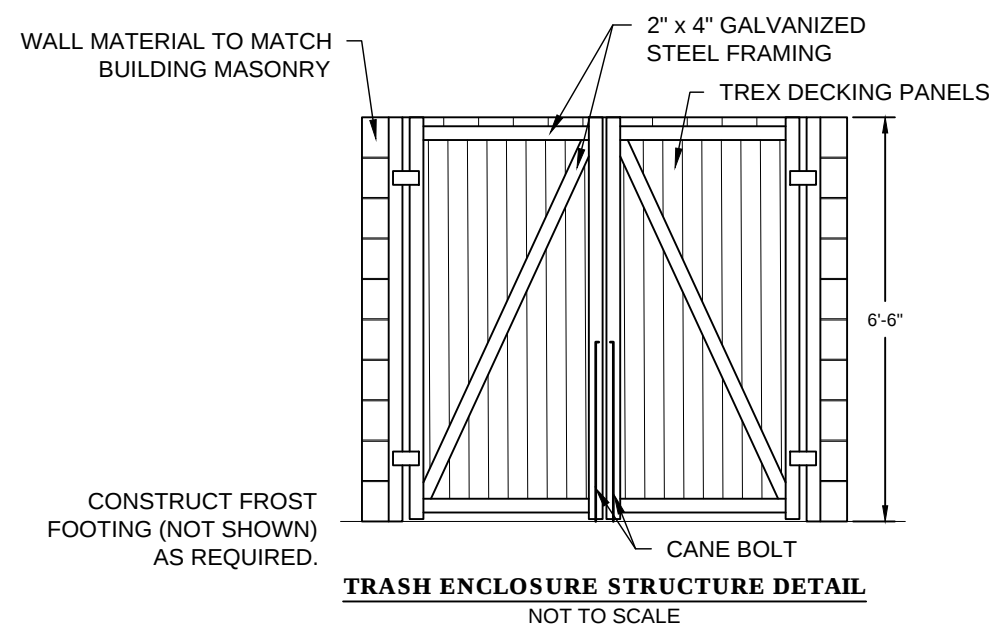
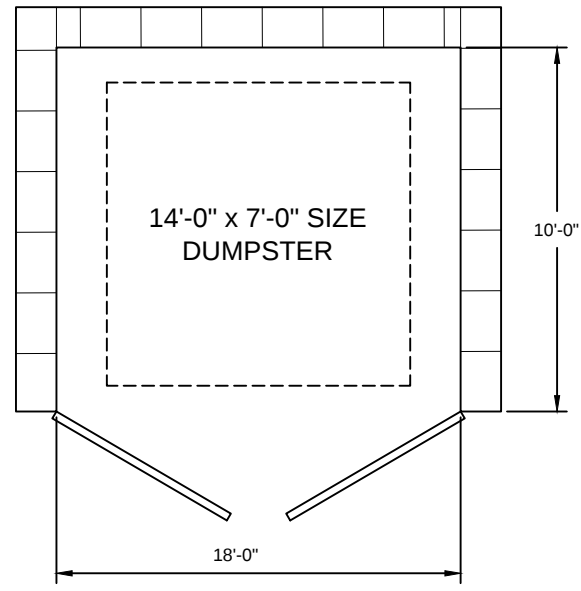
GOLDEN RULE PLUMBING & HEATING - 904 NE MAIN STREET GRIMES IOWA GENERAL NOTES AND INFORMATION 3	ABACI CONSULTING, INC. CIVIL ENGINEERING - LAND SURVEYING GRIMES 3000 SE GRIMES BLVD., GRIMES, IOWA 50111 OFFICE (515) 896-5448		NO:	REVISION DESCRIPTION:	DATE:	PROJECT NO:
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GENERAL UTILITY NOTES: 1. SEE ALL OTHER PLAN SHEETS; RELATED IDNR AND/OR COUNTY PERMIT APPLICATION(S) AND PERMIT(S); SUDAS DESIGN MANUAL AND SPECIFICATIONS; RELATED SPECIFICATIONS ON FILE WITH THE IDNR; AND COUNTY STANDARD SPECIFICATIONS FOR WORK REQUIREMENTS; PLUMBING PERMIT(S); ANY ADDITIONAL REQUIREMENTS; AND ANY COORDINATION ITEMS. 2. WORK SHALL INCLUDE CONNECTION TO EXISTING PUBLIC UTILITIES; PERMIT FEES; AND ANY AND ALL FITTINGS, CLEANOUTS, AND APPURTENANCES REQUIRED BY CODES. 3. ALL UTILITY STATIONS IN PLAN VIEW ARE TIED TO CENTERLINE STREET STATIONS, UNLESS OTHERWISE NOTED; AND LOCATED PER SUDAS REFERENCE POINT LOCATIONS. 3.1. STORM AND SANITARY SEWER LENGTHS AND LINEWORK ARE SHOWN FROM THE SUDAS REFERENCE POINT LOCATIONS. THE CONTRACTOR(S) SHALL MODIFY THE PIPE LENGTHS DUE TO OPEN AREA INSIDE OF STRUCTURE AND ANY CONNECTION/FITTING LOCATIONS. 4. THE OWNER/DEVELOPER SHALL APPLY FOR AND OBTAIN ANY SANITARY SEWER AND WATERMAIN PERMITS FROM THE IOWA DEPARTMENT OF NATURAL RESOURCES AND/OR THE COUNTY. 5. ALL UTILITY CONTRACTOR(S) SHALL VERIFY LOCATION, ELEVATION, ETC. OF EXISTING CONNECTION(S) PRIOR TO CONSTRUCTION AND ORDERING MATERIALS. NOTIFY THE ENGINEER OF ANY DISCREPANCIES. CONTRACTOR(S) SHALL LOCATE AND PROTECT ALL UNDERGROUND UTILITIES. DAMAGE TO UTILITIES WILL BE REPAIRED BY THE CONTRACTOR(S) TO THE SATISFACTION OF THE OWNER/DEVELOPER AND THE COUNTY. 6. THE CONTRACTOR(S) SHALL NOTIFY ALL AFFECTED PROPERTY OWNERS AND/OR TENANTS A MINIMUM OF ONE (1) BUSINESS DAY PRIOR TO ANY PLANNED SERVICE DISRUPTION; OR FOR ANY CONSTRUCTION ACTIVITY THAT MAY DISRUPT PROPERTY ACCESS. 7. UNLESS OTHERWISE NOTED, ALL SHOWN UTILITIES SHALL BE PUBLIC; AND SHALL BE MAINTAINED BY THE RESPECTIVE OWNER(S). 8. ALL UTILITY SERVICES SHALL BE BURIED. 9. ALL SERVICES LINES AND ALL UTILITY LINES IN THE ADJOINING RIGHT-OF-WAY OR EASEMENTS SHALL BE LOCATED UNDERGROUND. THE UTILITY CONTRACTOR(S) SHALL BE RESPONSIBLE FOR ENSURING REQUIRED SEPARATIONS OR CLEARANCES OF SERVICES AND MAINS; AVOID CONFLICTS; AND/OR ENSURE POSITIVE DRAINAGE (GRAVITY FLOW SERVICES) WHEN CROSSING OTHER SERVICES AND/OR MAINS. 10. ALL SERVICES WILL BE LOCATED WITHIN THE LOT AND SPACED FROM OTHER SERVICES AS DETAILED, UNLESS OTHERWISE NOTED. 10.1. THE CONTRACTOR(S) SHALL BE RESPONSIBLE TO PROVIDE AS-BUILT DEPTH AND LOCATION INFORMATION. 11. THE CONTRACTOR(S) SHALL COORDINATE ALL UTILITY TIE-INS WITH THE COUNTY PUBLIC WORKS/ENGINEERING DEPARTMENT. 12. WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS, OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR(S) TO NOTIFY THE OWNER(S) OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR(S) SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES, AND/OR UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS; AND THEREFORE, THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS. THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTOR(S) RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATION(S) AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR(S) FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK. 13. AS NECESSARY, THE CONTRACTOR(S) SHALL COORDINATE CONSTRUCTION ACTIVITIES WITH THE RESPECTIVE UTILITY TO SUPPORT ADJACENT AND/OR CROSSING UTILITY POLES, LINES, OR OTHER FEATURES. 14. THE CONTRACTOR(S) SHALL STAGE WORK TO MINIMIZE THE NUMBER AND EXTENT OF SERVICE INTERRUPTION(S) AND OUTAGE(S). AS NECESSARY, ASSEMBLE EQUIPMENT, PERSONNEL, PIPE, FITTINGS, AND/OR OTHER MATERIAL IN ADVANCE OF SERVICE INTERRUPTION(S) AND OUTAGE(S). 15. MAINTAIN A MINIMUM HORIZONTAL SEPARATION OF TEN (10) FEET BETWEEN SANITARY AND STORM SEWERS WITH WATERMAINS. 16. MAINTAIN A MINIMUM VERTICAL CLEARANCE OF 18 INCHES BETWEEN SANITARY SEWER AND WATERMAIN, AND STORM SEWER AND WATERMAIN. O-RING GASKET JOINTS ARE TO BE INSTALLED IN SITUATIONS LESS THAN 18 INCHES OR ANY TIME SANITARY SEWER OR STORM SEWER CROSSES OVER ANY WATERMAIN. 16.1. THE CONTRACTOR(S) SHALL ADJUST THE WATERMAIN AND/OR SERVICES AS REQUIRED TO AVOID CONFLICTS WITH THE SANITARY AND STORM SEWER MAINS AND/OR OTHER UTILITIES. 16.2. THE MAJORITY OF UTILITY CONFLICTS/CROSSINGS RELATING TO MAINS HAVE BEEN SHOWN FOR THE CONVENIENCE OF THE CONTRACTOR(S). ULTIMATELY, THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR ALL UTILITY CONFLICTS/CROSSINGS RELATING TO PROPOSED CONSTRUCTION AND BETWEEN EXISTING AND/OR PROPOSED UTILITIES (MAINS AND/OR SERVICES). 16.3. THE CONTRACTOR(S) SHALL USE A LOW PERMEABILITY SOIL FOR BACKFILL MATERIAL WITHIN TEN (10) FEET OF THE POINT OF CROSSING WITH SANITARY OR STORM SEWER AND WATERMAIN. ADEQUATELY SUPPORT SEWER AND WATER PIPES AND UTILIZE WATERTIGHT JOINTS WITHIN A HORIZONTAL DISTANCE OF TEN (10') FEET FROM CROSSING. 17. GRANULAR PIPE BEDDING SHALL BE CONSIDERED INCIDENTAL TO UTILITY CONSTRUCTION. ALL PIPE SHALL BE BEDDED, EXCEPT ANY NOTED JACKED AND BORED PIPE AND CASING. ALL BEDDING SHALL BE IN ACCORDANCE WITH SUDAS SPECIFICATION SECTION 3010, WITH RESPECTIVE DETAILS.		18. ALL BACKFILL AND TRENCHES SHALL BE COMPACTED TO AT LEAST 95 PERCENT STANDARD PROCTOR WITHIN THE NOTED RANGE OR THE MATERIAL'S OPTIMUM MOISTURE CONTENT. 19. FULL DEPTH COMPACTION SHALL BE REQUIRED AT ALL STREET CROSSINGS. NOTE THAT DENSITY TEST REPORTS FROM AN APPROVED TESTING LAB WILL BE PROVIDED BY THE CONTRACTOR(S). 20. TRACER WIRE SHALL BE ADDED TO ALL NON-METALIC WATERMAIN AND WATER SERVICES; AND TO ALL NON-METALIC STORM AND SANITARY SEWER MAINS AND SERVICES, UNLESS NOTED OTHERWISE. 20.1. BRING TRACER WIRE TO THE SURFACE AT ALL VALVES, HYDRANTS AND DEAD ENDS. CONNECT NEW WIRE TO EXISTING. A GROUNDING ROD SHALL BE PLACED AS PER SUDAS. 20.2. THE CONTINUITY OF THE TRACER WIRE SHALL BE TESTED PRIOR TO FINAL ACCEPTANCE. 21. ALL TERMINI OF MAINS AND SERVICES SHOULD BE MARKED WITH A PAINTED STEEL POST (WATER = BLUE, STORM = WHITE, SANITARY = GREEN). ALL POSTS SHOULD BE AT LEAST SIX (6) FEET IN LENGTH WITH FOUR (4) FEET EXPOSED ABOVE GROUND. AS NECESSARY, PLACE A MINIMUM EIGHT (8') FOOT LONG 2X4 BOARD. IN ADDITION TO THE STEEL POST, TO BURY DEPTH. 22. ALL CASTING(S) AND STRUCTURE INFORMATION ARE PER THE RESPECTIVE SUDAS DETAIL, UNLESS OTHERWISE NOTED. 22.1. ALL SHOWN PIPE SIZES SHALL BE INTERIOR DIMENSIONS. 22.2. ANY SHOWN STRUCTURE SIZES SHALL BE INTERIOR DIMENSIONS. 23. ALL RIM ELEVATIONS ARE SHOWN FOR REFERENCE PURPOSES ONLY. THE CONTRACTOR(S) SHALL ADJUST AS NECESSARY TO MEET SPECIFIC CONSTRUCTION REQUIREMENTS - TYPICALLY IN PAVEMENT RADIUS RETURNS AND OUTSIDE OF PAVEMENT. 24. AS REQUIRED, ALL EXISTING MANHOLE RIMS, VALVES, AND FIRE HYDRANT ELEVATIONS SHALL BE ADJUSTED TO MATCH PROPOSED FINISHED GRADES - CONSIDERED INCIDENTAL TO RELATED CONSTRUCTION ACTIVITIES. 25. ALL FIRE HYDRANTS, MANHOLES RIMS, AND VALVES SHALL BE SET TO CONFORM TO FINISHED PAVEMENT AND CURB AND/OR GROUND ELEVATIONS. 26. THE BOTTOM OF ALL STORM AND SANITARY STRUCTURES SHALL BE SHAPED TO MATCH PIPE INVERT ELEVATION(S) AND TO MAINTAIN POSITIVE DRAINAGE. 27. MANHOLE STEPS SHALL BE INSTALLED IN ALL SANITARY SEWER, STORM SEWER, AND WATER MANHOLES. 28. ALL DOWNSTREAM SANITARY SEWER AND WATERMAIN CONNECTIONS SHALL BE PLUGGED UNTIL THE CONSTRUCTION IS COMPLETED. 29. ALL NOTED UTILITIES SHALL BE CLEANED, INSPECTED, AND TESTED TO IDNR AND/OR COUNTY PERMIT APPLICATION(S) AND PERMIT(S) REQUIREMENTS; PER SUDAS; AND TO COUNTY STANDARDS; AND THE COUNTY SHALL WITNESS ALL TESTING. 30. AS NECESSARY, CONNECTIONS TO EXISTING MAINS SHALL REQUIRE THE RETESTING AND/OR RECLEANING OF THE EXISTING MAIN. 31. THE UTILITY CONTRACTOR(S) SHALL PROVIDE TO THE OWNER/DEVELOPER THE MEASUREMENTS OF ALL SANITARY AND STORM SEWER, WATER, AND/OR SUMP/FOOTING DRAIN SERVICES FROM LOT CORNERS. 32. THE OWNER/DEVELOPER SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ANY AND ALL PRIVATE UTILITIES AND/OR SERVICES. 33. ALL UTILITY CONTRACTOR(S) AND/OR NON-RESIDENTIAL OWNERS SHALL BE RESPONSIBLE TO PROVIDE THE CITY WITH "AS-BUILT" DRAWINGS OF ALL IMPROVEMENTS.		PRECAST RISER SECTION(S). ADJUST EXISTING SANITARY MANHOLE TO FINISHED GRADE BY ADDING/REMOVING PRECAST RISER SECTION(S) AND/OR ADJUSTMENT RING(S) PER SUDAS SW-301. RESET AND/OR REPLACE EXISTING PRECAST CONE SECTION, ADJUSTMENT RING(S), AND FRAME AND LID. INSTALL NEW CHIMNEY SEAL. RETEST MANHOLE ONLY.		STORM SEWER: 1. THE CONTRACTOR(S) SHALL PLACE SILT FENCE AROUND ALL STORM SEWER INLET LOCATIONS, STEEP SLOPES, OR AS DIRECTED BY THE COUNTY. ALL EROSION AND SEDIMENTATION CONTROL SHALL BE SET UP PRIOR TO CONSTRUCTION. 2. ALL PROPOSED STORM SEWER LINES SHALL BE AS NOTED FOR SIZE. 3. STORM SEWER SHALL BE RCP, IDOT CLASS 2000D (MINIMUM), USE STRENGTH REQUIRED BY SUDAS, EXCEPT WHERE NOTED. 3.1. ALL STORM SEWER AND CULVERTS OVER 15 INCHES IN SIZE SHALL BE RCP. ALL OTHERS SHALL BE PVC, SDR35 (MINIMUM). 3.2. POLYETHYLENE (PE) PIPE WITH SMOOTH INTERIOR MAY BE SUBSTITUTED FOR RCP PER SUDAS SPECIFICATION SECTION 4020. 3.3. ANY STORM PIPE LOCATED UNDER PAVEMENT WITH LESS THAN TWO (2) FEET OF COVER SHALL PROVIDE 24"x24" REINFORCEMENT ABOVE AND USE CLASS V RCP. 3.4. CORRUGATED METAL PIPE (CMP), OR HIGH DENSITY POLYETHYLENE PIPE (HDPE) WITH SMOOTH INTERIOR, MAY BE USED WITHIN THE RIGHT-OF-WAY. 4. ALL STORM SEWER PIPE CROSSING OVER WATERMAIN, OR IS LESS THAN 18 INCHES BELOW THE WATERMAIN, SHALL HAVE (WATERTIGHT) JOINTS WITH O-RING GASKETS TO AT LEAST TEN (10) FEET ON EACH SIDE OF THE EXTERIOR DIAMETER OF THE STORM SEWER PIPE. O-RING GASKETS SHALL BE RATED AT 13 PSI OR GREATER. 5. ALL STORM DRAIN PIPE, SUMP LINES, SUBDRAINS, AND/OR SERVICES SHALL BE EITHER PVC, HDPE, OR POLYETHYLENE PER SUDAS SPECIFICATION SECTION 4020. THE CONTRACTOR(S) SHALL USE THE SAME MATERIAL TO BE CONSISTENT THROUGHOUT THE SITE. 6. THE CONTRACTOR(S) WILL LAY SEWER PIPE AS SHOWN WITHIN THE PLAN SET. 7. ALL PIPE SLOPES EQUAL TO OR GREATER THAN TEN (10%) PERCENT SHALL REQUIRE RESTRAINED JOINTS, UNLESS OTHERWISE NOTED; AND SHALL BE CONSIDERED INCIDENTAL. 8. ANY FIELD TILE DISCOVERED OR DAMAGED DURING CONSTRUCTION SHALL BE TIED INTO THE STORM SEWER SYSTEM OR REPAIRED/REPLACED; WITH THE ENGINEER NOTIFIED; AND THE LOCATION SHALL BE NOTED ON THE AS-BUILTS. 9. ALL SERVICES SHALL BE EXTENDED/STUBBED TO TEN (10) FEET INSIDE THE PROPERTY FROM THE RIGHT-OF-WAY LINE. 10. ALL SERVICES SHALL HAVE A MINIMUM DEPTH OF FOUR (4) FEET AT THE MARKED TERMINI. 11. THE CONTRACTOR(S) MAY SUBSTITUTE ANY 'SW-501 CURB INLET' WITH THE 'SW-502 CIRCULAR INTAKE @ 48" DIAMETER'. 12. ALL INTAKE CASTINGS SHALL BE BICYCLE SAFE. 13. ALL STORM SEWER AND CULVERTS SHALL BE CLEANED AFTER BACKFILLING; INSPECTED; AND TELEVISED (ACCORDING TO THE LOCAL MUNICIPALITY) AFTER THE BACKFILL HAS BEEN IN PLACE FOR A MINIMUM OF 30 DAYS WITH COPIES OF THE VIDEO INSPECTION PROVIDED TO THE COUNTY PUBLIC WORKS/ENGINEERING DEPARTMENT. 14. THE LAST THREE (3) PIPE SECTIONS AND THE FLARED END SECTION ON ALL CULVERTS SHALL BE TIED; AND SHALL BE CONSIDERED INCIDENTAL. ALL STORM SEWER JOINTS SHALL BE WRAPPED WITH ENGINEERING FABRIC; AND SHALL BE CONSIDERED INCIDENTAL. 15. ALL FLARED END SECTIONS SHALL BE FURNISHED WITH FOOTINGS AND APRON GUARDS, UNLESS OTHERWISE NOTED; AND SHALL BE CONSIDERED INCIDENTAL. 16. THE LENGTH GIVEN FOR THE STORM PIPE DOES NOT INCLUDE THE ENTIRE LENGTH OF THE FLARED END SECTION (FES) - ONLY TO THE TOP OF THE OPENING/SLOPE. SHOWN INVERT ELEVATION IS A THE END OF THE FES. 17. ALL RIPRAP SHALL BE PLACED OVER ENGINEERING FABRIC; AND THE ENGINEERING FABRIC SHALL BE INCIDENTAL. 18. POST-DEVELOPMENT STORMWATER RUNOFF WILL NOT ADVERSELY EFFECT DOWNSTREAM PROPERTIES AND/OR FACILITIES.		THE IDNR PERMIT APPLICATION. 7. WHERE THE CONTRACTOR IS TO TIE INTO THE EXISTING WATERMAIN, PRESSURE TESTS SHALL BE PERFORMED AT AN EXISTING VALVE ON BOTH SIDES OF THE CONNECTION. THE VALVES SHALL BE REPAIRED OF REPLACED UPON THE COMPLETION OF THE TEST. 8. THE CONTRACTOR(S) SHALL PROVIDE AND INSTALL NECESSARY CONNECTIONS, FITTINGS, BENDS/ELBOWS, TEES/CROSSES, BLOCKING, SUPPORTS, ETC.; AND NOTED PIPE LENGTHS DO NOT INCLUDE VERTICAL AND/OR FITTING ADJUSTMENTS. INCIDENTAL TO WATERMAIN CONSTRUCTION, UNLESS OTHERWISE NOTED. VERIFY AND CONFIRM PRIOR TO ORDERING AND INSTALLING. 9. INSTALL THRUST BLOCKS PER SUDAS STANDARDS (INCIDENTAL TO WATERMAIN CONSTRUCTION). 10. WATER SHALL NOT BE TURNED ON WITHOUT THE CITY'S WATER DEPARTMENT PERSONNEL ONSITE TO APPROVE SAID ACTIVATION. 11. THE CONTRACTOR(S) SHALL DEFLECT PIPE JOINTS AND/OR INSTALL BENDS AS REQUIRED TO MAINTAIN ALIGNMENT OF WATERMAIN, UNLESS OTHERWISE LABELED; AND SHALL INCORPORATE INTO ANY NOTED RECORD/AS-BUILT DRAWINGS. 12. WHEN POSSIBLE, USE JOINT DEFLECTION IN LIEU OF ADDING FITTINGS WHEN MAKING GRADE AND/OR ALIGNMENT CHANGES. OTHERWISE, USE HORIZONTAL AND/OR VERTICAL BENDS OF 45 DEGREES OR LESS FOR ROUTING. 13. ALL VALVES SHALL BE LOCATED OUTSIDE OF STREET PAVEMENT AND SIDEWALK RAMPS. 14. THE CONTRACTOR(S) SHALL VERIFY BEFORE PLACING FIRE HYDRANT'S THAT NO PART OF THE FIRE HYDRANT SHALL BE CLOSER THAN 24 INCHES TO A PROPOSED SIDEWALK AND/OR TRAIL (OR 12 INCHES WITH SUDAS WM-201 ALTERNATE PLAN). FIRE HYDRANTS SHALL ALSO BE PLACED ON THE EXTENSION OF LOT LINES AS SHOWN ON THE PLANS. ADDITIONAL STAKES FOR LOT CORNERS, TRAILS, AND SIDEWALKS SHALL BE SET AS NECESSARY. 15. ALL FIRE HYDRANTS MUST BE A MINIMUM OF FOUR (4') FEET BEHIND THE BACK OF CURB AND MINIMUM OF EIGHT (8') FEET IN FRONT OF THE RIGHT-OF-WAY LINE. 16. ALL FIRE HYDRANT LEADS SHALL BE VALVED. 17. HYDRANTS AND VALVE BOXES SHALL BE SET TO CONFORM TO FINISH GRADE ELEVATIONS. 18. VERIFY AND CONFIRM THE FIRE HYDRANT MODEL AND MANUFACTURER'S BRAND WITH THE CITY'S WATER DEPARTMENT PRIOR TO ORDERING AND INSTALLING. 19. ALL HYDRANTS SHALL BE PAINTED IN ACCORDANCE WITH THE CITY'S WATER DEPARTMENT REQUIREMENTS. 20. NO EXTENSIONS ARE ALLOWED ON FIRE HYDRANT ASSEMBLIES.		PROJECT NO: 19090 DRAWING FILE NO: 19090CD DESIGNED/REVIEWED BY: McMURPHY DRAWN BY: McMURPHY DATE: 07-07-2019		REVISION DESCRIPTION: NO: 1 2 3 4		ABACI CONSULTING, INC. CIVIL ENGINEERING - LAND SURVEYING GRIMES 3900 SE GRIMES BLVD., SUITE 800 GRIMES, IOWA 50111 OFFICE: (319) 965-5048		GOLDEN RULE PLUMBING & HEATING - 904 NE MAIN STREET GRIMES IOWA		GENERAL NOTES AND INFORMATION 4		SHEET: 5	
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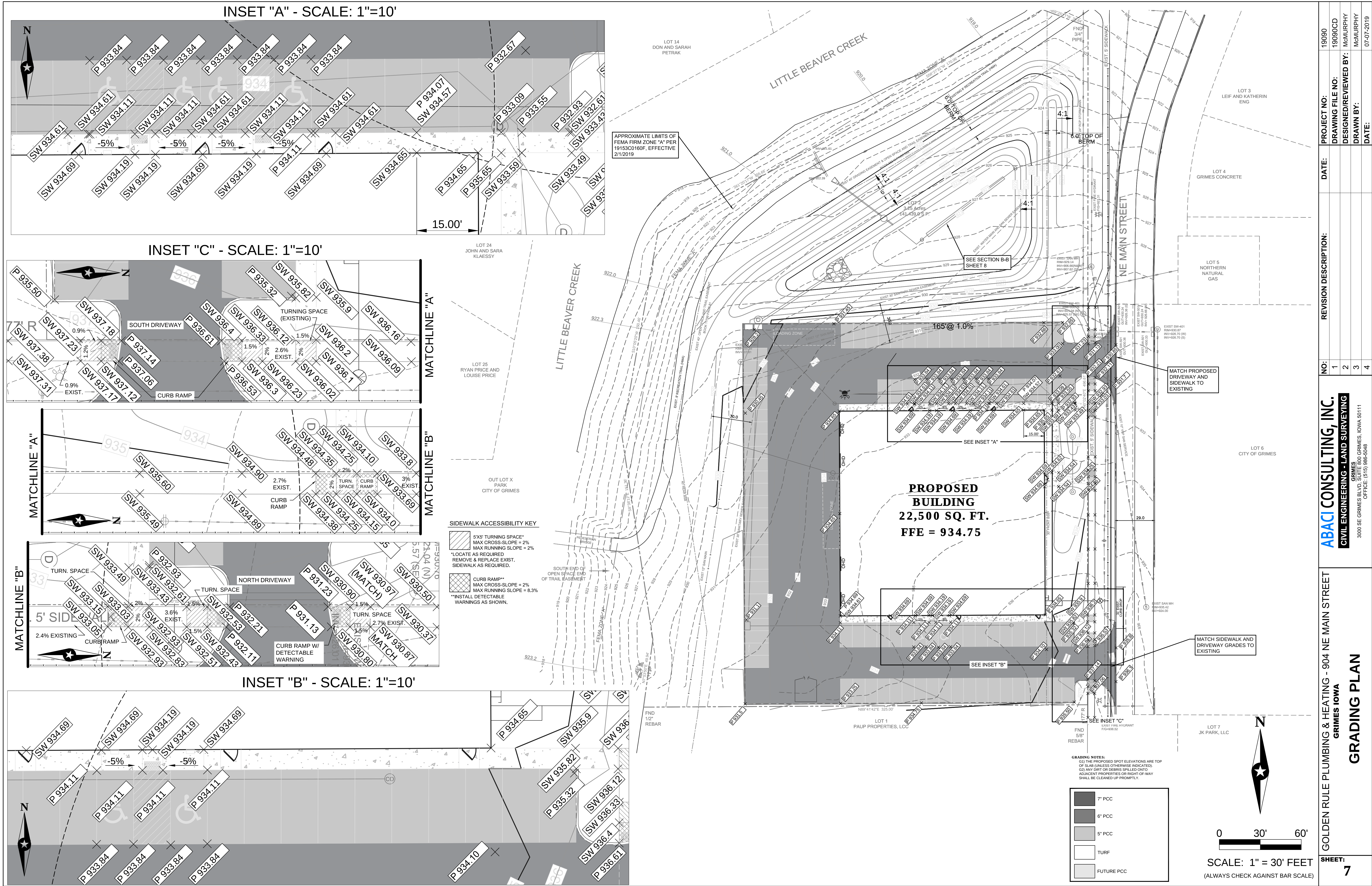
Sign Detail
Not To Scale

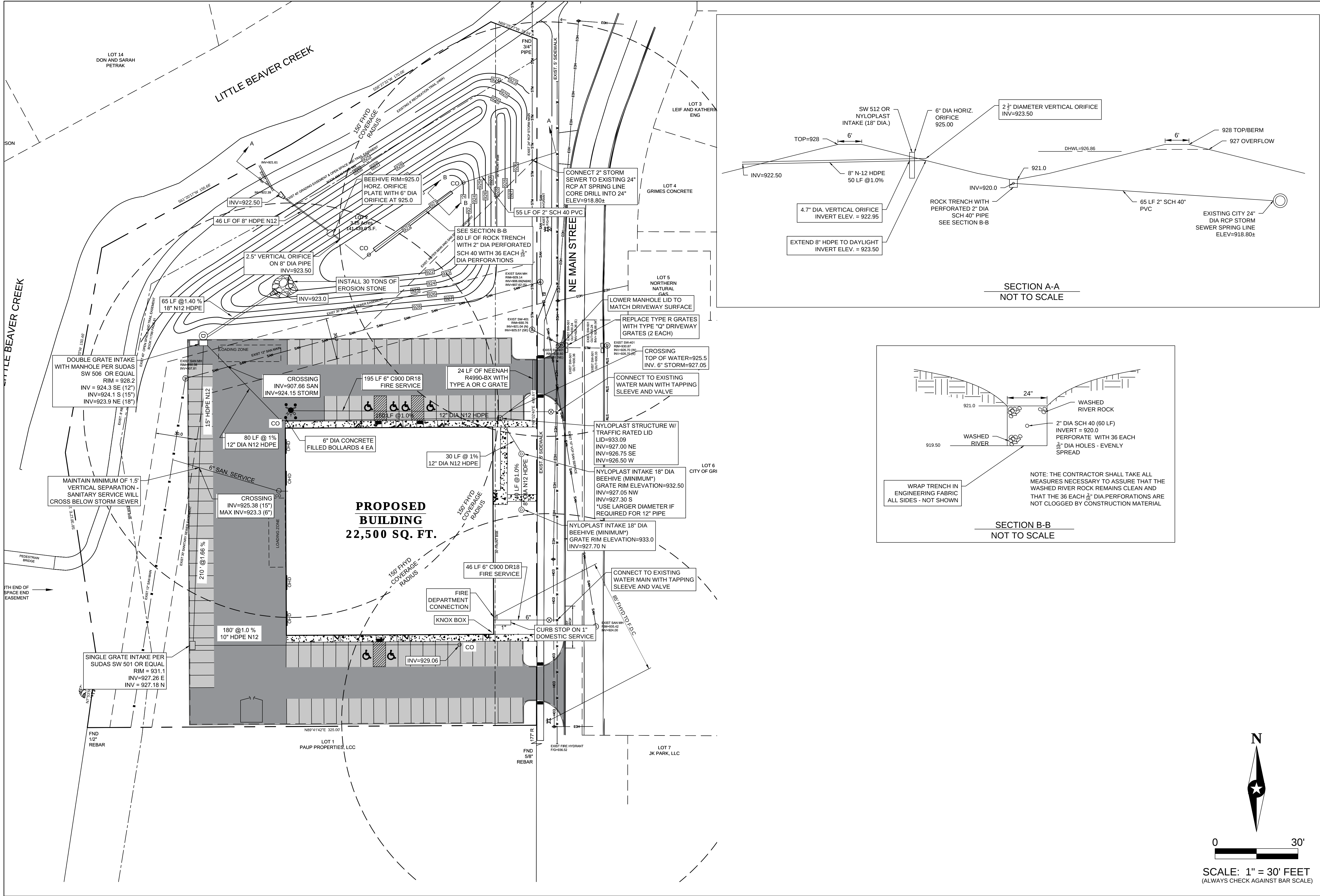
NOTE: INSTALL SIGN AT EACH OF
6 INDICATED ACCESSIBLE SPACES –
BUILDING/SIGN MOUNTED.



SCALE: 1" = 30' FEET
(ALWAYS CHECK AGAINST BAR SCALE)

SHEET:		GOLDEN RULE PLUMBING & HEATING - 904 NE MAIN STREET GRIMES IOWA		ABACI CONSULTING, INC. CIVIL ENGINEERING - LAND SURVEYING GRIMES 3000 SE GRIMES BLVD, SUITE 800 GRIMES, IOWA 50111 OFFICE: (515) 986-5048		NO: 1 2 3 4		REVISION DESCRIPTION:		PROJECT NO: 19090 DRAWING FILE NO: 19090CD DESIGNED/REVIEWED BY: McMURPHY DRAWN BY: McMURPHY DATE: 07-07-2019	
6		GEOMETRIC PLAN									





PROJECT NO:		DATE:		REVISION DESCRIPTION:		NO:	
19090	19090CD					1	
DRAWING FILE NO:		DESIGNED/REVIEWED BY:		DRAWN BY:		2	
McMURPHY		McMURPHY		DATE:		3	
07-07-2019						4	

ABACI CONSULTING, INC.

CIVIL ENGINEERING - LAND SURVEYING

GRIMES

3000 SE GRIMES BLVD, SUITE 800 GRIMES, IOWA 50111

OFFICE: (515) 365-5446

GOLDEN RULE PLUMBING & HEATING - 904 NE MAIN STREET

GRIMES IOWA

UTILITY PLAN

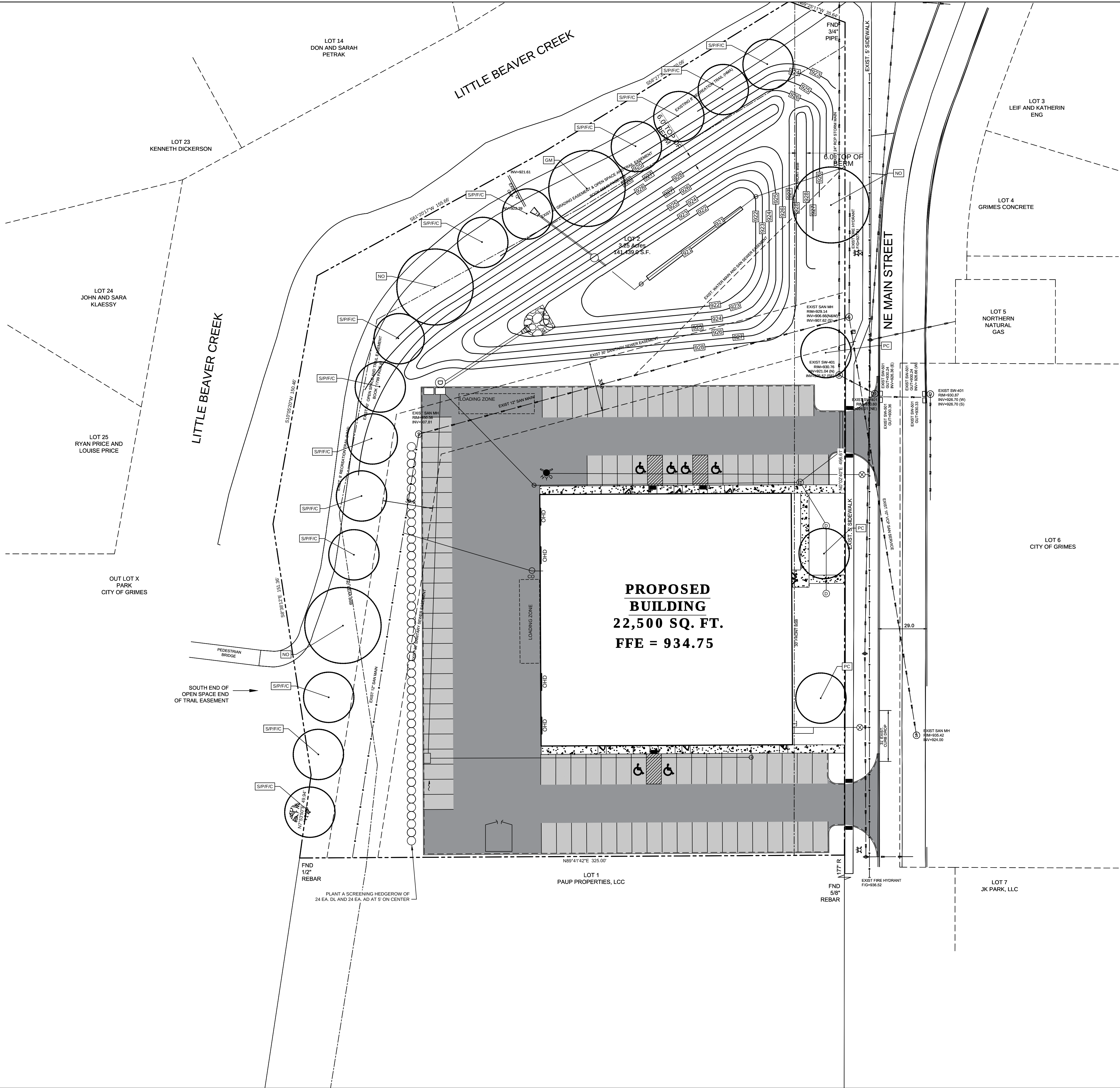
SHEET:

8

LANDSCAPING SCHEDULE			
KEY	QTY	TREES	SIZE
GM	3	GREEN MOUNTAIN SUGAR MAPLE	2" B & B
NO	1	NORTHERN RED OAK	2" B & B
PC	5	PRAIRIEFIRE CRABAPPLE	1 1/2" B & B
DL	24	DWARF KOREAN LILAC	#5 CONT.
AD	24	ALLEMAN DOGWOOD	#5 CONT.
S/P/F/C	14	SPRUCE/PINE/FIR/CEDAR	VARIES

LANDSCAPING NOTES:

- ALL DISTURBED AREAS TO BE SODDED.
- ALL FOUNDATION BEDS TO RECEIVE ROCK MULCH 3" DEEP.
- ALL PERIMETER BEDS TO RECEIVE SHREDDED HARDWOOD MULCH 3" DEEP.
- ALL PLANTING BEDS TO RECEIVE 4"X6" LIMESTONE EDGING WHERE BED MEETS LAWN.
- ALL TREES TO RECEIVE A TREE RING OF SHREDDED HARDWOOD MULCH 3" DEEP.



SHEET: 9	GOLDEN RULE PLUMBING & HEATING - 904 NE MAIN STREET GRIMES IOWA	LANDSCAPING PLAN	ABACI CONSULTING, INC. CIVIL ENGINEERING - LAND SURVEYING GRIMES 3000 SE GRIMES BLVD., SUITE 800 GRIMES, IOWA 50111 OFFICE: (515) 986-5048	NO:	REVISION DESCRIPTION:	DATE:	PROJECT NO:	19090
				1			DRAWING FILE NO:	19090CD
				2			DESIGNED/REVIEWED BY:	McMURPHY
				3			DRAWN BY:	McMURPHY
				4			DATE:	07-07-2019

MINIMUM DISTANCE FROM SITE TO RECEIVING
WATERS OF LITTLE BEAVER CREEK = 100 FT.

NOTE: CONTRACTOR(S) SHALL DETERMINE
AND LOCATE SOIL STOCKPILE(S).

PLACE SILT FENCE OR FILTER SOCK AROUND STORM
INTAKE AND/OR STRUCTURE AFTER CONSTRUCTED.
PLACE BELOW GRADE INLET PROTECTION FOR ALL
STORM STRUCTURES WITHIN PUBLIC STREETS OR
RIGHT-OF-WAY ONCE PAVING IS COMPLETED.

STORMWATER POLLUTION PREVENTION PLAN

NO.	REVISION	DATE

NOTES
1. SEE "GENERAL NOTES AND INFORMATION" SHEETS FOR ADDITIONAL NOTES AND
INFORMATION.

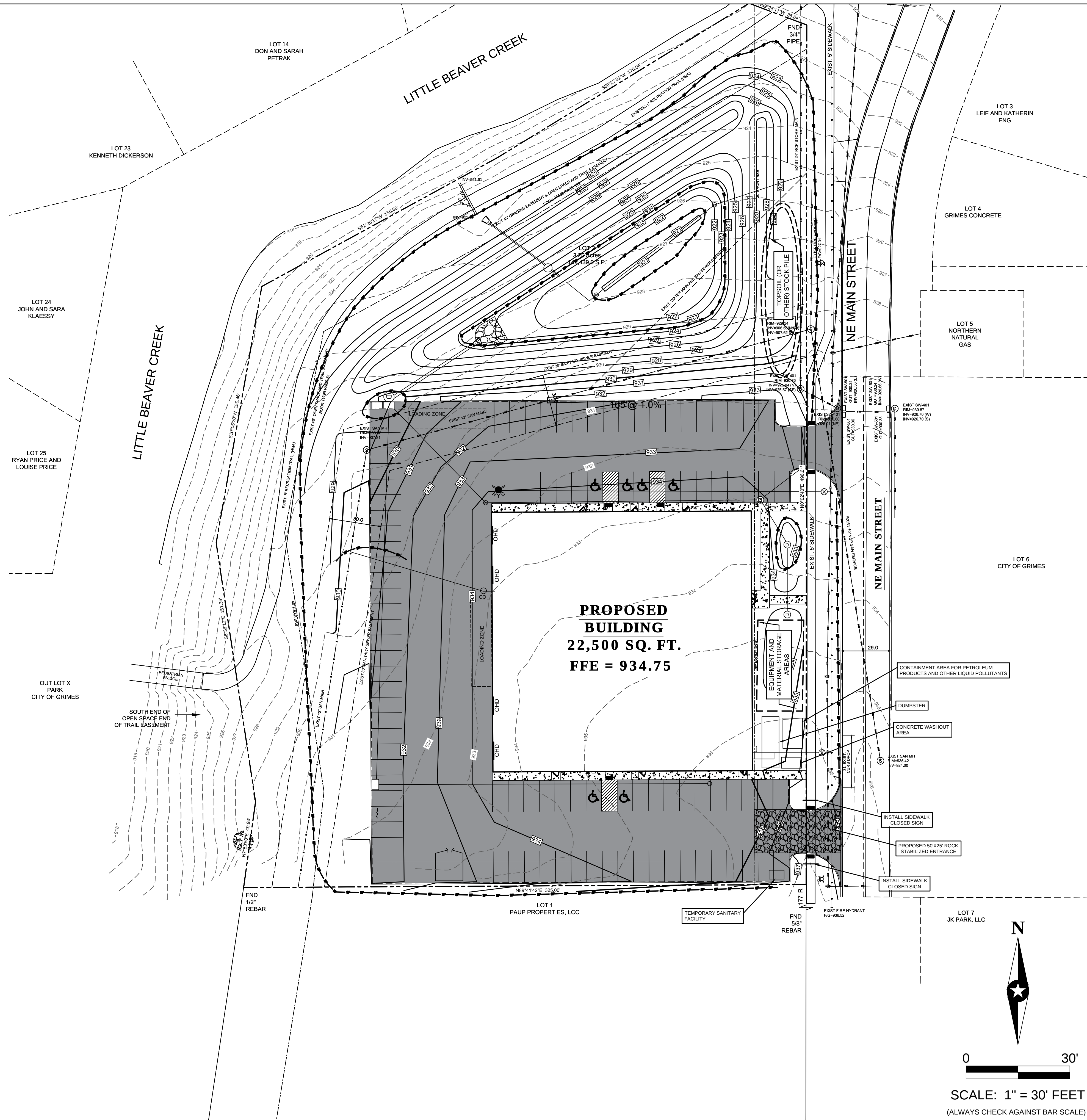
SILT FENCE SPACING ON SLOPES		SILT FENCE SPACING IN SWALE	
SLOPE	HORIZONTAL INTERVAL	SWALE GRADE	HORIZONTAL INTERVAL
≤ 10:1 (10%)	100 FEET (MAXIMUM)	1% TO 2%	150 FEET (MAXIMUM)
5:1 (20%)	160 FEET (MAXIMUM)	2% TO 4%	75 FEET (MAXIMUM)
4:1 (25%)	50 FEET (MAXIMUM)	4% TO 6%	40 FEET (MAXIMUM)
3:1 (33.3%)	40 FEET (MAXIMUM)	OVER 6%	25 FEET (MAXIMUM)

DITCH CHECK/CHECK DAM SPACING		
SWALE/DITCH GRADE	DESIGN HORIZ. INTERVAL	ACTUAL HORIZ. INTERVAL
1% TO 2%	200 FEET TO 100 FEET	150 FEET (MAXIMUM)
2% TO 4%	100 FEET TO 50 FEET	75 FEET (MAXIMUM)
4% TO 6%	50 FEET TO 33.5 FEET	40 FEET (MAXIMUM)
OVER 6%	(2 FEET) / (SLOPE, FT/FT)	25 FEET (MAXIMUM)

SWPPP MANAGER (PRINT NAME) COMPANY DATES

SWPPP INSPECTOR (PRINT NAME) COMPANY DATES

NOTICE:
ALL CONTRACTORS AND SUB-CONTRACTORS MUST SIGN THE NPDES CERTIFICATION
STATEMENT PRIOR TO PERFORMING ANY WORK ON SITE. BY SIGNING THE CERTIFICATION
STATEMENT, THE CONTRACTOR AND/OR SUBCONTRACTOR AGREES TO BECOME A
CO-PERMITTEE WITH THE OWNER AND OTHER CO-PERMITTEES. AS A CO-PERMITTEE, YOU
AND YOUR COMPANY ARE LEGALLY REQUIRED UNDER THE CLEAN WATER ACT AND THE
CODE OF IOWA TO ENSURE COMPLIANCE WITH THE TERMS AND CONDITIONS OF THE STORM
WATER POLLUTION PREVENTION PLAN DEVELOPED UNDER THE NPDES PERMIT. SIGNIFICANT
PENALTIES MAY BE IMPOSED BY THE EPA AND/OR THE IDNR SHOULD A PERMITTEE OR
CO-PERMITTEE VIOLATE NPDES PERMIT REQUIREMENTS.



PROJECT NO: 19090
DRAWING FILE NO: 19090CD
DESIGNED/REVIEWED BY: McMURPHY
DRAWN BY: McMURPHY
DATE: 07-07-2019

REVISION DESCRIPTION:
NO: 1
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3
4

ABACI CONSULTING, INC.
CIVIL ENGINEERING - LAND SURVEYING
GRIMES IOWA
3000 SE GRIMES BLVD, SUITE 800 GRIMES, IOWA 50111
OFFICE: (515) 965-5046

GOLDEN RULE PLUMBING & HEATING - 904 NE MAIN STREET
GRIMES IOWA
INITIAL EROSION PLAN(SWPPP)
SHEET: 10



*101 NE Harvey, Grimes, Iowa 50111
515.986.3036 Fax 515.986.3846*

AGENDA MEMO

Item No. X
For Meeting of November 26, 2019

AGENDA HEADING: Reverse Osmosis Water Treatment Plant – Phase 1 – Setting the date for the public hearing on the Iowa Drinking Water State Revolving Fund loan.

SYNOPSIS: The action that is in front of the council is to set the public hearing date for the Reverse Osmosis Water Treatment Plant – Phase 1 project Iowa Drinking Water State Revolving Fund financing through the State of Iowa. The proposed schedule is to set the date for the public hearing on November 26th, 2019 and hold the public hearing on December 9th, 2019 @ 5:30 PM.

This project includes the construction of a new 3.0 MGD (Million Gallons per Day) reverse osmosis water treatment plant.

FISCAL IMPACT: The construction work associated with this project was bid on October 30th, 2019 and was awarded to Shank Constructors, Inc. for \$17,951,000.00. There are other expenses that needed to be included in the loan for this project like planning & design, costs of issuance, Mid-American Energy electric service and contingency that push the total amount of the loan for this project to \$22,000,000.00. This project is being funded through this loan program with payback by the City of Grimes through water usage rates and revenues.

PREVIOUS COUNCIL ACTION(S):

BOARD/COMMISSION ACTION(S):

STAFF/COMMITTEE RECOMMENDATION: The staff recommends that the City Council approves the resolution to set the public hearing date of December 9th, 2019 @ 5:30 PM.

MINUTES TO SET DATE FOR HEARING
ON ENTERING INTO A LOAN AND
DISBURSEMENT AGREEMENT

419952-71

Grimes, Iowa

November 26, 2019

The City Council of the City of Grimes, Iowa, met on November 26, 2019, at _____
o'clock ____m., at the _____, in the City. The Mayor presided and the
roll was called showing the following members of the Council present and absent:

Present: _____

Absent: _____.

Council Member _____ introduced the resolution hereinafter next set
out and moved its adoption, seconded by Council Member _____; and after
due consideration thereof by the Council, the Mayor put the question upon the adoption of the
said resolution and the roll being called, the following named Council Members voted:

Ayes: _____

Nays: _____.

Whereupon, the Mayor declared the resolution duly adopted as follows:

RESOLUTION NO.11-1019

Resolution to fix a date for a public hearing on proposal to enter into a Water Revenue Loan and Disbursement Agreement and to borrow money thereunder in a principal amount not to exceed \$22,000,000

WHEREAS, the City of Grimes (the "City"), in Dallas and Polk Counties, State of Iowa, did heretofore establish a Municipal Waterworks Utility System (the "Utility") in and for the City which has continuously supplied water service in and to the City and its inhabitants since its establishment; and

WHEREAS, the management and control of the Utility are vested in the City Council (the "Council") and no board of trustees exists for this purpose; and

WHEREAS, pursuant to a prior resolution of the Council, the City has heretofore issued its \$5,359,000 Water Revenue Bond, SRF Series 2000A, dated December 19, 2000 and \$617,000 Water Revenue Bond, SRF Series 2000B, dated December 19, 2000 (together, the "Series 2000 Bonds"), a portion of which remain outstanding; and

WHEREAS, pursuant to a prior resolution of the Council, the City has heretofore issued its \$2,432,000 Water Revenue Bond, SRF Series 2013, dated July 26, 2013 (the "Series 2013 Bond"), a portion of which remains outstanding; and

WHEREAS, pursuant to a prior resolution of the Council, the City has heretofore issued its \$577,000 Taxable Water Revenue Bond, SRF Series 2016, dated September 23, 2016 (the "Series 2016 Bond"), a portion of which remains outstanding; and

WHEREAS, pursuant to a prior resolution of the Council, the City has heretofore issued its \$4,200,000 Water Revenue Bond, SRF Series 2019, dated March 8, 2019 (the "Series 2019 Bond"), a portion of which remains outstanding; and

WHEREAS, pursuant to a prior resolution of the Council, the City has heretofore issued its \$3,800,000 Taxable Water Revenue Bond, SRF Series 2019A, dated April 12, 2019 (the "Series 2019A Bond"), a portion of which remains outstanding; and

WHEREAS, pursuant to a prior resolution of the Council, the City has heretofore issued its \$1,559,000 Taxable Water Revenue Bond, SRF Series 2019B, dated June 7, 2019 (the "Series 2019 Bond"), a portion of which remains outstanding; and

WHEREAS, pursuant to the resolutions (the "Outstanding Bond Resolutions") authorizing the issuance of the Series 2000 Bonds, the Series 2013 Bond, the Series 2016 Bond, the Series 2019 Bond, the Series 2019A Bond and the Series 2019B Bond (hereinafter collectively referred to as the "Outstanding Bonds"), the City reserved the right to issue additional obligations payable from the net revenues of the Utility and ranking on a parity with the Outstanding Bonds under the terms and conditions set forth in the Outstanding Bond Resolutions; and

WHEREAS, the City now proposes to enter into a Water Revenue Loan and Disbursement Agreement (the "Agreement") and to borrow money thereunder in a principal amount not to exceed \$22,000,000, pursuant to the provisions of Section 384.24A of the Code of Iowa, for the purpose of paying the cost, to that extent, of planning, designing and constructing improvements and extensions to the Utility (the "Project"), and it is necessary to fix a date of meeting of the City Council at which it is proposed to take action to enter into the Agreement and to give notice thereof as required by such law;

NOW, THEREFORE, Be It Resolved by the City Council of the City of Grimes, Iowa, as follows:

Section 1. This City Council shall meet on December 9, 2019, at the Grimes City Hall, 101 NE Harvey Street, in the City, at 5:30 o'clock p.m., at which time and place a hearing will be held and proceedings will be instituted and action taken to enter into the Agreement.

Section 2. The City Clerk is hereby directed to give notice of the proposed action on the Agreement setting forth the amount and purpose thereof, the time when and place where the said meeting will be held, by publication at least once, not less than four (4) and not more than twenty (20) days before the meeting, in a legal newspaper which has a general circulation in the City. The notice shall be in substantially the following form:

NOTICE OF PROPOSED ACTION TO INSTITUTE
PROCEEDINGS TO ENTER INTO A LOAN AND DISBURSEMENT AGREEMENT
IN A PRINCIPAL AMOUNT NOT TO EXCEED \$22,000,000

(WATER REVENUE)

The City Council of the City of Grimes, Iowa, will meet on December 9, 2019, at the Grimes City Hall, 101 NE Harvey Street, in the City, at 5:30 o'clock p.m., for the purpose of instituting proceedings and taking action to enter into a loan and disbursement agreement (the "Agreement") and to borrow money thereunder in a principal amount not to exceed \$22,000,000, for the purpose of paying the cost, to that extent, of planning, designing and constructing improvements and extensions to the City's Municipal Waterworks Utility System.

The Agreement will not constitute a general obligation of the City, nor will it be payable in any manner by taxation but, together with the City's outstanding Water Revenue Bond, SRF Series 2000A, dated December 19, 2000; Water Revenue Bond, SRF Series 2000B, dated December 19, 2000; Water Revenue Bond, SRF Series 2013, dated July 26, 2013; Taxable Water Revenue Bond, SRF Series 2016, dated September 23, 2016; Water Revenue Bond, SRF Series 2019, dated March 8, 2019; Taxable Water Revenue Bond, SRF Series 2019A, dated April 12, 2019; Taxable Water Revenue Bond, SRF Series 2019B, dated June 7, 2019; and any additional obligations of the City as may be hereafter issued and outstanding from time to time ranking on a parity therewith, will be payable solely and only from the Net Revenues of the Municipal Waterworks Utility System of the City.

At the aforementioned time and place, oral or written objections may be filed or made to the proposal to enter into the Agreement. After receiving objections, the City may determine to enter into the Agreement, in which case, the decision will be final unless appealed to the District Court within fifteen (15) days thereafter.

By order of the City Council of the City of Grimes, Iowa.

Rochelle Williams
City Clerk

Section 3. Pursuant to Section 1.150-2 of the Income Tax Regulations (the "Regulations") of the Internal Revenue Service, the City declares (a) that it intends to undertake the Project which is reasonably estimated to cost approximately \$22,000,000, (b) that other than (i) expenditures to be paid or reimbursed from sources other than the issuance of bonds, notes or other obligations (the "Bonds"), or (ii) expenditures made not earlier than 60 days prior to the date of this Resolution or a previous intent resolution of the City, or (iii) expenditures amounting to the lesser of \$100,000 or 5% of the proceeds of the Bonds, or (iv) expenditures constituting preliminary expenditures as defined in Section 1.150-2(f)(2) of the Regulations, no expenditures for the Project have heretofore been made by the City and no expenditures will be made by the City until after the date of this Resolution or a prior intent resolution of the City, and (c) that the City reasonably expects to reimburse the expenditures made for costs of the City out of the proceeds of the Bonds. This declaration is a declaration of official intent adopted pursuant to Section 1.150-2 of the Regulations.

Section 4. All resolutions or parts of resolutions in conflict herewith are hereby repealed to the extent of such conflict.

Section 5. This resolution shall be in full force and effect immediately upon its adoption and approval, as provided by law.

Passed and approved this November 26, 2019.

Mayor Scott Mikkelsen

Attest:

City Clerk Rochelle Williams

• • • •

On motion and vote, the meeting adjourned.

Mayor Scott Mikkelsen

Attest:

City Clerk Rochelle Williams

ATTESTATION CERTIFICATE:

STATE OF IOWA
COUNTIES OF DALLAS AND POLK
CITY OF GRIMES

SS:

I, the undersigned, City Clerk of the aforementioned City, do hereby certify that attached hereto is a true and correct copy of the proceedings of the City Council relating to fixing a date for hearing on the City Council's proposal to take action in connection with a Water Revenue Loan and Disbursement Agreement.

WITNESS MY HAND this _____ day of _____, 2019.

City Clerk Rochelle Williams

ORGANIZATION AND ESTABLISHMENT CERTIFICATE:

STATE OF IOWA

COUNTIES OF DALLAS AND POLK

SS:

CITY OF GRIMES

I, the undersigned City Clerk, do hereby certify that the aforementioned City is organized and operating under the provisions of Title IX of the Code of Iowa and not under any special charter and that such City is operating under the Mayor-Council form of government and that there is not pending or threatened any question or litigation whatsoever touching the incorporation of the City, the inclusion of any territory within its limits or the incumbency in office of any of the officials hereinafter named.

And I do further certify that the following named parties are officials of the City as indicated:

Scott Mikkelsen	,	Mayor
Jake Anderson	,	City Administrator
Rochelle Williams	,	City Clerk
Marcia Woodke	,	City Treasurer
Jill Altringer	,	Council Member/Mayor Pro Tem
Erik Johansen	,	Council Member
Jeremy Hamp	,	Council Member
David Gisch	,	Council Member
Ryan Burger	,	Council Member

I further certify that the City established the Municipal Waterworks Utility System (the "Utility") prior to January 1, 1961, and that the Utility has been in continuous operation by the City since its establishment as aforesaid in supplying water service to the City and its inhabitants.

I further certify that the management and control of the Utility are vested in the City Council of the City, and that no board of trustees exists which has any part of the control and management of such Utility.

WITNESS MY HAND this 26th day of November, 2019.

City Clerk Rochelle Williams

OUTSTANDING DEBT CERTIFICATE:

STATE OF IOWA

COUNTIES OF DALLAS AND POLK

SS:

CITY OF GRIMES

I, the undersigned, City Clerk of the City of Grimes, Iowa (the "City"), do hereby certify that the City has no bonds or other obligations of any kind now outstanding which are secured by and payable from the revenues derived from the operation of the Municipal Waterworks Utility System (the "Utility"), except as follows:

Date	Type	Principal Amount Outstanding	Maturity
12-19-2000	Water Revenue Bond, Series 2000A	\$ _____	06-01-2021
12-19-2000	Water Revenue Bond, Series 2000B	\$ _____	06-01-2021
07-26-2013	Water Revenue Bond, Series 2013	\$ _____	06-01-2033
09-23-2016	Taxable Water Revenue Bond, Series 2016	\$ _____	06-01-2036
03-08-2019	Water Revenue Bond, Series 2019	\$ _____	06-01-2039
04-12-2019	Taxable Water Revenue Bond, Series 2019A	\$ _____	06-01-2040
06-07-2019	Taxable Water Revenue Bond, Series 2019B	\$ _____	06-01-2039

(Attach here a separate sheet listing any other outstanding obligations of the City secured by and payable from the revenues of the Utility excluding the proposed issue.)

WITNESS MY HAND this _____ day of _____, 2019.

City Clerk Rochelle Williams

PUBLICATION CERTIFICATE:

(PLEASE NOTE: Please do not date and return this certificate until you have received the publisher's affidavit and have verified that the notice was published on the date indicated in the affidavit, but please return all other completed pages to us as soon as they are available.)

STATE OF IOWA

COUNTIES OF DALLAS AND POLK

SS:

CITY OF GRIMES

I, the undersigned, City Clerk of the aforementioned City, do hereby certify that pursuant to the resolution of its City Council fixing a date of meeting at which it is proposed to take action to enter into a loan and disbursement agreement, the notice, of which the printed slip attached to the publisher's affidavit hereto attached is a true and complete copy, was published on the date and in the newspaper specified in such affidavit, which newspaper has a general circulation in the City.

WITNESS MY HAND this _____ day of _____, 2019.

City Clerk Rochelle Williams

(Attach here the publisher's original affidavit with clipping of the notice, as published.)



*101 NE Hawkey, Grimes, Iowa 50111
515.986.3036 Fax 515.986.3846*

AGENDA MEMO

Item No. X
For Meeting of November 26, 2019

AGENDA HEADING: Highway 141 Southbound Ramps & Highway 44 Traffic Signal Warrant Study – Snyder & Associates, Inc. Professional Services Agreement for traffic engineering services.

SYNOPSIS: This agreement includes the study of the traffic safety and operations at the intersection of the Iowa Highway 141 southbound entrance and exit ramps and Iowa Highway 44. This study would examine if a traffic signal is warranted at this intersection. The results of the study would provide the City of Grimes with potential improvements and would be the first step in the process of getting approval from the Iowa DOT if a traffic signal is warranted. Snyder & Associates would begin collecting data for the study immediately following approval by the city council.

FISCAL IMPACT: This agreement includes a "Lump Sum" line item and the total fee proposed for the traffic engineering services is \$5,500. Following our review, this appears to be a reasonable fee for this work.

PREVIOUS COUNCIL ACTION(S):

BOARD/COMMISSION ACTION(S):

STAFF/COMMITTEE RECOMMENDATION: The staff has reviewed this Professional Services Agreement and recommends approval by the City Council.



STANDARD PROFESSIONAL SERVICES AGREEMENT (Short Form)

NOW ON THIS ____ day of _____, 20__, Snyder & Associates, Inc.,
2727 SW Snyder Boulevard., Ankeny, IA 50023 (hereinafter, Professional), and
City of Grimes, 101 NE Harvey St, Grimes, IA 50111
(hereinafter, Client) do hereby agree as follows:

1. **PROJECT:** Professional agrees to provide Professional Services (Services) for Client's project known and identified as: IA 141 SB Ramp & IA 44 Traffic Signal Warrant Review
2. **SCOPE AND FEES:** The Scope of and the fees to be paid for said Services are set forth on Exhibit A attached hereto and by this reference made a part of this Agreement. Any Services not shown on Exhibit A shall be considered Additional Services. Additional Services may only be added by written change order, amendment or supplement to this agreement signed by both parties.
3. **TIMELINESS:** Professional will perform its services with reasonable diligence and expediency consistent with sound professional practices and within the time period(s), if any, set forth in Exhibit A.
4. **STANDARD OF CARE:** In providing Services under this Agreement, the Professional shall perform in a manner consistent with that degree of care and skill ordinarily exercised by members of the same professional discipline currently practicing under similar circumstances at the same time and in the same or similar locality. Professional makes no warranty, express or implied, as to its professional services rendered under this Agreement. Client shall promptly report to Professional any defects or suspected defects in the Professional's Services of which Client becomes aware. Withholdings, deductions or offsets shall not be made from the Professional's compensation for any reason unless the professional has been found to be legally liable for such amounts by a court of competent jurisdiction.
5. **INVOICE, PAYMENT, INTEREST, SUSPENSION:** Professional shall prepare invoices in accordance with its standard invoicing practices and submit the invoice(s) to Client on a monthly basis. Client agrees to timely pay each invoice within 30 days of the invoice date. Payments not paid within said 30 days shall accrue interest on unpaid balances at the rate of 1.5% per month (or the maximum rate of interest permitted by law, if less) from said 30th day. In addition, Professional may, after giving 7 days written notice to Client, suspend services under this Agreement until Professional has been paid in full for Services, interest, expenses and other related charges rendered, accrued, advanced and/or incurred by Professional to the date of suspension. Client waives any and all claims against Professional arising out of or resulting from said suspension. Payments will be credited first to interest, then to expenses, then to principal.
6. **RELIANCE:** The Client shall furnish, at its expense, all information, requirements, reports, data, surveys and instructions required by this Agreement and Professional may use such furnished information and material in performing its services and is entitled to rely upon the accuracy and completeness thereof. The Professional shall not be held responsible for any errors or omissions that may arise as a result of erroneous or incomplete information provided by the Client and/or the Client's consultants and contractors.
7. **ASSIGNMENT:** Client shall not transfer, sublet or assign any rights or duties under or interest in this Agreement, without the prior written consent of Professional.
8. **OWNERSHIP OF INSTRUMENTS OF SERVICE:** All reports, drawings, specifications, electronic and hard copy files, field data, notes and other documents and instruments prepared by Professional for the Project are acknowledged to be instruments of service and shall remain the property of the Professional. The Professional shall retain all common law, statutory and other reserved rights, including, without limitation, the copyrights thereto. If Professional agrees to allow transfer of its electronic media file(s), Client understands and agrees that as a condition precedent, it will sign the Professional's "Electronic Media Transfer Agreement" form prior to the transfer of an electronic media file.

ADDITIONAL TERMS AND CONDITIONS

9. **MUTUAL INDEMNIFICATION:** The Professional and the Client mutually agree, to the fullest extent permitted by law, to indemnify and hold each other harmless from any and all damages, liabilities or costs, including reasonable attorneys' fees and defense costs, arising from their own negligent acts, errors or omissions, or willful misconduct in the performance of their services, duties and responsibilities under this Agreement, to the extent that each party is responsible for such damages, liabilities and costs on a comparative basis of fault.
10. **MUTUAL WAIVERS:** Notwithstanding any other provision of this Agreement, and to the fullest extent permitted by law, neither the Client nor the Professional, their respective officers, directors, partners, employees, contractors or subconsultants shall be liable to the other or shall make any claim for any incidental, indirect or consequential damages arising out of or connected in any way to the Project or to this Agreement.
11. **LIMITATION:** In allocating the risks of this Project and notwithstanding any other provision of this Agreement, the Client agrees to limit, to the maximum extent permitted by law, the Professional's liability for the Client's damages to the aggregate sum of the Professional's fee for this Project. This limitation shall apply regardless of the cause of action or legal theory pled or asserted.
12. **DISPUTE RESOLUTION:** Any disputes that arise during the Project or following the completion of the Project will be resolved by representatives from each party who have authority to settle. Those issues not resolved shall be submitted to formal nonbinding mediation prior to submission to a court of competent jurisdiction. Each party shall endeavor to include a similar dispute resolution in all agreements with other consultants, contractors and subcontractors of any tier who are retained for the project so that formal mediation is required as the primary form of dispute resolution.
13. **SEVERABILITY:** If any term or provision of this Agreement is held to be invalid or unenforceable under any applicable statute or rule of law, such holding shall be applied only to the provision so held, and the remainder of this Agreement shall remain in full force and effect.
14. **SURVIVAL:** Notwithstanding completion or termination of this Agreement for any reason, all rights duties and obligations of the parties to this Agreement shall survive such completion or termination and remain in full force and effect until fulfilled.
15. **GOVERNING LAW AND JURISDICTION:** The Client and the Professional agree that this Agreement and any legal actions concerning its validity, interpretation and performance shall be governed by the laws of the State of Iowa, without regard to any conflict of laws provisions, which may apply the laws of other jurisdictions. It is further agreed that any legal action between the Client and the Professional arising out of this Agreement or the performance of the services shall be brought in a court of competent jurisdiction in the State of Iowa.
16. **ATTORNEYS FEES, COSTS:** In the event legal action is necessary to enforce the payment terms of this Agreement, Professional shall be entitled to collect from Client and Client agrees to pay to Professional any judgment or settlement sum(s) due, plus reasonable attorneys' fees, court costs and other expenses incurred by Professional for such collection action and, in addition, the reasonable value of the Professional's time and expenses spent for such collection action, computed according to the Professional's prevailing fee schedule and expense policy.
17. **INCORPORATION BY REFERENCE:** It is understood and agreed that the provisions of the following attached Exhibits are incorporated herein and by this reference made a part of this Agreement:

Exhibit A Scope of Service

Exhibit

_____(Client)
By: _____
(Authorized agent)

(Printed or typed signature)

Exhibit B Standard Fee Schedule

Exhibit

SNYDER & ASSOCIATES, INC. (Professional)
By: 
(Authorized agent)
David N. Moeller
(Printed or typed signature)

Route executed copy to: Todd Knox

EXHIBIT A - SCOPE OF SERVICES

IA 141 SB RAMP & IA 44 TRAFFIC SIGNAL WARRANT STUDY GRIMES, IOWA

CLIENT: CITY OF GRIMES
101 NE HARVEY ST
GRIMES, IOWA 50111

PROFESSIONAL: SNYDER & ASSOCIATES, INC.
2727 SW SNYDER BLVD.
ANKENY, IA 50023

PROJECT: PREPARE A TRAFFIC SIGNAL WARRANT STUDY AT
INTERSECTION

DATE: OCTOBER 25, 2019

GENERAL:

The City of Grimes is concerned with traffic safety and operations at the intersection of IA 141 SB Ramp and IA 44. The City would like to examine if a traffic signal is warranted at the intersection. The findings will be used by the City for review and to consider potential improvements and approval from Iowa DOT if a traffic signal is warranted.

SCOPE OF SERVICES:

1. Conduct 13 hour turning movement count with video data collection unit at intersection. Utilize the video to perform observations of traffic and pedestrian operations on a typical weekday at intersection. Perform delay study during peak hours as determined from traffic video data collection.
2. Gather and review any other traffic count history from Iowa DOT and CLIENT at study or adjacent intersections.
3. Review crash history at the intersection based on data provided by the Iowa DOT crash database and supplemented with crash reports per the CLIENT. Recent five year history will be reviewed.
4. Based on existing traffic patterns, volume history, and potential land use changes determine any potential traffic growth in next two – three year timeframe.
5. Review existing geometric data including number of lanes, lane type, and street width, speed limits and operating speeds, sight distance, or other features of the intersection or highway impacting typical weekday operations.
6. Analyze traffic signal warrants outlined in the Manual on Uniform Traffic Control Devices to determine if a traffic signal control device is warranted for installation at the intersection.
7. Identify any alternate or additional improvements for intersection that would improve safety, mitigate delay, or provide other benefits with or without traffic signalization.

8. Develop a technical memorandum report outlining findings of study for CLIENT staff. Conduct a meeting with CLIENT staff to review findings or any potential revisions. Technical memorandum and supporting calculation worksheets will be suitable for coordination with Iowa DOT if necessary to seek approval for installation of traffic control device, or other proposed intersection improvements. Also identify potential for Iowa DOT funding sources if signal is warranted for installation.
9. Attend additional meetings with CLIENT staff as requested to review findings with other CLIENT staff, Council members, or DOT staff pending CLIENT request.

PROJECT FEE AND SCHEDULE:

PROFESSIONAL will complete the above services for a lump sum basis. Hourly rate services will be based on the attached standard fee schedule.

Task 1-8 Traffic Signal Warrant Study	\$5,500 lump sum
Task 9 Add'l Meetings	hourly + expenses

The PROFESSIONAL will begin work upon notice to proceed. It is assumed that the CLIENT would like to have the study completed within 30 calendar days.

ADDITIONAL SERVICES:

If the CLIENT should request additional services related to the above-listed services or if the extent of modifications vary significantly from those listed above, the PROFESSIONAL will complete additional services on an hourly rate plus direct expenses basis upon a notice to proceed by CLIENT.

RESPONSIBILITIES OR INFORMATION TO BE PROVIDED BY CLIENT:

1. Prior traffic counts or studies of related nature
2. Crash reports for most recent year, if necessary
3. Any land use changes in adjacent area w/ immediate traffic impacts
4. Follow up coordination with Iowa DOT staff, if traffic signal warranted and decision to proceed with DOT permit approval for signal installation
5. Potential coordination with DOT about approach street modifications necessary for proper signalized intersection operation.

EXHIBIT B

SNYDER & ASSOCIATES, INC.
2019-20
STANDARD FEE SCHEDULE

Billing Classification/Level	Billing Rate
Professional	
<i>Engineer, Landscape Architect, Land Surveyor, GIS, Environmental Scientist Project Manager, Planner, Right-of-Way, Graphic Designer</i>	
Principal II	\$208.00 /hour
Principal I	\$197.00 /hour
Senior	\$177.00 /hour
VIII	\$163.00 /hour
VII	\$155.00 /hour
VI	\$148.00 /hour
V	\$138.00 /hour
IV	\$128.00 /hour
III	\$116.00 /hour
II	\$106.00 /hour
I	\$93.00 /hour
Technical	
<i>Technicians--CADD, Survey, Construction Observation</i>	
Lead	\$125.00 /hour
Senior	\$119.00 /hour
VIII	\$111.00 /hour
VII	\$103.00 /hour
VI	\$92.00 /hour
V	\$82.00 /hour
IV	\$76.00 /hour
III	\$64.00 /hour
II	\$56.00 /hour
I	\$48.00 /hour
Administrative	
II	\$64.00 /hour
I	\$52.00 /hour
Reimbursables	
Mileage	Current IRS standard rate
Outside Services	As Invoiced

**SHORT FORM OF AGREEMENT
BETWEEN OWNER AND ENGINEER
FOR PROFESSIONAL SERVICES**

THIS IS AN AGREEMENT effective as of _____ ("Effective Date") between City of Grimes, Iowa ("Owner") and Nilles Associates, Inc. ("Engineer").

Owner's Project, of which Engineer's services under this Agreement are a part, is generally identified as follows: Review of site Storm Water Management Plans and Storm Water Pollution Prevention Plans ("Project").

Engineer's services under this Agreement are generally identified in Exhibit A.

Owner and Engineer further agree as follows:

1.01 Basic Agreement and Period of Service

- A. Engineer shall provide or furnish the Services set forth in this Agreement.
- B. Engineer shall complete its Services as noted in Exhibit A.

2.01 Payment Procedures

- A. *Invoices:* Engineer shall prepare invoices in accordance with its standard invoicing practices and submit the invoices to Owner on a monthly basis. Invoices are due and payable within 30 days of receipt.

2.02 Basis of Payment—Lump Sum

- A. Owner shall pay Engineer for Services as noted in Exhibit A.

3.01 [NOT USED]

4.01 Successors, Assigns, and Beneficiaries

- A. Owner and Engineer are hereby bound and the successors, executors, administrators, and legal representatives of Owner and Engineer (and to the extent permitted by Paragraph 4.01.B the assigns of Owner and Engineer) are hereby bound to the other party to this Agreement and to the successors, executors, administrators, and legal representatives (and said assigns) of such other party, in respect of all covenants, agreements, and obligations of this Agreement.
- B. Neither Owner nor Engineer may assign, sublet, or transfer any rights under or interest (including, but without limitation, money that is due or may become due) in this Agreement without the written consent of the other party, except to the extent that any assignment, subletting, or transfer is mandated by law. Unless specifically stated to the contrary in any written consent to an assignment, no assignment will release or discharge the assignor from any duty or responsibility under this Agreement.

- C. Unless expressly provided otherwise, nothing in this Agreement shall be construed to create, impose, or give rise to any duty owed by Owner or Engineer to any Constructor, other third-party individual or entity, or to any surety for or employee of any of them. All duties and responsibilities undertaken pursuant to this Agreement will be for the sole and exclusive benefit of Owner and Engineer and not for the benefit of any other party.

5.01 *General Considerations*

- A. The standard of care for all professional engineering and related services performed or furnished by Engineer under this Agreement will be the care and skill ordinarily used by members of the subject profession practicing under similar circumstances at the same time and in the same locality. Engineer makes no warranties, express or implied, under this Agreement or otherwise, in connection with any services performed or furnished by Engineer. Subject to the foregoing standard of care, Engineer and its consultants may use or rely upon design elements and information ordinarily or customarily furnished by others, including, but not limited to, specialty contractors, manufacturers, suppliers, and the publishers of technical standards.
- B. Engineer shall not at any time supervise, direct, control, or have authority over any Constructor's work, nor shall Engineer have authority over or be responsible for the means, methods, techniques, sequences, or procedures of construction selected or used by any Constructor, or the safety precautions and programs incident thereto, for security or safety at the Project site, nor for any failure of a Constructor to comply with laws and regulations applicable to such Constructor's furnishing and performing of its work. Engineer shall not be responsible for the acts or omissions of any Constructor.
- C. Engineer neither guarantees the performance of any Constructor nor assumes responsibility for any Constructor's failure to furnish and perform its work.
- D. Owner and Engineer may transmit, and shall accept, Project-related correspondence, documents, text, data, drawings, information, and graphics, in electronic media or digital format, either directly, or through access to a secure Project website, in accordance with a mutually agreeable protocol.
- E. To the fullest extent permitted by law, Owner and Engineer (1) waive against each other, and the other's employees, officers, directors, members, agents, insurers, partners, and consultants, any and all claims for or entitlement to special, incidental, indirect, or consequential damages arising out of, resulting from, or in any way related to this Agreement or the Project, and (2) agree that Engineer's total liability to Owner under this Agreement shall be limited to \$25,000.
- F. The parties acknowledge that Engineer's Services do not include any services related to unknown or undisclosed Constituents of Concern.
- G. Owner and Engineer agree to negotiate each dispute between them in good faith during the 30 days after notice of dispute. If negotiations are unsuccessful in resolving the dispute, then the dispute shall be mediated. If mediation is unsuccessful, then the parties may exercise their rights at law.
- H. This Agreement is to be governed by the law of the State of Iowa.

6.01 *Total Agreement*

- A. This Agreement (including any expressly incorporated attachments), constitutes the entire agreement between Owner and Engineer and supersedes all prior written or oral understandings. This Agreement may only be amended, supplemented, modified, or canceled by a duly executed written instrument.

7.01 *Definitions*

- A. *Constructor*—Any person or entity (not including the Engineer, its employees, agents, representatives, and consultants), performing or supporting construction/development activities relating to the Project, including but not limited to contractors, subcontractors, suppliers, land owners, developer, developer consultants, Owner's work forces, utility companies, construction managers, testing firms, shippers, and truckers, and the employees, agents, and representatives of any or all of them.
- B. *Constituent of Concern*—Asbestos, petroleum, radioactive material, polychlorinated biphenyls (PCBs), hazardous waste, and any substance, product, waste, or other material of any nature whatsoever that is or becomes listed, regulated, or addressed pursuant to (a) the Comprehensive Environmental Response, Compensation and Liability Act, 42 U.S.C. §§9601 et seq. ("CERCLA"); (b) the Hazardous Materials Transportation Act, 49 U.S.C. §§5101 et seq.; (c) the Resource Conservation and Recovery Act, 42 U.S.C. §§6901 et seq. ("RCRA"); (d) the Toxic Substances Control Act, 15 U.S.C. §§2601 et seq.; (e) the Clean Water Act, 33 U.S.C. §§1251 et seq.; (f) the Clean Air Act, 42 U.S.C. §§7401 et seq.; or (g) any other federal, State, or local statute, law, rule, regulation, ordinance, resolution, code, order, or decree regulating, relating to, or imposing liability or standards of conduct concerning, any hazardous, toxic, or dangerous waste, substance, or material.

IN WITNESS WHEREOF, the parties hereto have executed this Agreement, the Effective Date of which is indicated on page 1.

Owner: City of Grimes, Iowa

Engineer: Nilles Associates, Inc.

By: _____

By: _____

Print name: Scott Mikkelsen

Print name: John P. Nilles

Title: Mayor

Title: President

Date Signed: _____

Date Signed: _____

Engineer's Services

Article 1 of the Agreement is supplemented to include the following agreement of the parties.

Engineer shall provide Basic and Additional Services as set forth below.

PART 1 – BASIC SERVICES

A1.01 *Stormwater Management Plans (SMPs) and Storm Water Pollution Prevention Plan (SWPPP) Reviews*

A. Engineer shall:

1. Review SMPs and SWPPP designs as directed by Owner. Reports and designs will review against the Iowa Stormwater Management Manual (ISWMM), Iowa Statewide Urban Design and Specifications (SUDAS), and Best Management Practices (BMPs), as set forth by Owner. All storm sewer systems connecting to the Owner's Municipal Separate Storm Sewer System (MS4) will be reviewed to ensure the conveyance of the 10-year storm events. Review fees are for reviews of **one (1)** preliminary and **one (1)** final set/s of SMPs and SWPPPs for each plat and will be set forth as follows:

a. Sites less than One-acre = \$500.00

b. Sites One-acre or more = \$1,000.00

Additional reviews and fees will be discussed with Owner as needed.

2. Owner to obtain, furnish, or otherwise make available to Engineer a drainage map for all tributary areas within and through the Owner's boundary. Engineer will review SMPs to ensure offsite areas draining through proposed sites are accounted for.
3. A review letter will be completed and given to the Owner within five (5)-business days upon receipt of all required information.



101 NE Harvey, Grimes, Iowa 50111
515.986.3036 Fax 515.986.3846

AGENDA MEMO

For Meeting of November 26, 2019

AGENDA HEADING: Nilles Associates, INC - Professional Services Agreement for the Review of Storm Water Management Plans and Storm Water Pollution Prevention Plans

SYNOPSIS: This agreement will allow for staff to engage with Nilles Associates, Inc for the review of Storm Water Management Plans (SWMP) and Storm Water Pollution Prevention Plans (SWPPP) related to development projects within the City. The agreement will also allow for the consultant engineer to review said plans for public improvement projects as well.

FISCAL IMPACT: Currently, FOX Engineering provides SWMP and SWPPP review services for the City. The costs associated with the review of these plans, is paid for by the Developer at the following rate at the time of application.

FOX Engineering:

SMPW Review = \$600.00

SWPM = \$250

Nilles Associates as provided for the same level of review, at the following rates.

Nilles Associates, Inc:

Sites < 1 Acre = \$500.00

Sites > 1 Acre = \$1,000

Because the fee breakdown is formatted differently, the following comparison has been prepared.

Current

Sites < 1 Acre = \$600.00

Sites > 1 Acre = \$850.00

Proposed

Sites < 1 Acre = \$500.00 (decrease of \$100.00)

Sites > 1 Acre = \$1,000 (increase of \$150.00)



*101 NE Harvey, Grimes, Iowa 50111
515.986.3036 Fax 515.986.3846*

PREVIOUS COUNCIL ACTION(S):

N/A

BOARD/COMMISSION ACTION(S):

N/A

STAFF/COMMITTEE RECOMMENDATION:

While there is a proposed increase in fee on one side of the equation, there is also a decrease on the other side. That being said, staff feels that the proposal is fair and reasonable. It is important to note that the City incurs no cost for this proposal, and all costs associated with the review of the plans is paid for by the Developer. Legal Council has reviewed the proposal, and is preparing comments. Any comments will be addressed in the final format. Staff would recommend approval.

**SHORT FORM OF AGREEMENT
BETWEEN OWNER AND ENGINEER
FOR PROFESSIONAL SERVICES**

THIS IS AN AGREEMENT effective as of _____ ("Effective Date") between City of Grimes, Iowa ("Owner") and Nilles Associates, Inc. ("Engineer").

Owner's Project, of which Engineer's services under this Agreement are a part, is generally identified as follows: Review of site Storm Water Management Plans and Storm Water Pollution Prevention Plans ("Project").

Engineer's services under this Agreement are generally identified in Exhibit A.

Owner and Engineer further agree as follows:

1.01 *Basic Agreement and Period of Service*

- A. Engineer shall provide or furnish the Services set forth in this Agreement.
- B. Engineer shall complete its Services as noted in Exhibit A.

2.01 *Payment Procedures*

- A. *Invoices:* Engineer shall prepare invoices in accordance with its standard invoicing practices and submit the invoices to Owner on a monthly basis. Invoices are due and payable within 30 days of receipt.

2.02 *Basis of Payment—Lump Sum*

- A. Owner shall pay Engineer for Services as noted in Exhibit A.

3.01 [NOT USED]

4.01 *Successors, Assigns, and Beneficiaries*

- A. Owner and Engineer are hereby bound and the successors, executors, administrators, and legal representatives of Owner and Engineer (and to the extent permitted by Paragraph 4.01.B the assigns of Owner and Engineer) are hereby bound to the other party to this Agreement and to the successors, executors, administrators, and legal representatives (and said assigns) of such other party, in respect of all covenants, agreements, and obligations of this Agreement.
- B. Neither Owner nor Engineer may assign, sublet, or transfer any rights under or interest (including, but without limitation, money that is due or may become due) in this Agreement without the written consent of the other party, except to the extent that any assignment, subletting, or transfer is mandated by law. Unless specifically stated to the contrary in any written consent to an assignment, no assignment will release or discharge the assignor from any duty or responsibility under this Agreement.

- C. Unless expressly provided otherwise, nothing in this Agreement shall be construed to create, impose, or give rise to any duty owed by Owner or Engineer to any Constructor, other third-party individual or entity, or to any surety for or employee of any of them. All duties and responsibilities undertaken pursuant to this Agreement will be for the sole and exclusive benefit of Owner and Engineer and not for the benefit of any other party.

5.01 *General Considerations*

- A. The standard of care for all professional engineering and related services performed or furnished by Engineer under this Agreement will be the care and skill ordinarily used by members of the subject profession practicing under similar circumstances at the same time and in the same locality. Engineer makes no warranties, express or implied, under this Agreement or otherwise, in connection with any services performed or furnished by Engineer. Subject to the foregoing standard of care, Engineer and its consultants may use or rely upon design elements and information ordinarily or customarily furnished by others, including, but not limited to, specialty contractors, manufacturers, suppliers, and the publishers of technical standards.
- B. Engineer shall not at any time supervise, direct, control, or have authority over any Constructor's work, nor shall Engineer have authority over or be responsible for the means, methods, techniques, sequences, or procedures of construction selected or used by any Constructor, or the safety precautions and programs incident thereto, for security or safety at the Project site, nor for any failure of a Constructor to comply with laws and regulations applicable to such Constructor's furnishing and performing of its work. Engineer shall not be responsible for the acts or omissions of any Constructor.
- C. Engineer neither guarantees the performance of any Constructor nor assumes responsibility for any Constructor's failure to furnish and perform its work.
- D. Owner and Engineer may transmit, and shall accept, Project-related correspondence, documents, text, data, drawings, information, and graphics, in electronic media or digital format, either directly, or through access to a secure Project website, in accordance with a mutually agreeable protocol.
- E. To the fullest extent permitted by law, Owner and Engineer (1) waive against each other, and the other's employees, officers, directors, members, agents, insurers, partners, and consultants, any and all claims for or entitlement to special, incidental, indirect, or consequential damages arising out of, resulting from, or in any way related to this Agreement or the Project, and (2) agree that Engineer's total liability to Owner under this Agreement shall be limited to \$25,000.
- F. The parties acknowledge that Engineer's Services do not include any services related to unknown or undisclosed Constituents of Concern.
- G. Owner and Engineer agree to negotiate each dispute between them in good faith during the 30 days after notice of dispute. If negotiations are unsuccessful in resolving the dispute, then the dispute shall be mediated. If mediation is unsuccessful, then the parties may exercise their rights at law.
- H. This Agreement is to be governed by the law of the State of Iowa.

6.01 Total Agreement

- A. This Agreement (including any expressly incorporated attachments), constitutes the entire agreement between Owner and Engineer and supersedes all prior written or oral understandings. This Agreement may only be amended, supplemented, modified, or canceled by a duly executed written instrument.

7.01 Definitions

- A. *Constructor*—Any person or entity (not including the Engineer, its employees, agents, representatives, and consultants), performing or supporting construction/development activities relating to the Project, including but not limited to contractors, subcontractors, suppliers, land owners, developer, developer consultants, Owner's work forces, utility companies, construction managers, testing firms, shippers, and truckers, and the employees, agents, and representatives of any or all of them.
- B. *Constituent of Concern*—Asbestos, petroleum, radioactive material, polychlorinated biphenyls (PCBs), hazardous waste, and any substance, product, waste, or other material of any nature whatsoever that is or becomes listed, regulated, or addressed pursuant to (a) the Comprehensive Environmental Response, Compensation and Liability Act, 42 U.S.C. §§9601 et seq. ("CERCLA"); (b) the Hazardous Materials Transportation Act, 49 U.S.C. §§5101 et seq.; (c) the Resource Conservation and Recovery Act, 42 U.S.C. §§6901 et seq. ("RCRA"); (d) the Toxic Substances Control Act, 15 U.S.C. §§2601 et seq.; (e) the Clean Water Act, 33 U.S.C. §§1251 et seq.; (f) the Clean Air Act, 42 U.S.C. §§7401 et seq.; or (g) any other federal, State, or local statute, law, rule, regulation, ordinance, resolution, code, order, or decree regulating, relating to, or imposing liability or standards of conduct concerning, any hazardous, toxic, or dangerous waste, substance, or material.

IN WITNESS WHEREOF, the parties hereto have executed this Agreement, the Effective Date of which is indicated on page 1.

Owner: City of Grimes, Iowa

Engineer: Nilles Associates, Inc.

By: _____

By: _____

Print name: Scott Mikkelsen

Print name: John P. Nilles

Title: Mayor

Title: President

Date Signed: _____

Date Signed: _____

Engineer's Services

Article 1 of the Agreement is supplemented to include the following agreement of the parties.

Engineer shall provide Basic and Additional Services as set forth below.

PART 1 – BASIC SERVICES

A1.01 *Stormwater Management Plans (SMPs) and Storm Water Pollution Prevention Plan (SWPPP) Reviews*

A. Engineer shall:

1. Review SMPs and SWPPP designs as directed by Owner. Reports and designs will review against the Iowa Stormwater Management Manual (ISWMM), Iowa Statewide Urban Design and Specifications (SUDAS), and Best Management Practices (BMPs), as set forth by Owner. All storm sewer systems connecting to the Owner's Municipal Separate Storm Sewer System (MS4) will be reviewed to ensure the conveyance of the 10-year storm events. Review fees are for reviews of **one (1)** preliminary and **one (1)** final set/s of SMPs and SWPPPs for each plat and will be set forth as follows:

- a. Sites less than One-acre = \$500.00
- b. Sites One-acre or more = \$1,000.00

Additional reviews and fees will be discussed with Owner as needed.

2. Owner to obtain, furnish, or otherwise make available to Engineer a drainage map for all tributary areas within and through the Owner's boundary. Engineer will review SMPs to ensure offsite areas draining through proposed sites are accounted for.
3. A review letter will be completed and given to the Owner within five (5)-business days upon receipt of all required information.



*101 NE Harvey, Grimes, Iowa 50111
515.986.3036 Fax 515.986.3846*

AGENDA MEMO

Item No. X
For Meeting of November 26, 2019

AGENDA HEADING: Highway 141 Southbound Ramps & Highway 44 Traffic Signal Warrant Study – Snyder & Associates, Inc. Professional Services Agreement for traffic engineering services.

SYNOPSIS: This agreement includes the study of the traffic safety and operations at the intersection of the Iowa Highway 141 southbound entrance and exit ramps and Iowa Highway 44. This study would examine if a traffic signal is warranted at this intersection. The results of the study would provide the City of Grimes with potential improvements and would be the first step in the process of getting approval from the Iowa DOT if a traffic signal is warranted. Snyder & Associates would begin collecting data for the study immediately following approval by the city council.

The City of Grimes legal council has reviewed this document and we requested some additional liability insurance information from Snyder & Associates.

FISCAL IMPACT: This agreement includes a "Lump Sum" line item and the total fee proposed for the traffic engineering services is \$5,500. Following our review, this appears to be a reasonable fee for this work.

PREVIOUS COUNCIL ACTION(S):

BOARD/COMMISSION ACTION(S):

STAFF/COMMITTEE RECOMMENDATION: The staff has reviewed this Professional Services Agreement and recommends approval by the City Council.



*101 NE Harvey, Grimes, Iowa 50111
515.986.3036 Fax 515.986.3846*

AGENDA MEMO

For Meeting on November 26, 2019

AGENDA HEADING: Resolution Vacating Certain Easements in Bridge Creek Plat 1

SYNOPSIS: With the acquisition of new easements for the 16-Inch Raw Water Main Project, the previously obtained easement needs to be vacated.

In accordance with the Iowa Code, a public hearing must be held before any disposal of property.

FISCAL IMPACT: N/A

PREVIOUS COUNCIL ACTION(S): N/A

BOARD/COMMISSION ACTION(S): N/A

STAFF/COMMITTEE RECOMMENDATION: Approve the Resolution Vacating Certain Easements in Bridge Creek Plat 1

RESOLUTION NO. 11-1219

RESOLUTION VACATING CERTAIN EASEMENTS IN BRIDGE CREEK PLAT 1 IN THE
CITY OF GRIMES, POLK COUNTY, IOWA

WHEREAS, Christopher and Jillian Benda ("Benda") and Chevalia Ridge LLC ("Chevalia") granted and conveyed to the City of Grimes the following easements in connection with the Grimes 16-Inch Raw Water Main Project.

1. Water Main Easement recorded on March 22, 2019, at Book 17268, Page 235-239, in the records of the Recorder of Polk County, Iowa;
2. Water Main Easement recorded on March 22, 2019, at Book 17268, Page 254-258, in the records of the Recorder of Polk County, Iowa

collectively, the "Original Easements."

WHEREAS, the present owner of the land platted as Angel Park Townhomes Plat 1 ("Original Plat") has petitioned the City for the vacation of the entire Original Plat in order that the land may be developed in accordance with a new final plat to be approved by the City of Grimes.

WHEREAS, the Original Easements have been replaced with new easements ("New Easements") and;

WHEREAS, the Original Easements shall be of no benefit to the public as the New Easements have been secured; and

WHEREAS, the Grimes City Council on the 26th day of November, 2019, held a public hearing on the question of vacating the Original Easements.

WHEREAS, the City Council has determined that the Original Easements provide no public benefit and should be vacated.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF GRIMES, IOWA:

1. That the Original Easements, as identified above, are hereby vacated and all plats affected thereby shall hereby be deemed to be amended in accordance with this Resolution.

2. This Resolution shall be recorded with the Polk County Recorder and shall serve as public notice that the Original Easements, as identified above, are hereby vacated by the City of Grimes, Iowa.

PASSED AND APPROVED THIS _____ day of _____, 2019.

By: _____
Scott Mikkelsen, Mayor

ATTEST:

By: _____
Rochelle Williams, City Clerk



*101 NE Hawley, Grimes, Iowa 50111
515.986.3036 Fax 515.986.3846*

AGENDA MEMO

Item No. X
For Meeting of 11/12/19

AGENDA HEADING: Requesting Approval for Fire Chief to enter into Contract with the Houston-Galveston Area Council to save money on future purchases.

SYNOPSIS: The Houston-Galveston Area Council (HGAC) is the largest of the 24 Councils of Government in Texas and is a political subdivision of the State of Texas. It has been serving local governments for more than 40 years. Their cooperative purchasing program known as HGACBuy, allows local governments to make purchases through approved vendors by signing an Interlocal Contract (ILC). HGACBuy has access to 860 vendors and 7791 products and services. There is no cost to join HGAC, but the fees are charged when you pay for the product or service to the vendor and then rebated back to HGAC.

Several local governments in the Des Moines metro area have used HGACBuy to purchase goods at a discount. It is similar to a State Bid where contracts with HGAC set the price. Locally the cities of Des Moines, Altoona, Ankeny, Indianola, West Des Moines and Urbandale have become members with access to the contracted prices for goods and services.

Because the Fire Department would like to purchase two identical fire engines, we have been working with Reliant Fire Apparatus to get estimates on cost by selecting the type of fire engines we want to replace the aging fire engines they will replace. Becoming a member of HGAC is the first step in working towards the purchase of new fire engines. The request for approving the purchase of a new fire engine for Grimes will come at a later date in a larger discussion of the CIP.

FISCAL IMPACT: There would be savings by purchasing through the HGAC

PREVIOUS COUNCIL ACTION(S): Council approved the Fire Department replacement schedule for vehicles at the November 27, 2018 meeting where this vehicle was listed for replacement in FY 2021. This is the first step in the process. The approval of the purchase will be requested at a later time.

BOARD/COMMISSION ACTION(S): None



*101 NE Hawley, Grimes, Iowa 50111
515.986.3036 Fax 515.986.3846*

STAFF/COMMITTEE RECOMMENDATION: Staff recommends the City Council allow the Fire Chief to sign an agreement with HGACBuy to set the stage to purchase the new Fire Engine at a discounted price at some point in the future when authorized.

SAMPLE LANGUAGE: Motion to allow Fire Chief to sign HGAC Interlocal Contract Form.

**A RESOLUTION 11-1319 APPROVING FIRE CHIEF TO SIGN INTERLOCAL
AGREEMENT WITH HGAC**

WHEREAS, there is considerable savings by purchasing a fire engine or other equipment through the Houston-Galveston Area Council (HGAC) purchasing consortium; and
WHEREAS, the cleanest way to get a discount on the future purchase of a fire engine or other Fire Equipment is for the Fire Chief to sign the interlocal agreement with HGAC; and
WHEREAS, signing the agreements before January 31, 2020 will save more than \$18,000 on the price of the fire engine should the City Council authorize the purchase contract with Reliant Fire Apparatus, Inc.; and
WHEREAS, the HGAC is similar to state bid where the lowest contract price has been negotiated;

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF GRIMES, IOWA, that
the Johnston Grimes Metropolitan Fire Chief be authorized sign an interlocal contract with HGAC.

PASSED AND APPROVED THIS 26TH DAY OF NOVEMBER, 2019.

Scott Mikkelsen, Mayor

ATTEST:

Rochelle Williams, City Clerk



INTERLOCAL CONTRACT FOR COOPERATIVE PURCHASING

ILC

No.: _____

Permanent Number assigned by H-GAC

THIS INTERLOCAL CONTRACT ("Contract"), made and entered into pursuant to the Texas Interlocal Cooperation Act, Chapter 791, Texas Government Code (the "Act"), by and between the Houston-Galveston Area Council, hereinafter referred to as "H-GAC," having its principal place of business at 3555 Timmons Lane, Suite 120, Houston, Texas 77027, and * _____, a local government, a state agency, or a non-profit corporation created and operated to provide one or more governmental functions and services, hereinafter referred to as "End User," having its principal place of business at * _____

WITNESSETH

WHEREAS, H-GAC is a regional planning commission and political subdivision of the State of Texas operating under Chapter 391, Texas Local Government Code; and

WHEREAS, pursuant to the Act, H-GAC is authorized to contract with eligible entities to perform governmental functions and services, including the purchase of goods and services; and

WHEREAS, in reliance on such authority, H-GAC has instituted a cooperative purchasing program under which it contracts with eligible entities under the Act; and

WHEREAS, End User has represented that it is an eligible entity under the Act, that its governing body has authorized this Contract on * _____, and that it desires to contract with H-GAC on the terms set forth below;

NOW, THEREFORE, H-GAC and the End User do hereby agree as follows:

ARTICLE 1: LEGAL AUTHORITY

The End User represents and warrants to H-GAC that (1) it is eligible to contract with H-GAC under the Act because it is one of the following: a local government, as defined in the Act (a county, a municipality, a special district, or other political subdivision of the State of Texas or any other state), or a combination of two or more of those entities, a state agency (an agency of the State of Texas as defined in Section 771.002 of the Texas Government Code, or a similar agency of another state), or a non-profit corporation created and operated to provide one or more governmental functions and services, and (2) it possesses adequate legal authority to enter into this Contract.

ARTICLE 2: APPLICABLE LAWS

H-GAC and the End User agree to conduct all activities under this Contract in accordance with all applicable rules, regulations, and ordinances and laws in effect or promulgated during the term of this Contract.

ARTICLE 3: WHOLE AGREEMENT

This Contract and any attachments, as provided herein, constitute the complete contract between the parties hereto, and supersede any and all oral and written agreements between the parties relating to matters herein.

ARTICLE 4: PERFORMANCE PERIOD

The period of this Contract shall be for the balance of the fiscal year of the End User, which began * _____ and ends * _____. This Contract shall thereafter automatically be renewed annually for each succeeding fiscal year, provided that such renewal shall not have the effect of extending the period in which the End User may make any payment due an H-GAC contractor beyond the fiscal year in which such obligation was incurred under this Contract.

ARTICLE 5: SCOPE OF SERVICES

The End User appoints H-GAC its true and lawful purchasing agent for the purchase of certain products and services through the H-GAC Cooperative Purchasing Program. End User will access the Program through HGACBuy.com and by submission of any duly executed purchase order, in the form prescribed by H-GAC to a contractor having a valid contract with H-GAC. All purchases hereunder shall be in accordance with specifications and contract terms and pricing established by H-GAC. Ownership (title) to products purchased through H-GAC shall transfer directly from the contractor to the End User.

(over)

ARTICLE 6: PAYMENTS

H-GAC will confirm each order and issue notice to contractor to proceed. Upon delivery of goods or services purchased, and presentation of a properly documented invoice, the End User shall promptly, and in any case within thirty (30) days, pay H-GAC's contractor the full amount of the invoice. All payments for goods or services will be made from current revenues available to the paying party. In no event shall H-GAC have any financial liability to the End User for any goods or services End User procures from an H-GAC contractor.

ARTICLE 7: CHANGES AND AMENDMENTS

This Contract may be amended only by a written amendment executed by both parties, except that any alterations, additions, or deletions to the terms of this Contract which are required by changes in Federal and State law or regulations are automatically incorporated into this Contract without written amendment hereto and shall become effective on the date designated by such law or regulation.

H-GAC reserves the right to make changes in the scope of products and services offered through the H-GAC Cooperative Purchasing Program to be performed hereunder.

ARTICLE 8: TERMINATION PROCEDURES

H-GAC or the End User may cancel this Contract at any time upon thirty (30) days written notice by certified mail to the other party to this Contract. The obligations of the End User, including its obligation to pay H-GAC's contractor for all costs incurred under this Contract prior to such notice shall survive such cancellation, as well as any other obligation incurred under this Contract, until performed or discharged by the End User.

ARTICLE 9: SEVERABILITY

All parties agree that should any provision of this Contract be determined to be invalid or unenforceable, such determination shall not affect any other term of this Contract, which shall continue in full force and effect.

ARTICLE 10: FORCE MAJEURE

To the extent that either party to this Contract shall be wholly or partially prevented from the performance within the term specified of any obligation or duty placed on such party by reason of or through strikes, stoppage of labor, riot, fire, flood, acts of war, insurrection, accident, order of any court, act of God, or specific cause reasonably beyond the party's control and not attributable to its neglect or nonfeasance, in such event, the time for the performance of such obligation or duty shall be suspended until such disability to perform is removed; provided, however, force majeure shall not excuse an obligation solely to pay funds. Determination of force majeure shall rest solely with H-GAC.

ARTICLE 11: VENUE

Disputes between procuring party and Vendor are to be resolved in accord with the law and venue rules of the State of purchase.

THIS INSTRUMENT HAS BEEN EXECUTED BY THE PARTIES HERETO AS FOLLOWS:

*

Name of End User (local government, agency, or non-profit corporation)

*

Mailing Address

*

City State ZIP Code

*By: _____
Signature of chief elected or appointed official

*

Typed Name & Title of Signatory

*

Date

Houston-Galveston Area Council
3555 Timmons Lane, Suite 120, Houston, TX 77027

By: _____
Executive Director

Date: _____

**Denotes required fields*

END USER DATA

Please sign and return the Interlocal Contract, along with this completed form, to H-GAC by emailing it to cpcontractfax@h-gac.com or by faxing it to 713-993-2424. The contract may also be mailed to:

H-GAC Cooperative Purchasing Program
P.O. Box 22777, Houston, TX 77227-2777

Name of End User Agency: _____ County Name: _____
(Municipality/County/District/etc.)
Mailing Address: _____
(Street Address/P.O. Box) (City) (State) (ZIP Code)
Main Telephone Number: _____ FAX Number: _____
Physical Address: _____
(Street Address, if different from mailing address) (City) (State) (ZIP Code)
Web Site Address: _____

Official Contact: _____
(Point of Contact for HGACBuy Interlocal Contract)
Mailing Address: _____
(Street Address/P.O. Box)
(City) (State) (ZIP Code)

Title: _____
Ph No: _____
Fx No.: _____
E-Mail Address: _____

Authorized Official: _____
(Mayor/City Manager/Executive Director/etc.)
Mailing Address: _____
(Street Address/P.O. Box)
(City) (State) (ZIP Code)

Title: _____
Ph No.: _____
Fx No. _____
E-Mail Address: _____

Official Contact: _____
(Purchasing Agent/Auditor/etc.)
Mailing Address: _____
(Street Address/P.O. Box)
(City) (State) (ZIP Code)

Title: _____
Ph No.: _____
Fx No.: _____
E-Mail Address: _____

Official Contact: _____
(Public Works Director/Police Chief/etc.)
Mailing Address: _____
(Street Address/P.O. Box)
(City) (State) (ZIP Code)

Title: _____
Ph No.: _____
Fx No.: _____
E-Mail Address: _____

Official Contact: _____
(EMS Director/Fire Chief/etc.)
Mailing Address: _____
(Street Address/P.O. Box)
(City) (State) (ZIP Code)

Title: _____
Ph No.: _____
Fx No.: _____
E-Mail Address: _____

* denotes required fields

Grimes

Monthly Operations
and Maintenance
Report

October 2019

Prepared by:



1801 James Street
Grimes, IA 50111
(515)986-7300

www.uswutilitygroup.com

MONTHLY REPORT
OCTOBER 2019
GRIMES WATER & WASTEWATER TREATMENT PLANTS
DISTRIBUTION AND COLLECTION SYSTEMS

Prepared By:





Water and Wastewater Utility Operations, Maintenance, Engineering, Construction

November 14, 2019

Mayor Scott Mikkelsen
City of Grimes
101 NE Harvey St.
Grimes, IA 50111

RE: Monthly Update November 2019

Dear Mayor Scott Mikkelsen:

In accordance with contract requirements, we are pleased to provide the following monthly report for November 2019. Below is a list of the significant events that occurred during the month:

SUBMITTED TO: Mayor Scott Mikkelsen
Jake Anderson, City Administrator
Rochelle Williams, City Clerk
City Council, City of Grimes
Jeff DuPont, U.S. Water Services Corporation

DNR Correspondence:

- Submitted October 2019 Monthly Operating Reports to IDNR.
- Tom Atkinson of Field Office #5 was on site to perform the annual WWTP inspection. No major issues were found. There is a progress report due the IDNR by December 1, 2019. USWUG staff is working with City Staff to complete this report.

Safety Training

- Safety Training in October included, **“Safe Driving Online Course.”**

Safety Meeting

- The OSHA safety topic for all USW UTILITY GROUP employees for the month of October will be to participate in, **“Job Site Safety”**
- There will be a safety topic each month as they relate to the work environment.



Water and Wastewater Utility Operations, Maintenance, Engineering, Construction

Grimes Water Treatment Plant Report for October 2019

1. WTP monthly preventative maintenance and inspections were performed the first week of October. Inspections included the completion of thirty-eight (38) work orders that are generated monthly from our Computerized Maintenance Management System.
2. Bids were accepted for the new Reverse Osmosis Water Treatment Plant. The contract was awarded to Shank Construction on November 12, 2019.
3. Staff replaced Lime Slaker #1 calibration equipment.
4. Progressive Structures had issues with the 16" water main installation. A change order has been issued and approved.
5. CB&I continues construction of the new 1.5 MG water tower. There have been some weather delay but the project is still on schedule.
6. Reverse Osmosis skids #1 and #2 performed well during the month of October. Normalized flows were within design parameters. Bag and cartridge filters did not need to be changed.
7. ASR Well was used during plant maintenance. Seasonal injection will begin in November.
8. Staff began winterization of the plants.
9. Staff attended progress and pre-con meetings throughout the month.
10. Mechanical and electrical gear installation continued on Jordan Well #202
11. Lime residual continues to be hauled off-site for ultimate disposal.
12. Exercised generators at WTP, Booster station, ASR Well and North Well Field in accordance with Iowa Administrative Code (IAC).
13. Paint work, site work and cleaning continue.



Water and Wastewater Utility Operations, Maintenance, Engineering, Construction

Grimes Distribution Collection Report for October 2019

1. 138 field service work order were completed for the City.
2. 1 commercial and 39 residential water meters were installed.
3. 4 temporary fire hydrant flow meters were used.
4. 38 disconnect notices were posted.
5. 10 non-payment disconnects were completed.
6. 15 fire hydrants were inspected and flushed, 18 manholes were inspected and 26 valves were exercised.
7. Monthly water loss was estimated at 375,000 gallons due to flushing and hydrant maintenance.
8. Staff assisted with a valve riser replacement on 19th Street and adjusted two valves on N. James Street
9. There were five (5) high usage calls. These were customer issues.



Water and Wastewater Utility Operations, Maintenance, Engineering, Construction

Grimes Wastewater Treatment Plant

Report for October 2019

1. On October 2nd there was still a strong smell of chemical and bench reports showed a lower than normal Dissolved Oxygen level in the treatment plant. Staff diverted flow to the Equalization Basin for a couple of hours even though it didn't show foaming in the influent at that time.
2. The Aeration Basin on the SE side lost signal. Staff ordered a new dissolved oxygen probe.
3. On the 15th there was light foaming at Gateway Lift Station. Pictures were taken for documentation.
4. On the 16th there was light foaming in the aeration basins. Staff monitored and diverted flow to the E.Q. Basin
5. On the 23rd the plant had a scheduled plant inspection with Tom Atkinson from IDNR Field Office No. 5.
6. On the 29th staff worked with the City's Systems Integrator to diagnose and fix SCADA and internet issues.
7. On the 1st the basins, clarifier and creek turned red from an industrial discharge. Staff took pictures, samples, and reported to Andrew Wood and Tom Atkinson with IDNR was notified.



Water and Wastewater Utility Operations, Maintenance, Engineering, Construction

USW UTILITY GROUP

Staffing for Grimes, IA

Project Manager

- Andrew Wood
 - o IDNR Grade 3 WT, Grade 3 WWT, Grade 3 Distribution

Lead WTP Operator

- Jeff Waters
 - o IDNR Grade 3 WT, Grade 2 WWT, Grade 2 Distribution

Lead WWTP Operator

- Christina Shepherd
 - o IDNR Grade 3 WWT, Grade 2 WT

Operator

- Mathew Gilmore
 - o IDNR Grade 4 WT, Grade 2 WWT, Grade 3 Distribution

Operator/Maintenance Tech

- Nick Deardorff
 - o IDNR Grade 2 WT, Grade 2 WWT, Grade 2 Distribution

Maintenance Tech

- Thomas VanHorn
 - o IDNR Grade 2 WT, Grade 2 WWT, Grade 2 Distribution

If you would like to meet to discuss any of the items noted above at your convenience, please do not hesitate to contact me.

Sincerely,

Andrew Wood
Project Manager
USW UTILITY GROUP



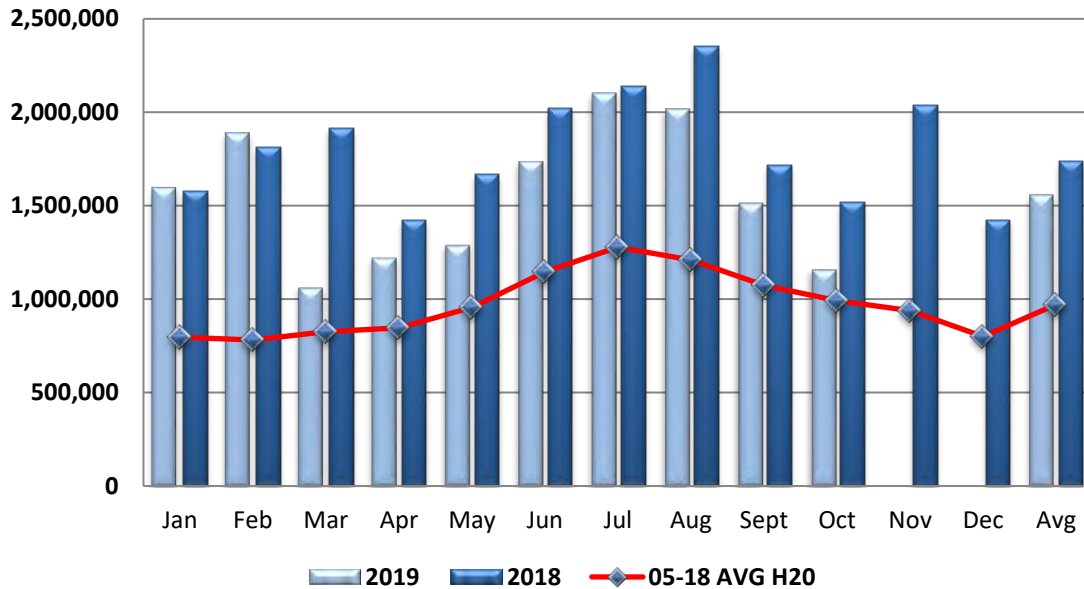
Water and Wastewater Utility Operations, Maintenance, Engineering, Construction

		Oct-19	Sep-19	Oct-18
Water	Units			
Average Daily Pumped	gallons	1,162,323	1,516,333	1,516,710
Maximum Daily Pumped	gallons	1,519,000	2,096,000	1,742,000
Minimum Daily Pumped	gallons	942,000	1,069,000	1,265,000
Hardness				
Hardness - Avg Raw	grains	26.81	27.05	31.25
Hardness - Avg Finish	grains	8.12	6.78	5.61
Iron mg/l				
Avg Raw	mg/L	7.28	6.97	9.28
Avg Finish	mg/L	0.10	0.10	0.09
Fluoride mg/l				
Avg Raw Fl.	mg/L	0.34	0.27	0.26
Avg Finish Fl.	mg/L	0.31	0.29	0.24
Wastewater				
BOD	mg/L			
BOD Effluent Avg	mg/L	0.00	0.40	0.00
BOD Effluent Permit Limit	mg/L	25	25	25
TSS				
TSS Effluent Avg	mg/L	0.00	1.25	1.13
TSS Effluent Permit Limit	mg/L	30	30	30
Nitrogen Ammonia				
NH3-N Effluent Avg	mg/L	0.70	1.38	0.06
NH3-N Effluent Permit Limit	mg/L	2.8	1.5	2.8
Effluent Flow				
Average Daily	gallons	2,254,032	1,795,333	2,637,097
Maximum Daily	gallons	2,894,000	2,237,000	3,269,000
Minimum Daily	gallons	1,905,000	1,551,000	1,973,000
Distribution				
Work Orders	#	138	97	87
Locates	#	-	-	-
Meters Installed				
Residential	#	39	13	34
Commercial	#	1	0	1
Temporary Hydrants Meters	#	4	3	5
Disconnect Notices	#	38	58	43
Services Disconnected	#	10	14	7
Hydrants Inspected/Flushed	#	15	19	26
Valves Exercised	#	26	36	22
Manholes Inspected	#	18	28	23

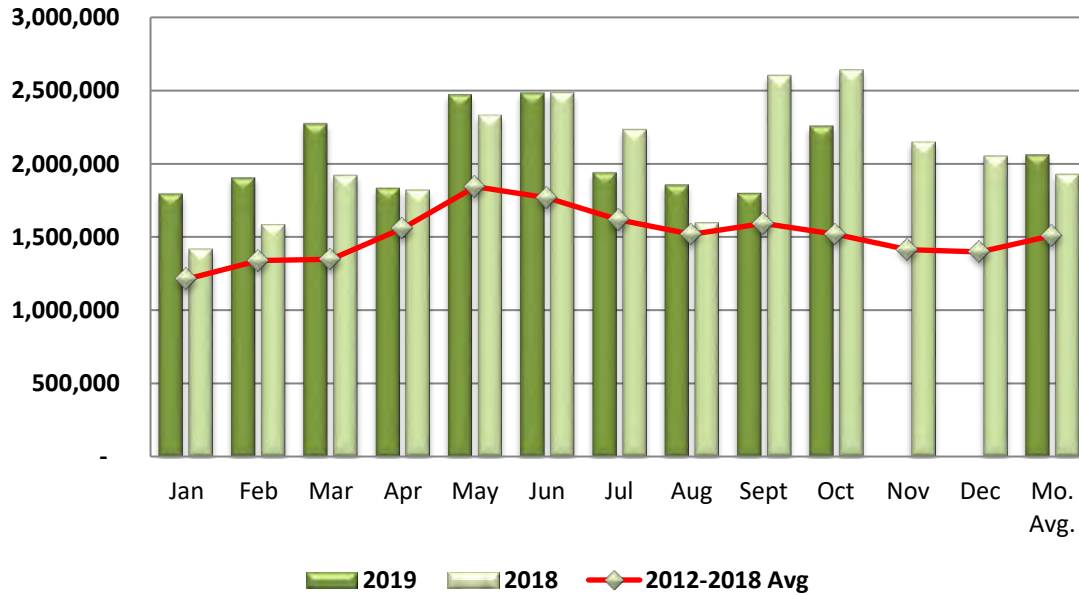


Water and Wastewater Utility Operations, Maintenance, Engineering, Construction

Average Daily Water Pumped - In Gallons



Average Daily Wastewater Pumped - In Gallons





Water and Wastewater Utility Operations, Maintenance, Engineering, Construction

